



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: February 1, 2023

MEMORANDUM

TO: Ehsan Motazed
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #978323 - Partial Demolition, Building Addition, and Porch Alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the January 5, 2022 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings on January 31 and Feb. 1, 2023.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Christopher Walen & Yasmine Belkaid
Address: 10905 Montrose Ave., Garrett Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



PROPOSED RENOVATION FOR:

WHALEN

10905 MONTROSE AVE, GARRETT PARK, MD 20896

DESIGN/BUILD BY:

CARNEMARK

7550 Wisconsin Avenue, Suite 120, Bethesda, MD 20814 . tel: 301.657.5000 . fax: 301.657.5070

proposed renovation for:
WHALEN
10905 MONTROSE AVE,
GARRETT PARK, MD
20896

sheet title:

Cover
Sheet

sheet scale:

sheet date:

02.09.22

drawing revisions:

rev.#	description:	date:
1	PERMIT	02.09.22
2		
3		
4		
5		

IMAGE



PROJECT INFORMATION

PROPERTY ADDRESS: 10905 MONTROSE AVE, GARRETT PARK, MD 20896
LOTS: 10, 11
BLOCK: 98
LOT AREA: 20,230 SF
HISTORIC DISTRICT: GARRETT PARK DISTRICT

PROPOSED:
LOT COVERAGE: 2652 SF MAIN BLDG
FAR: .12

UTILITIES:
WATER SERVICE SIZE:
WATER METER SIZE:
GAS SERVICE SIZE:
STORM SEWER SYSTEM:

SETBACKS REQUIRED:
(MOST RESTRICTIVE OF R-90 AND GARRETT PARK REQUIREMENTS)
FRONT: 30'
SIDEYARD SETBACK: 10' ONE SIDE
SUM OF BOTH SIDES: 25' FOR LOT OVER 60' WIDE, 20' FOR LOT 60' OR LESS
REAR YARD: 25'
LOT COVERAGE (MAX): 18% MAIN BLDG, (3641 SF)
FAR: .375 (7598 SF/20,230 SF)

SETBACK PARAMETERS:
ZONING: R-90 SETBACKS:
FRONT: 30'
SIDES: 8'
SUM OF SIDES: 25'
REAR: 25'
LOT COVERAGE: 30%
BUILDING HEIGHT: 35' MAX

GARRET PARK SETBACKS:
REQUIREMENTS: 30'
SIDEYARD SETBACK: 10' ONE SIDE
SUM OF BOTH SIDES: 25' FOR LOT OVER 60' WIDE, 20' FOR LOT 60' OR LESS
REAR YARD: 25' FOR YARDS GREATER THAN 30' IN DEPTH
LOT COVERAGE: 18% MAIN BLDG,
20% MAX WITH ACCESSORY BUILDINGS
FAR: .375



REVIEWED
By Dan.Bruechert at 2:03 pm, Feb 01, 2023

PROJECT DESCRIPTION

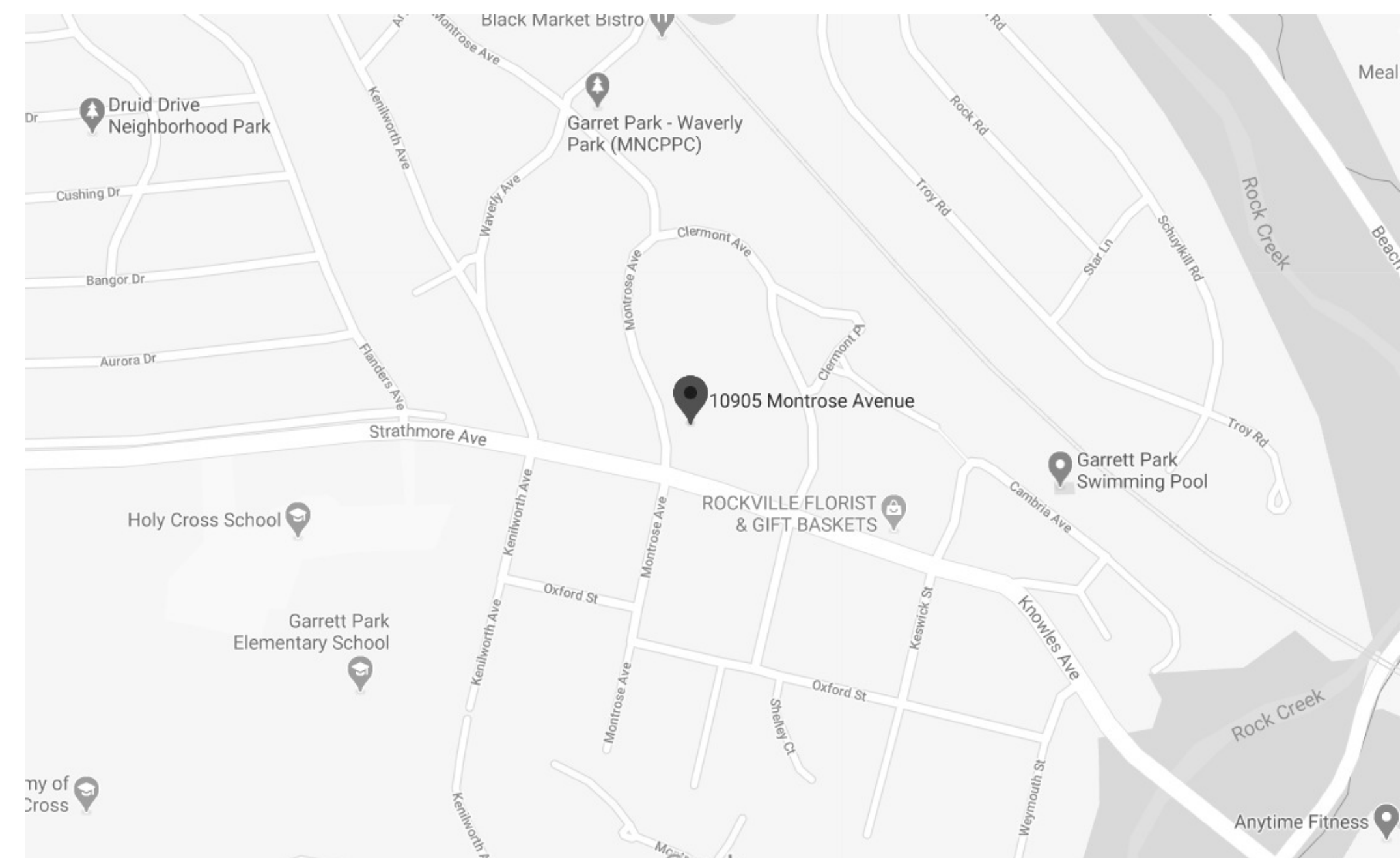
- ADDITION AND INTERIOR RENOVATION
- NEW REAR DECK
- REPLACE WINDOWS AS NOTED

PROJECT TEAM

DESIGNER/BUILDER:
CARNEMARK DESIGN + BUILD
7550 WISCONSIN AVE
SUITE 120
BETHESDA, MD 20814
301-657-5000
CONTACT:

STRUCTURAL ENGINEER:
EHLERT BRYAN
8609 WESTWOOD CENTER
DR
SUITE 800
TYSONS, VA 22182
703-827-8552

VICINITY MAP



BUILDING CODES & STANDARDS

BUILDING: 2018 INTERNATIONAL RESIDENTIAL CODE (IRC)
ENERGY: 2018 INTERNATIONAL ENERGY CODE (IECC)
AS AMENDED BY THE MONTGOMERY COUNTY EXECUTIVE REGULATION
MECHANICAL: 2018 M/C
ELECTRICAL: 2017 NEC ELECTRICAL CODE
PLUMBING: WSSC PLUMBING CODE

ENERGY COMPLIANCE

ENERGY CODE:
2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)

WINDOWS/DOORS - MAX U-FACTOR	U = .35
MAX SHGC - GLAZED FENESTRATION	U = .40
SKYLIGHTS - MAX U-FACTOR	U = .55
MAX SHGC	U = .40
CEILING	R-49
WALLS (WOOD FRAMING)	R-20 OR 13 + 5
MASS WALLS	R-8/13
BASEMENT WALLS	R-10/13
FLOORS	R-19
SLAB PERIMETER- R-VALUE & DEPTH	R-10, 2 FT.
CRAWLSPACE	R-10/13

THE FIRST VALUE IS CAVITY INSULATION,
THE SECOND VALUE IS CONTINUOUS INSULATION.

THE FIRST R-VALUE APPLIES TO CONTINUOUS INSULATION,
THE SECOND TO FRAMING CAVITY INSULATION.

DRAWING INDEX

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A011	Existing Plan - Upper Floor	S200	Structural Details
A013	Existing Plan - Roof	S201	Structural Details
A020	Existing Exterior Elevations	WB-1	Typical Wall Bracing Details
A021	Existing Exterior Elevations	WB-2	Typ. Wall Bracing Det.- Eng. Method
D001	Demolition Plan - Basement		
D002	Demolition Plan - First Floor		
D004	Demolition Plan - Roof		
A100	Proposed Plan - Lower Floor		
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A200	Proposed Exterior Elevations		
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A400	Proposed Building Section		
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MEP0	Proposed MEP Plan - Lower Floor		
MEP1	Proposed MEP Plan - Upper Floor		
S001	Structural Notes		
S002	Structural Notes		

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001

GENERAL NOTES

- REFER TO CONSTRUCTION DRAWINGS (CLIENT APPROVED CHANGE ORDERS, DRAWINGS, DESIGN TEAM'S SUPPLEMENTAL INSTRUCTIONS, AND RESPONSES TO REQUESTS FOR INFORMATION) PREPARED BY THE CSDI DESIGN TEAM, STRUCTURAL CONSULTANT, AND MEP CONSULTANT) INCLUDING ALL PACKAGES FOR SPECIFIC, ADDITIONAL INFORMATION.
- FOR THE PURPOSE OF THESE DRAWINGS 'OTS' (OWNER TO SUPPLY) SHALL MEAN ITEM PROVIDED BY OWNER, ASSEMBLED AND INSTALLED BY CONTRACTOR AS PART OF THE WORK OF THIS CONTRACT; THE ABBREVIATION 'N.I.C.' (NOT IN CONTRACT) SHALL MEAN ITEM PROVIDED AND INSTALLED BY OWNER UNDER SEPARATE CONTRACT.
- THE SUBCONTRACTOR SHALL FULLY ACQUAINT HIMSELF WITH THE CONDITIONS AND REQUIREMENTS OF THE DRAWINGS AND ACCOMPANYING CSDI UNIVERSAL SUBCONTRACTOR AGREEMENT, INCLUDING OTHER PARTS OF THE PROPOSED CONTRACT DOCUMENTS, AND FULLY UNDERSTAND THE CONDITIONS, DIFFICULTIES AND RESTRICTIONS COMPLETELY, BEFORE EXECUTING THE WORK. IT IS UNDERSTOOD THAT OMISSIONS FROM THE BID, DUE TO FAILURE OF THE SUBCONTRACTOR TO FULLY ACQUAINT HIMSELF WITH THE CONSTRUCTION DOCUMENTS, WILL NOT ENTITLE HIM TO ADDITIONAL CONSIDERATION AND/OR COMPENSATION.
- SHOULD THE SUBCONTRACTOR FIND DISCREPANCIES IN, OR OMISSIONS FROM, THE CONSTRUCTION DOCUMENTS, OR BE IN DOUBT AS TO THE MEANING AND INTENTION OF ANY ITEM OR REQUIREMENT, HE SHALL NOTIFY THE PRODUCTION MANAGER (P.M.) AT ONCE.

- THE SUBCONTRACTOR SHALL COMPLY WITH ALL FEDERAL, STATE AND CITY BUILDING CODES AND ALL OTHER APPLICABLE ORDINANCES AND AUTHORITIES - THE CONSTRUCTION DOCUMENTS HAVE BEEN PREPARED WITH THE INTENTION OF INCORPORATING ALL SUCH ISSUES, HOWEVER, THE SUBCONTRACTOR IS TO VERIFY THAT ALL COMPONENTS DO, INDEED, SATISFY THESE REQUIREMENTS, ASSURE COMPLIANCE BY ALL OF SUBCONTRACTOR'S PERSONNEL AND SUPPLIERS, AND SHOULD ANY DISCREPANCIES BE IDENTIFIED, NOTIFY THE P.M. AND THE CSDI DESIGN TEAM PROMPTLY FOR CLARIFICATION SO AS TO MINIMIZE IMPACT UPON THE JOB COST AND SCHEDULE.
- ALL REQUESTS BY SUBCONTRACTORS OR SUPPLIERS FOR CLARIFICATION OR ADDITIONAL INFORMATION MUST BE FORWARDED IN WRITING THROUGH THE P.M. TO THE CSDI DESIGN TEAM.
- THE SUBCONTRACTOR SHALL USE EXTREME CARE TO MINIMIZE INTERFERENCE OF ADJACENT PROPERTIES AND STREETS AND OTHER SUBCONTRACTORS ASSOCIATED WITH WORK ON THE SITE / PROJECT.
- THE SUBCONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AT THE JOB SITE AND NOTIFY THE CSDI DESIGN TEAM OF ANY DIMENSIONAL ERRORS, OMISSIONS OR DISCREPANCIES BEFORE BEGINNING OR FABRICATING ANY WORK.
- ALL DIMENSIONS ARE TO FACE OF FRAMING UNLESS NOTED OTHERWISE.

APPROVED
Montgomery County
Historic Preservation Commission



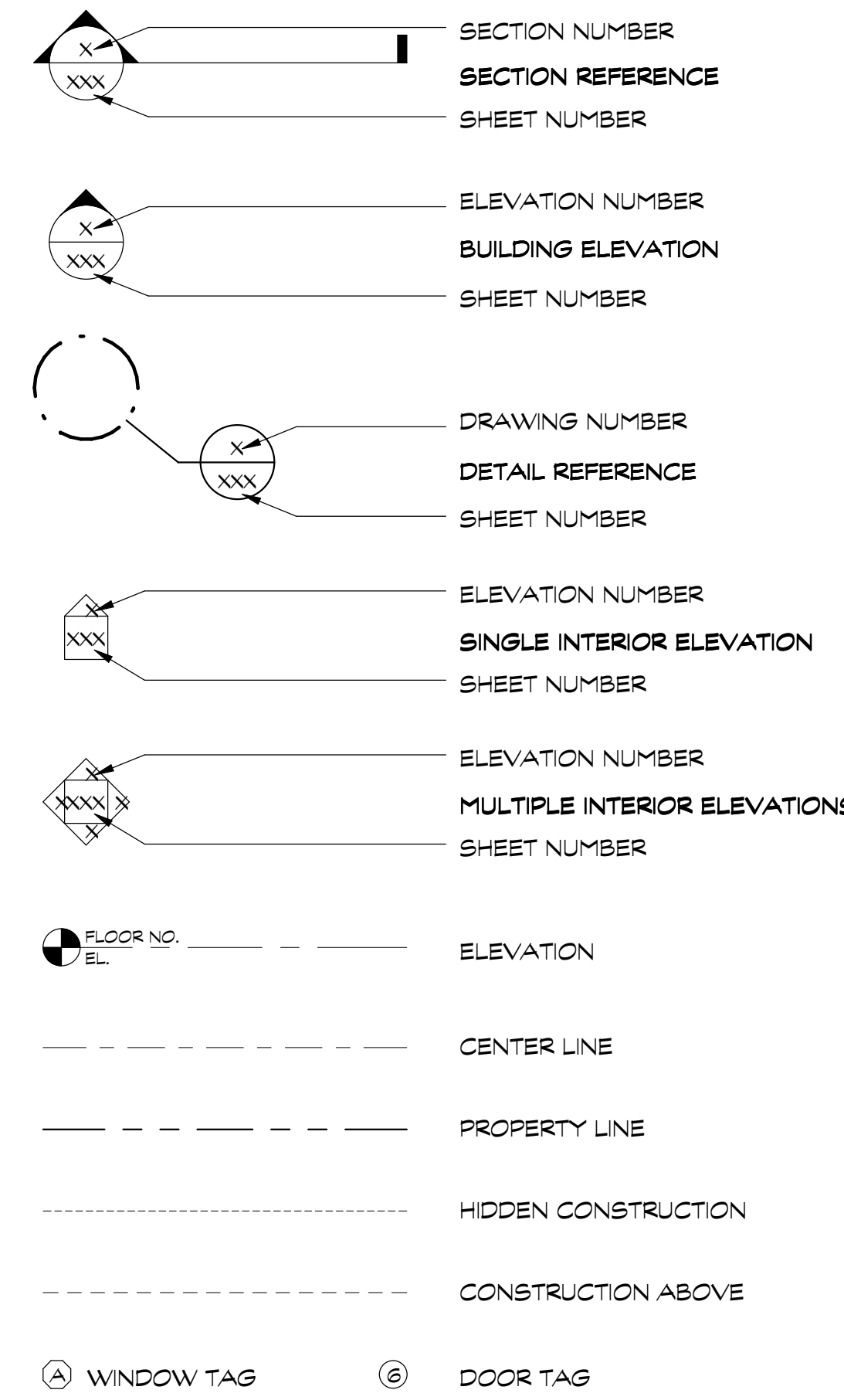
REVIEWED
By Dan.Bruechert at 2:04 pm, Feb 01, 2023

DO NOT SCALE DRAWINGS

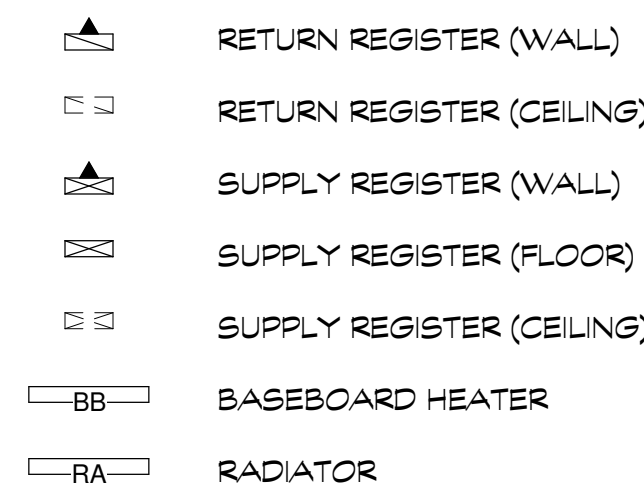
ABBREVIATIONS

ABV.	ABOVE	FTG.	FOOTING	PART.	PARTITION
A.F.F.	ABOVE FINISHED FLOOR	FOUN.	FOUNDATION	P.V.M.T.	PAVEMENT
ADJ.	ADJUSTABLE	FR.	FRAME	PLAS.	PLASTER
A/C	AIR CONDITION(ER)(ING)(ED)	FUR.	FURRED OR FURRING	PL.	PLATE
ALLOW	ALLOWANCE			PLYWD.	PLYWOOD
ALUM.	ALUMINUM	GA.	GAGE OR GAUGE	PLAS.	PILASTER
A.B.	ANCHOR BOLT	GALV.	GALVANIZED	PLAST.	PLASTIC
ANOD.	ANODIZED	GAL.	GALLON	PLAM.	PLASTIC LAMINATE
APPROX.	APPROXIMATE	GL.	GLASS	PT.	POINT
ARCH.	ARCHITECT	GLAZ.	GLAZE	P.S.F.	POUNDS PER SQUARE FOOT
AVG.	AVERAGE	GYP.	GYP. GYPSUM WALL BOARD	P.S.I.	POUNDS PER SQUARE INCH
@	AT	GWB		PROP.	PROPERTY
BSMT.	BASEMENT	HDWR.	HARDWARE	QTY.	QUANTITY
B.R.	BEDROOM	HDWD.	HARDWOOD	RAD.	RADIATOR
BEL.	BELOW	HVAC	HEATING, VENTILATING & AIR CONDITIONING	R.	RISER
BLK.	BLOCK	HD.	HEAD	RECP.	RECEPTACLE
BLKG.	BLOCKING	HVY.	HEAVY	RE.	REFERENCE / REFER TO
BD.	BOARD	HT.	HEIGHT	REFRIG.	REFRIGERATOR
BOT.	BOTTOM	HORIZ.	HORIZONTAL	REQD.	REQUIRED
B.O.	BRICK OPENING	H.B.	HOSE BIBB	R/S	ROD AND SHELF
BLDG.	BUILDING	HWH	HOT WATER HEATER	REFL.	REFLECTED
		HTR.	HOUR	REG.	REGISTER
CAB.	CABINET	HR.	HOUR	REINF.	REINFORCE
CATV	CABLE TELEVISION			REV.	REVISED OR REVISION
CLG.	CEILING	IN.	INCH	ROOFING	ROOFING
CTR.	CENTER	INCL.	INCLUDE(D)(ING)	RM.	ROOM
C/C	CENTER TO CENTER	I.D.	INSIDE DIAMETER	R.O.	ROUGH OPENING
C.T.	CERAMIC TILE	INSUL.	INSULATION	SCHED.	SCHEDULE
CLR.	CLEAR(ANCE)	INT.	INTERIOR	SECT.	SECTION
COL.	COLUMN			SHT.	SHEET
CONC.	CONCRETE	S:	SILL	S	SOUTH
C.M.U.	CONCRETE MASONRY UNIT	SO.	SPECIFICATION	SQ.	SQUARE
CONST.	CONSTRUCT(ION)	S.S.	STAINLESS STEEL	STD.	STANDARD
CONT.	CONTINUE(D)(OUS)	STL.	STEEL	STOR.	STORAGE
CTSK.	COUNTERSINK	STR.	STREET	ST.	STRUCTURAL
CRS.	COURSES	SUSP.	SUSPENSION OR SUSPENDED SYSTEM	SYS.	SYSTEM
CU.FT.	CUBIC FEET	TEL.	TELEPHONE	TEL.	TELEVISION
CL	CENTER LINE	TEMP.	TEMPERATURE	T.P.	TOILET PAPER HOLDER
		T.P.	TOILET PAPER	T.O.P.	TOP OF
DET.	DETAIL	TECH.	TECHNICAL	TYP.	TYPICAL
DIAG.	DIAGONAL	THK.	THICK	THR.	THRESHOLD
DIA.	DIAMETER	T.	TREAD	T&M	TIME AND MATERIALS
DIM.	DIMENSION	U.N.O.	UNLESS NOTED OTHERWISE		
DISPEN.	DISPENSER	UTIL.	UTILITY		
DISPOS.	DISPOSAL	U.V.	ULTRA VIOLET		
DW	DISH WASHER	VERT.	VERTICAL		
DR	DOOR	VEST.	VESTIBULE		
DBL.	DOUBLE	V.B.	VINYL BASE		
DN.	DOWN	V.C.T.	VINYL COMPOSITION TILE		
D.S.	DOWN SPOUT	V.I.F.	VERIFY IN FIELD		
DWG.	DRAWING	W/C	WATER CLOSET		
DRY.	DRYER	WP.	WATERPROOFING		
		WT.	WEIGHT		
EA.	EACH	W.W.M.	WELDED WIRE MESH		
E	EAST	W.	WEST		
ELEC.	ELECTRIC(AL)	W.	WITH		
EL.	ELEVATION	W/O	WITHOUT		
ENCL.	ENCLOSURE	WD.	WOOD		
ENG.	ENGINEER(ING)				
ENT.	ENTRANCE				
EQ.	EQUAL				
EQUIP.	EQUIPMENT				
EXIST.	EXISTING				
EXP.	EXPANSION				
EXT.	EXTERIOR				
E.F.	EXHAUST FAN				
FF.	FEET OR FOOT	O.T.S.	OWNER TO SUPPLY		
F.F.	FINISH(ED) FLOOR	OFF.	OFFICE		
FIN.	FINISH	O.C.	ON CENTER		
F.P.	FIRE PLACE	OPNG.	OPENING		
FBGLAS.	FIBERGLASS	OPP.	OPPOSITE		
F.O.F.	FACE OF FRAME	O.A.	OVERALL		
F.R.	FIRE RATED	O.D.	OUTSIDE DIAMETER		
FX.T.	FIXTURE	PTD.	PAINTED		
FLR.	FLOOR	PSCHED.	PRODUCT SCHEDULE		
F.D.	FLOOR DRAIN	P.R.M.	POWDER ROOM		
FLOOR.	FLUORESCENT	PNL.	PANEL		

GRAPHIC SYMBOLS



MEP LEGEND



ELECTRICAL NOTES

- GENERAL
 - THE ELECTRICAL CONTRACTOR SHALL:
 - INCLUDE ALL LABOR, MATERIALS, SERVICES, AND SUPERVISION NECESSARY TO PROVIDE A COMPLETE ELECTRICAL SYSTEM AS REQUIRED BY THE PLAN AND ALL APPLICABLE ELECTRICAL CODES.
 - VERIFY ALL EXISTING CONDITIONS AND INCLUDE ANY WORK NECESSARY TO MEET CODE AND TO PROVIDE A COMPLETE AND SAFE OPERATIONAL ELECTRICAL SYSTEM.
 - BRING ANY CONFLICTS WITH OTHER TRADES OR STRUCTURE TO THE ATTENTION OF THE JOB SUPERINTENDENT OR PROJECT MANAGER BEFORE PROCEEDING WITH INSTALLATION.
 - EMPLOY ONLY SKILLED TRADES PEOPLE AND PROVIDE THE SUPERVISION NECESSARY TO SUCCESSFULLY COMPLETE THE JOB IN A TIMELY MANNER.
 - BE RESPONSIBLE FOR ALL DRILLING, CUTTING AND CHANNELING AS NECESSARY TO INSTALL THE ELECTRICAL WIRING AND EQUIPMENT.
 - CLEAN UP ALL TRASH AND DEBRIS FROM THEIR WORK ON A DAILY BASIS. ALL AREAS WHERE CLIENTS ARE LIVING SHALL BE VACUUMED. ALL OTHER AREAS SHALL BE SWEEPED. TRASH SHALL BE REMOVED TO A DESIGNATED AREA ON SITE DAILY.
 - PROVIDE ALL ELECTRICAL PERMITS AS REQUIRED.
 - THE DRAWINGS ARE TO DEMONSTRATE THE DESIGN INTENT OF THE ELECTRICAL SYSTEM AND ARE NOT MEANT TO INCLUDE ALL NECESSARY CODE REQUIREMENTS.
 - ALL DIMENSIONS ARE TO THE CENTER OF THE APPROPRIATE BOX, FIXTURE, OUTLET, ETC.
 - PRODUCTS
 - ALL MATERIALS, EQUIPMENT AND FIXTURES SHALL BE OF THE APPROPRIATE DIMENSION, STYLE AND MANUFACTURER FOR THE MANNER OF WHICH IT IS INTENDED AND SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, THE LOCAL UTILITY AND ALL CODES.
 - ALL ELECTRICAL MATERIALS SHALL BE LISTED BY "UNDERWRITERS LABORATORIES, INC."
- ALL LABOR AND MATERIALS SUPPLIED SHALL BE GUARANTEED FOR A PERIOD OF ONE YEAR AFTER FINAL COMPLETION OF JOB.
- WIRING METHODS
 - ALL SWITCHES AND OUTLETS ARE TO BE MANUFACTURED BY LEVITON OR APPROVED EQUAL AND TO BE WHITE W/ WHITE PLASTIC PLATES UNLESS OTHERWISE NOTED. NO OVERSIZED PLATES SHALL BE USED.
 - NO "SPEED WIRING" SHALL BE UTILIZED.
 - ALL DIMMERS SHALL BE LUTRON (ARIADNI [TOGGLE TYPE]) UNLESS OTHERWISE NOTED. THEY SHALL BE SIZED APPROPRIATELY TO COMPENSATE FOR NECESSARY DERATING AND MATCH THE APPROPRIATE FIXTURE AS NECESSARY.
 - PROVIDE GFCI PROTECTION AS REQUIRED BY CODE. AN INDIVIDUAL GFCI RECEPTACLE AND 20-AMP CIRCUIT SHALL PROTECT EACH BATHROOM.
 - ALL 240-VOLT DRYERS AND COOKING APPLIANCES SHALL BE PROVIDED WITH INDIVIDUAL 4-WIRE CIRCUITS.
 - PROVIDE A SUBPANEL [60-AMP, 12 FULL SIZE BREAKER SPACE MINIMUM SIZE] AS REQUIRED FOR NEW CIRCUITS.
- LIGHTING FIXTURES
 - FURNISH AND INSTALL ALL NECESSARY LAMPS, PARTS AND ACCESSORIES FOR ALL FIXTURES SUPPLIED.
 - ALL FIXTURES SHALL BE IC-RATED WHERE INSULATION IS PRESENT IN THE CEILING SPACE.
 - ALL LAMPS SHALL BE FURNISHED AS SPECIFIED.
 - PROVIDE APPROPRIATELY SIZED TRANSFORMERS IN AN ACCESSIBLE REMOTE LOCATION AS REQUIRED.
- SMOKE DETECTORS
 - FURNISH AND INSTALL HARD-WIRED SMOKE DETECTORS AS REQUIRED BY CODE UNLESS NOTED OTHERWISE.
 - INTERCONNECT SMOKE DETECTORS IN ALL REMODELED AREAS AND AS PRACTICAL IN OTHER REQUIRED AREAS.
- TELEPHONE, TELEVISION, AND SPEAKER WIRING
 - PROVIDE CATEGORY 5 [MINIMUM] HOME RUNS TO EACH TELEPHONE JACK.
 - PROVIDE RG6 QUADSHIELD [MINIMUM] HOME RUNS TO EACH CATV JACK.
 - PROVIDE 14 GAUGE [MINIMUM] WIRING TO EACH SPEAKER JACK.

MATERIAL SYMBOLS

EARTHWORKS	EARTH/COMPACTED FILL	POROUS FILL/GRAVEL
CONCRETE	CONCRETE	
MASONRY	BRICK	CONCRETE BLOCK
METAL	STEEL	
WOOD	ROUGH	BLOCKING
GLASS	GLASS BLOCK	RIGID
INSULATION	BATT/LOOSE	METAL LATH AND PLASTER
FINISHES	GYPSUM WALLBOARD	
ELEVATION INDICATIONS	GLASS	

WALL TYPES

	EXISTING WALLS	NEW WALLS	DEMO WALLS
POURED CONCRETE			
CONCRETE BLOCK			
BRICK			
BRICK VENEER ON CONCRETE BLOCK			
BRICK VENEER ON WOOD STUD W/ INTERIOR GWB			
WOOD STUD W/ INTERIOR GWB			

ELECTRICAL LEGEND

	RECESSED DOWNLIGHT	S	SINGLE SWITCH
	RECESSED DIRECTIONAL DOWNLIGHT	S ₃	THREE-WAY SWITCH
	PENDANT FIXTURE	S ₄	FOUR-WAY SWITCH
	SURFACE MOUNTED CEILING FIXTURE	S _D S _{D3}	DIMMER SWITCH
	WALL SCONCE FIXTURE	S _R	REMOTE CONTROL SWITCH
	UNDERCABINET PUCK FIXTURE	S _T	TIMER SWITCH
	UNDERCABINET STRIP FIXTURE		SWITCH LEG
	SURFACE MOUNTED FLUORESCENT FIXTURE		SINGLE RECEPTACLE OUTLET
	SURFACE MOUNTED TRACK FIXTURE		DUPLEX RECEPTACLE OUTLET
	CABLE SYSTEM AND FIXTURE		TRIPLEX RECEPTACLE OUTLET
	EXTERIOR DUAL SPOTLIGHT FIXTURE		QUADRUPLEX RECEPTACLE OUTLET
	CEILING FAN W/LIGHT		GFI RECEPTACLE OUTLET
	EXHAUST FAN		EXTERIOR WEATHERPROOF RECEPTACLE OUTLET
	EXHAUST FAN WITH LIGHT		DUPLEX RECEPTACLE OUTLET SPLIT WIRED
	SMOKE DETECTOR		DUPLEX RECEPTACLE OUTLET SPECIAL PURPOSE
	RECESSED SPEAKER		FLOOR SINGLE RECEPTACLE OUTLET
	JUNCTION BOX		FLOOR DUPLEX RECEPTACLE OUTLET
	LIGHTING PANEL		CATV/SATELLITE RECEPTACLE OUTLET
	ALARM SYSTEM		TELEPHONE JACK
			CAT-5 JACK
			THERMOSTAT
			ELECTRIC BASEBOARD HEATER
			ELECTRIC RADIANT HEAT FLOOR SYSTEM

proposed renovation for:
WHALEN
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Legend and Notes

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02.09.22

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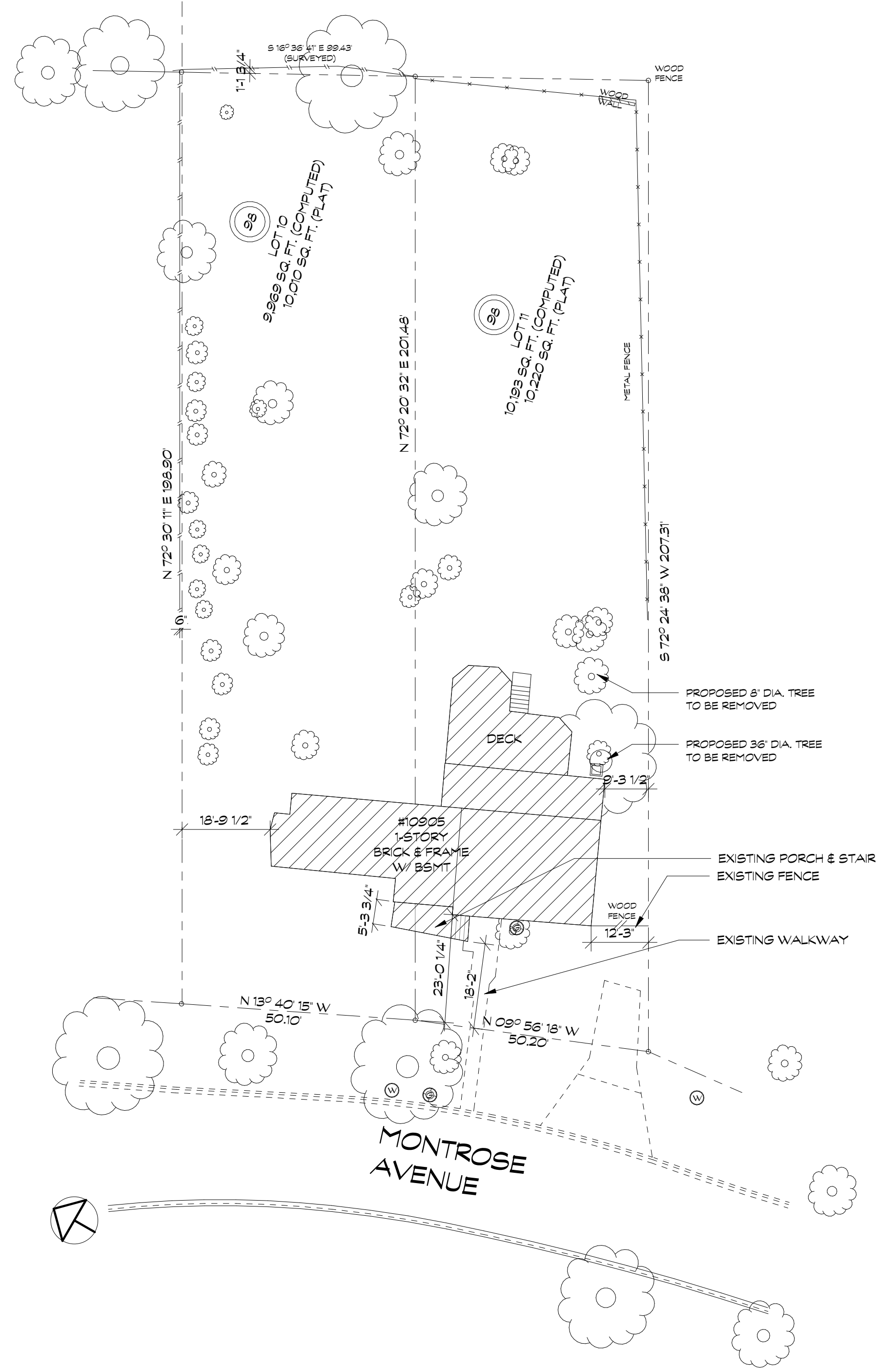
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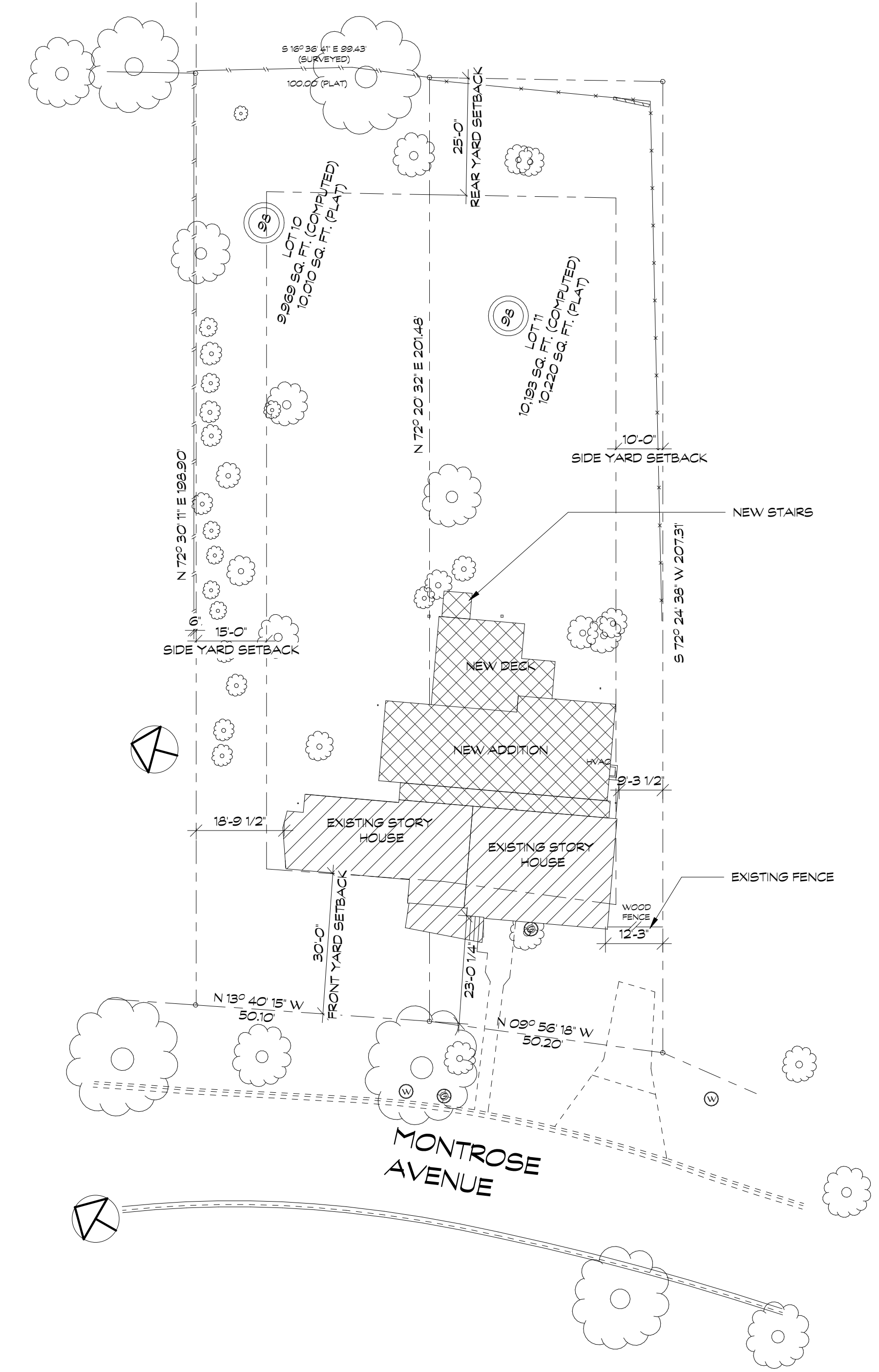
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002

SITE DISTURBANCE: 2315 SQ FT



1 SITE PLAN - EXISTING
1" = 20'-0"



2 SITE PLAN - PROPOSED
1" = 20'-0"

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 2:04 pm, Feb 01, 2023

proposed renovation for:
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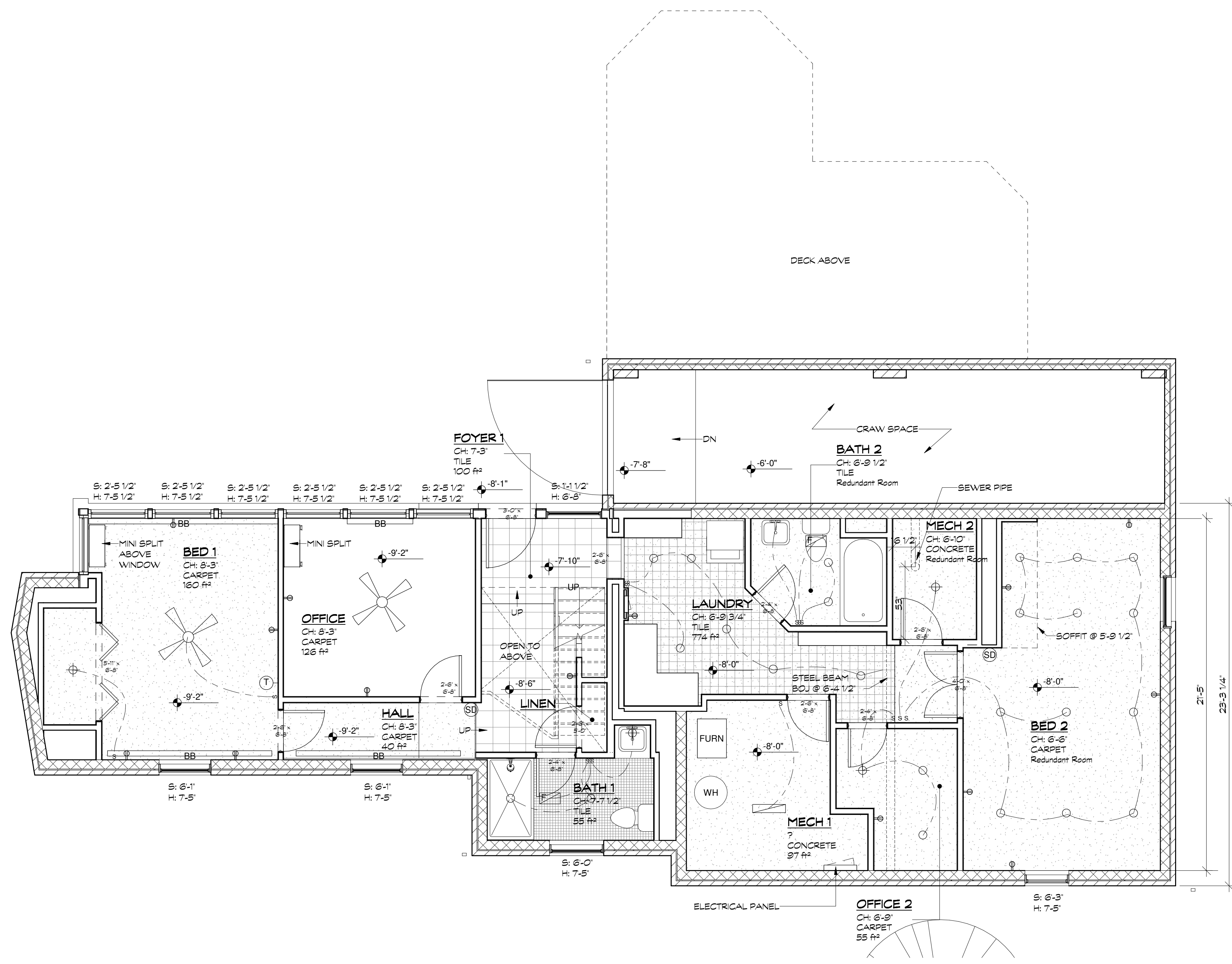
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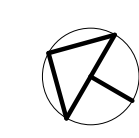
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1	PERMIT	02.09.22
2		
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CIV001



1 EXISTING PLAN - BASEMENT
 1/4" = 1'-0"



APPROVED
 Montgomery County
 Historic Preservation Commission

Robert A. ...

REVIEWED
 By Dan.Bruechert at 2:04 pm, Feb 01, 2023

proposed renovation for:
 WHALEN
 10905 MONTROSE AVE,
 GARRETT PARK, MD
 20896

sheet title:
Existing
 Plan -
 Lower
 Floor
 sheet scale:

1/4" = 1'-0"

sheet date:
 02.09.22

drawing revisions:

date:	description:
02.09.22	PERMIT

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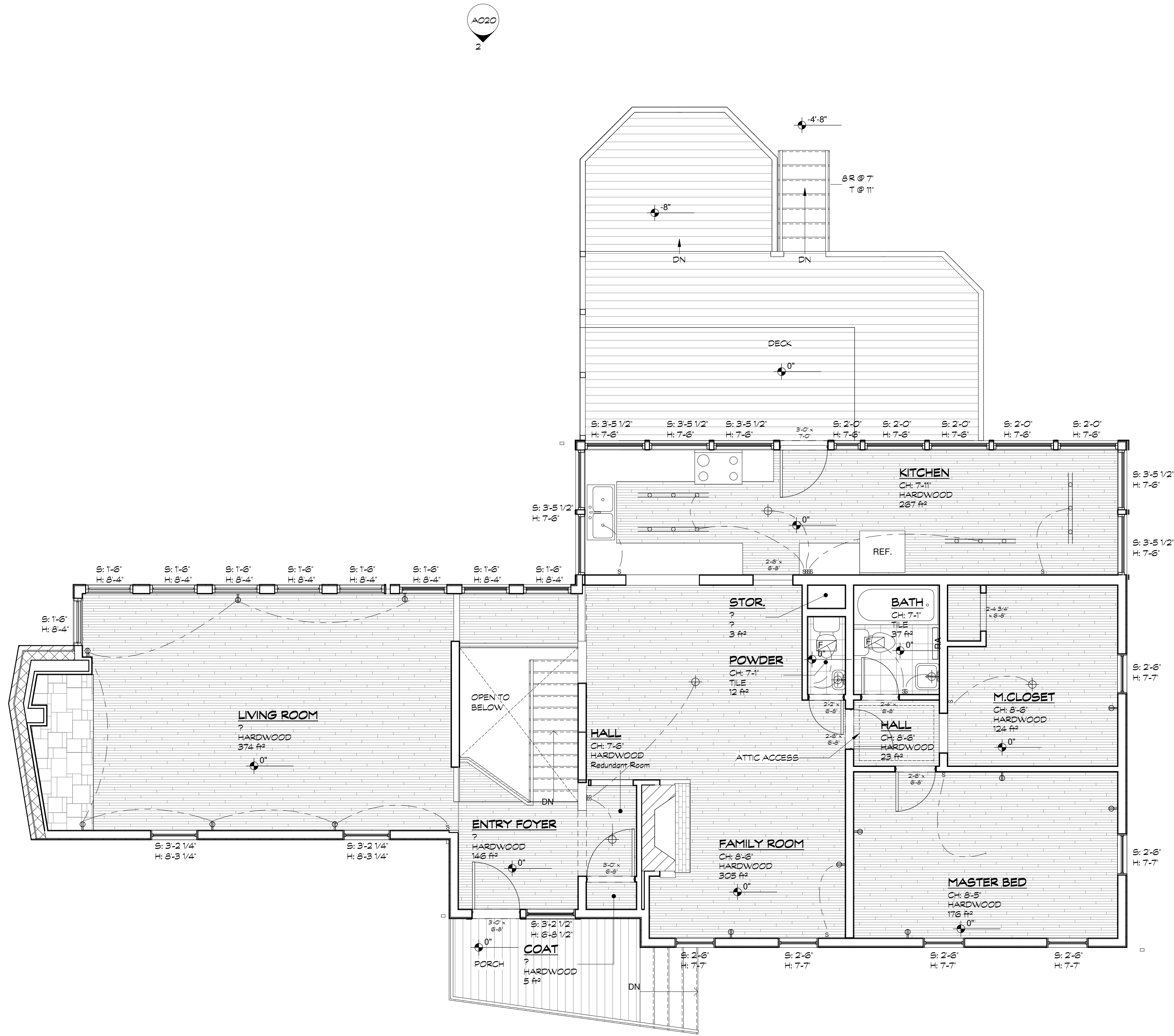
A010

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]

REVIEWED
 By Dan.Bruechert at 2:04 pm, Feb 01, 2023

1 EXISTING PLAN - 1ST FLOOR
 1/4" = 1'-0"



proposed renovation for:
 WHALEN
 10905 MONTROSE AVE,
 GARRETT PARK, MD
 20896

sheet title:
Existing
 Plan -
 Upper
 Floor
 sheet scale:

1/4" = 1'-0"

sheet date:
 02.09.22

drawing revisions:

date:	02.09.22
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description:	PERMIT
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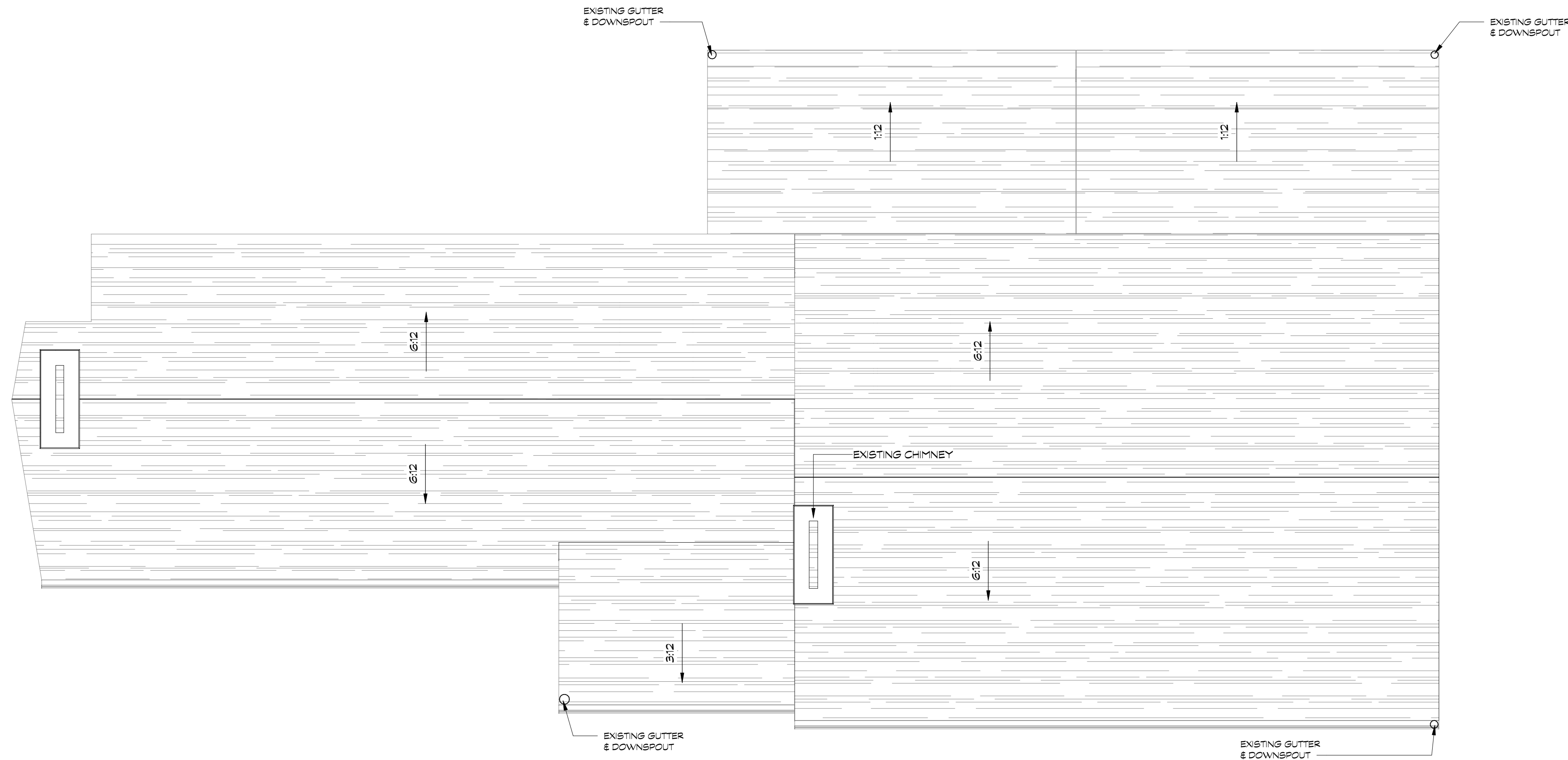
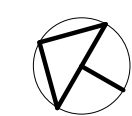
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A011

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 2:04 pm, Feb 01, 2023

1
A013
EXISTING PLAN - ROOF
1/4" = 1'-0"



A013

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description:
PERMIT

date:
02.09.22

drawing revisions:

02.09.22

sheet date:

1/4" = 1'-0"

sheet scale:

Existing
Plan - Roof

sheet title:

proposed renovation for:
WHALEN
10905 MONTROSE AVE,
GARRETT PARK, MD
20896



1 EXISTING ELEVATION - EAST
1/4" = 1'-0"



2 EXISTING ELEVATION - NORTH
1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 2:04 pm, Feb 01, 2023

proposed renovation for:
WHALEN
10905 MONTROSE AVE,
GARRETT PARK, MD
20896

sheet title:
Existing
Exterior
Elevations

sheet scale:
1/4" = 1'-0"

sheet date:
02.09.22

drawing revisions:

date:	description:
02.09.22	PERMIT

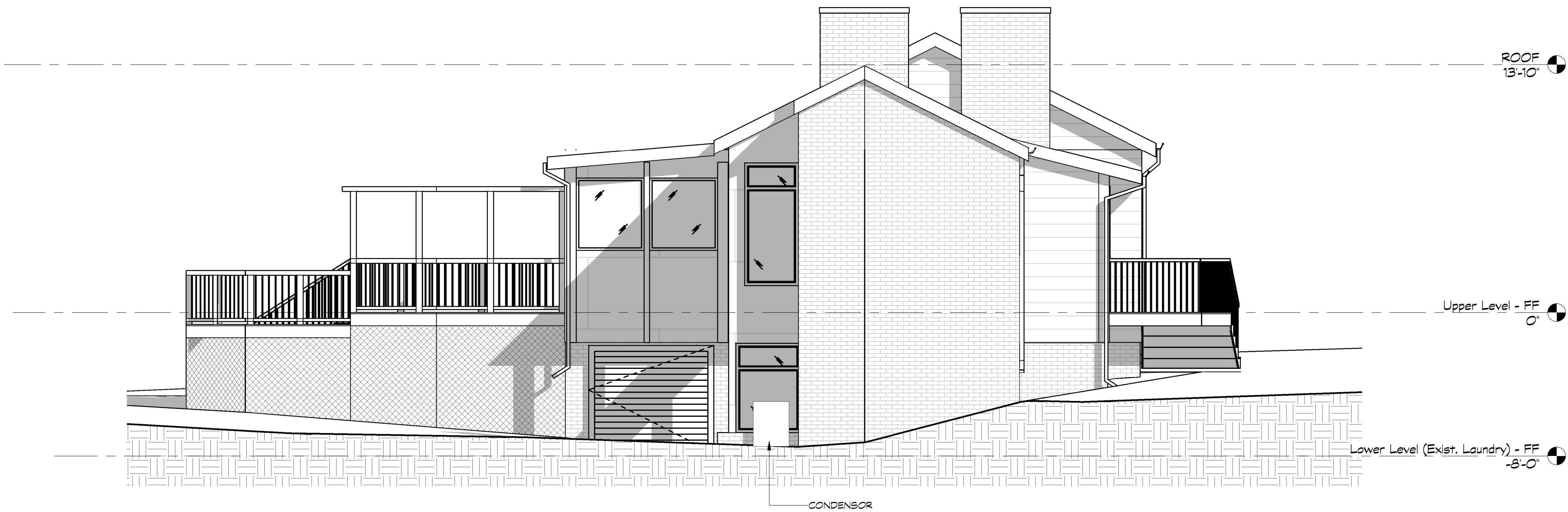
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A020



1 EXISTING ELEVATION - SOUTH
A021 1/4" = 1'-0"



2 EXISTING ELEVATION - WEST
A021 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 2:04 pm, Feb 01, 2023

proposed renovation for:
WHALEN
10905 MONTROSE AVE,
GARRETT PARK, MD
20896

sheet title:
Existing
Exterior
Elevations

sheet scale:
1/4" = 1'-0"

sheet date:
02.09.22

drawing revisions:

date:	02.09.22

description:	PERMIT

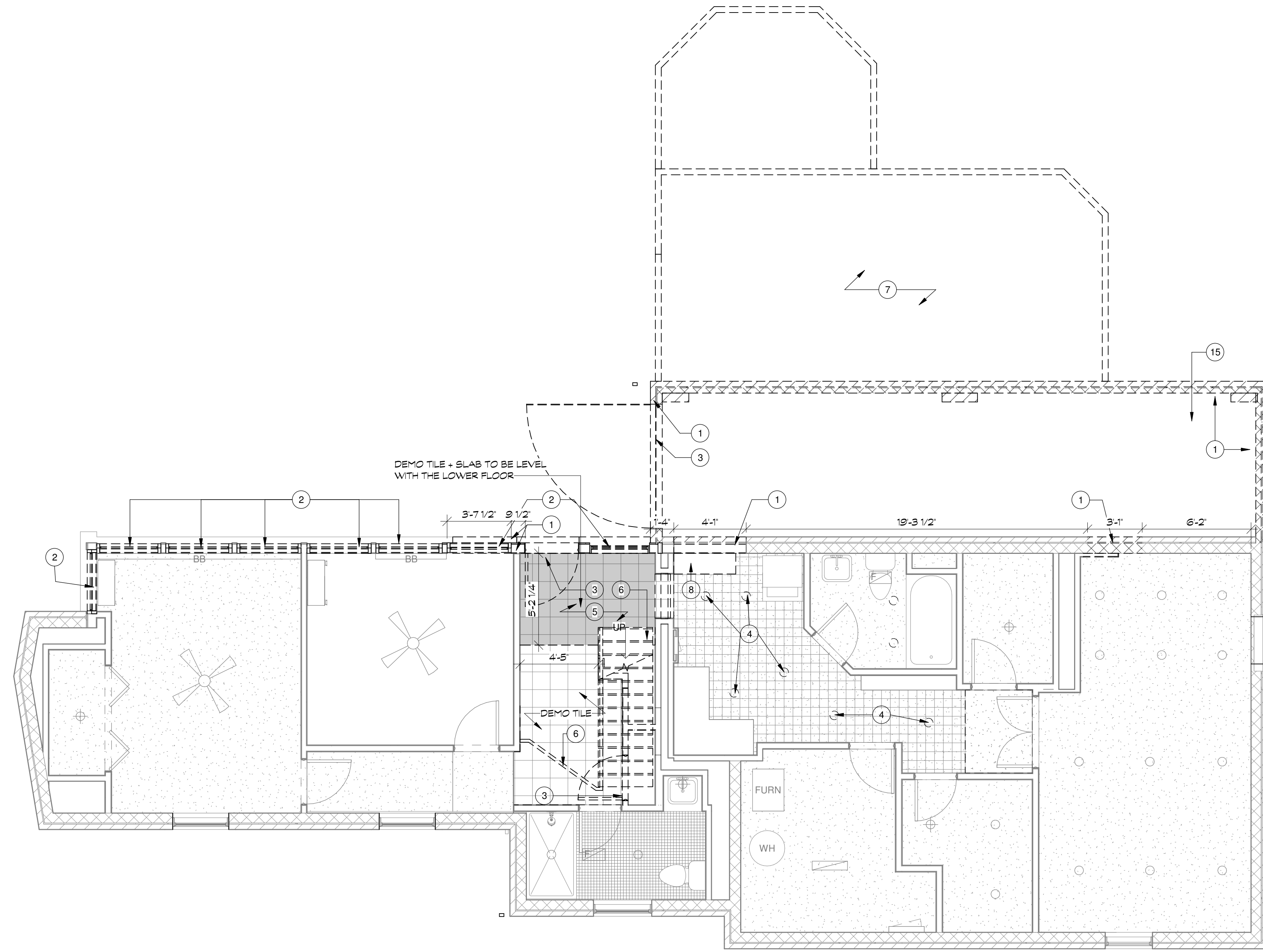
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A021

DEMOLITION NOTES	
Note Number	Note Text
1	DEMO WALL
2	DEMO WINDOW FOR REPLACEMENT
3	DEMO DOOR
4	DEMO LIGHT FIXTURES / FAN
5	DEMO FLOOR
6	DEMO STAIR + RAILING
7	DEMO DECK, RAILS, STEPS, + FOOTINGS
8	DEMO CASEWORK
9	DEMO STOVE + REFRIGERATOR
11	DEMO ROOF AS REQUIRED FOR NEW SKYLIGHTS
12	DEMO RAILING
13	DEMO PLUMBING FIXTURE
14	DEMO ROOF
15	DEMO SLAB + FOUNDATIONS IN CRAWL SPACE
16	DEMO WALL AS REQUIRED FOR NEW WINDOW

- COMMUNITY FORKLIFT NOTES:**
- CAREFULLY REMOVE AND SET ASIDE FOR COLLECTION, BY COMMUNITY FORKLIFT, ANY OF THE FOLLOWING ITEMS AS SHOWN ON PLANS.
- APPLIANCES - CLEAN AND IN WORKING CONDITION
 - CABINETS
 - CEILING FANS - WITH ALL PARTS
 - DOORS
 - FENCING
 - FLOORING - DE-NAILED AND BUNDLED
 - GLASS AND MIRRORS - ONLY IF FRAMED
 - HVAC
 - LIGHTING FIXTURES
 - LANDSCAPING MATERIAL - PAVERS, STONE, LATTICE, BOARDERS
 - LUMBER AND TRIM - DE-NAILED AND 6 FT. LONG MIN.
 - MASONRY
 - MEDICINE CABINETS
 - PANELING
 - RADIATORS
 - ROOFING
 - SHELVING
 - SHOWER DOORS - MUST INCLUDE HARDWARE
 - SIDING
 - SINKS
 - STONE
 - TILE
 - TOILETS - MUST BE LOW-FLOW
 - TUBS
 - VENT COVERS
 - WINDOWS - IN WORKING CONDITION



1 DEMOLITION PLAN - BASEMENT
 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

R. Bruechert

REVIEWED
 By Dan.Bruechert at 2:05 pm, Feb 01, 2023

proposed renovation for:
 WHALEN
 10905 MONTROSE AVE,
 GARRETT PARK, MD
 20896

sheet title:
**Demolition
 Plan -
 Basement**

sheet scale:
1/4" = 1'-0"

sheet date:
02.09.22

drawing revisions:
 date: 02.09.22

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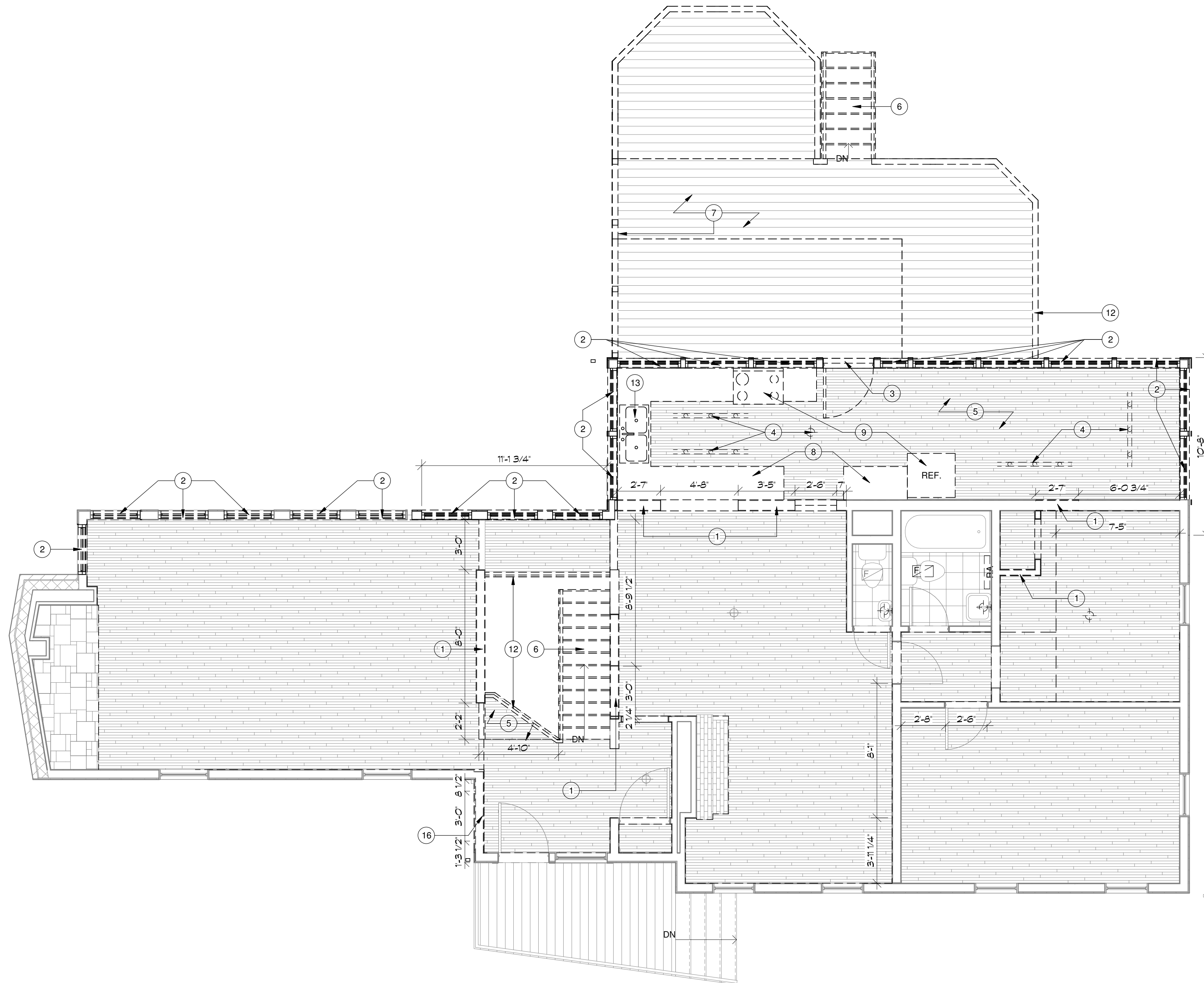
D001

DEMOLITION NOTES	
Note Number	Note Text
1	DEMO WALL
2	DEMO WINDOW FOR REPLACEMENT
3	DEMO DOOR
4	DEMO LIGHT FIXTURES / FAN
5	DEMO FLOOR
6	DEMO STAIR + RAILING
7	DEMO DECK, RAILS, STEPS, + FOOTINGS
8	DEMO CASEWORK
9	DEMO STOVE + REFRIGERATOR
11	DEMO ROOF AS REQUIRED FOR NEW SKYLIGHTS
12	DEMO RAILING
13	DEMO PLUMBING FIXTURE
14	DEMO ROOF
15	DEMO SLAB + FOUNDATIONS IN CRAWL SPACE
16	DEMO WALL AS REQUIRED FOR NEW WINDOW

COMMUNITY FORKLIFT NOTES:

CAREFULLY REMOVE AND SET ASIDE FOR COLLECTION, BY COMMUNITY FORKLIFT, ANY OF THE FOLLOWING ITEMS AS SHOWN ON PLANS.

- APPLIANCES - CLEAN AND IN WORKING CONDITION
- CABINETS
- CEILING FANS - WITH ALL PARTS
- DOORS
- FENCING
- FLOORING - DE-NAILED AND BUNDLED
- GLASS AND MIRRORS - ONLY IF FRAMED
- HVAC
- LIGHTING FIXTURES
- LANDSCAPING MATERIAL - PAVERS, STONE, LATTICE, BOARDERS
- LUMBER AND TRIM - DE-NAILED AND 6 FT. LONG MIN.
- MASONRY
- MEDICINE CABINETS
- PANELING
- RADIATORS
- ROOFING
- SHELVING
- SHOWER DOORS - MUST INCLUDE HARDWARE
- SIDING
- SINKS
- STONE
- TILE
- TOILETS - MUST BE LOW-FLOW
- TUBS
- VENT COVERS
- WINDOWS - IN WORKING CONDITION



NOTE: TEMP SUPPORT EXTERIOR WALL DURING DEMO SEE STRUCTURAL DRAWINGS

1 DEMOLITION PLAN - FIRST FLOOR
 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]

REVIEWED
 By Dan.Bruechert at 2:05 pm, Feb 01, 2023

proposed renovation for:
 WHALEN
 10905 MONTROSE AVE,
 GARRETT PARK, MD
 20896

sheet title:
**Demolition
 Plan - First
 Floor**

sheet scale:
1/4" = 1'-0"

sheet date:
02.09.22

drawing revisions:

date:
 02.09.22

description:
 PERMIT

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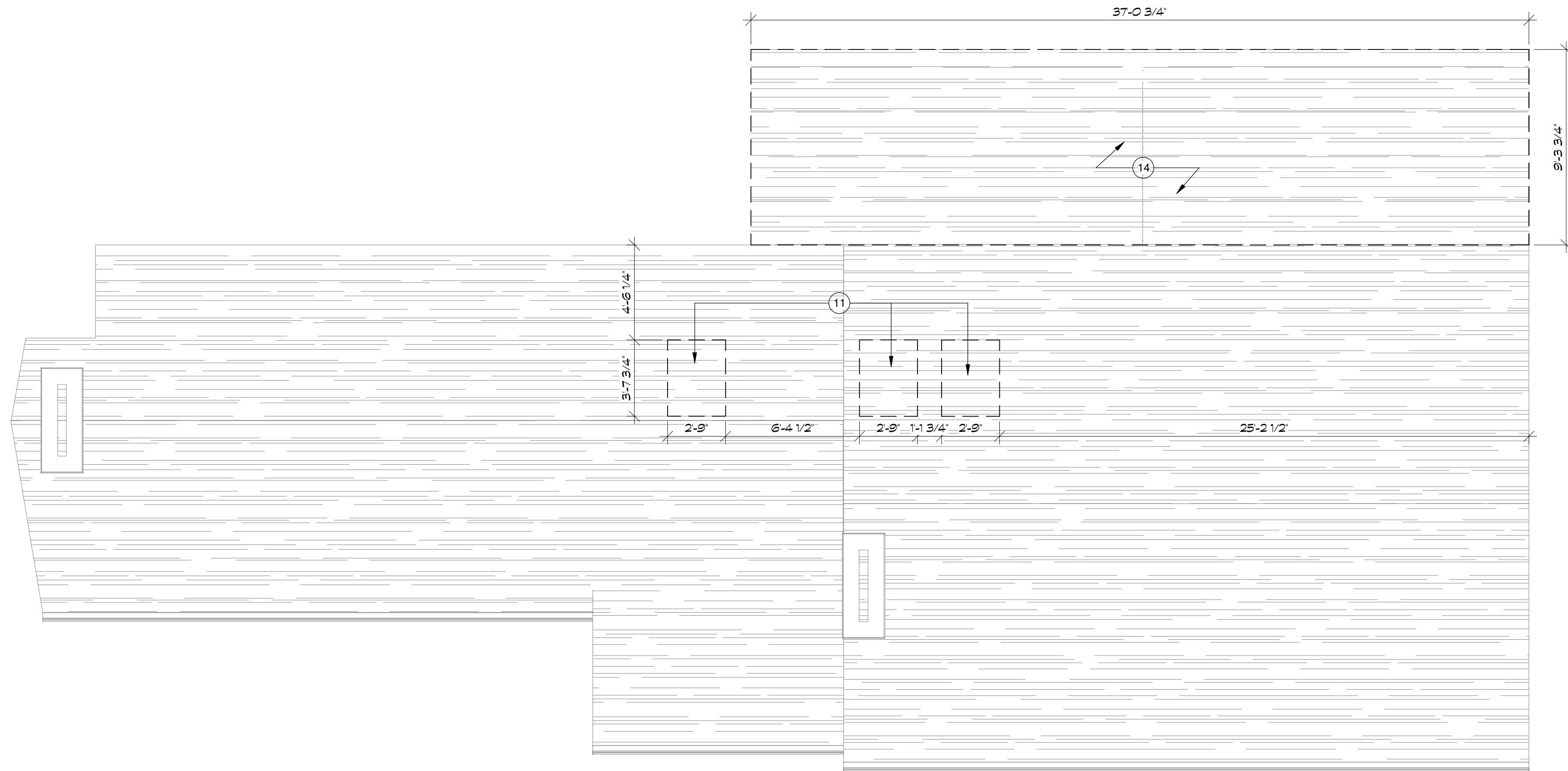
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D002

DEMOLITION NOTES	
Note Number	Note Text
1	DEMO WALL
2	DEMO WINDOW FOR REPLACEMENT
3	DEMO DOOR
4	DEMO LIGHT FIXTURES / FAN
5	DEMO FLOOR
6	DEMO STAIR + RAILING
7	DEMO DECK, RAILS, STEPS, + FOOTINGS
8	DEMO CASEWORK
9	DEMO STOVE + REFRIGERATOR
11	DEMO ROOF AS REQUIRED FOR NEW SKYLIGHTS
12	DEMO RAILING
13	DEMO PLUMBING FIXTURE
14	DEMO ROOF
15	DEMO SLAB + FOUNDATIONS IN CRAWL SPACE
16	DEMO WALL AS REQUIRED FOR NEW WINDOW

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 - CABINETS
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 - FENCING
 - FLOORING - DE-NAILED AND BUNDLED
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 - HVAC
 - LIGHTING FIXTURES
 - LANDSCAPING MATERIAL - PAVERS, STONE, LATTICE, BOARDERS
 - LUMBER AND TRIM - DE-NAILED AND 6 FT. LONG MIN.
 - MASONRY
 - MEDICINE CABINETS
 - PANELING
 - RADIATORS
 - ROOFING
 - SHELVING
 - SHOWER DOORS - MUST INCLUDE HARDWARE
 - SIDING
 - SINKS
 - STONE
 - TILE
 - TOILETS - MUST BE LOW-FLOW
 - TUBS
 - VENT COVERS
 - WINDOWS - IN WORKING CONDITION



1 DEMOLITION PLAN - ROOF
 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]

REVIEWED
 By Dan.Bruechert at 2:05 pm, Feb 01, 2023

proposed renovation for:
 WHALEN
 10905 MONTROSE AVE,
 GARRETT PARK, MD
 20896

sheet title:

Demolition
 Plan - Roof

sheet scale:

1/4" = 1'-0"

sheet date:

02.09.22

drawing revisions:


date:	description:
02.09.22	PERMIT

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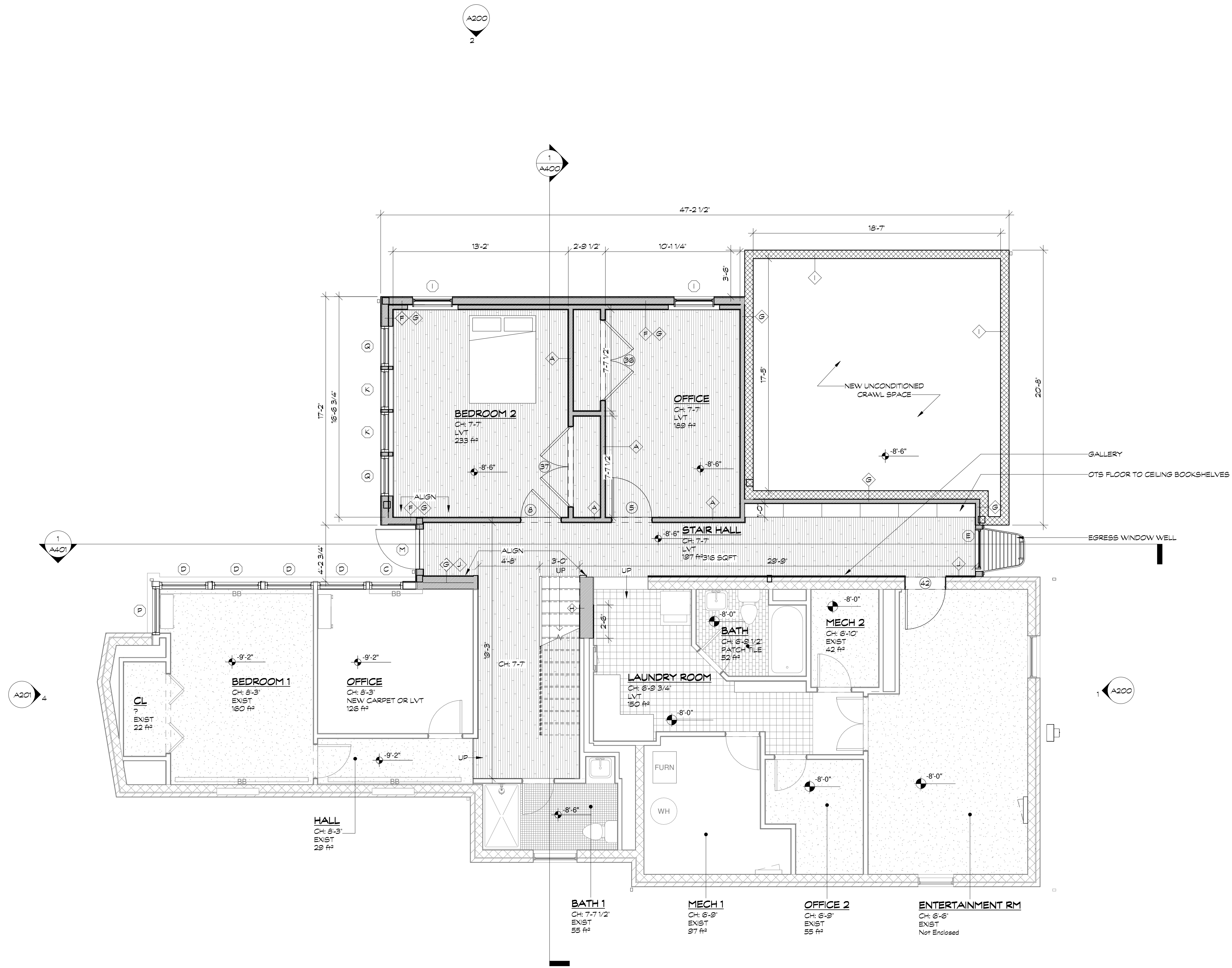
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D004

APPROVED
 Montgomery County
 Historic Preservation Commission



REVIEWED
 By Dan.Bruechert at 2:05 pm, Feb 01, 2023



1 PROPOSED PLAN - BASEMENT
 1/4" = 1'-0"



proposed renovation for:
 WHALEN
 10905 MONTROSE AVE,
 GARRETT PARK, MD
 20896

sheet title:
**Proposed
 Plan -
 Lower
 Floor**
 sheet scale:

1/4" = 1'-0"

sheet date:
 02.09.22

drawing revisions:

date:	description:
02.09.22	PERMIT

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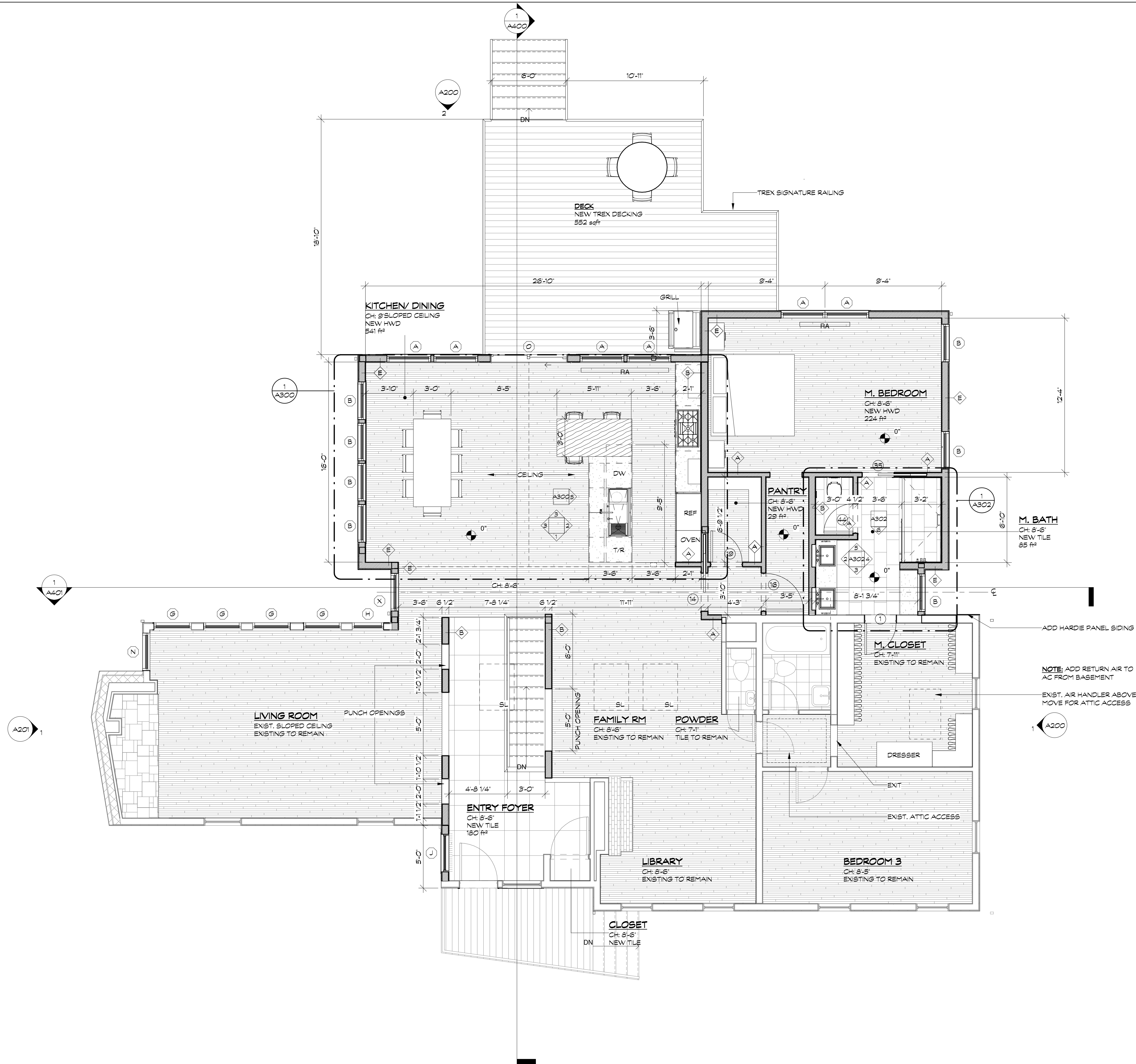
A100

APPROVED
 Montgomery County
 Historic Preservation Commission



REVIEWED
 By Dan.Bruechert at 2:05 pm, Feb 01, 2023

1
 A101 PROPOSED PLAN - 1ST FLOOR
 1/4" = 1'-0"



proposed renovation for:
 WHALEN
 10905 MONTROSE AVE,
 GARRETT PARK, MD
 20896

sheet title:
**Proposed
 Plan -
 Upper
 Floor**
 sheet scale:

1/4" = 1'-0"

sheet date:
 02.09.22

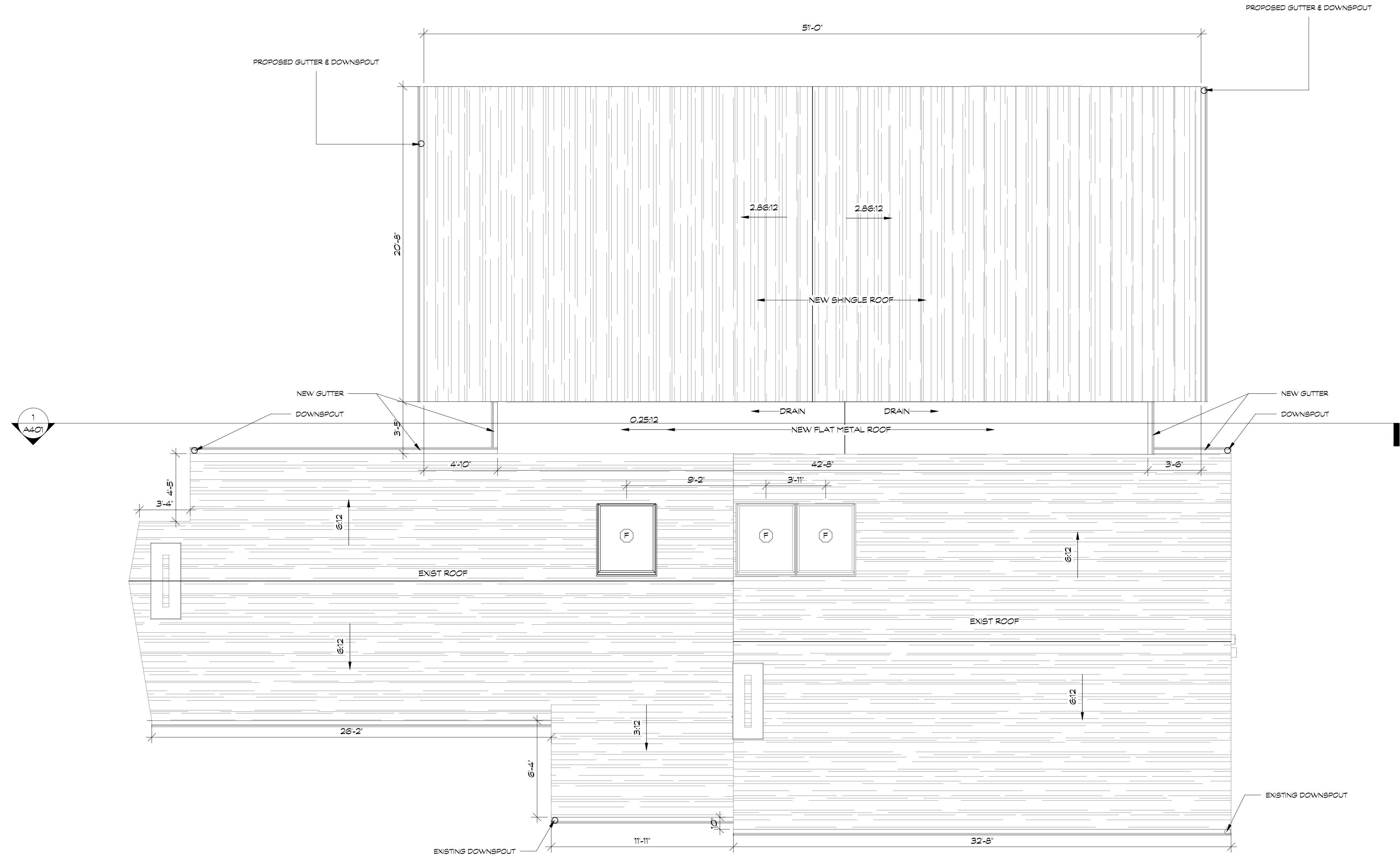
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Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 2:05 pm, Feb 01, 2023

1 PROPOSED PLAN - ROOF & DRAINAGE PLAN
A103 1/4" = 1'-0"



proposed renovation for:
WHALEN
10905 MONTROSE AVE,
GARRETT PARK, MD
20896

sheet title:

Proposed
Plan - Roof

sheet scale:

1/4" = 1'-0"

sheet date:

02.09.22

drawing revisions:

date:	02.09.22
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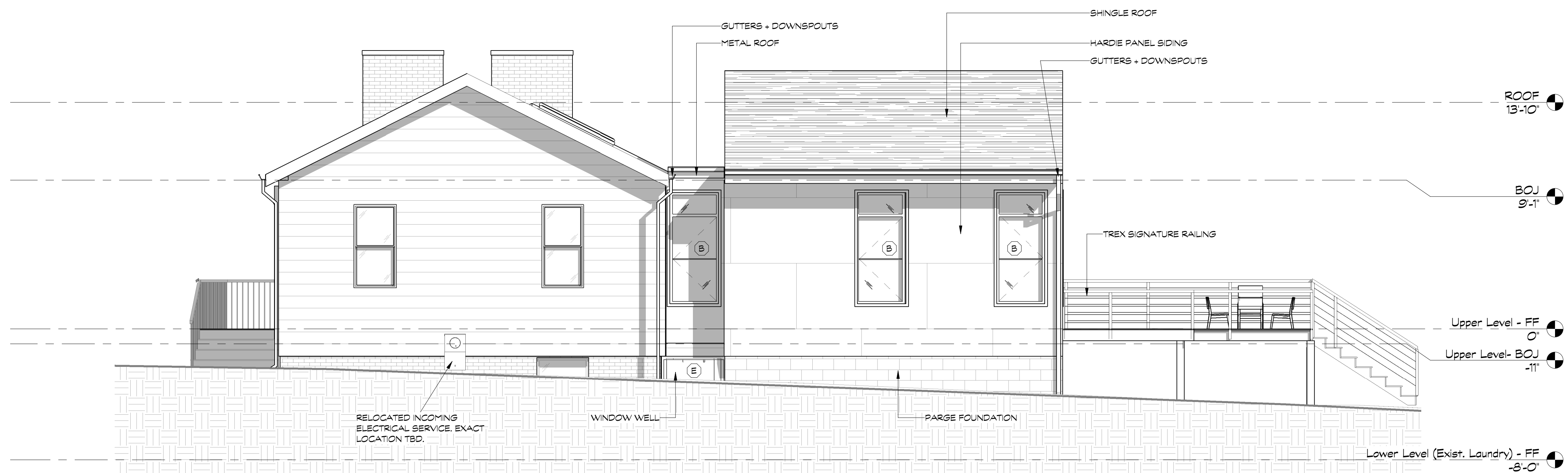
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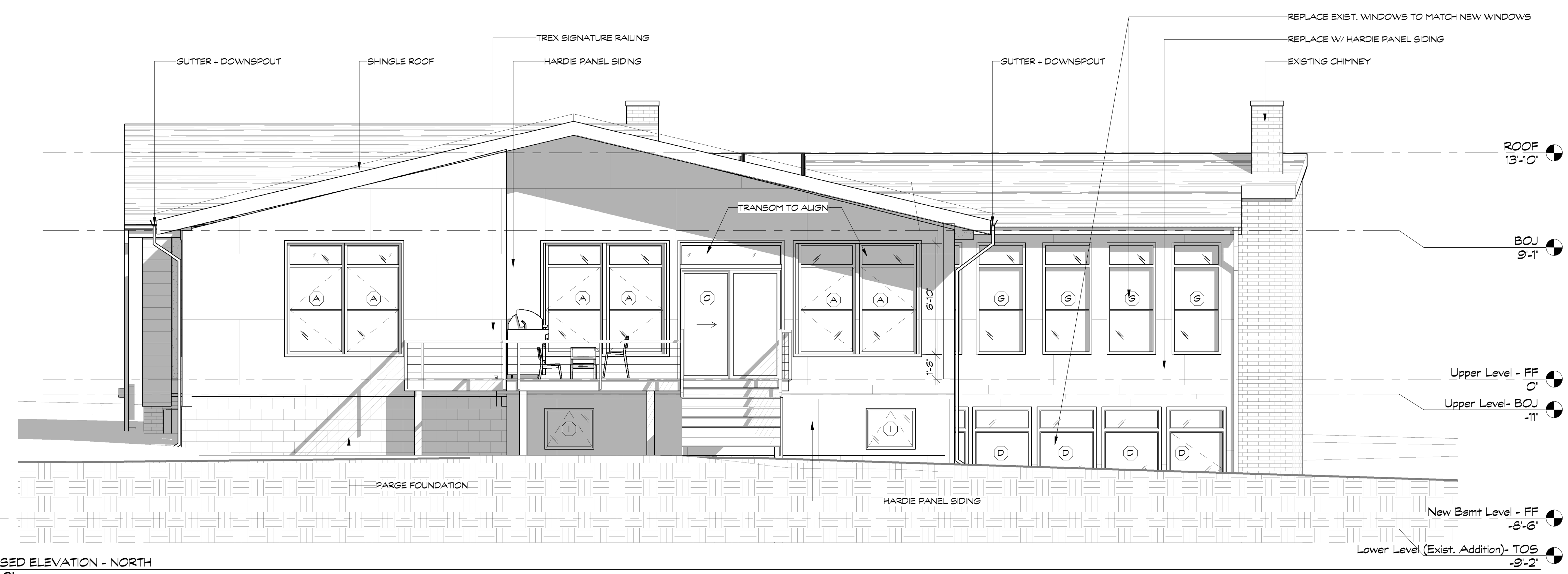
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A103



1 PROPOSED ELEVATION - EAST
 A200 1/4" = 1'-0"



2 PROPOSED ELEVATION - NORTH
 A200 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission
Ronnie Nantz

REVIEWED
 By Dan.Bruechert at 2:05 pm, Feb 01, 2023

proposed renovation for:
 WHALEN
 10905 MONTROSE AVE,
 GARRETT PARK, MD
 20896

sheet title:
**Proposed
 Exterior
 Elevations**

sheet scale:
1/4" = 1'-0"

sheet date:
02.09.22

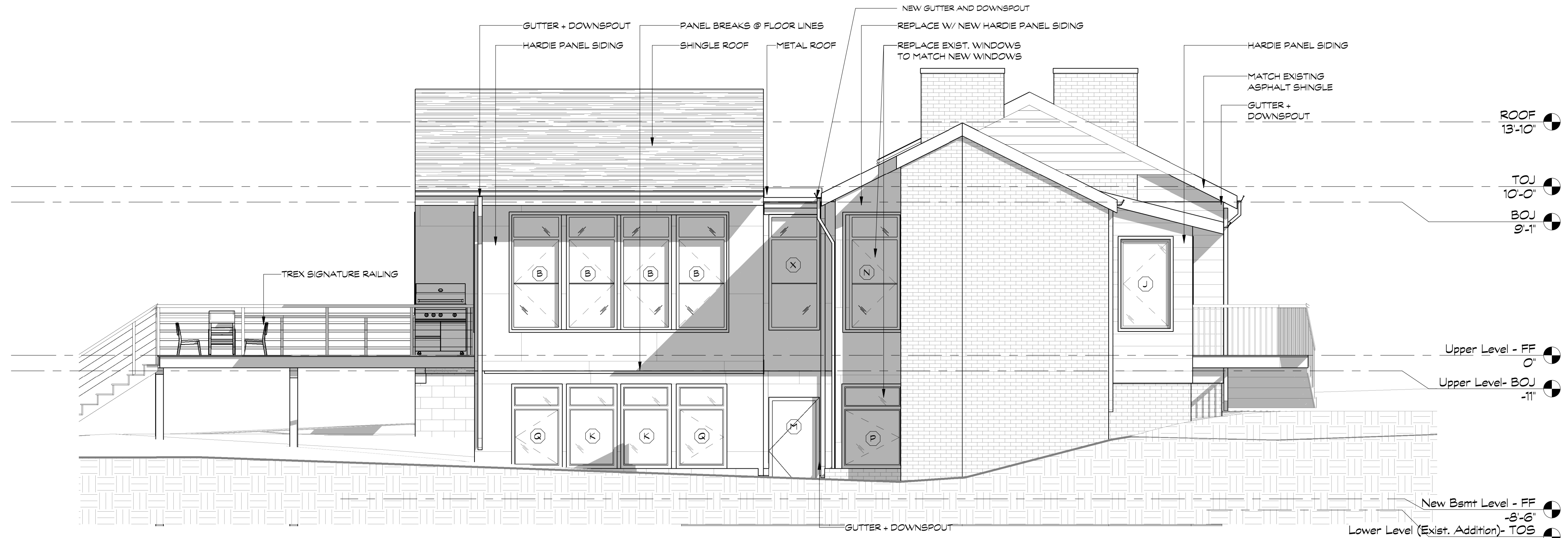
drawing revisions:

date:	description:	rev.#
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date:	description:	rev.#
02.09.22	PERMIT	1
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A200



1 PROPOSED ELEVATION - WEST
A201/ 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 2:05 pm, Feb 01, 2023

proposed renovation for:
WHALEN
10905 MONTROSE AVE,
GARRETT PARK, MD
20896

sheet title:
Proposed
Exterior
Elevations

sheet scale:
1/4" = 1'-0"

sheet date:
02.09.22

drawing revisions:
date: 02.09.22

rev.#	description:
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A201

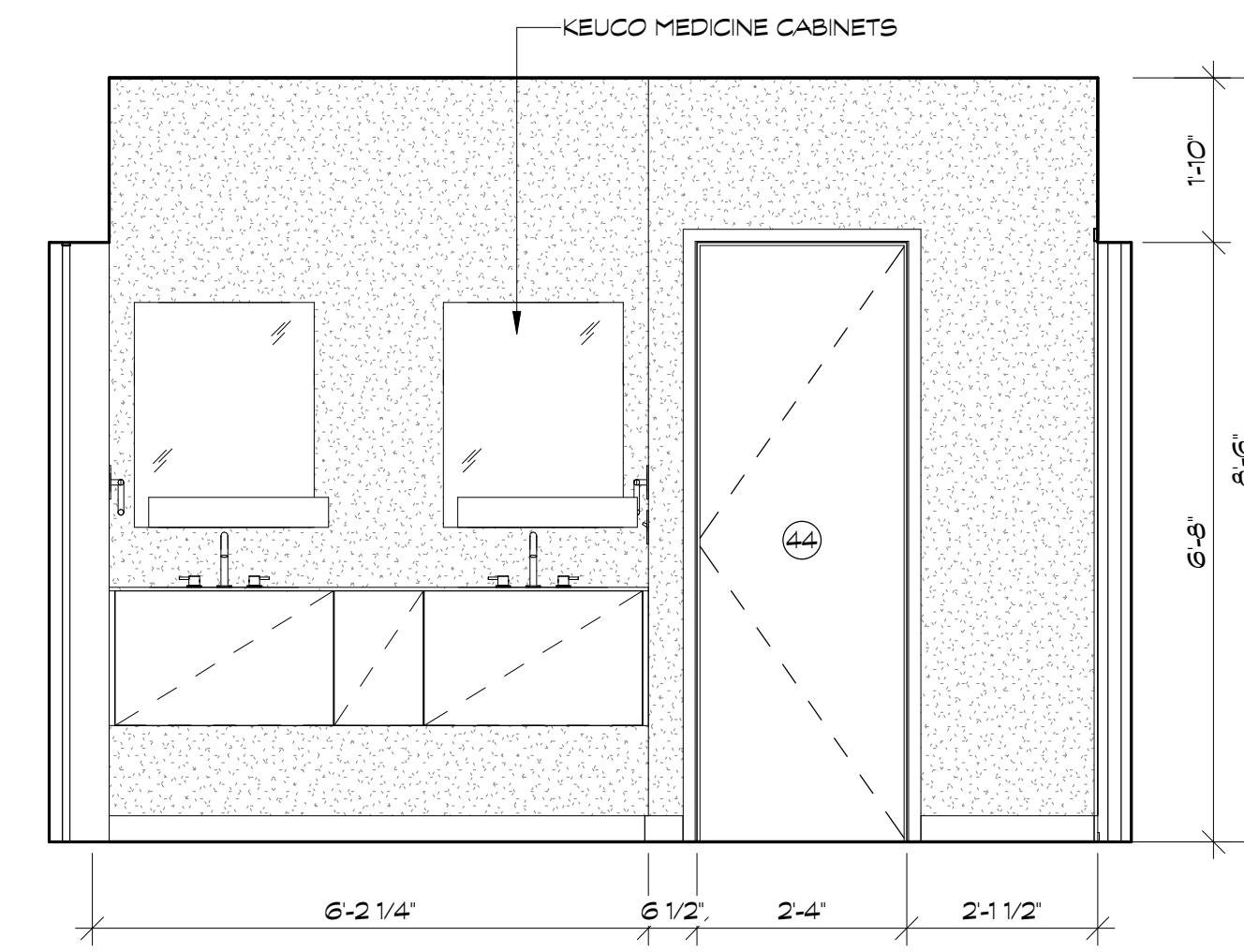
APPROVED
 Montgomery County
 Historic Preservation Commission



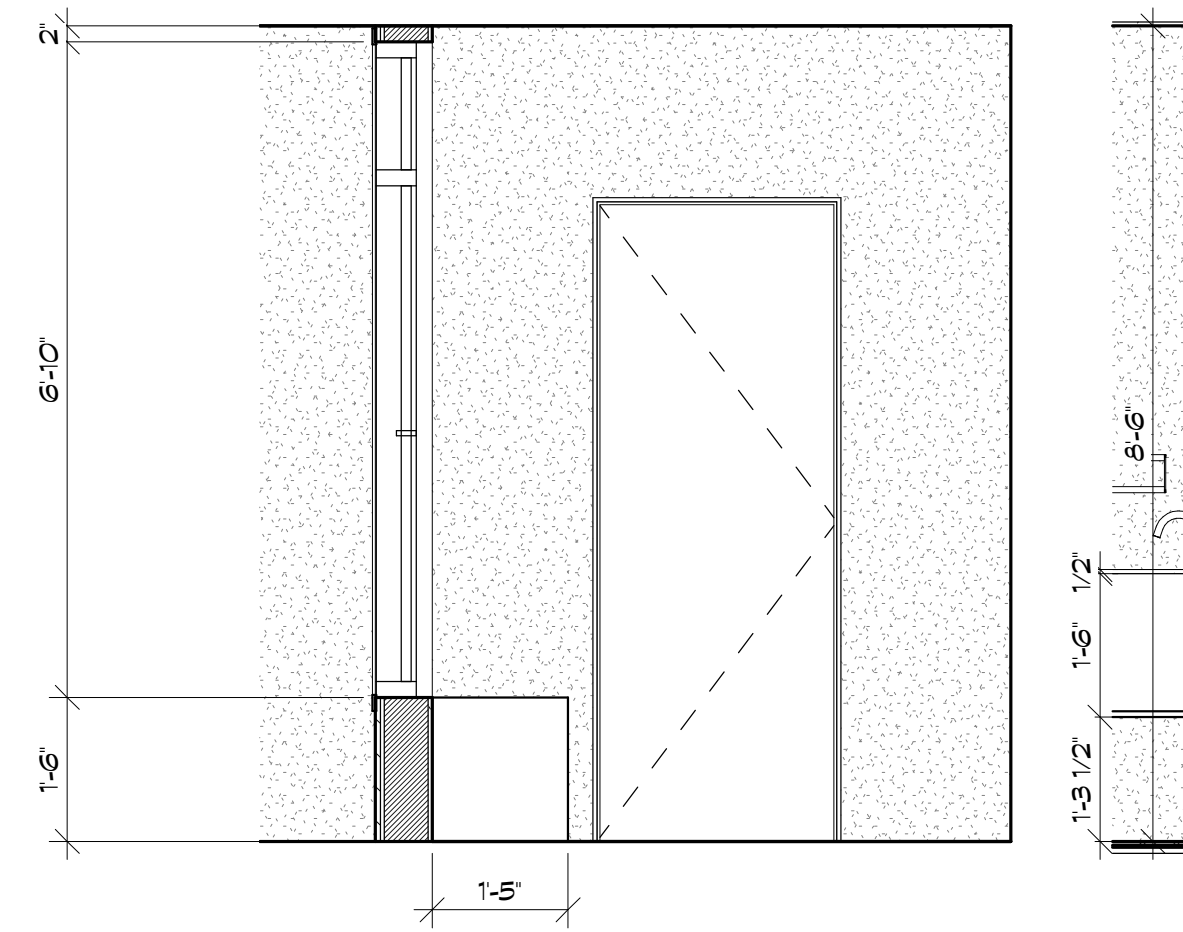
REVIEWED
 By Dan.Bruechert at 2:05 pm, Feb 01, 2023



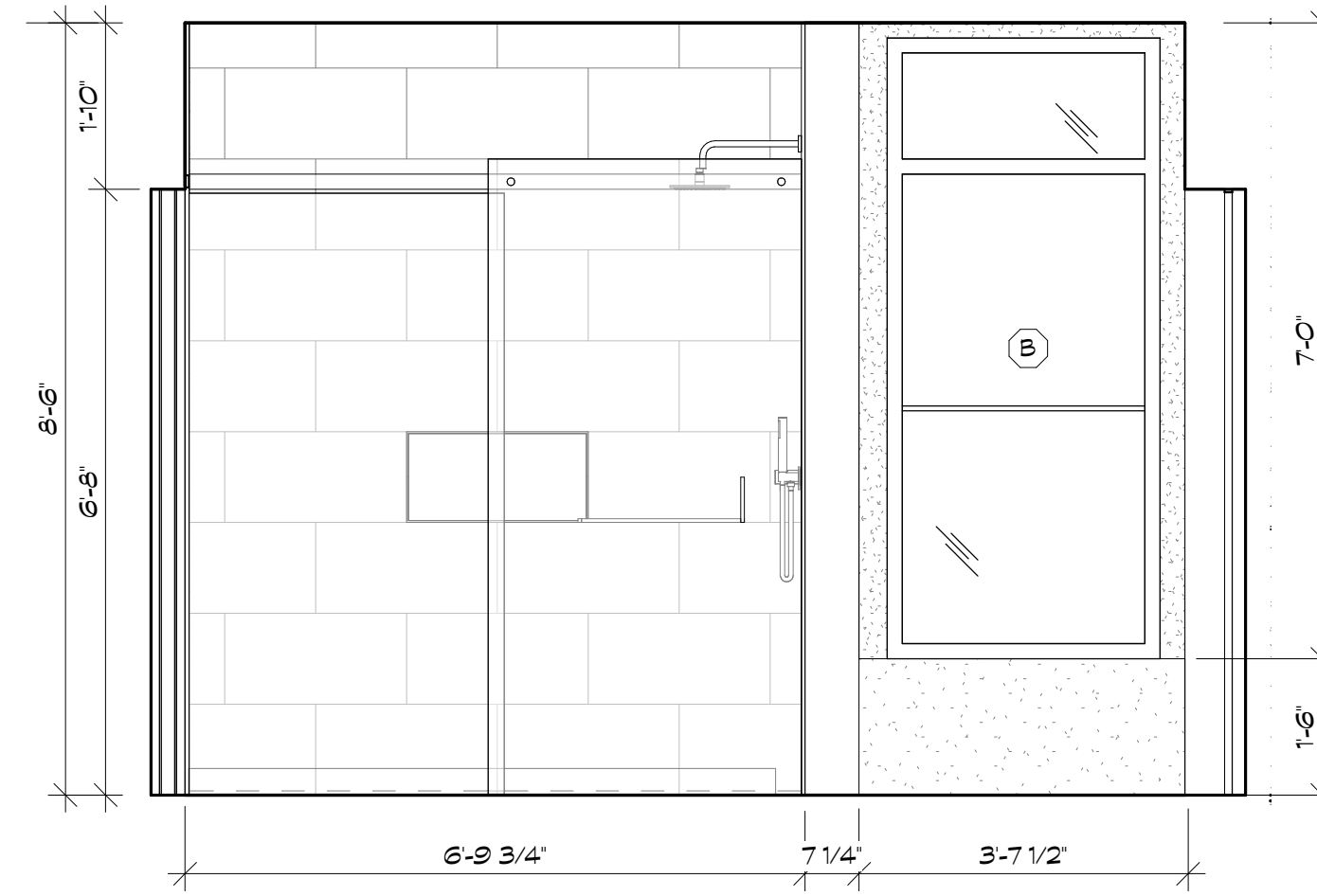
7 PROPOSED MASTER BATH PERSPECTIVE
 A302



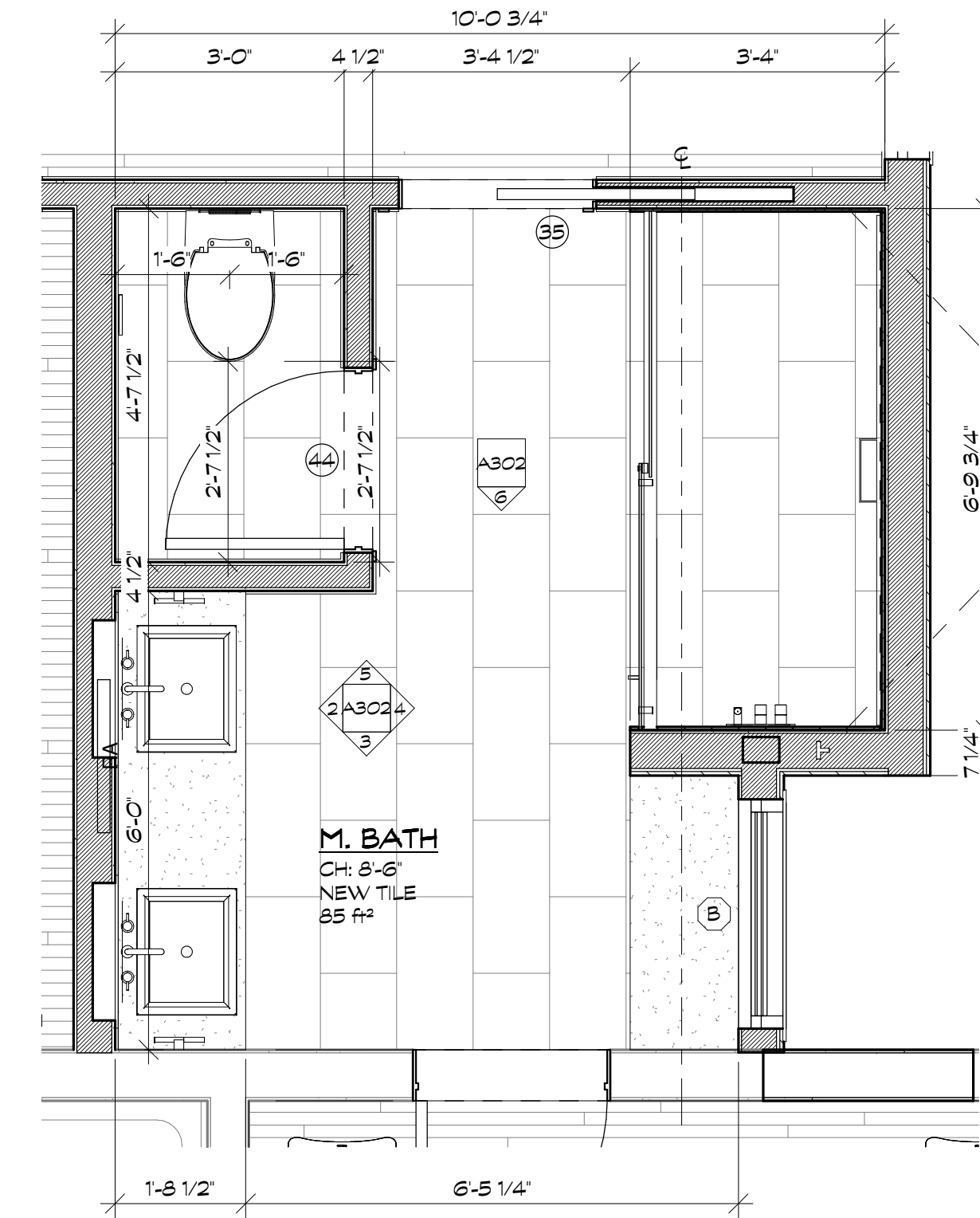
2 PROPOSED MASTER BATH ELEVATION - WEST
 A302 1/2" = 1'-0"



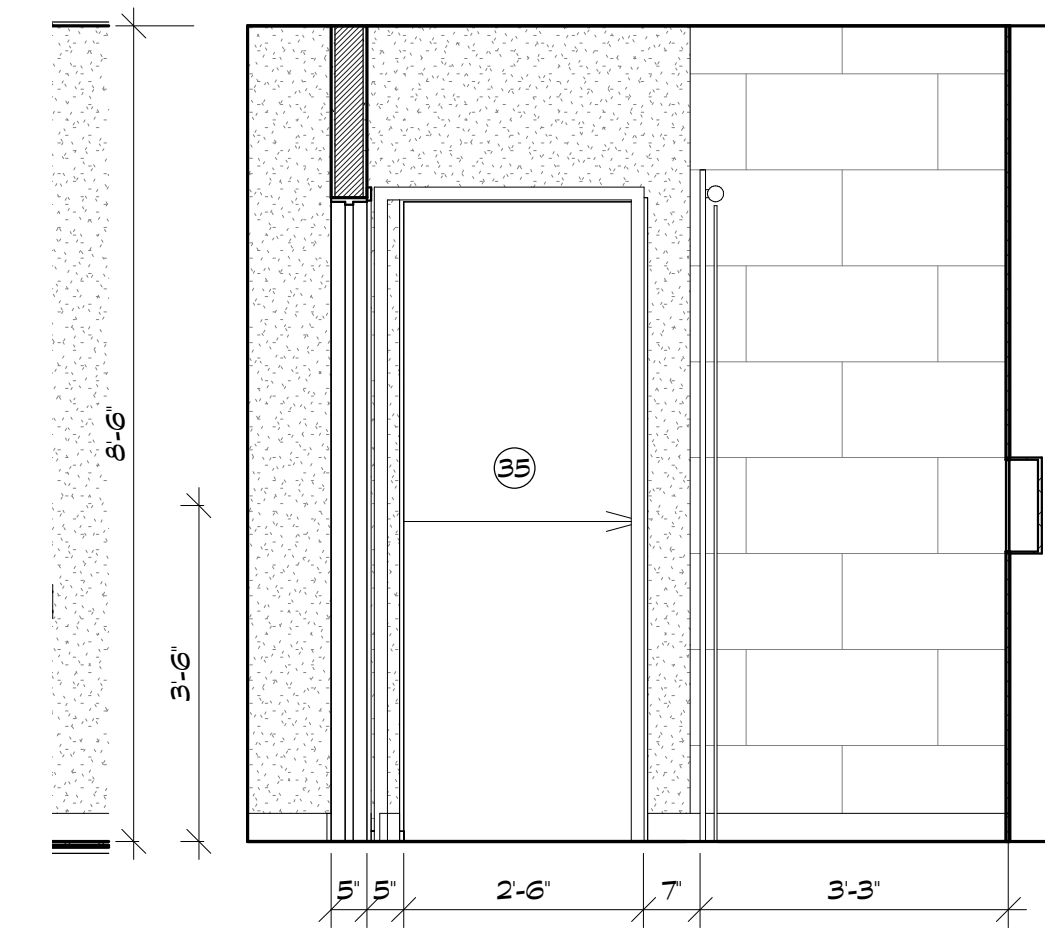
3 PROPOSED MASTER BATH ELEVATION 2 - SOUTH
 A302 1/2" = 1'-0"



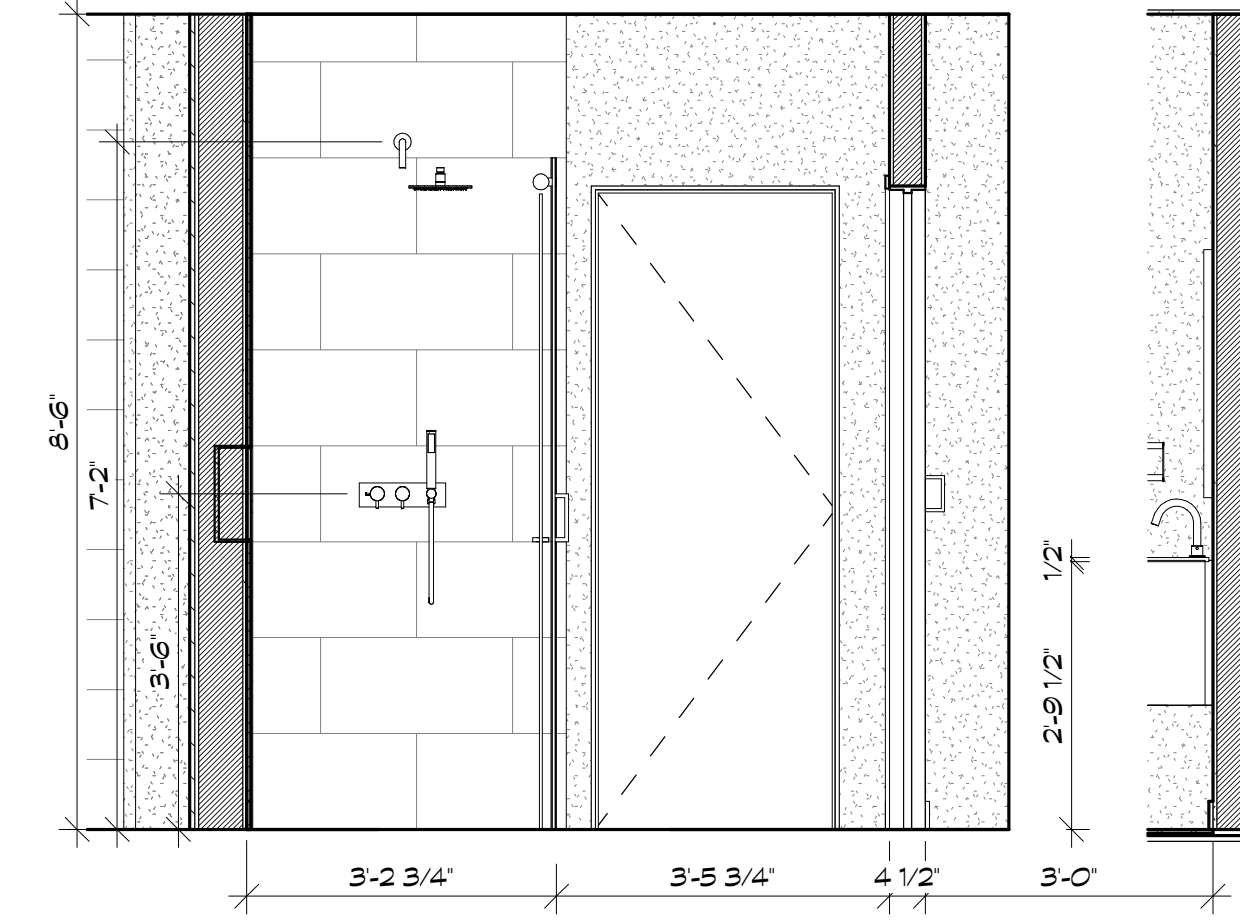
4 PROPOSED MASTER BATH ELEVATION - EAST
 A302 1/2" = 1'-0"



1 PROPOSED MASTER BATH ENLARGED PLAN
 A302 1/2" = 1'-0"



5 PROPOSED MASTER BATH ELEVATION - NORTH
 A302 1/2" = 1'-0"



6 PROPOSED MASTER BATH ELEVATION - SOUTH
 A302 1/2" = 1'-0"

proposed renovation for:
 WHALEN
 10905 MONTROSE AVE,
 GARRETT PARK, MD
 20896

sheet title:
**Proposed
 Interior
 Elevations**

sheet scale:

1/2" = 1'-0"

sheet date:

02.09.22

drawing revisions:

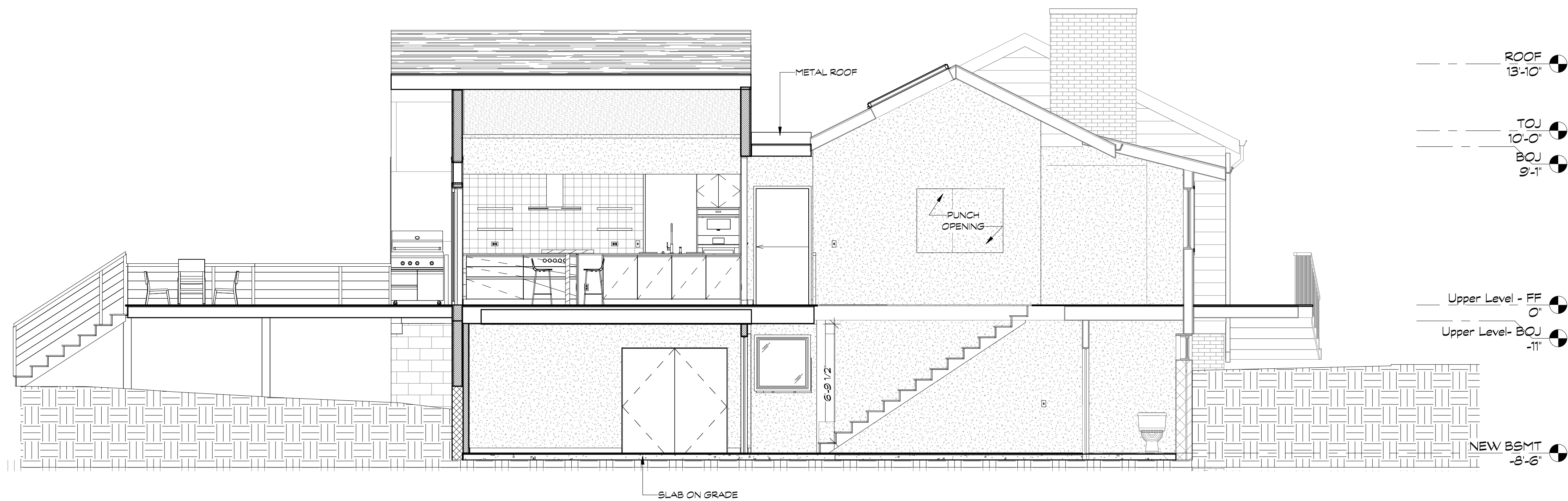
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A302



1 PROPOSED BUILDING SECTION
A400 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 2:05 pm, Feb 01, 2023

proposed renovation for:
WHALEN
10905 MONTROSE AVE,
GARRETT PARK, MD
20896

sheet title:
**Proposed
Building
Section**

sheet scale:
1/4" = 1'-0"

sheet date:
02.09.22

drawing revisions:
date: 02.09.22

rev.#	description:
1	PERMIT
2	
3	
4	
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A400



1 Proposed Building Section 2
 A401 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]

REVIEWED
 By Dan.Bruechert at 2:06 pm, Feb 01, 2023

proposed renovation for:
 WHALEN
 10905 MONTROSE AVE,
 GARRETT PARK, MD
 20896

sheet title:
**Proposed
 Building
 Section 2**

sheet scale:
1/4" = 1'-0"

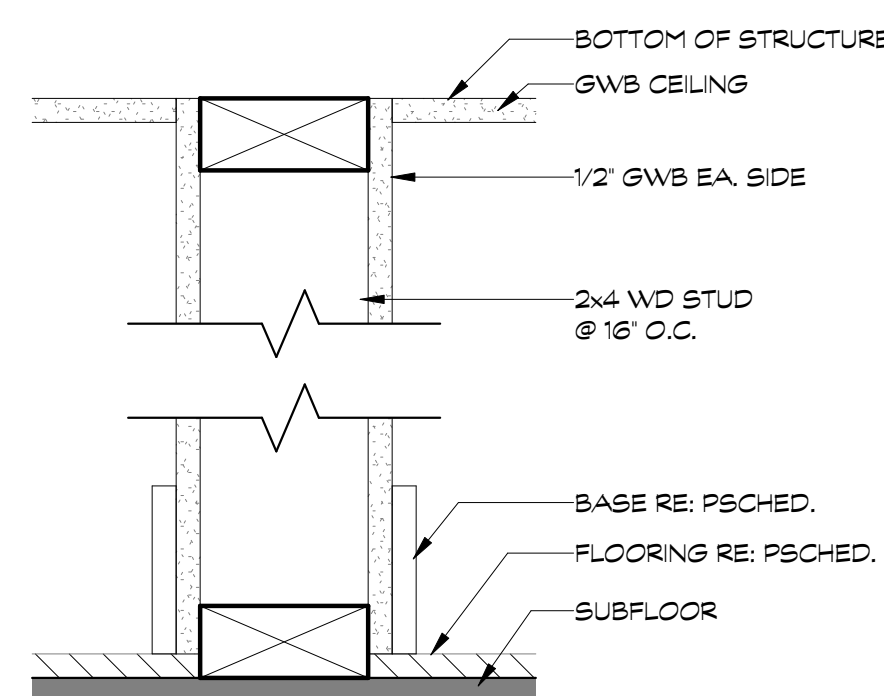
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drawing revisions:
 date: 02.09.22

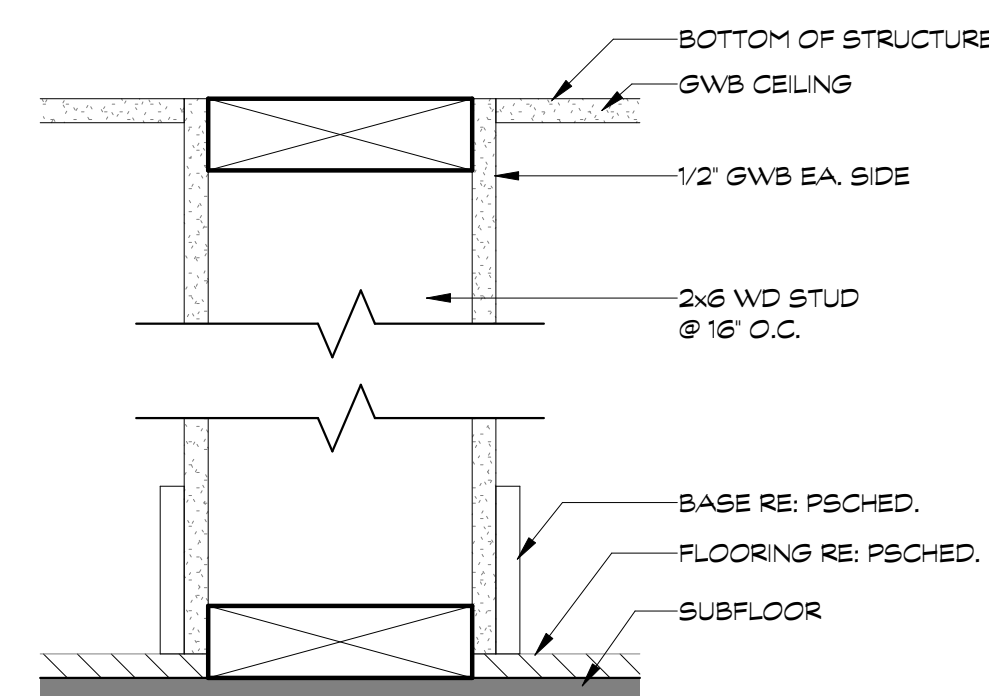
rev.#	description:
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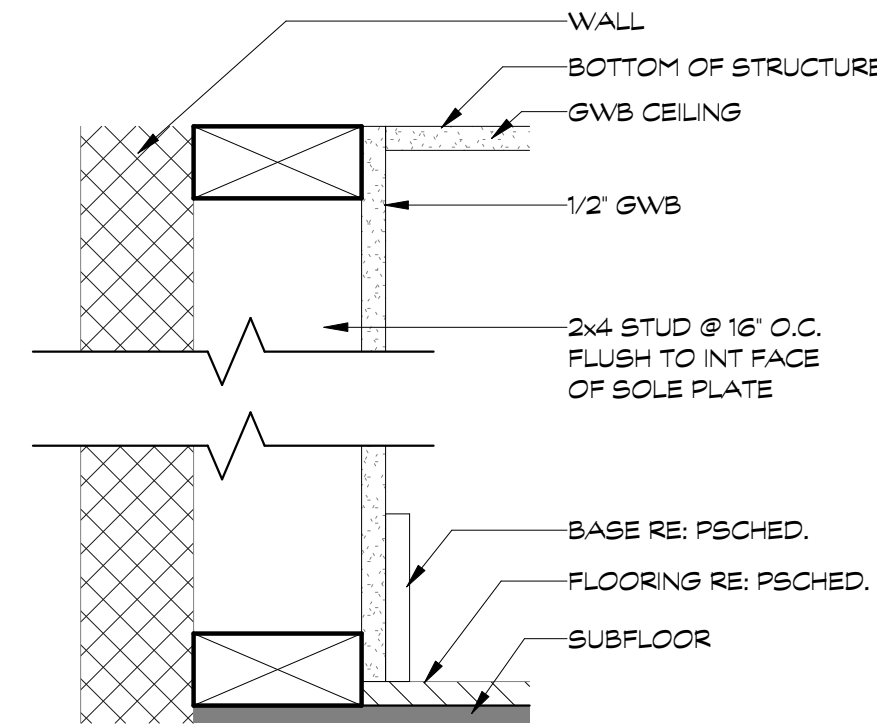
A401



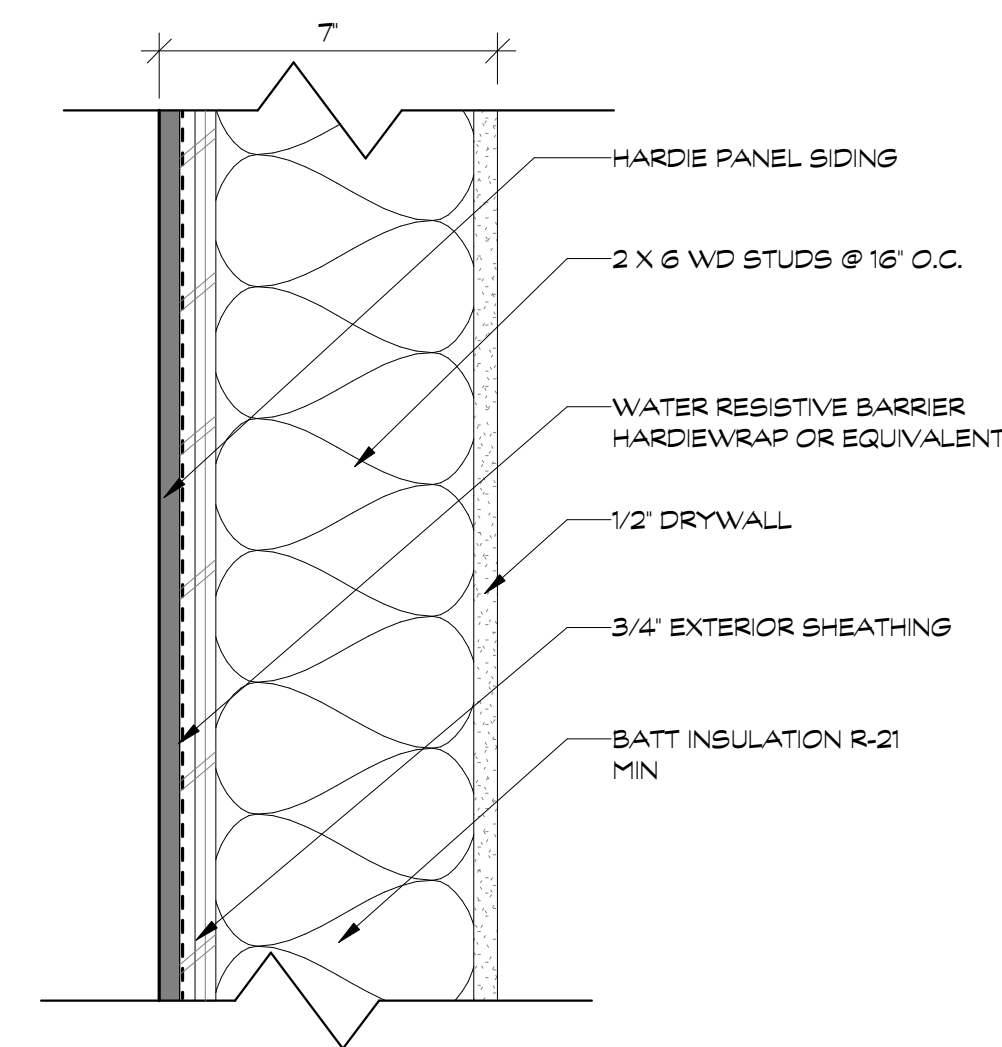
A PARTITION - 2X4 WALL



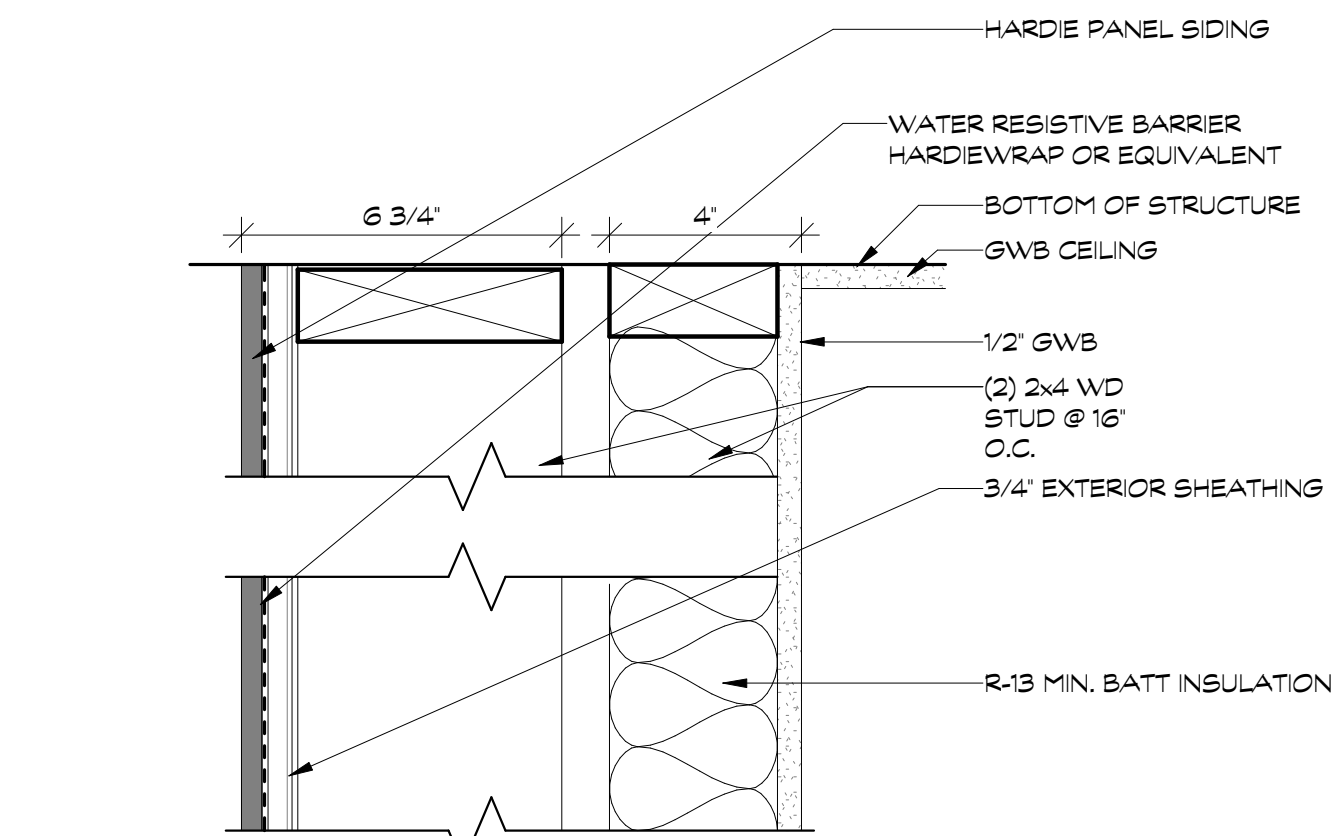
B PARTITION 2X6 WALL



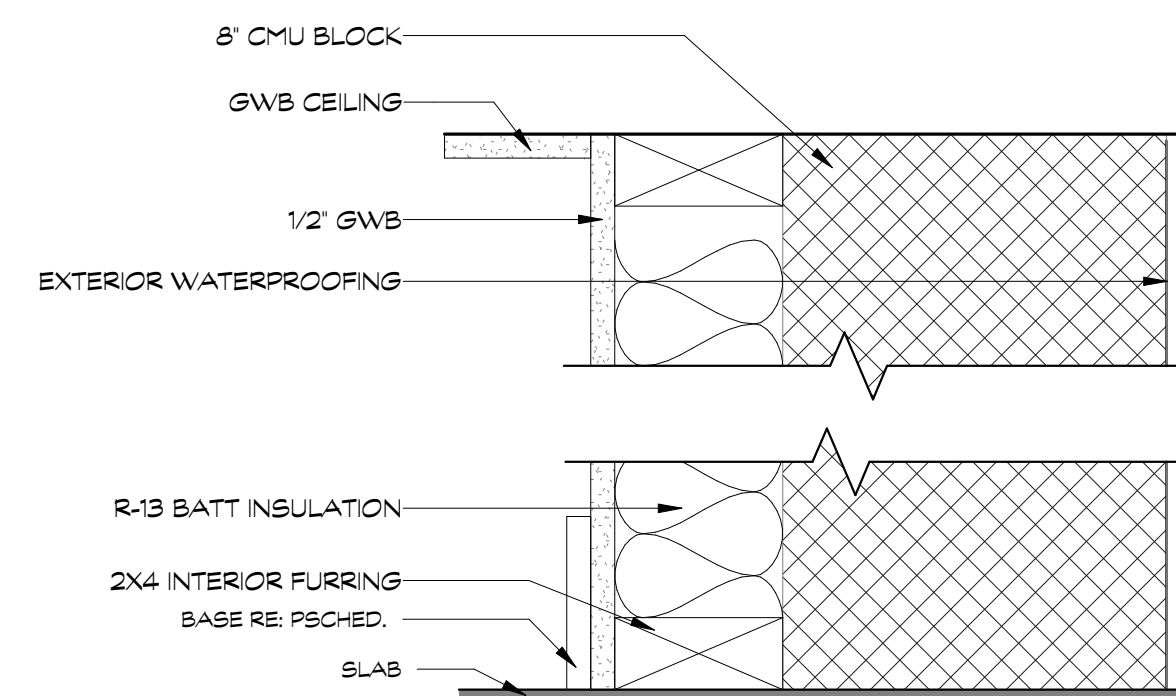
D TYP. FURRING



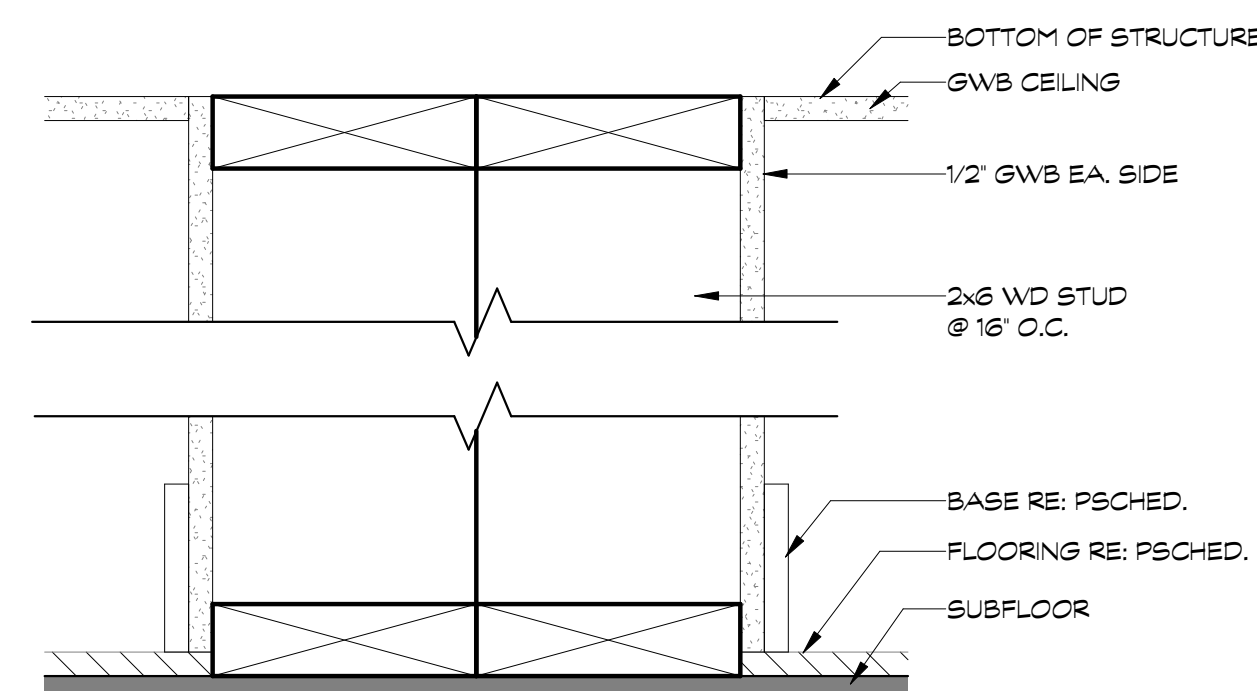
E EXTERIOR WALL WITH SIDING



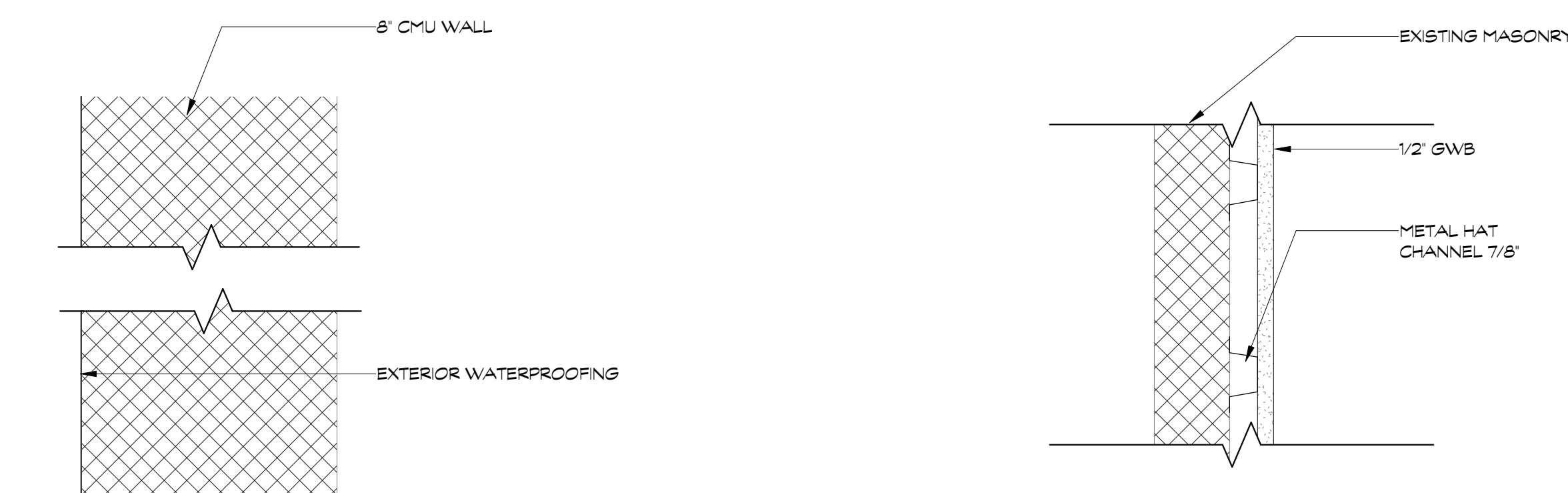
F ABOVE GRADE FOUNDATION WALL



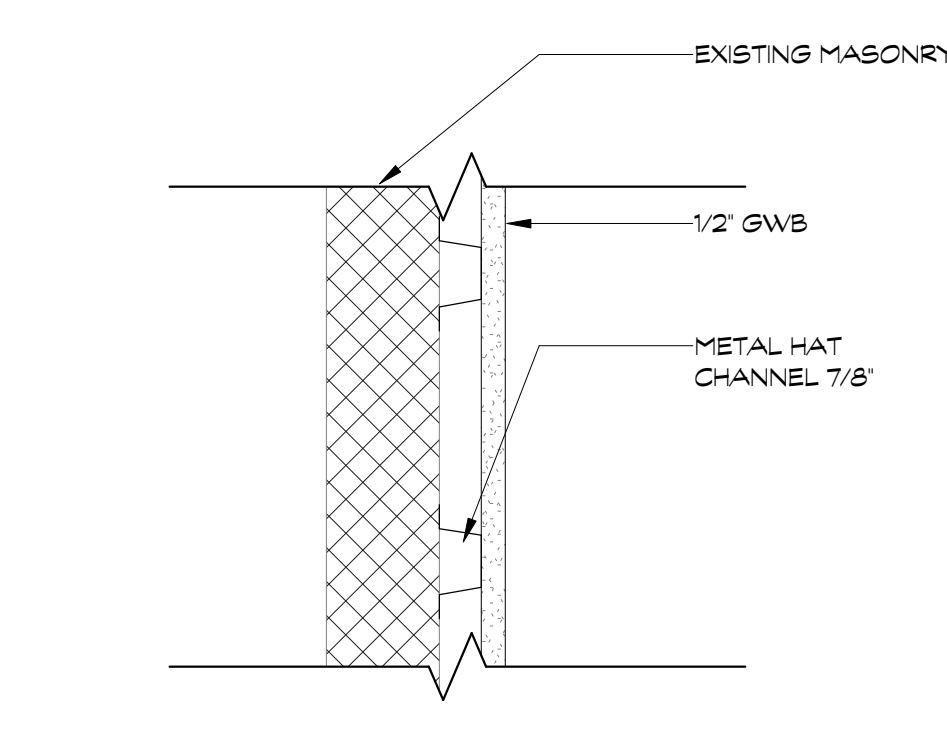
G BELOW GRADE FOUNDATION WALL



H INTERIOR DOUBLE STUD WALL

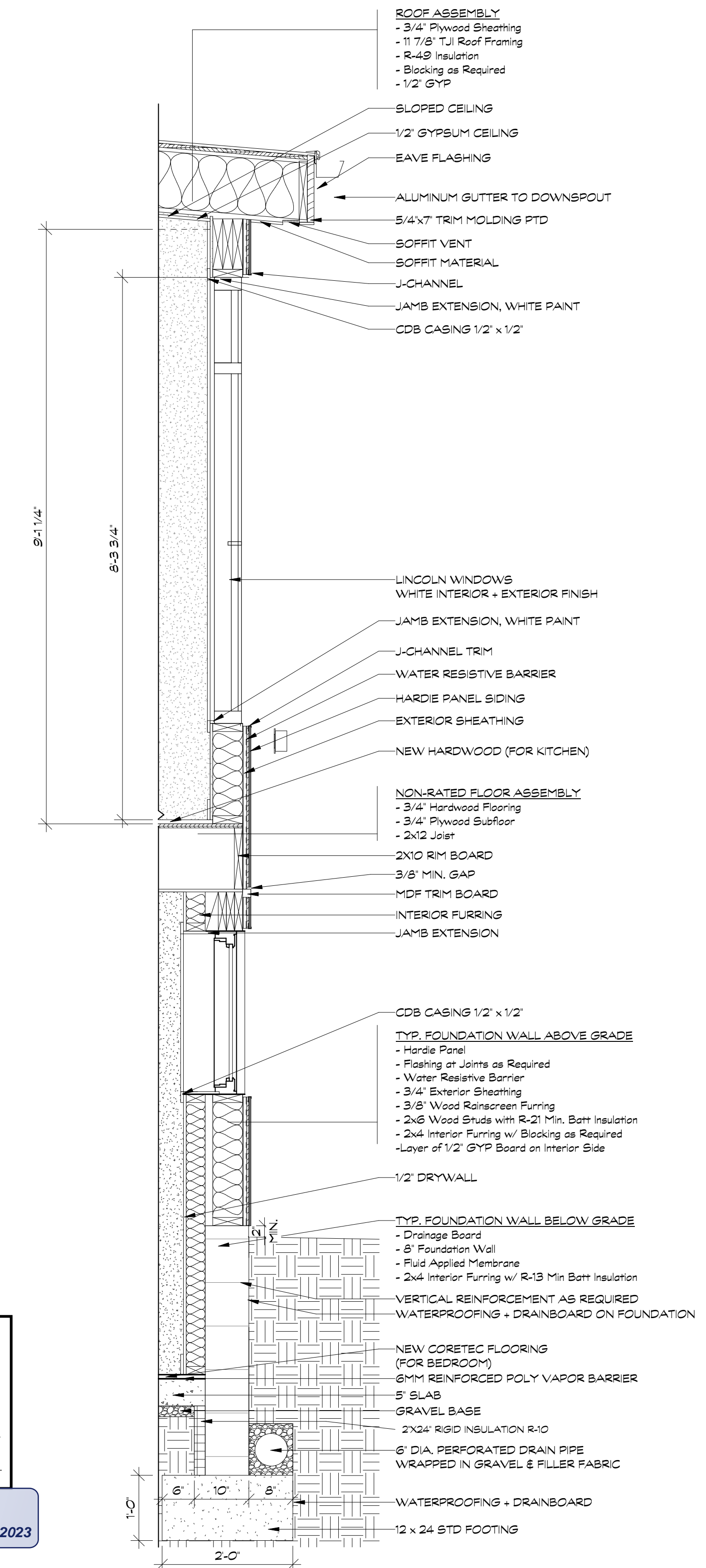


I MASONRY WALL



J FURRED WALL

GENERAL PARTITION NOTES:
 • ASSUME INTERIOR PARTITIONS TO BE TYPE 'A' UNLESS OTHERWISE NOTED
 • USE PRESSURE TREATED WOOD AT CONTACT WITH MASONRY OR CONCRETE



7 EXTERIOR WALL SECTION
 3/4" = 1'-0"

* REFER TO STRUCTURAL DRAWINGS

APPROVED
 Montgomery County
 Historic Preservation Commission

REVIEWED
 By Dan.Bruechert at 2:06 pm, Feb 01, 2023

proposed renovation for:	WHALEN 10905 MONTROSE AVE, GARRETT PARK, MD 20896
sheet title:	Details
sheet scale:	As indicated
sheet date:	02.09.22
drawing revisions:	
date:	02.09.22
description:	PERMIT
rev.#	1 2 3 4 5
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A500

DOOR SCHEDULE												
SYM	DOOR TYPE	DIMENSIONS		RO DIMENSIONS		PANEL STYLE	MANUFACTURER	MODEL #	FINISH	HAND	HARDWARE	COMMENTS
		WIDTH	HEIGHT	WIDTH	HEIGHT							
1	SINGLE HINGED	30'	80'	32'	82 1/2'	FLUSH	MASONITE		WHITE			
5	SINGLE HINGED	36'	80'	38'	82 1/2'	FLUSH	MASONITE		WHITE			SOLID CORE
8	SINGLE HINGED	36'	80'	38'	82 1/2'	FLUSH	MASONITE		WHITE			SOLID CORE
14	SINGLE POCKET	36'	80'	73'	84'	FLUSH	MASONITE		WHITE			SOLID CORE
18	SINGLE HINGED	36'	80'	38'	82 1/2'	FLUSH	MASONITE		WHITE			SOLID CORE
19	SINGLE HINGED	30'	80'	32'	82 1/2'	FLUSH	MASONITE		WHITE			SOLID CORE
35	SINGLE POCKET	30'	80'	61'	84'	FLUSH	MASONITE		WHITE		INOX, RECTANGULAR FLUSH PULL - OIL RUBBED BRONZE	
36	DOUBLE HINGED	72'	80'	74'	82 1/2'	FLUSH						
37	DOUBLE HINGED	72'	80'	74'	82 1/2'	FLUSH						
42	SINGLE HINGED	36'	80'	38'	82 1/2'	FLUSH	MASONITE		WHITE			
44	SINGLE HINGED	28'	80'	30'	82 1/2'	FLUSH	MASONITE		WHITE			

WINDOW SCHEDULE														
SYM	QTY	TYPE	UNIT SIZE		ROUGH OPENING		MANUFACTURER	MODEL NO	GLAZING	GRILLE	DIV. LITE	U-Value	SHGC	COMMENTS
			WIDTH	HEIGHT	WIDTH	HEIGHT								
A	6	CASEMENT W/ FIXED TRANSOM	3'-6"	6'-10"	0"	0"	LINCOLN WINDOWS		LOW-E ARGON FILL			0.3	0.29	EGRESS WINDOW
B	7	CASEMENT W/ FIXED TRANSOM	3'-0"	6'-10"	0"	0"	LINCOLN WINDOWS		LOW-E ARGON FILL			0.3	0.29	
C	1	DIRECT SET W/ FIXED TRANSOM	2'-6"	5'-0"	0"	0"	LINCOLN WINDOWS		LOW-E4 ARGON FILL			0.28	0.37	
D	4	DIRECT SET W/ FIXED TRANSOM	3'-7 1/2"	5'-0"	0"	0"	LINCOLN WINDOWS		LOW-E ARGON FILL			0.28	0.37	
E	1	CASEMENT - EGRESS	3'-0"	3'-0"	0"	0"	LINCOLN WINDOWS		LOW-E ARGON FILL			0.3	0.29	EGRESS WINDOW
F	3	SKYLIGHT	3'-8"	4'-11 3/8"	3'-8 1/2"	5'-0"	VELUX					0.44	0.26	
G	4	CASEMENT W/ FIXED TRANSOM	3'-0"	6'-10"	0"	0"	LINCOLN WINDOWS		LOW-E ARGON FILL			0.3	0.29	
H	1	CASEMENT W/ FIXED TRANSOM	2'-6"	6'-10"	0"	0"	LINCOLN WINDOWS		LOW-E ARGON FILL			0.3	0.29	
I	2	AWNING	3'-0"	2'-6"	0"	0"	LINCOLN WINDOWS		LOW-E ARGON FILL			0.3	0.29	
J	1	CASEMENT	3'-0"	5'-4"	0"	0"	LINCOLN WINDOWS		LOW-E ARGON FILL			0.28	0.37	
K	2	DIRECT SET W/ FIXED TRANSOM	3'-0"	5'-0"	0"	0"	LINCOLN WINDOWS		LOW-E ARGON FILL			0.3	0.29	
M	1	SINGLE HINGED FULL LITE PATIO DOOR	3'-0"	6'-8"	3'-1 1/4"	6'-8 5/8"	LINCOLN WINDOWS		LOW-E ARGON FILL			0.35	0.19	
N	1	CASEMENT W/ FIXED TRANSOM	3'-0"	6'-10"	0"	0"	LINCOLN WINDOWS		LOW-E ARGON FILL			0.3	0.29	
O	1	FULL LITE SLIDING DOOR	6'-0"	6'-8"	6'-2"	6'-8"	LINCOLN WINDOWS		LOW-E ARGON FILL			0.31	0.33	
P	1	CASEMENT W/ FIXED TRANSOM -EGRESS	3'-7 1/2"	5'-0"	0"	0"	LINCOLN WINDOWS		LOW-E ARGON FILL			0.3	0.29	EGRESS WINDOW
Q	2	CASEMENT W/ FIXED TRANSOM -EGRESS	3'-0"	5'-0"	0"	0"	LINCOLN WINDOWS		LOW-E ARGON FILL			0.3	0.29	EGRESS WINDOW
X	1	CASEMENT W/ FIXED TRANSOM	3'-0"	6'-10"	0"	0"	LINCOLN WINDOWS		LOW-E ARGON FILL			0.3	0.29	

LIGHTING FIXTURE SCHEDULE								
SYM	QTY	TYPE	MANUFACTURER	MODEL NO	HOUSING	BULB (W)	FINISH	REMARKS
A	62	Entra 3' Recessed Downlight	TECH LIGHTING	ENBRFF-O-W	ENBR-L-H-3-30-A-A-N		WHITE	
B	2	Entra 3' Shower Recessed Downlight	TECH LIGHTING	ENBRFB-S-W	ENBR-LH-3-30-A-A-I		WHITE	
C	4	Pendant Fixture	TBD					
D	7	Wall Sconce	TBD					
E	4	Strip Lighting	TBD					
F	2	Directional Recessed Downlight	TBD					
G	1	Ceiling Fan w/ Light	TBD					

LIGHTING EQUIPMENT:
PROJECT MEETS IECC 2015, SECTION R404.1 LIGHTING EQUIPMENT (MANDATORY) - NOT LESS THAN 75% OF LAMPS IN PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL BE HIGH-EFFICACY LAMPS OR NOT LESS THAN 75% OF THE PERMANENTLY INSTALLED LIGHTING FIXTURES SHALL CONTAIN ONLY HIGH EFFICACY LAMPS.

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 2:06 pm, Feb 01, 2023

proposed renovation for:
WHALEN
10905 MONTROSE AVE,
GARRETT PARK, MD
20896

sheet title:

Schedules
& Notes

sheet scale:

1/4" = 1'-0"

sheet date:

02.09.22

drawing revisions:

date:	description:	rev.#
02.09.22	PERMIT	1
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		3
		4
		5

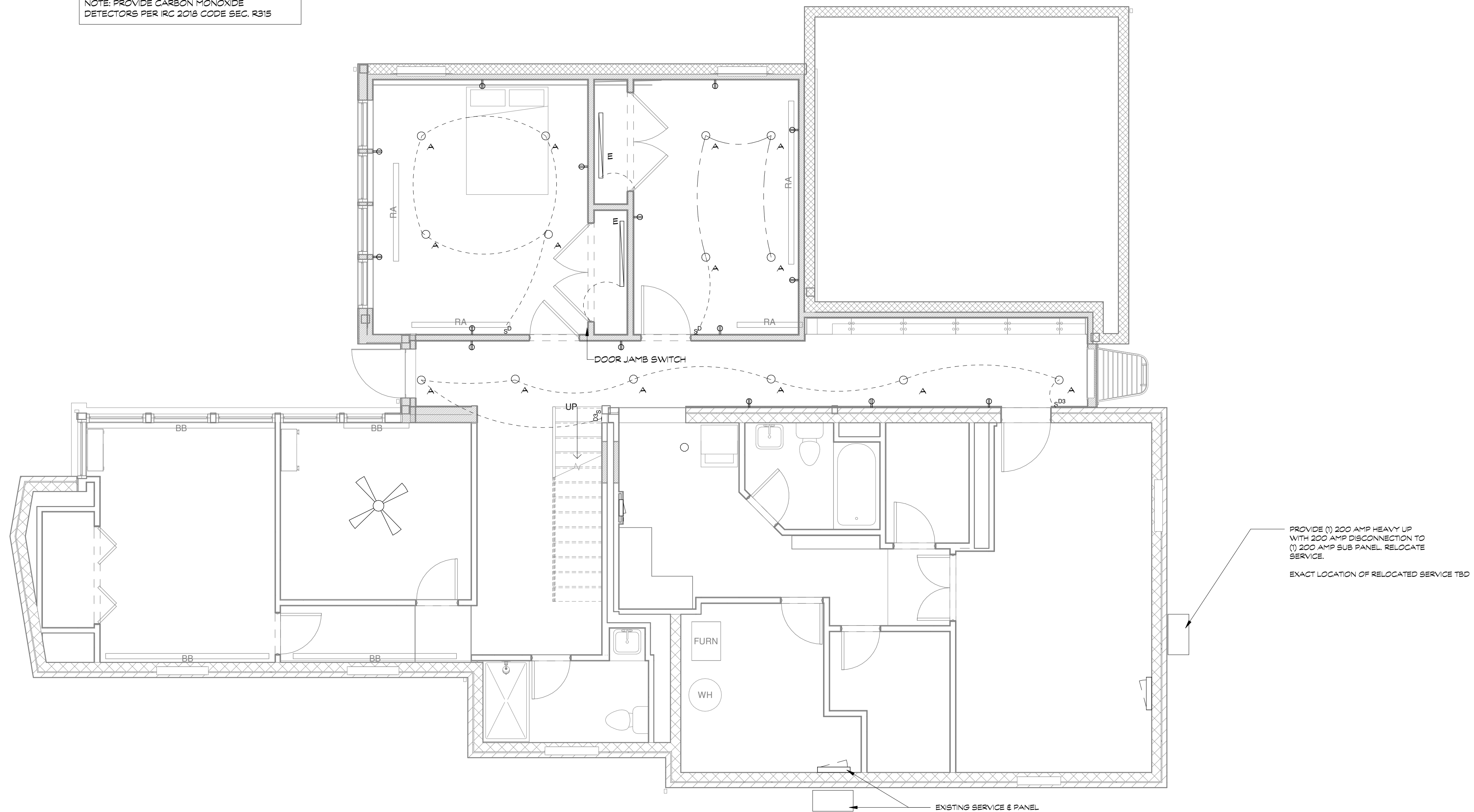
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A600

NOTE: PROVIDE RECEPTACLE OUTLETS PER IRC 2018 CODE SEC. E3901

NOTE: PROVIDE HARD-WIRED & INTERCONNECTED SMOKE ALARMS PER IRC 2018 CODE SEC. R314

NOTE: PROVIDE CARBON MONOXIDE DETECTORS PER IRC 2018 CODE SEC. R315



APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 2:06 pm, Feb 01, 2023

1 PROPOSED MEP PLAN - BASEMENT
MEPO 1/4" = 1'-0"

proposed renovation for:
WHALEN
10905 MONTROSE AVE,
GARRETT PARK, MD
20896

sheet title:
**Proposed
MEP Plan -
Lower
Floor**
sheet scale:

1/4" = 1'-0"

sheet date:
02.09.22

drawing revisions:

date:	02.09.22

description:	PERMIT

rev.#	1	2	3	4	5

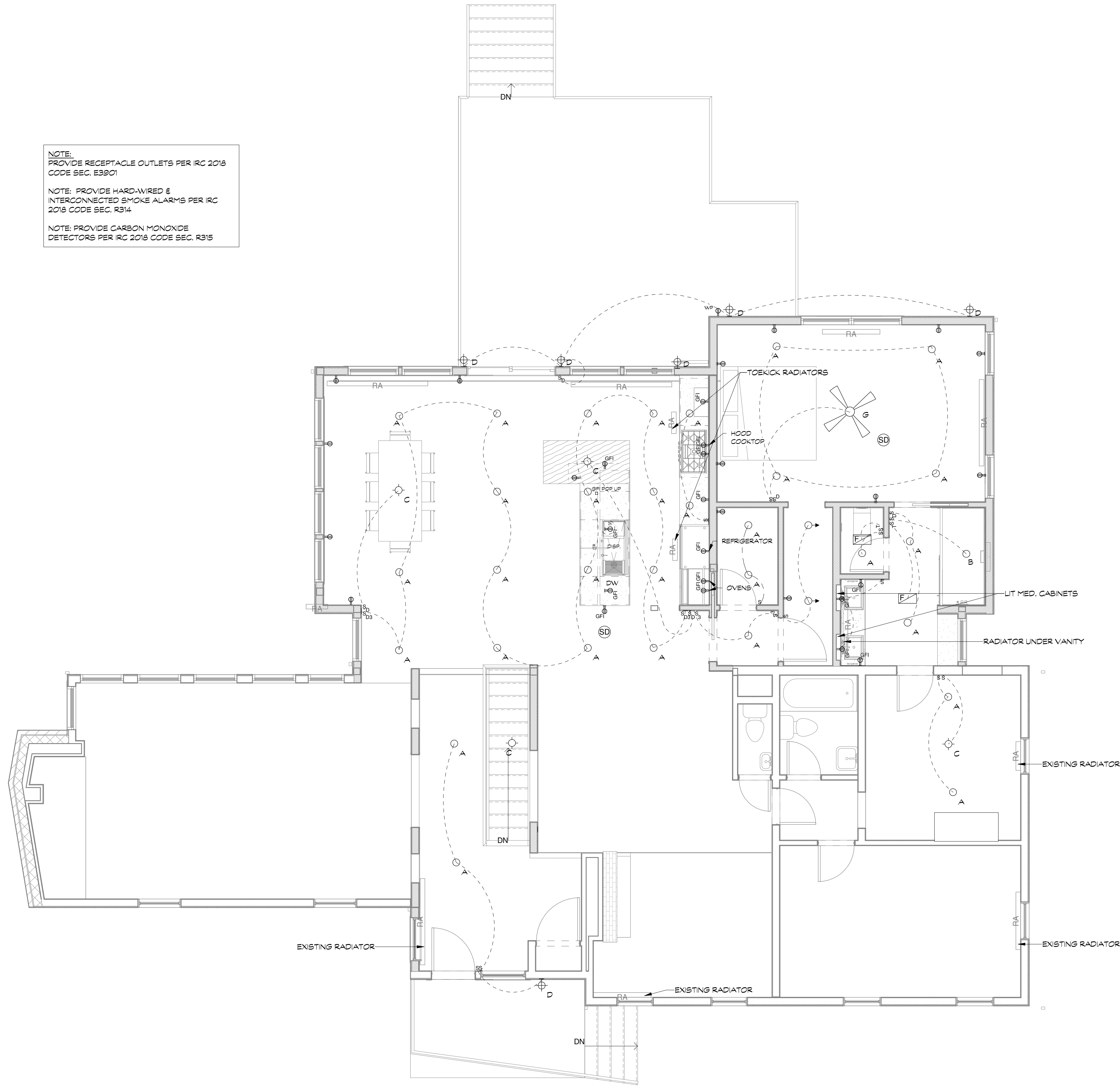
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NOTE:
PROVIDE RECEPTACLE OUTLETS PER IRC 2018
CODE SEC. E3901

NOTE: PROVIDE HARD-WIRED &
INTERCONNECTED SMOKE ALARMS PER IRC
2018 CODE SEC. R314

NOTE: PROVIDE CARBON MONOXIDE
DETECTORS PER IRC 2018 CODE SEC. R315



APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 2:06 pm, Feb 01, 2023

proposed renovation for:
WHALEN
10905 MONTROSE AVE,
GARRETT PARK, MD
20896

sheet title:
**Proposed
MEP Plan -
Upper
Floor**
sheet scale:

1/4" = 1'-0"

sheet date:
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REVIEWED
By Dan.Bruechert at 2:06 pm, Feb 01, 2023

STRUCTURAL NOTES

1. GENERAL

A. THE STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE 2018 INTERNATIONAL RESIDENTIAL CODE. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:

LIVING AREAS	40 PSF
SLEEPING ROOMS	40 PSF
EXTERIOR DECK	40 PSF
SNOW LOAD (GROUND SNOW)	30 PSF
WIND LOAD	115 MPH (ULTIMATE) 90 MPH (SERVICE)
SEISMIC DESIGN CATEGORY	B
TERMITE HAZARD	MODERATE TO SEVERE
DAMAGE FROM WEATHERING	SEVERE

A MINIMUM OF 12 PSF DEAD LOAD WAS ADDED IN THE DESIGN.

B. MECHANICAL UNITS AND ANY OTHER EQUIPMENT WITH WEIGHTS SHOWN IN PLAN AND SUPPORTED BY THE STRUCTURE WERE CONSIDERED IN THE DESIGN OF THE STRUCTURE. ANY ADDITIONAL EQUIPMENT NOT SHOWN ON STRUCTURAL DRAWINGS AND HAVING A WEIGHT IN EXCESS OF 400 POUNDS SHALL BE BROUGHT TO THE ATTENTION OF THE STRUCTURAL ENGINEER PRIOR TO INSTALLATION.

C. THE BASIC STABILITY OF THE STRUCTURE IS DEPENDENT UPON THE DIAPHRAGM ACTION OF FLOORS, WALLS & ROOF ACTING TOGETHER. CONTRACTOR TO PROVIDE ALL GUYS, BRACES, STRUTS, ETC. AS REQUIRED TO ACCOMMODATE ALL LIVE, DEAD AND WIND LOADS UNTIL ALL FINAL CONNECTIONS BETWEEN THESE ELEMENTS ARE MADE.

D. BASEMENT AND FOUNDATION WALLS ARE DEPENDENT UPON THE COMPLETED INSTALLATION OF FLOORS FOR THEIR STABILITY. CONTRACTOR SHALL NOT PLACE BACKFILL UNTIL THESE ELEMENTS ARE COMPLETELY INSTALLED, OR CONTRACTOR HAS PROVIDED SHORING AND BRACING TO ADEQUATELY RESTRAIN WALL.

2. EARTHWORK

A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 1500 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.

B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.

C. COMPACTED BACKFILL BELOW BUILDING SLABS (EXCEPT AT STRUCTURED SLAB AREAS) - ALL SOIL FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT. MATERIALS TO BE FREE FROM ORGANIC MATERIAL, TRASH, MUCK, CONCRETE, ASPHALT OR OTHER DELETERIOUS SUBSTANCES. PRIOR TO PLACING FILL, THE EXISTING SURFACE SHALL BE CLEARED OF ALL REFUSE OR ORGANIC MATERIALS. FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO MIN. 95% OF THE DRY MAX. DENSITY AS DETERMINED BY ASTM D698.

D. STEP NEW FOOTINGS UP OR DOWN SUCH THAT BOTTOM OF FOOTING MATCHES THE EXISTING AT INTERSECTIONS BETWEEN NEW AND EXISTING WALLS. DRILL AND EPOXY GROUT 2#5 BARS X 2'-0" LONG INTO EXISTING FOOTING. PROVIDE MINIMUM 6" EMBEDMENT.

E. RESTRAINED FOUNDATION OR BASEMENT WALLS ARE DESIGNED FOR A LATERAL EARTH PRESSURE OF 60 PCF AND RETAINING WALLS FOR A LATERAL EARTH PRESSURE OF 45 PCF, ASSUMING A PERIMETER DRAINAGE SYSTEM WITH FREE DRAINING SOIL MATERIAL OR DRAINAGE BOARD BEHIND WALL. NOTIFY ENGINEER IF SOIL CONDITIONS DIFFER.

3. DEMOLITION

A. CONTRACTOR SHALL VERIFY THAT EXISTING CONSTRUCTION CORRESPONDS TO THAT SHOWN ON THE DRAWINGS. DISCREPANCIES SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT/ENGINEER.

B. PROVIDE ADEQUATE SHORING, BRACING AND OTHER TEMPORARY SUPPORT DURING DEMOLITION. RETAIN THE SERVICES OF A QUALIFIED SPECIALTY ENGINEER TO DESIGN AND MONITOR THE TEMPORARY SUPPORT. SUBMIT DRAWINGS FOR RECORD ONLY.

C. UNTIL PROPERLY SHORED, DO NOT CUT EXISTING STRUCTURAL MEMBER IN A MANNER RESULTING IN A REDUCTION OF LOAD-CARRYING CAPACITY. DO NOT EXCEED THE CAPACITY OF THE EXISTING STRUCTURE WITH SUPERIMPOSED LOADS.

D. IN GENERAL, SELECTIVE STRUCTURAL DEMOLITION IS TO BE PERFORMED WITH PHYSICAL CUTTING ACTION (I.E. SAWING AND GRINDING INSTEAD OF HAMMERING AND CHOPPING). DO NOT USE JACKHAMMERS ON STRUCTURALLY SUPPORTED MEMBERS.

4. CONCRETE

A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH (F_c) = 3000 PSI IN 28 DAYS. EXTERIOR SLABS AND GARAGE FLOOR SLABS SHALL HAVE A MINIMUM STRENGTH OF 3500 PSI. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATIONS. CONCRETE EXPOSED TO WEATHER TO BE AIR-ENTRAINED.

B. ALL REINFORCING STEEL TO MEET ASTM-A-615 GRADE 60. PLACING PLANS AND SHOP FABRICATION DETAILS SHALL BE IN ACCORDANCE WITH "THE MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE STRUCTURES". FURNISH SUPPORT BARS AND ALL REQUIRED ACCESSORIES IN ACCORDANCE WITH C.R.S.I. STANDARDS. ALL REINFORCING TO BE SPLICED A MINIMUM OF 30 BAR DIAMETERS UNLESS NOTED OTHERWISE.

C. PROVIDE CLEAR DISTANCE TO OUTERMOST REINFORCING AS FOLLOWS:
-- FOOTINGS (BOTTOM) 3'

D. PROVIDE CORNER BARS TO MATCH HORIZONTAL REINFORCING IN WALLS AND FOOTINGS. PROVIDE REINFORCING DOWELS BETWEEN FOOTINGS AND WALLS TO MATCH SIZE AND SPACING OF VERTICAL REINFORCING.

5. MASONRY

A. ALL CONCRETE MASONRY UNITS TO CONFORM TO ASTM SPEC C- 90 FOR LOADBEARING MASONRY. ALL MASONRY TO HAVE JOINT REINFORCING @ 16" O.C. HORIZONTALLY. MORTAR TO BE ASTM C- 270 TYPE S. WALLS SHALL BE CONSTRUCTED WITH A FULL BED OF MORTAR.

B. LINTELS FOR MASONRY WALLS SHALL BE AS FOLLOWS: PROVIDE 1 ANGLE FOR EACH 4" OF WALL THICKNESS AS FOLLOWS:

OPENINGS TO 3'-0":	4" X 3-1/2" X 1/4" - LLV
3'-1" TO 5'-0":	4" X 3-1/2" X 5/16" - LLV
5'-1" TO 6'-6":	5" X 3-1/2" X 5/16" - LLV
OPENINGS GREATER THAN 6'-6":	CONSULT ARCH/ENGR (LLV - LONG LEG VERTICAL)

C. ALL VERTICAL REINFORCING SHALL BE GROUTED IN PLACE WITH TYPE S MORTAR OR PEA GRAVEL CONCRETE. MIXIMUM GROUTING LIFT HEIGHT SHALL BE 4'-0" WITH A GROUT SLUMP BETWEEN 8 AND 11 INCHES.

D. ALL EXPANSION BOLTS OR SLEEVE ANCHORS IN MASONRY WALLS SHALL BE PLACED IN SOLID GROUTED MASONRY.

E. PROVIDE REINFORCING DOWELS FROM ALL FOOTINGS INTO MASONRY WALLS AND PIERS TO MATCH SIZE AND SPACING OF VERTICAL REINFORCING.

6. STEEL

A. ALL STRUCTURAL STEEL SHALL CONFORM TO ASTM A-992 GRADE 50. PIPE TO BE A53 OR A501. TUBE TO BE A500 OR A501. DETAILING TO BE IN ACCORDANCE WITH AISC STRUCTURAL STEEL DETAILING MANUAL. BOLTED FIELD CONNECTION SHALL BE 3/4" DIAMETER HIGH STRENGTH BOLTS MEETING ASTM SPEC. A-325.

B. SUBMIT COMPLETE SHOP AND ERECTION DRAWINGS FOR REVIEW AND APPROVAL PRIOR TO FABRICATION OR ERECTION.

C. ALL WELDERS SHALL BE CERTIFIED IN ACCORDANCE WITH THE AMERICAN WELDING SOCIETY. ALL WELDING ELECTRODES, MACHINES, ETC. SHALL BE COMPATIBLE WITH STEEL BEING WELDED.

D. STEEL PLATE FLITCH BEAMS SHALL BE BOLTED WITH 1/2 INCH DIAMETER THROUGH BOLTS AT 16 INCHES ON CENTER TOP AND BOTTOM WITH THE FIRST SET OF BOLTS 6 INCHES FROM THE END.

7. WOOD

A. ALL FRAMING LUMBER SHALL BE HEM-FIR, GRADE #2, OR SPRUCE-PINE-FIR, GRADE #1 / #2, OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2x12 MEMBERS):

- BENDING STRESS "F_b" = 850 PSI FOR SINGLE MEMBER USE
- HORIZONTAL SHEAR "F_v" = 135 PSI
- COMPRESSION PERPENDICULAR TO GRAIN "F_c" = 405 PSI
- COMPRESSION PARALLEL TO GRAIN "F_c||" = 1,150 PSI
- MODULUS OF ELASTICITY "E" = 1,300,000 PSI

NOTE: SPRUCE-PINE-FIR (SOUTH) IS NOT ACCEPTABLE. SPRUCE-PINE-FIR MUST BE GRADED BY NLGA.

B. ALL EXPOSED EXTERIOR FRAMING AND FRAMING IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE-TREATED WITH ALAKALINE COPPER QUOT (ACQ) OR COPPER AZOLE (CBA-A AND CA-B), NOT SODIUM BORATE (SBX). LUMBER OR STRUCTURAL POSTS SHALL BE SOUTHERN YELLOW PINE, GRADE #2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2X12 LUMBER WITH REDUCTIONS)

- BENDING STRESS "F_b" = 750 PSI FOR SINGLE MEMBER USE
- HORIZONTAL SHEAR "F_v" = 175 PSI
- COMPRESSION PERPENDICULAR TO GRAIN "F_c" = 565 PSI
- COMPRESSION PARALLEL TO GRAIN "F_c||" = 1,250 PSI
- MODULUS OF ELASTICITY "E" = 1,400,000 PSI

C. PLYWOOD LAMINATED VENEER LUMBER (LVL OR MICROLAM) BEAMS SHALL HAVE THE FOLLOWING MINIMUM PROPERTIES:

- BENDING STRESS "F_b" = 2600 PSI
- HORIZONTAL SHEAR "F_v" = 285 PSI
- MODULUS OF ELASTICITY "E" = 2,000,000 PSI
- BEARING STRESS "F_{PERP}" = 780 PSI

D. ALL WALL STUDS SHALL BE SPF STUD GRADE OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2x6 MEMBERS):

- COMPRESSION PARALLEL TO GRAIN "F_c||" = 725 PSI
- BENDING STRESS "F" = 675 PSI FOR SINGLE USE MEMBERS
- MODULUS OF ELASTICITY "E" = 1,200,000 PSI

E. UNLESS NOTED OTHERWISE, FASTENING FOR STRUCTURAL MEMBERS SHALL FOLLOW INTERNATIONAL RESIDENTIAL CODE REQUIREMENTS.

proposed renovation for:
WHALEN
10905 MONTROSE AVE,
GARRETT PARK, MD
20896

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Structural Notes

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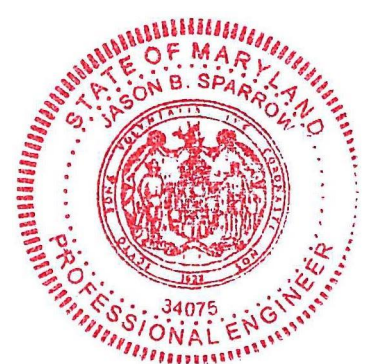
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S001

WOOD CONTINUED

F. NAILS FOR FRAMING AND SHEATHING CONNECTIONS SPECIFIED IN THE DRAWINGS AND ASSOCIATED NOTES SHALL CONFORM TO ASTM F1667 AND SHALL MEET THE FOLLOWING MINIMUM SIZE REQUIREMENTS:

TYPE	DIAMETER x LENGTH
8d	0.113"x2-1/2"
10d	0.120"x3"
12d	0.135"x3-1/4"
16d	0.148"x3-1/2"
20d	0.177"x4"

NAILS USED IN STANDARD CONNECTIONS SHALL BE SIZED PER THE REQUIREMENTS OF THE BUILDING CODE.

G. CUTTING AND NOTCHING OF CONVENTIONAL FLOOR JOISTS SHALL CONFORM TO THE FOLLOWING:

--NOTCH DEPTH IN THE TOP OR BOTTOM OF THE JOISTS AND BEAMS SHALL NOT EXCEED ONE-SIXTH THE DEPTH OF THE MEMBERS AND SHALL NOT BE LOCATED IN THE MIDDLE ONE-THIRD OF THE SPAN (INCLUDING BIRDS MOUTH CUTS).

--NOTCH DEPTH AT THE ENDS OF THE MEMBER SHALL NOT EXCEED ONE-FOURTH THE DEPTH OF THE MEMBER.

--THE TENSION SIDE OF BEAMS, JOISTS AND RAFTERS SHALL NOT BE NOTCHED, EXCEPT AT ENDS OF MEMBERS.

--HOLES BORED OR CUT INTO JOISTS SHALL NOT BE CLOSER THAN TWO INCHES TO THE TOP OR BOTTOM OF THE JOISTS. THE DIAMETER OF THE HOLE SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOISTS.

H. PROVIDE SOLID BLOCKING AT 4 FEET ON CENTER BETWEEN BAND JOIST AND FIRST INTERIOR PARALLEL JOIST.

I. PREFABRICATED JOIST HANGERS, BEAM HANGERS, POST CAPS AND POST BASES SHALL BE SIZED AND ATTACHED PER MANUFACTURER'S RECOMMENDATION. FASTENERS AND CONNECTORS UTILIZED WITH PRESSURE-TREATED MEMBERS SHALL MEET G185 HOT-DIPPED GALVANIZING.

J. PREFABRICATED STEEL HANGERS SHALL BE INSTALLED AS FOLLOWS:

- ALL JOISTS, RAFTERS, AND BEAMS FLUSH-SUPPORTED TO OTHER FRAMING SHALL HAVE PREFABRICATED JOIST/BEAM HANGERS.
- HANGERS SHALL BE SIZED IN ACCORDANCE WITH MANUFACTURER'S CATALOGUE FOR THE JOIST/BEAM TYPE, NUMBER OF PLYS, DEPTH, AND WIDTH.
- WHERE HANGER LOADS ARE NOTED ON THE DRAWINGS, HANGERS SHALL BE SIZED TO CARRY THE LOAD VALUE.
- PROVIDE SPECIAL SLOPED AND/OR SKEWED HANGERS FOR SLOPED AND SKEWED MEMBERS.

K. ANCHOR BOLTS CONNECTING PRESSURE-TREATED WOOD PLATES TO MASONRY OR CONCRETE SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.

L. HOLES THROUGH WOOD IS SHALL NOT EXCEED MANUFACTURER'S RECOMMENDATIONS. NO CUTS OR HOLES ARE ALLOWED IN TOP OR BOTTOM CHORDS.

M. PROVIDE LSL OR LVL BAND BOARD IN WOOD FLOOR JOIST OR WOOD FLOOR TRUSS SYSTEMS AT ALL PERIMETER BEARING WALLS. PROVIDE SQUASH BLOCKS AND STIFFENERS TO DISTRIBUTE LOADINGS AND AS REQUIRED BY MANUFACTURER. PROVIDE SOLID BLOCKING AT INTERIOR JOIST SUPPORTS WITH BEARING WALLS ABOVE.

N. ALL HEADERS SHALL HAVE A MINIMUM OF TWO STUDS AT EACH END UNLESS NOTED. BUILT-UP STUD COLUMNS SHALL HAVE ONE JACK STUD AND THE REMAINING STUDS SHALL BE KING STUDS. MULTIPLE STUDS SHALL BE NAILED WITH 12d NAILS AT 8" O.C. PROVIDE SOLID BLOCKING OR CRIPPLE STUDS IN FLOOR SYSTEM AT ALL POINT LOADS ABOVE.

O. ALL FREESTANDING POSTS SHALL HAVE PREFAB POSTCAP AND BASE. POSTS WITHIN WALLS SHALL HAVE PREFAB CAP ATTACHED TO BEAM. POSTS BEARING ON MASONRY OR CONCRETE SHALL HAVE PREFAB BASE.

P. HOLES BORED IN BEARING WALL STUDS SHALL NOT EXCEED 1/3 OF STUD WIDTH.

Q. ALL STUD BEARING WALLS TO BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND 1 CONTINUOUS BOTTOM PLATE WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRIDGING AT MID HEIGHT OF WALL UNLESS NOTED OTHERWISE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MINIMUM OF FOUR FEET.

R. ALL ROOF RAFTERS AND TRUSSES SHALL BE CONNECTED AT EACH BEARING POINT WITH ONE PREFABRICATED GALVANIZED METAL CONNECTOR. EACH ANCHOR SHALL BE 18 GAGE MINIMUM THICK AND SHALL BE ATTACHED TO HAVE A CAPACITY TO RESIST A 450# UPLIFT LOADING UNLESS SHOWN OTHERWISE ON DRAWINGS.

8 SHEATHING

A. FLOOR SHEATHING SHALL BE 23/32 (3/4) INCH APA RATED STURD-I-FLOOR, TONGUE AND GROOVE, PLYWOOD. PANELS SHALL HAVE LONG DIMENSION ORIENTED ACROSS THREE OR MORE JOISTS AND SHALL BE FASTENED WITH CONSTRUCTION ADHESIVE AND 10d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. UNLESS NOTED OTHERWISE, PANEL EDGES NEED NOT BE BLOCKED.

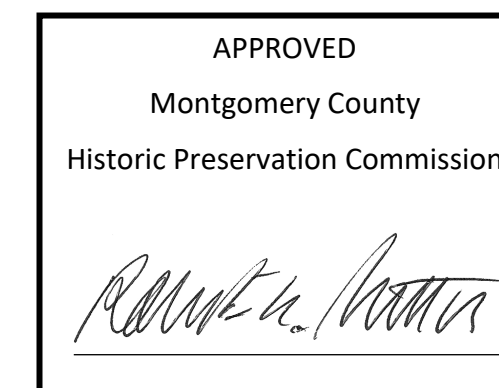
B. EXTERIOR WALL SHEATHING SHALL BE 7/16 (1/2) INCH THICK APA RATED WOOD STRUCTURAL PANELS. FASTEN PANELS TO STUDS WITH 8d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. PANEL EDGES NEED NOT BE BLOCKED UNLESS NOTED OTHERWISE.

C. ROOF SHEATHING SHALL BE 19/32 (5/8) INCH APA RATED WOOD PANELS WITH SPAN RATING OF 24/0 OR BETTER. FASTEN PANELS TO FRAMING WITH 10d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. ORIENT LONG DIMENSION OF PANELS ACROSS THREE OR MORE SUPPORTS. EDGES NEED NOT BE BLOCKED, UNLESS OTHERWISE NOTED.

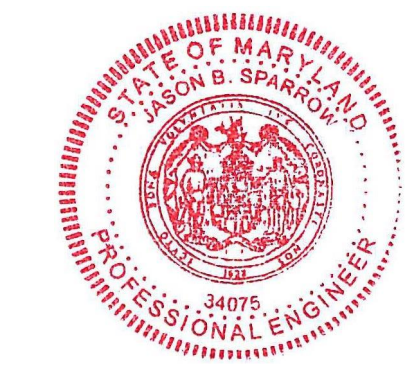
9 MISCELLANEOUS

A. ALL WOOD BLOCKING, NAILERS, ETC. SHALL BE ATTACHED TO STEEL FRAMING WITH POWER ACTUATED FASTENERS OR 1/2" DIAMETER BOLTS UNLESS NOTED OTHERWISE. FASTENERS SHALL BE SPACED AT 24" MAXIMUM O.C. FASTENERS SHALL HAVE A MINIMUM CAPACITY OF 100 POUNDS IN SHEAR AND PULLOUT UNLESS NOTED OTHERWISE.

WARNING: THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-BRACING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEERS ASSUME NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE PLANS AND SPECIFICATIONS OR ARE SUPERVISED BY THE STRUCTURAL ENGINEERS DURING CONSTRUCTION.



REVIEWED
By Dan.Bruechert at 2:06 pm, Feb 01, 2023



Professional Certification. I, Jason B. Sparrow, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of State of Maryland, License no. 34075, Expiration Date: 02/11/23.

proposed renovation for:
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GARRETT PARK, MD
20896

sheet title:

Structural Notes

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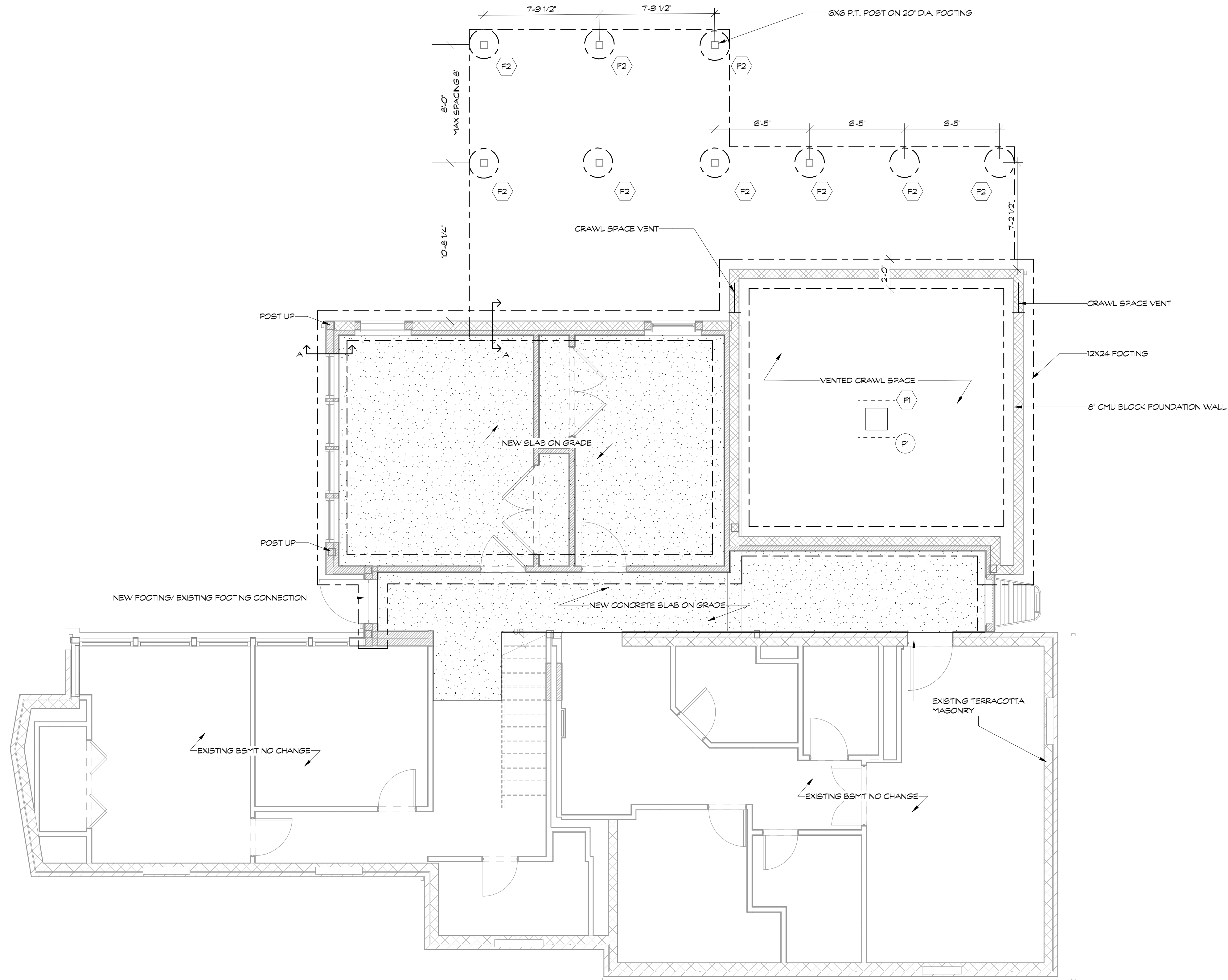
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S002



PIER SCHEDULE				
MARK	SIZE	REINFORCING		REMARKS
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FOOTING SCHEDULE				
MARK	SIZE	BOTTOM REINFORCING		REMARKS
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F1	2'-6\"/>			

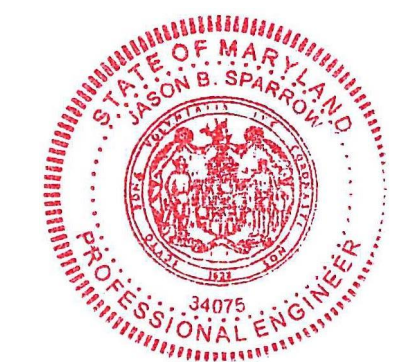
- FLOOR CONSTRUCTION: 4\"/>
- NEW SPREAD FOOTING CONSTRUCTION: SEE SCHEDULE
- SEE TYPICAL FOUNDATION SECTIONS FOR ADDITIONAL INFORMATION.
- WHEN ANCHORING INTO EXISTING MASONRY WALL, USE HILTI HY-270 ANCHOR SYSTEM.

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]

REVIEWED
 By Dan.Bruechert at 2:06 pm, Feb 01, 2023

1 PROPOSED FOUNDATION PLAN
 1/4\"/>



Professional Certification. I, Jason B. Sparrow, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of State of Maryland, License no. 34075, Expiration Date: 02/11/23.

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sheet title:
Proposed Foundation Plan

sheet scale:
1/4\"/>

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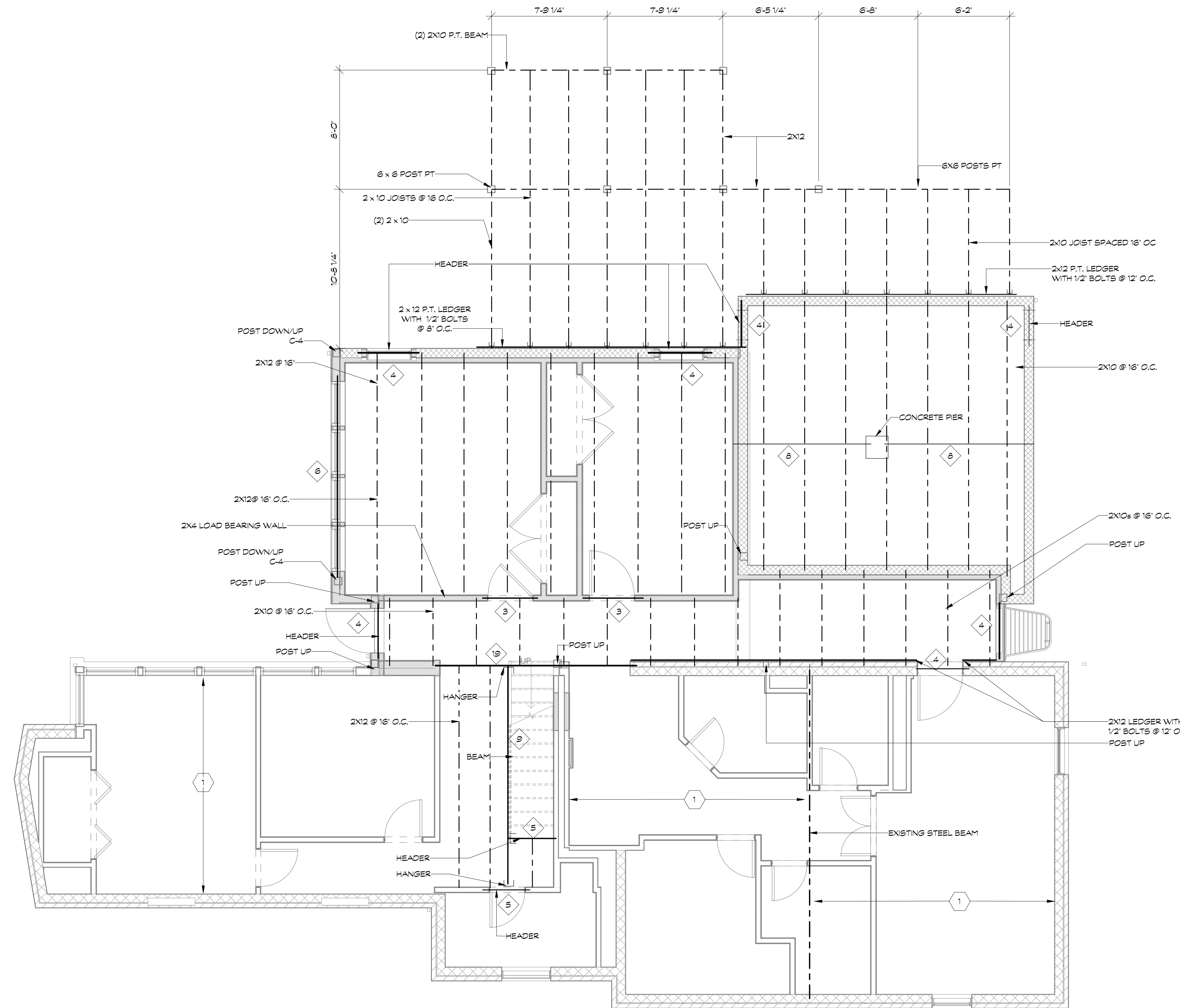
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S100

- ① EXISTING FIRST FLOOR FRAMING
- ② NEW FOOTING/ EXISTING FOOTING CONNECTION
- ③ P.T. POST ON FTG.
- ④ 6X6 P.T. POST ON 20' DIA. FOOTING

1. FLOOR CONSTRUCTION SHALL BE 23/32 (3/4") APA RATED STURDY-FLOOR TONGUE & GROOVE PANELS GLUED AND NAILED TO WOOD JOISTS.
2. DENOTES WOOD BEARING WALL. 2X6 BEARING WALL CONSTRUCTION SHALL BE 2X6 STUDS SPACED AT 16" O.C. 2X4 BEARING WALL CONSTRUCTION SHALL BE 2X4 STUDS SPACED AT 16" O.C. ALL EXTERIOR STUD WALLS SHALL BE 2X6 BEARING WALLS.
3. DENOTES EXISTING WOOD BEARING WALL.
4. DENOTES WOOD HEADERS/BEAMS, SEE SCHEDULE ON RE-SCH-1.
5. C-X DENOTES COLUMN, SEE SCHEDULE ON RE-SCH-1.
6. LEDGERS SHALL BE BOLTED TO EXISTING 2X BAND BOARD USING THROUGH BOLTS. LEDGER SIZE AND BOLT SIZE/SPACING NOTED ON PLAN.
7. PROVIDE ONE KING STUD AND ONE JACK STUD BELOW EACH END OF EACH CONVENTIONAL WOOD HEADER, TYP. UNO.
8. PROVIDE ONE KING STUD AND TWO JACK STUDS BELOW EACH END OF EACH LVL. HEADER OR FLITCH BEAM HEADER, TYP. UNO.



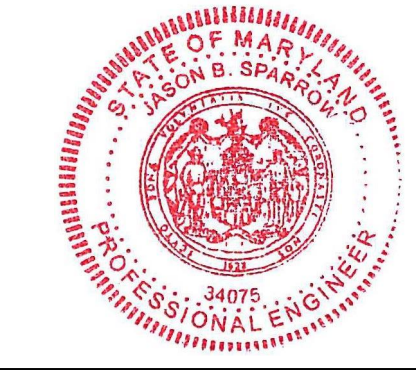
APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

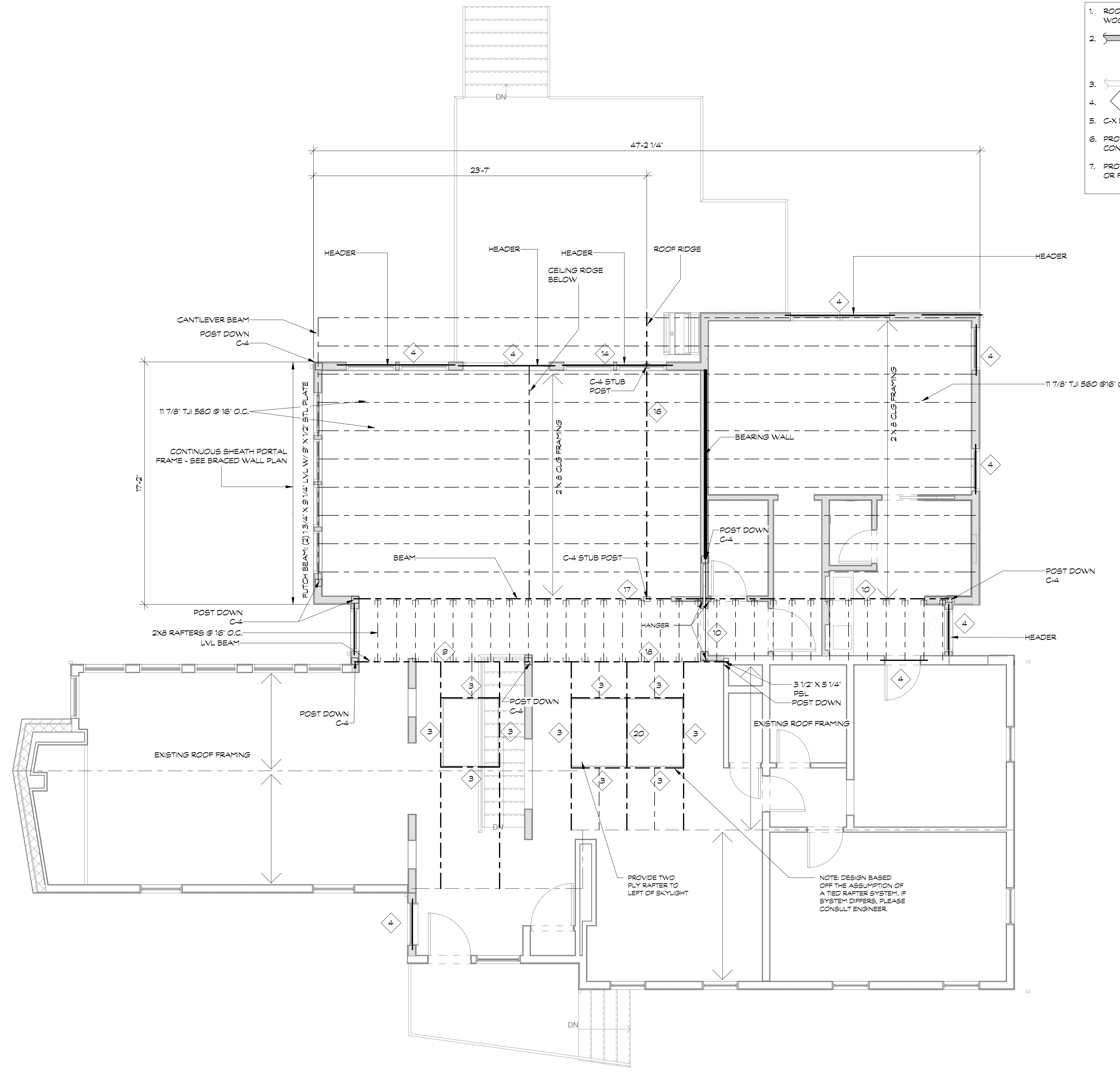
REVIEWED
By Dan.Bruechert at 2:07 pm, Feb 01, 2023

1 PROPOSED FIRST FLOOR FRAMING PLAN & BASEMENT HEADER PLAN
1/4" = 1'-0"

Professional Certification. I, Jason B. Sparrow, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of State of Maryland, License no. 34075, Expiration Date: 02/11/23.



proposed renovation for:		WHALEN 10905 MONTROSE AVE, GARRETT PARK, MD 20896
sheet title:		Proposed First Floor Framing Plan
sheet scale:		1/4" = 1'-0"
sheet date:		02.09.22
drawing revisions:		
date:	02.09.22	
description:	PERMIT	
rev.#	1	
	2	
	3	
	4	
	5	
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		S101



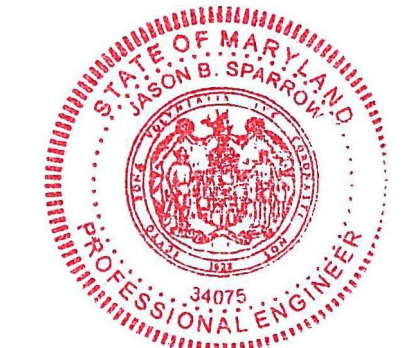
1. ROOF CONSTRUCTION SHALL BE 19/32 (5/8") APA RATED WOOD PANELS ON WOOD RAFTERS OR TRUSSES.
2. DENOTES WOOD BEARING WALL. 2X6 BEARING WALL CONSTRUCTION SHALL BE 2X6 STUDS SPACED AT 16" O.C. 2X4 BEARING WALL CONSTRUCTION SHALL BE 2X4 STUDS SPACED AT 16" O.C. ALL EXTERIOR STUD WALLS SHALL BE 2X6 BEARING WALLS.
3. DENOTES EXISTING WOOD BEARING WALL.
4. DENOTES WOOD HEADERS/BEAMS, SEE SCHEDULE ON S301
5. C-X DENOTES COLUMN, SEE SCHEDULE ON S301
6. PROVIDE ONE KING STUD AND ONE JACK STUD BELOW EACH END OF EACH CONVENTIONAL HEADER, TYPE, UNO.
7. PROVIDE ONE KING STUD AND TWO JACK STUDS BELOW EACH END OF EACH LVL OR FLITCH BEAM HEADER, TYP, UNO.

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

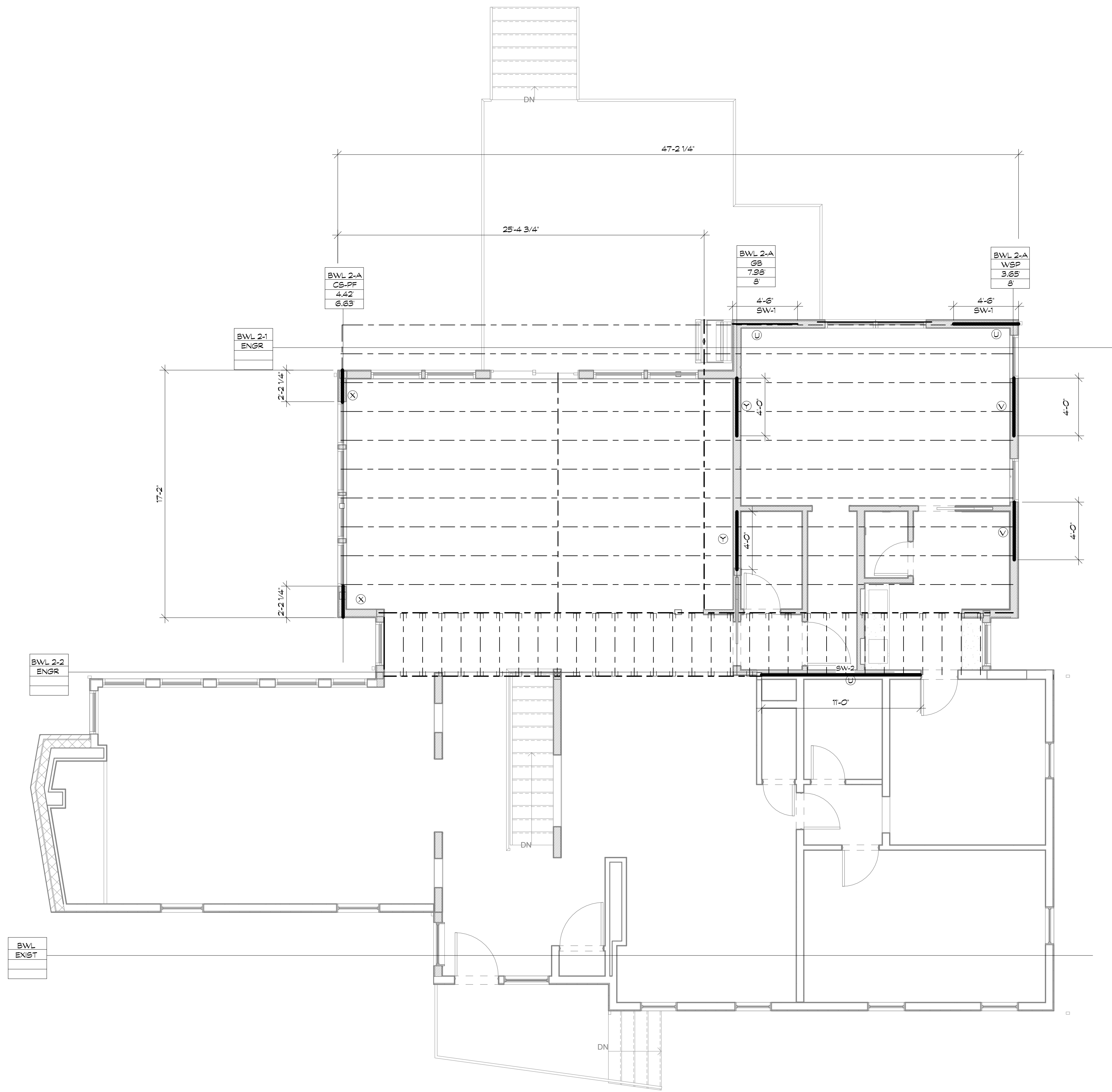
REVIEWED
By Dan.Bruechert at 2:07 pm, Feb 01, 2023

1 PROPOSED ROOF FRAMING PLAN
S102 1/4" = 1'-0"



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proposed renovation for:		WHALEN 10905 MONTROSE AVE, GARRETT PARK, MD 20896
sheet title:		Proposed Roof Framing Plan
sheet scale:		1/4" = 1'-0"
sheet date:		02.09.22
drawing revisions:		
date:	02.09.22	
description:	PERMIT	
rev.#	1	
	2	
	3	
	4	
	5	
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S102		



1. SEE WB-1 and WB-2 FOR SHEAR WALL DETAILS.

BRACED WALL METHOD		
DETAIL	ABBREVIATION	BRACED WALL METHOD
(U)	ENGR	ENGINEERED
(W)	WSP	WOOD STRUCTURAL PANEL
(W)	CS-WSP	CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL
(V)	CS-PF	CONTINUOUSLY SHEATHED PORTAL FRAME
(V)	GB	GYPSUM BOARD PANEL (DOUBLE SOED UNLESS NOTED OTHERWISE)

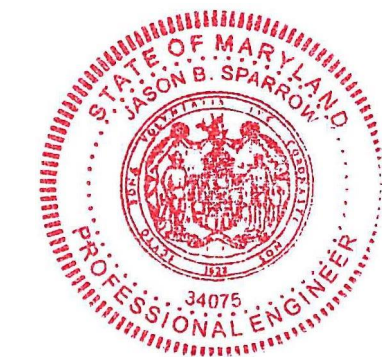
APPROVED
 Montgomery County
 Historic Preservation Commission

Robert H. Votaw

REVIEWED
 By Dan.Bruechert at 2:07 pm, Feb 01, 2023

BWL
 EXIST

1 BRACED WALL PLAN
 1/4" = 1'-0"



Professional Certification. I, Jason B. Sparrow, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of State of Maryland, License no. 34075, Expiration Date: 02/11/23.

proposed renovation for:
 WHALEN
 10905 MONTROSE AVE,
 GARRETT PARK, MD
 20896

sheet title:
Braced Wall Plan

sheet scale:
1/4" = 1'-0"

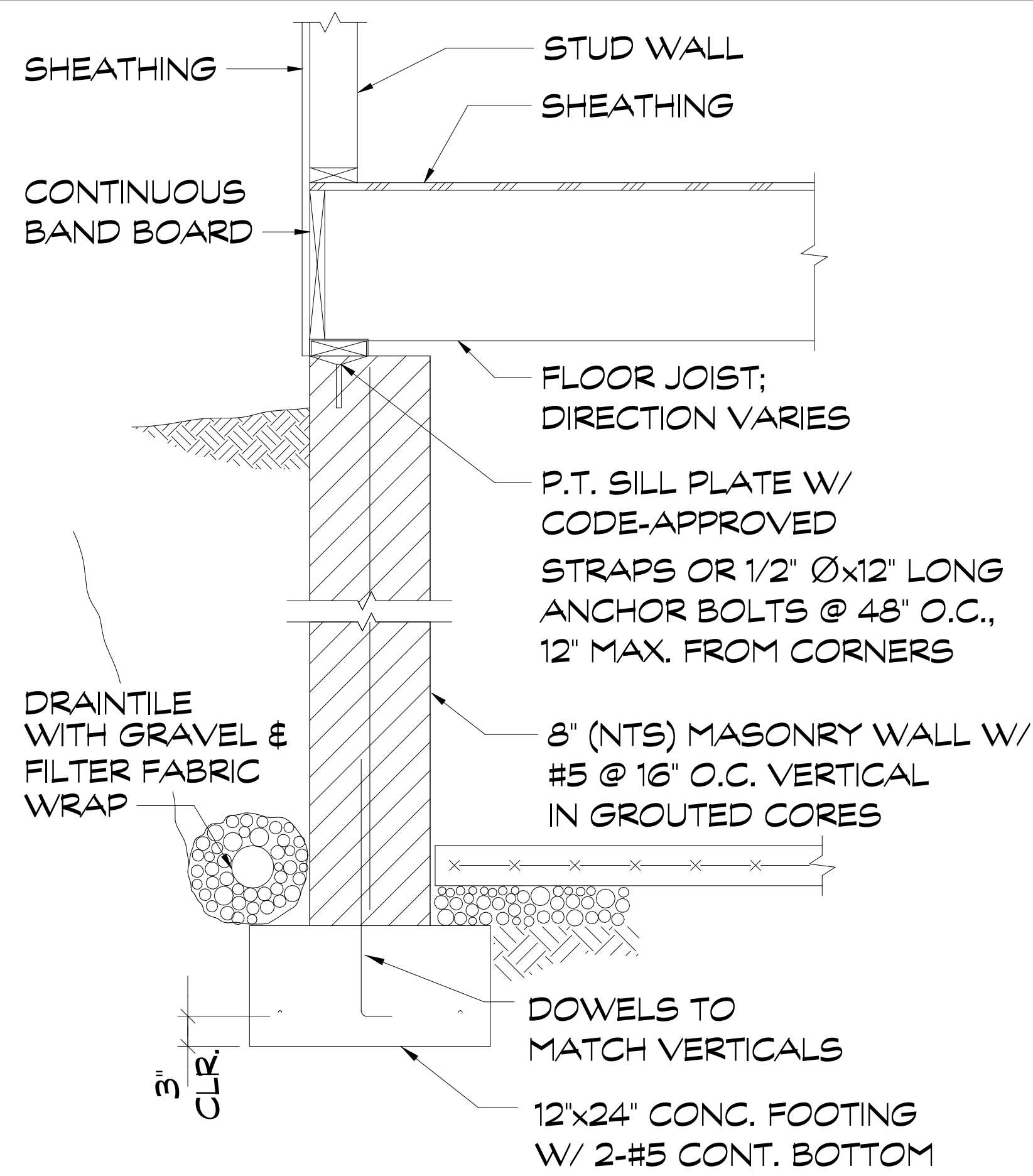
sheet date:
02.08.22

drawing revisions:
 date: 02.08.22

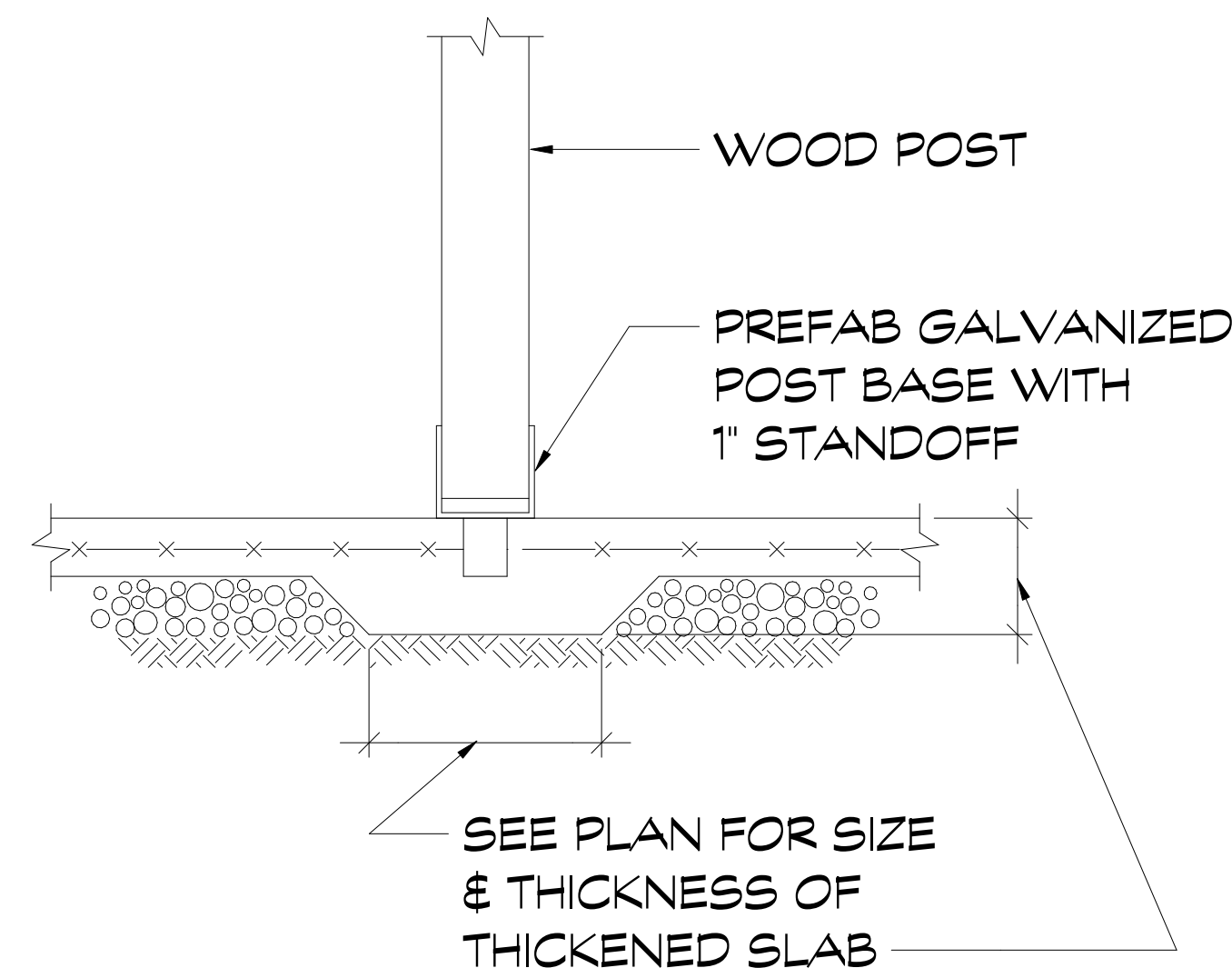
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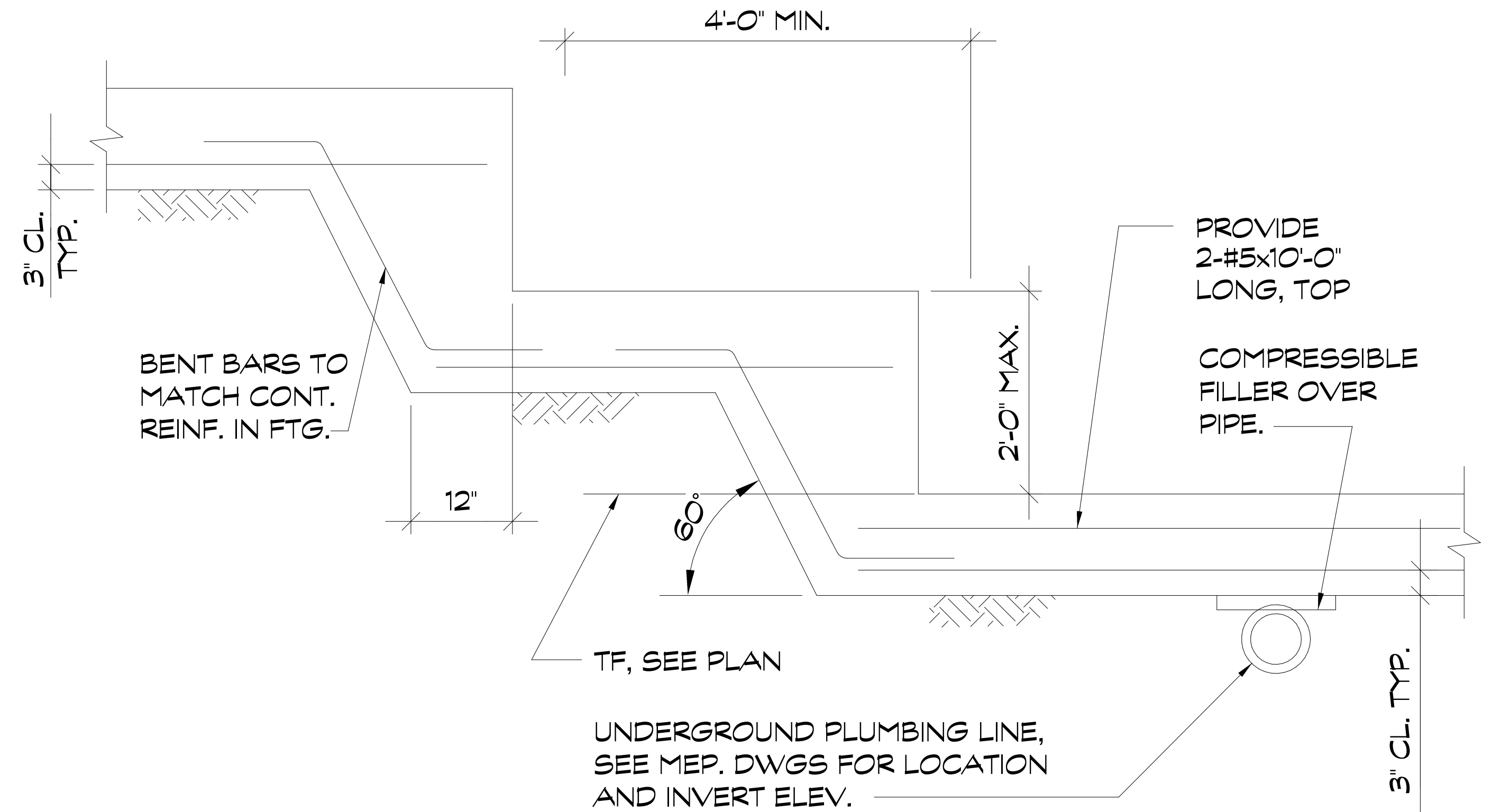
S103



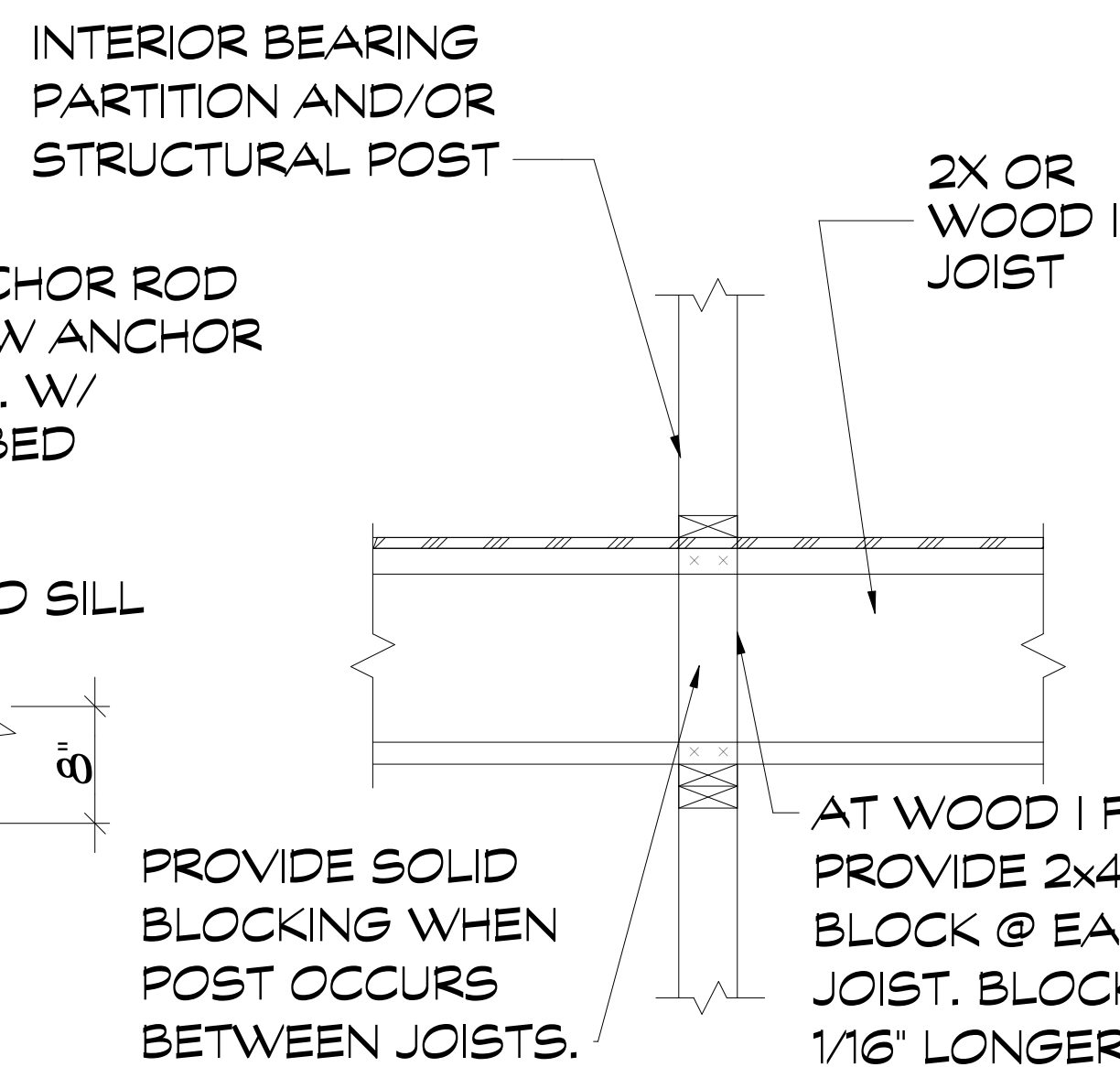
TYPICAL BASEMENT WALL



WOOD POST TO SLAB CONNECTION



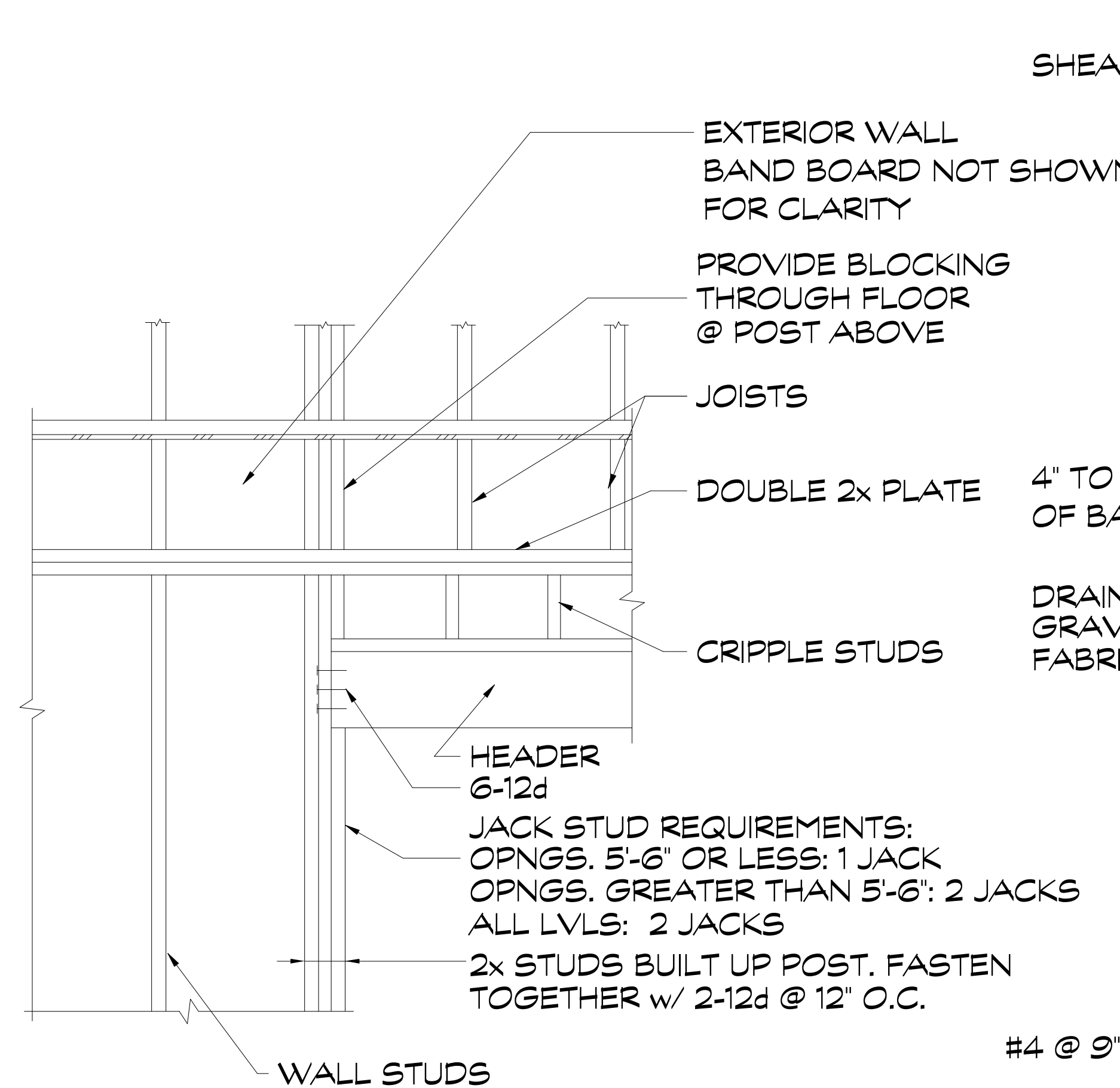
TYPICAL RESIDENTIAL FOOTING STEP (F.S.)



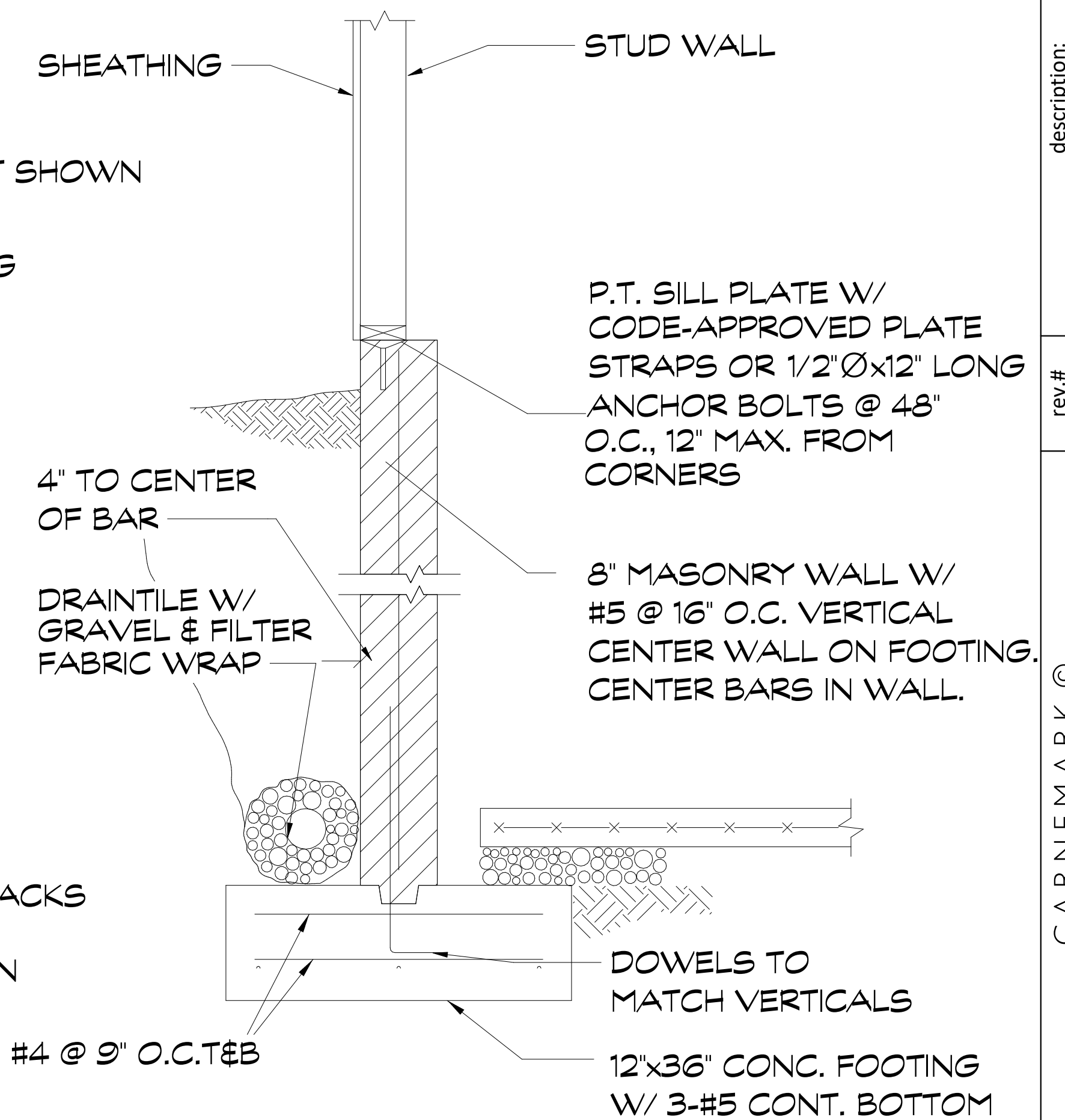
Professional Certification. I, Jason B. Sparrow, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of State of Maryland, License no. 34075, Expiration Date: 02/11/23.

TYPICAL THICKENED SLAB

TYPICAL INTERIOR BEARING WALL



TYPICAL DROPPED HEADER AT OPENING



SECTION A, NOT TO SCALE

proposed renovation for:
WHALEN
10905 MONTROSE AVE,
GARRETT PARK, MD
20896

sheet title:
Structural
Details

sheet scale:
N.T.S.

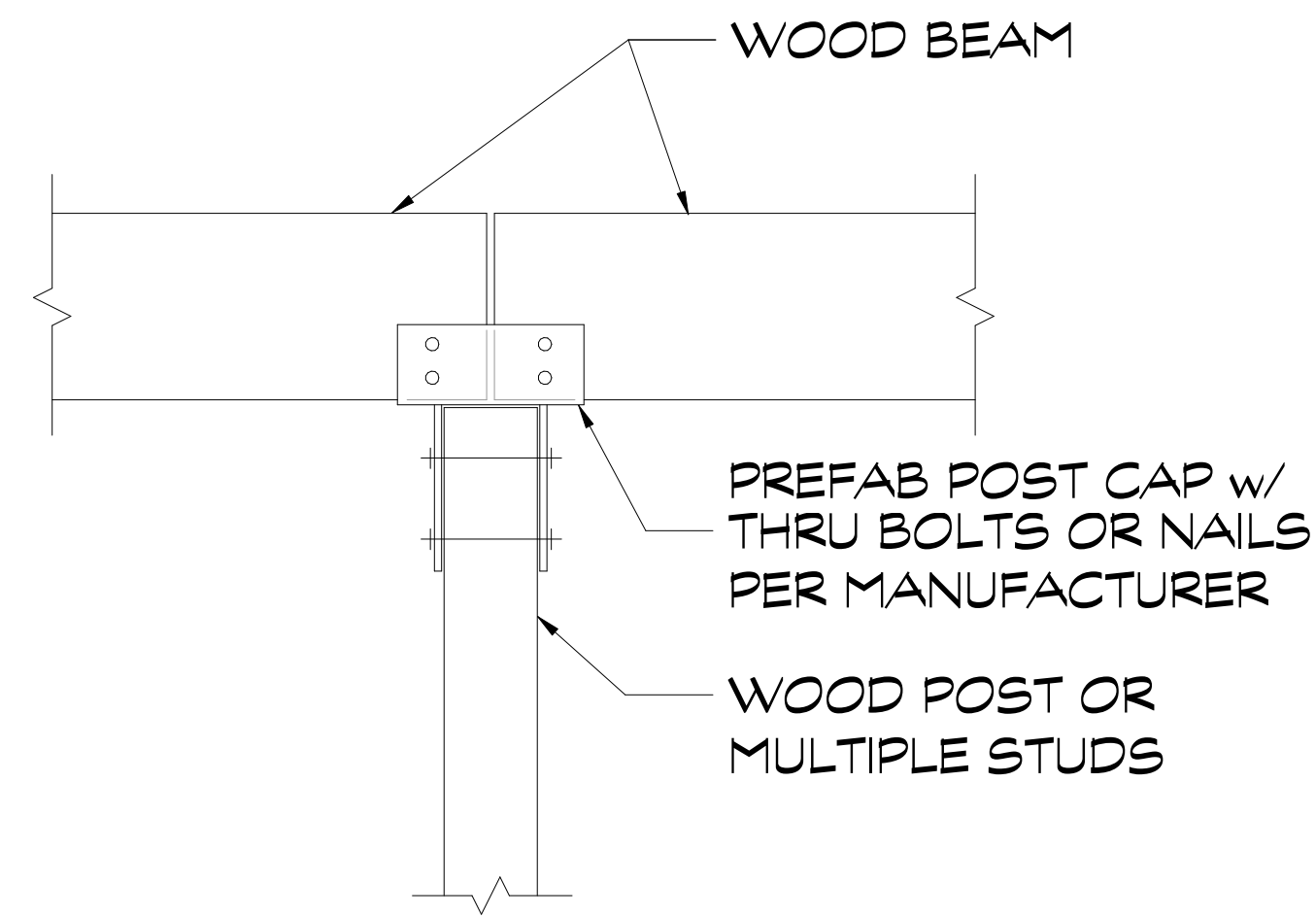
sheet date:
02.09.22

drawing revisions:
date: 02.09.22

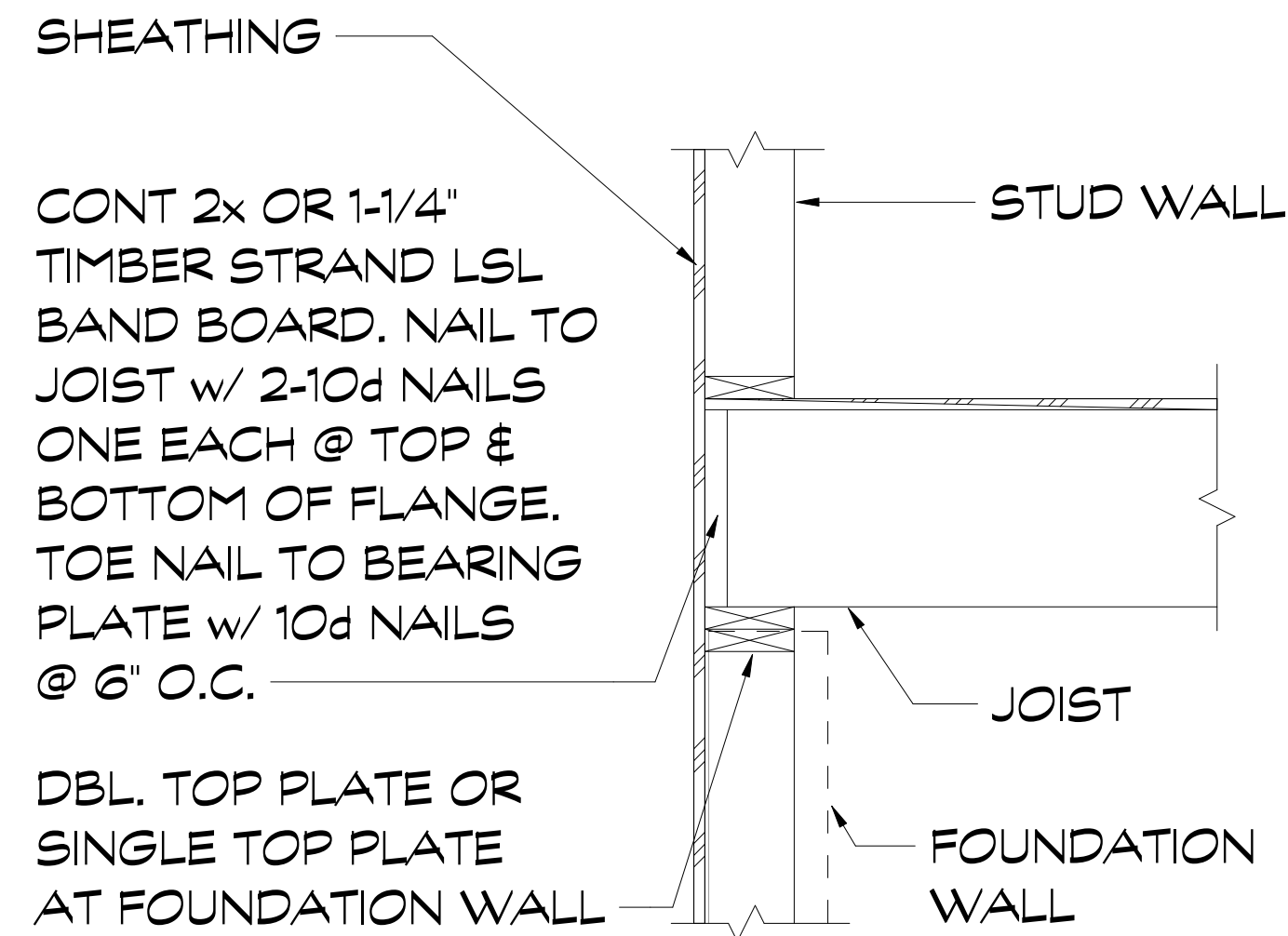
rev.#	description:
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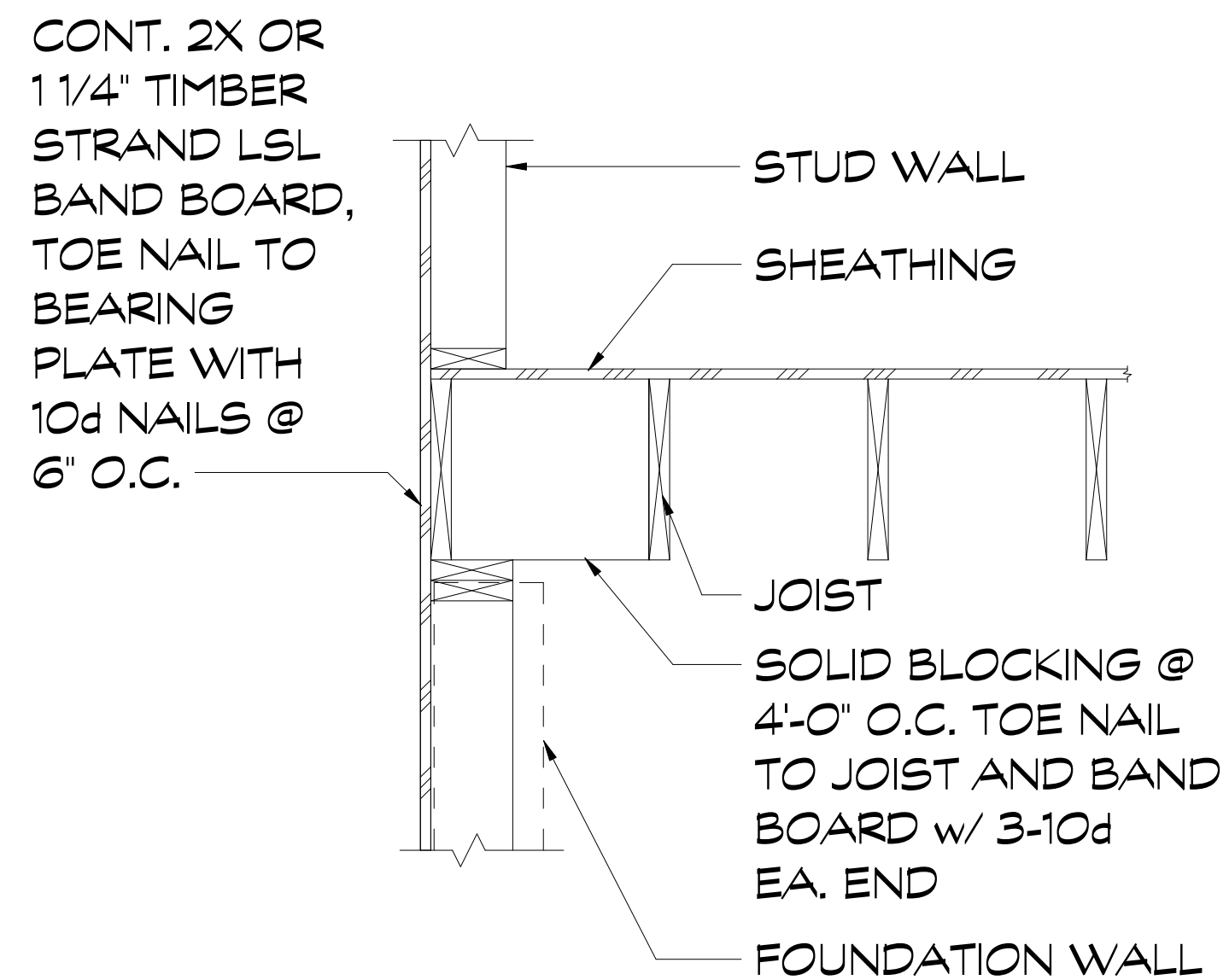
S200



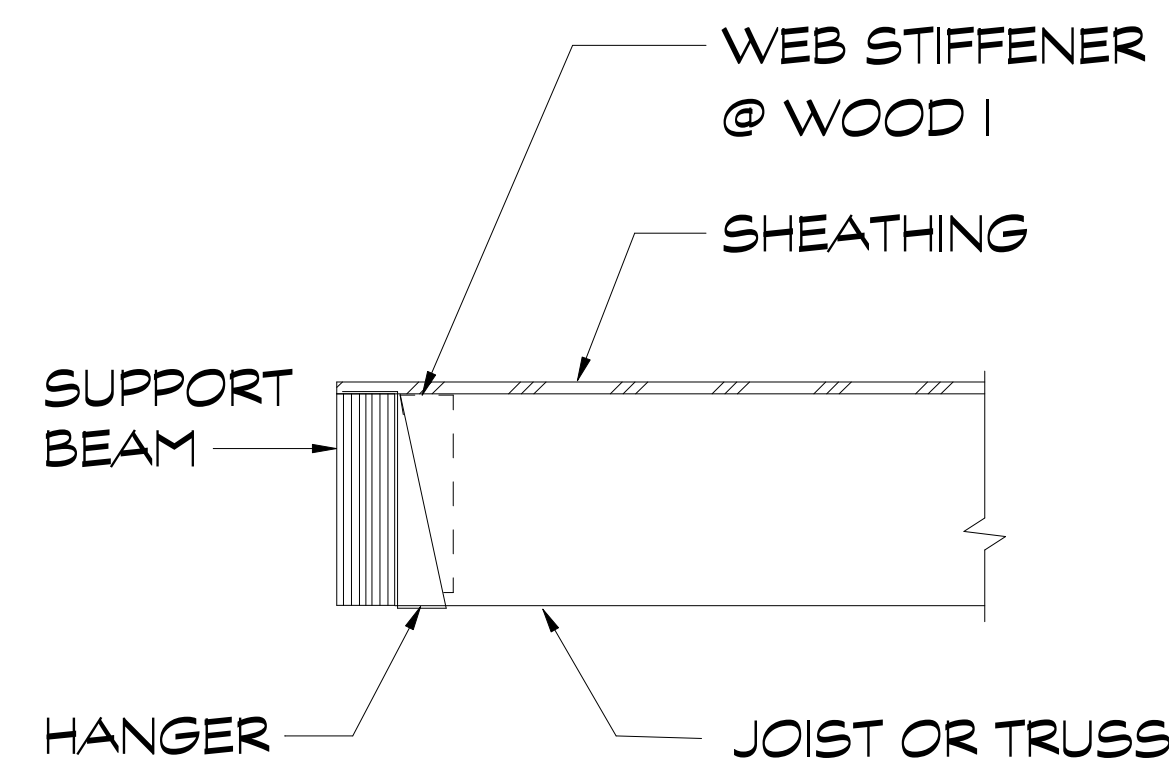
TYPICAL WOOD BEAM TO WOOD POST CONNECTION



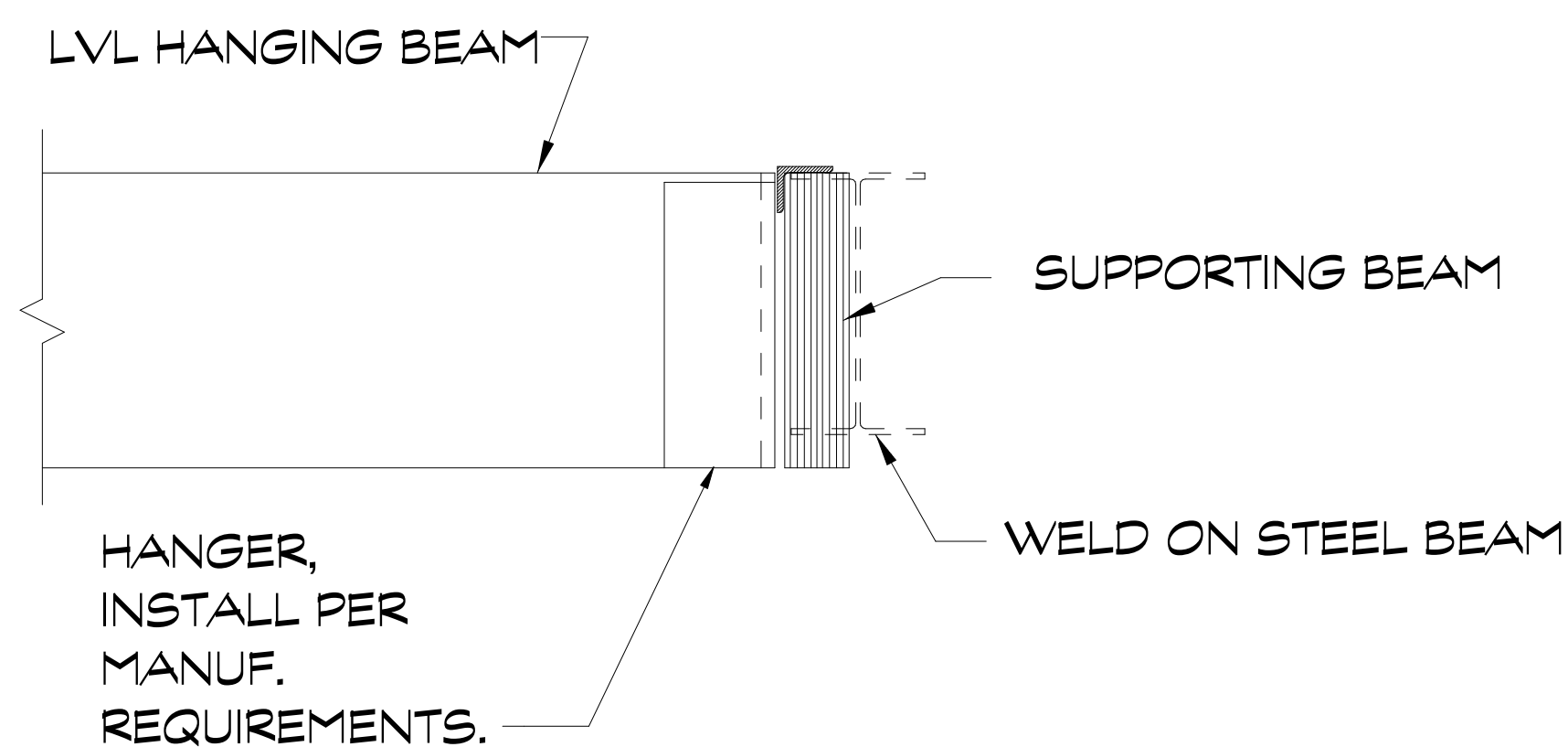
TYPICAL FLOOR JOIST AT EXTERIOR WALL



TYPICAL PARALLEL FLOOR JOIST AT EXTERIOR WALL



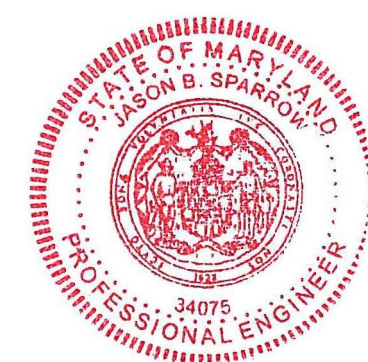
TYPICAL JOIST TO FLUSH BEAM



TYPICAL LVL BEAM TO BEAM CONNECTION

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APPROVED
Montgomery County
Historic Preservation Commission
Robert H. [Signature]
REVIEWED
By Dan.Bruechert at 2:07 pm, Feb 01, 2023



COLUMN SCHEDULE

C-1	2-2x4
C-2	2-2x6
C-3	3-2x4
C-4	3-2x6
C-5	4-2x4
C-6	4-2x6
C-7	5-2x4
C-8	5-2x6
C-9	4x4 POST
C-10	4x6 POST
C-11	6x6 POST
C-12	3'Ø ADJUSTABLE STEEL COLUMN
C-13	3'Ø STANDARD STEEL PIPE
C-14	4'Ø ADJUSTABLE STEEL COLUMN
C-15	4'Ø STANDARD STEEL PIPE
C-16	3 1/2'Ø ADJUSTABLE STEEL COLUMN
C-17	3 1/2'Ø STANDARD STEEL PIPE

HEADER SCHEDULE

1	2-2x6
2	3-2x6
3	2-2x8
4	3-2x8
5	2-2x10
6	3-2x10
7	2-2x12
8	3-2x12
9	2-1 3/4"x9 1/2" LVL
10	2-1 3/4"x11 7/8" LVL
11	2-1 3/4"x14" LVL
12	2-1 3/4"x16" LVL
13	2-1 3/4"x18" LVL
14	3-1 3/4"x9 1/2" LVL
15	3-1 3/4"x11 7/8" LVL
16	3-1 3/4"x14" LVL
17	3-1 3/4"x16" LVL
18	2-1 3/4"x9 1/2" LVL w/ 3/8"x9" STL PLATE
19	2-1 3/4"x11 7/8" LVL w/ 5/8"x11" STL PLATE
20	2-1 3/4"x7 1/4" LVL

NOTE: PROVIDE DOUBLE STUD @ END OF EACH HEADER UNLESS NOTED OTHERWISE

HANGING BEAM SIZE	MAX. LOAD (LB)	REQUIRED HANGER *
2-7"	2,900	SIMPSON LBV 3.56/7.25
2-9"	7,500	SIMPSON GLTV 3.56/9.25
2-12"	7,500	SIMPSON GLTV 3.56/11.25
2-14"	10,585	SIMPSON HGLTV 3.514
2-16"	10,600	SIMPSON HGLTV 3.516
2-18"	10,600	SIMPSON HGLTV 3.518

* OR EQUAL

HANGING BEAM SIZE	MAX. LOAD (LB)	REQUIRED HANGER *
3-7"	4,700	SIMPSON WPU 5.5/7.25
3-9"	7,500	SIMPSON GLTV 5.50/9.25
3-12"	10,600	SIMPSON HGLTV 5.511
3-14"	10,600	SIMPSON HGLTV 5.514
3-16"	10,600	SIMPSON HGLTV 5.516
3-18"	10,600	SIMPSON HGLTV 5.518

* OR EQUAL

proposed renovation for:
WHALEN
10905 MONTROSE AVE,
GARRETT PARK, MD
20896

sheet title:

Structural
Details

sheet scale:

As indicated

sheet date:

02.09.22

drawing revisions:

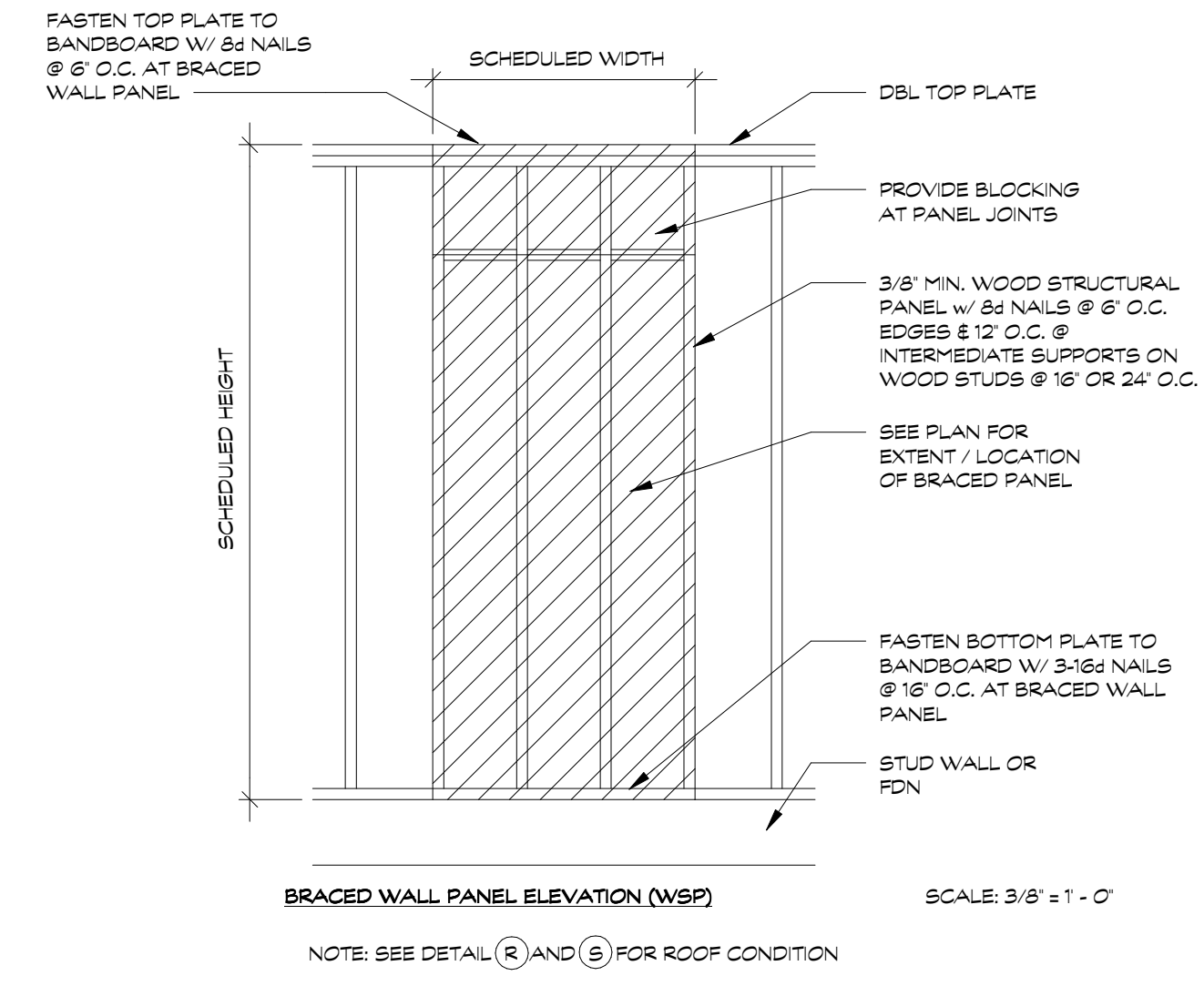
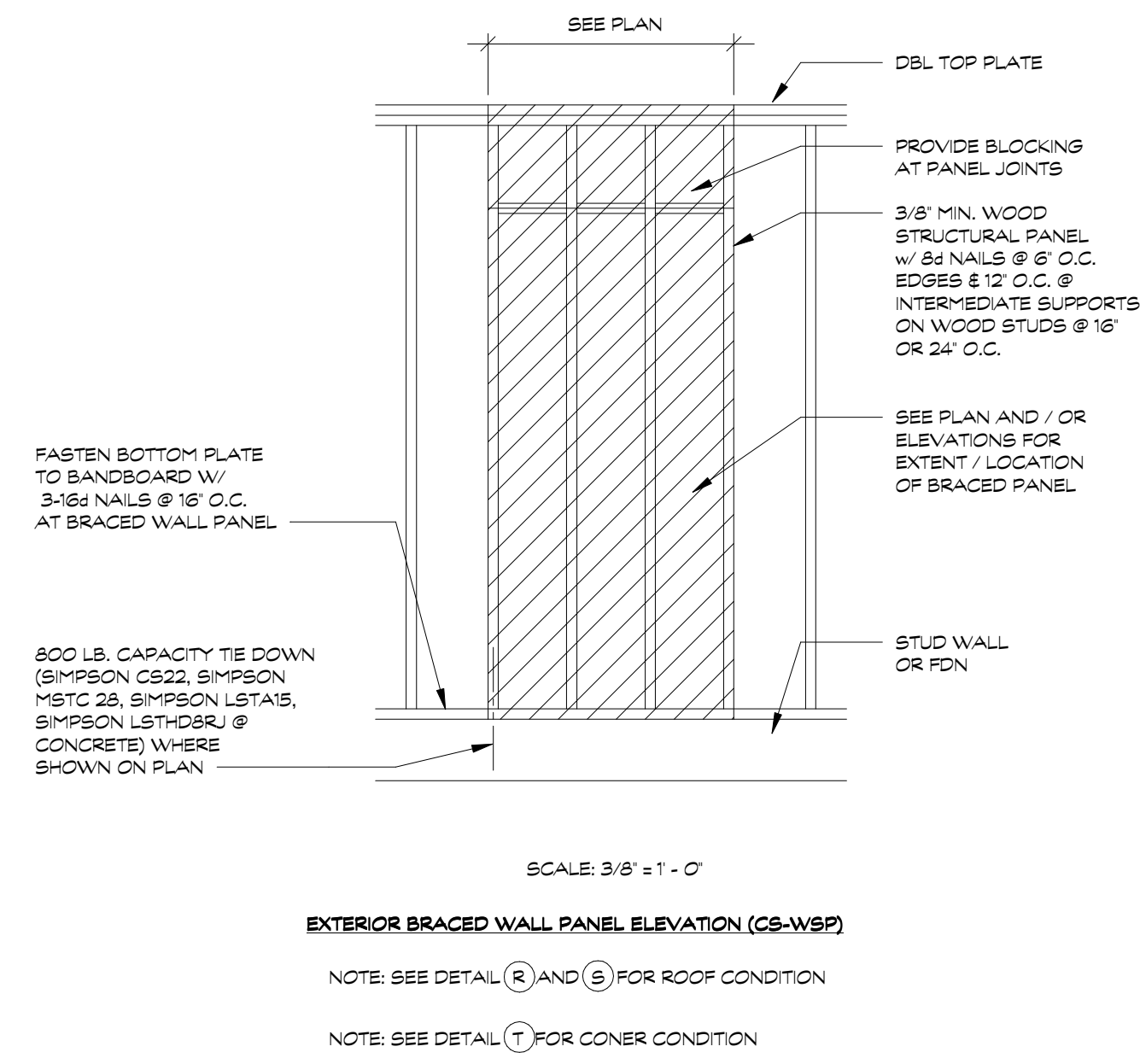
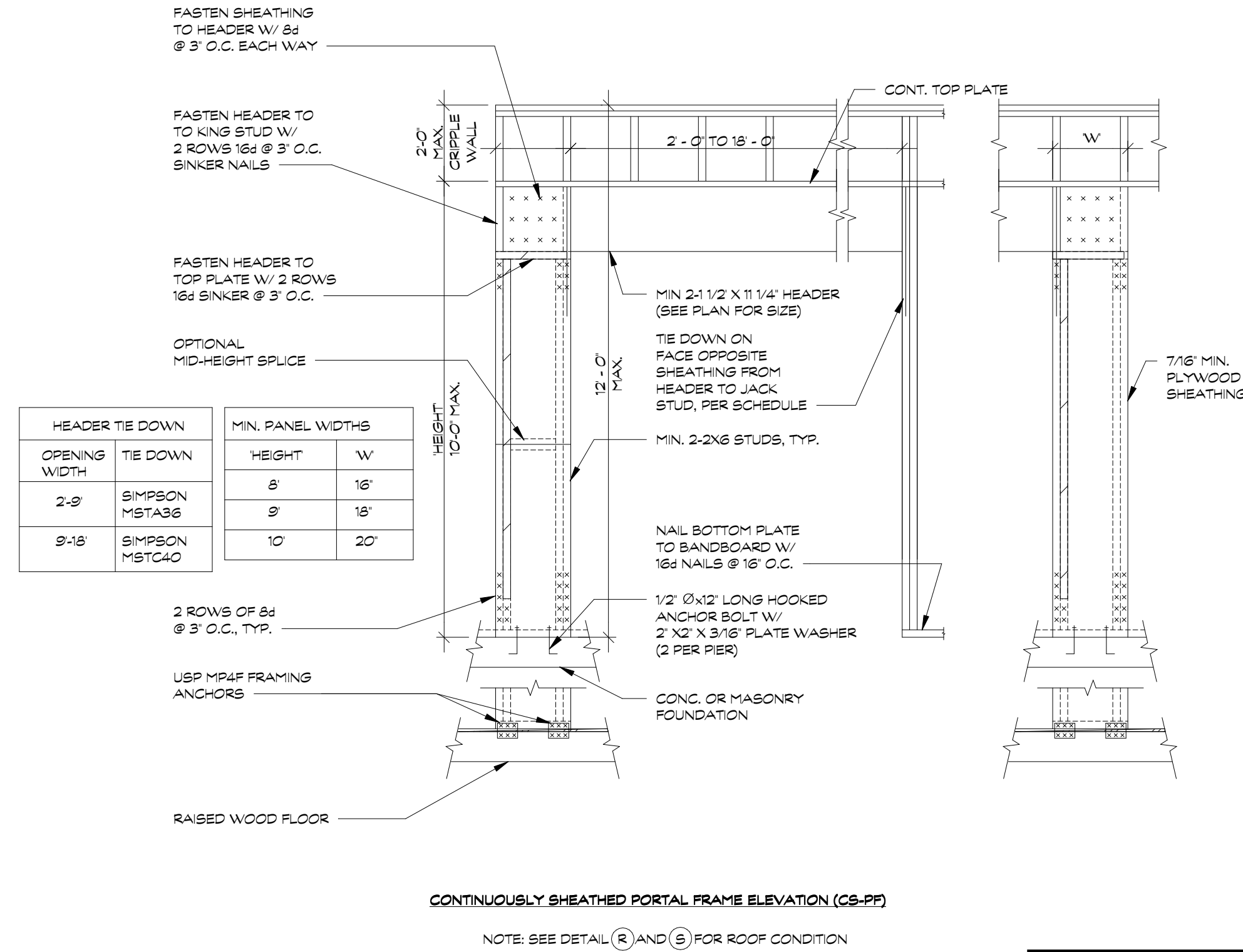
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description:	PERMIT
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rev.#	1	2	3	4	5
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S201



DETAIL	ABBREVIATION	BRACED WALL METHOD
(U)	ENGR.	ENGINEERED
(V)	WSP	WOOD STRUCTURAL PANEL
(W)	CS - WSP	CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL
(X)	CS - PF	CONTINUOUSLY SHEATHED PORTAL FRAME
(Y)	GB	GYPSUM BOARD PANEL (DOUBLE SIDED UNLESS NOTED OTHERWISE)

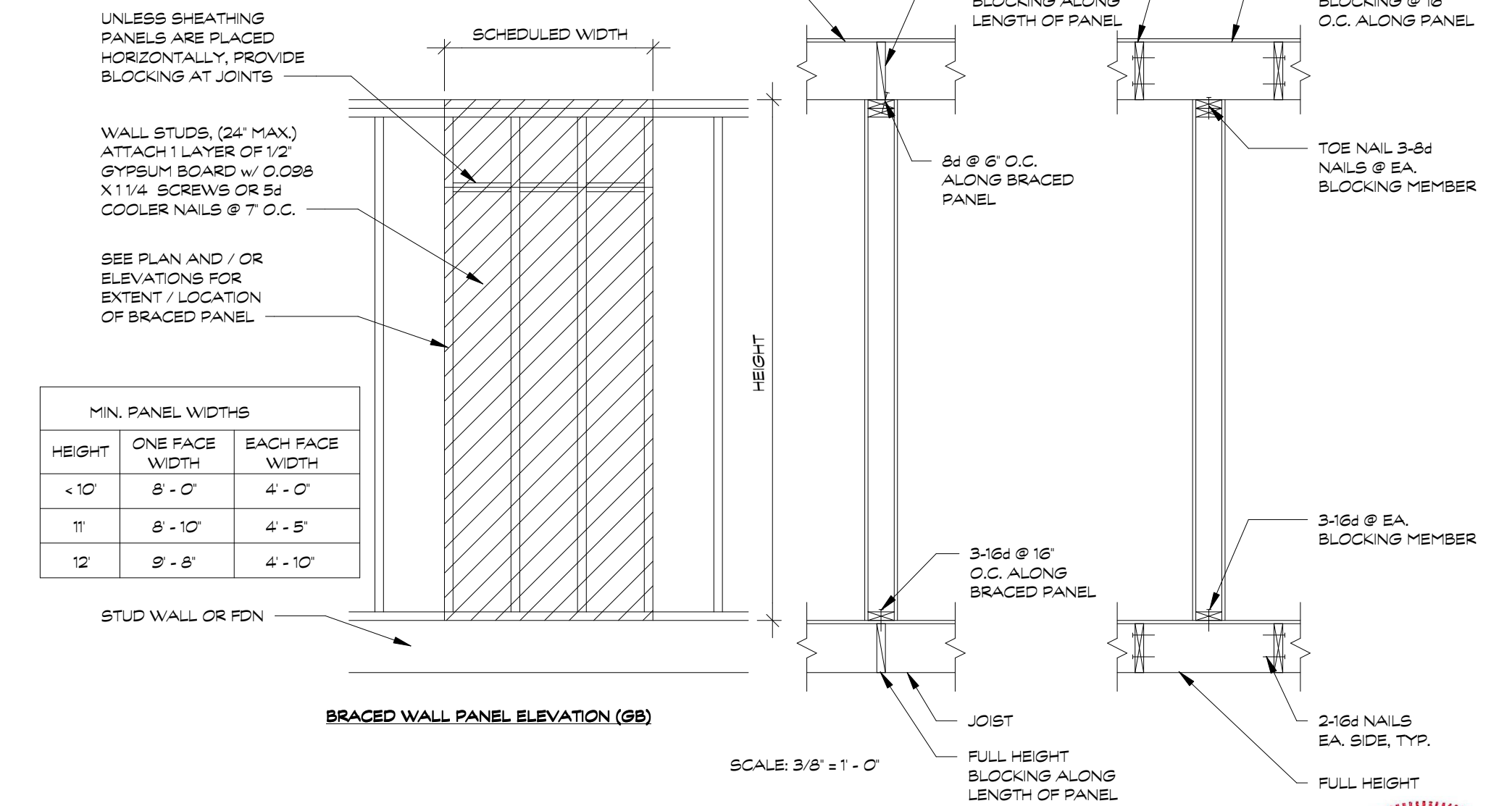
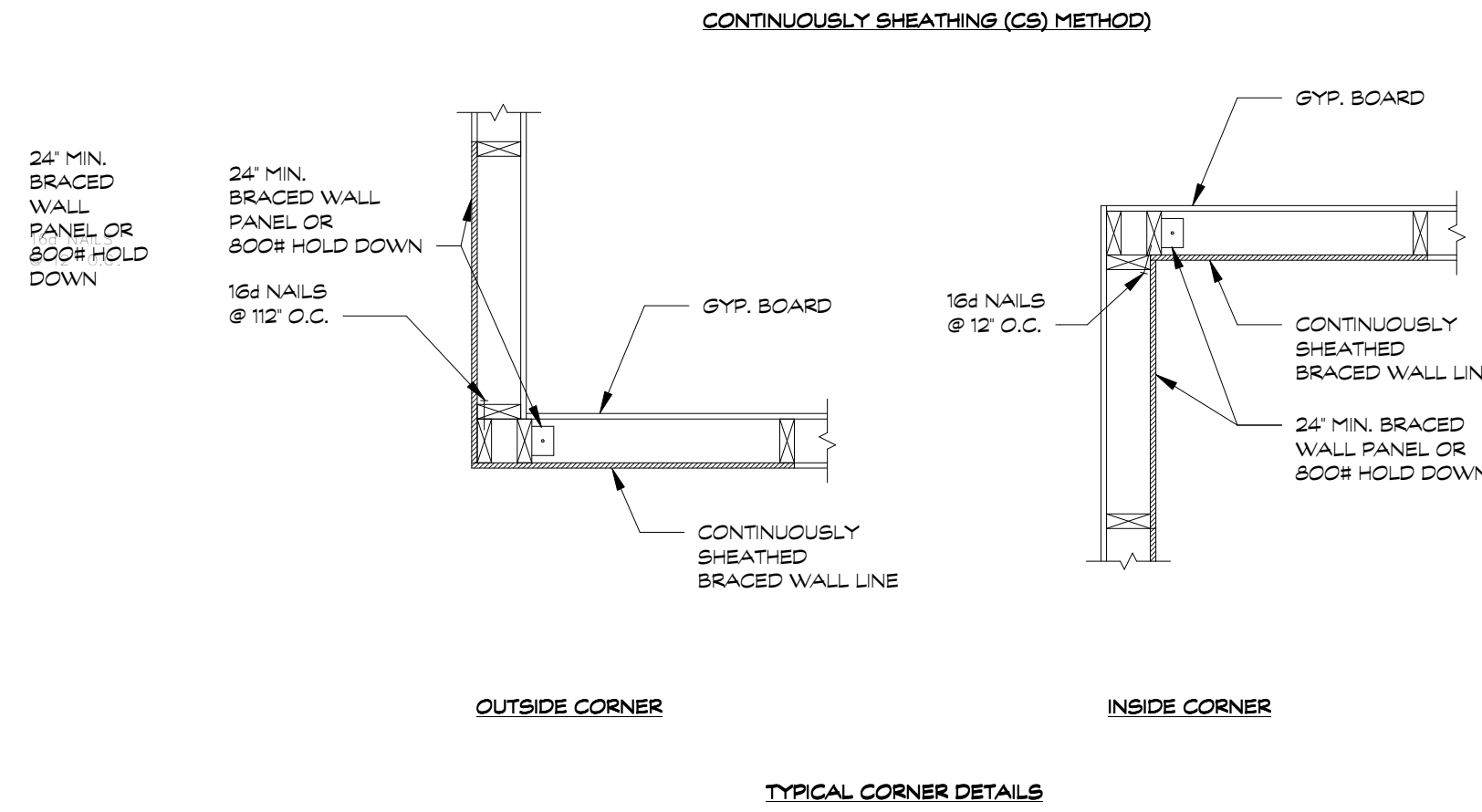
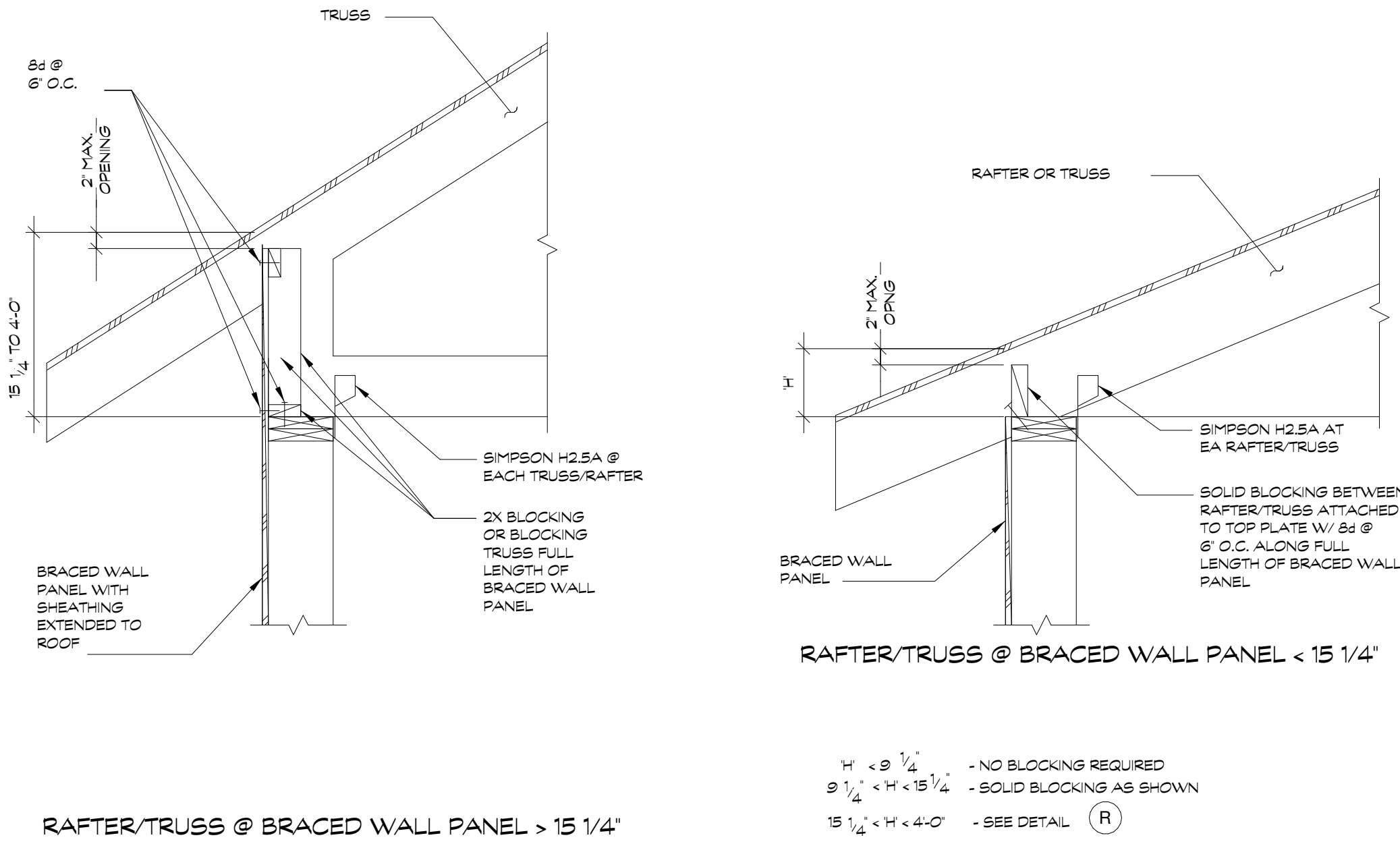
BWL #1	BRACED WALL LINE NUMBER
WSP	BRACING METHOD
11.47	BRACED WALL LENGTH REQUIRED
12	BRACED WALL LENGTH PROVIDED

DETAIL SCALE: (X)

DETAIL SCALE: (W)

DETAIL SCALE: (V)

APPROVED
Montgomery County
Historic Preservation Commission
Ronald H. ...
REVIEWED
By Dan.Bruechert at 2:07 pm, Feb 01, 2023



DETAIL SCALE: (R)

DETAIL SCALE: (S)

DETAIL SCALE: (T)

DETAIL SCALE: (Y)



Professional Certification. I, Jason B. Sparrow, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of State of Maryland, License no. 34075, Expiration Date: 02/11/23.

proposed renovation for:
WHALEN
10905 MONTROSE AVE,
GARRETT PARK, MD
20896

sheet title:
Typical
Wall
Bracing
Details
sheet scale:

N.T.S.

sheet date:

02.09.22

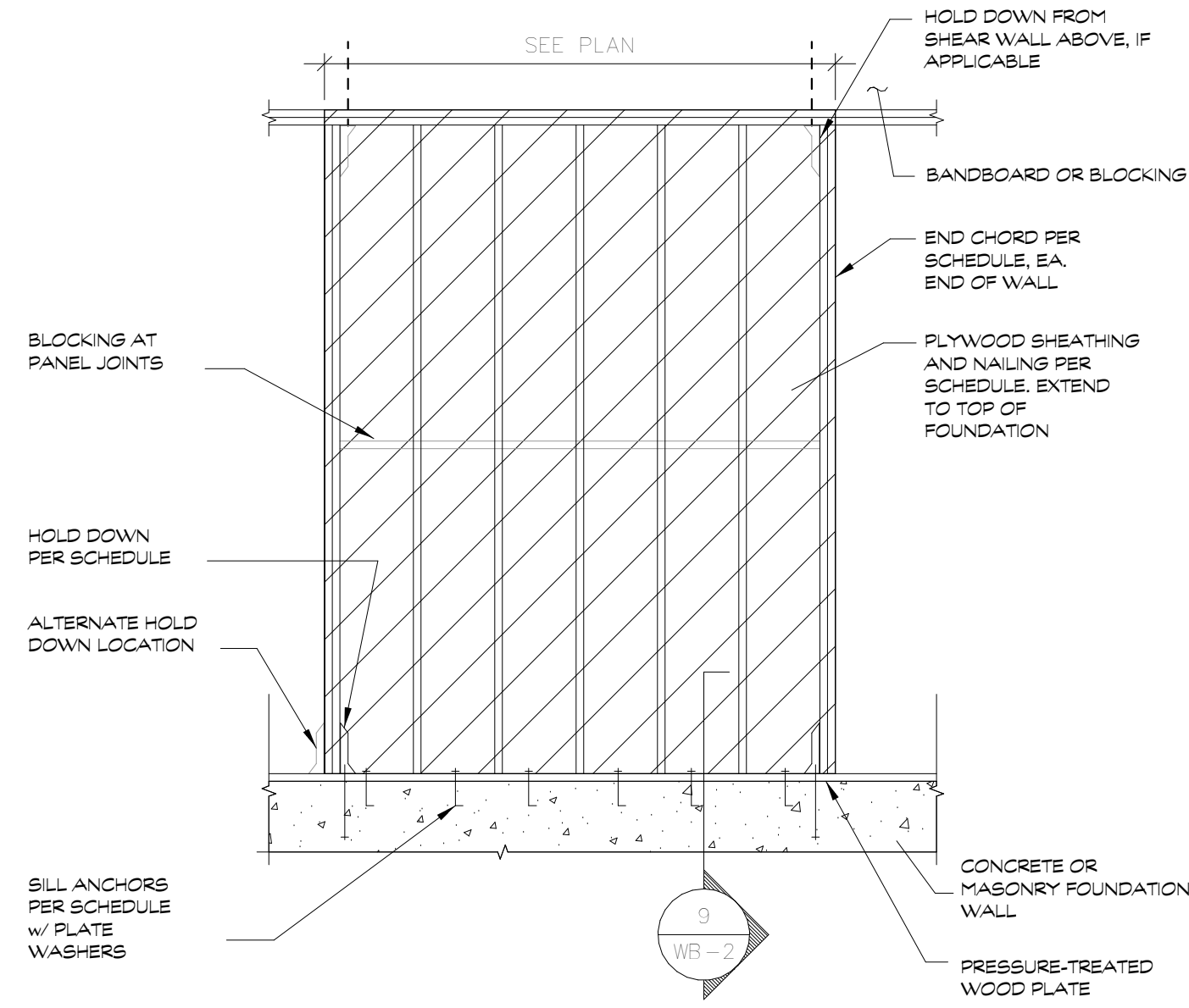
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date:	rev. #
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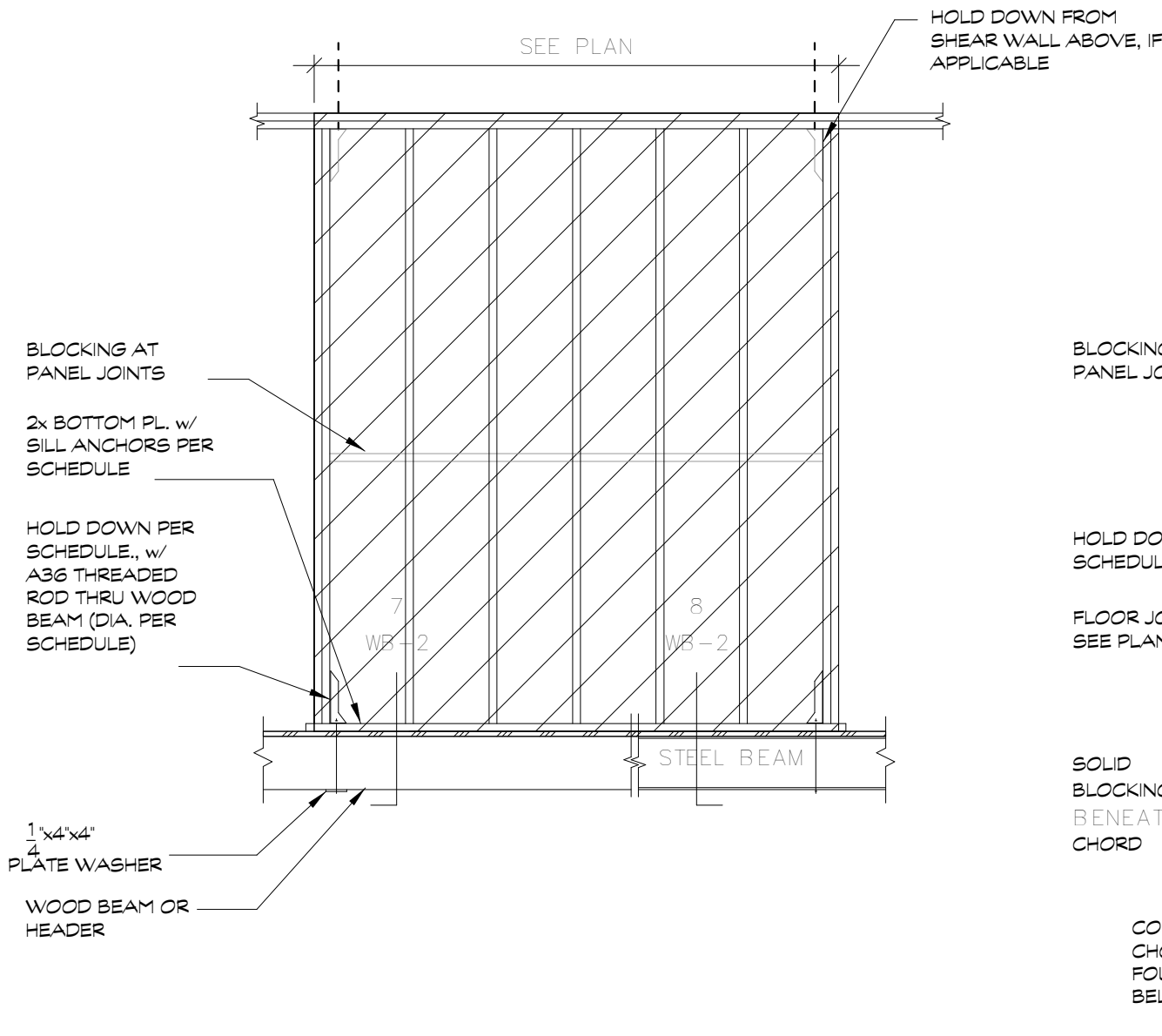
description:	rev. #
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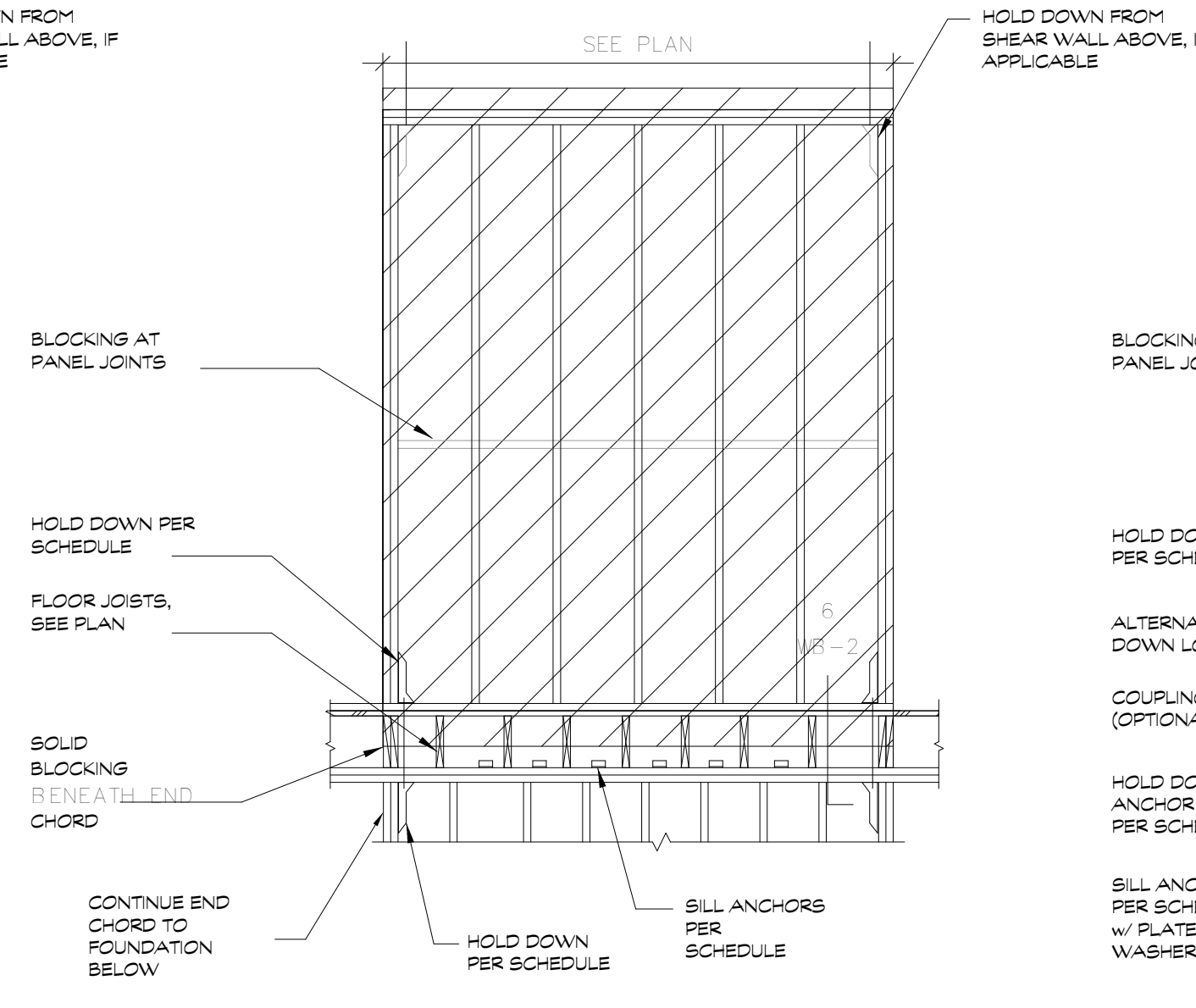
WB-1



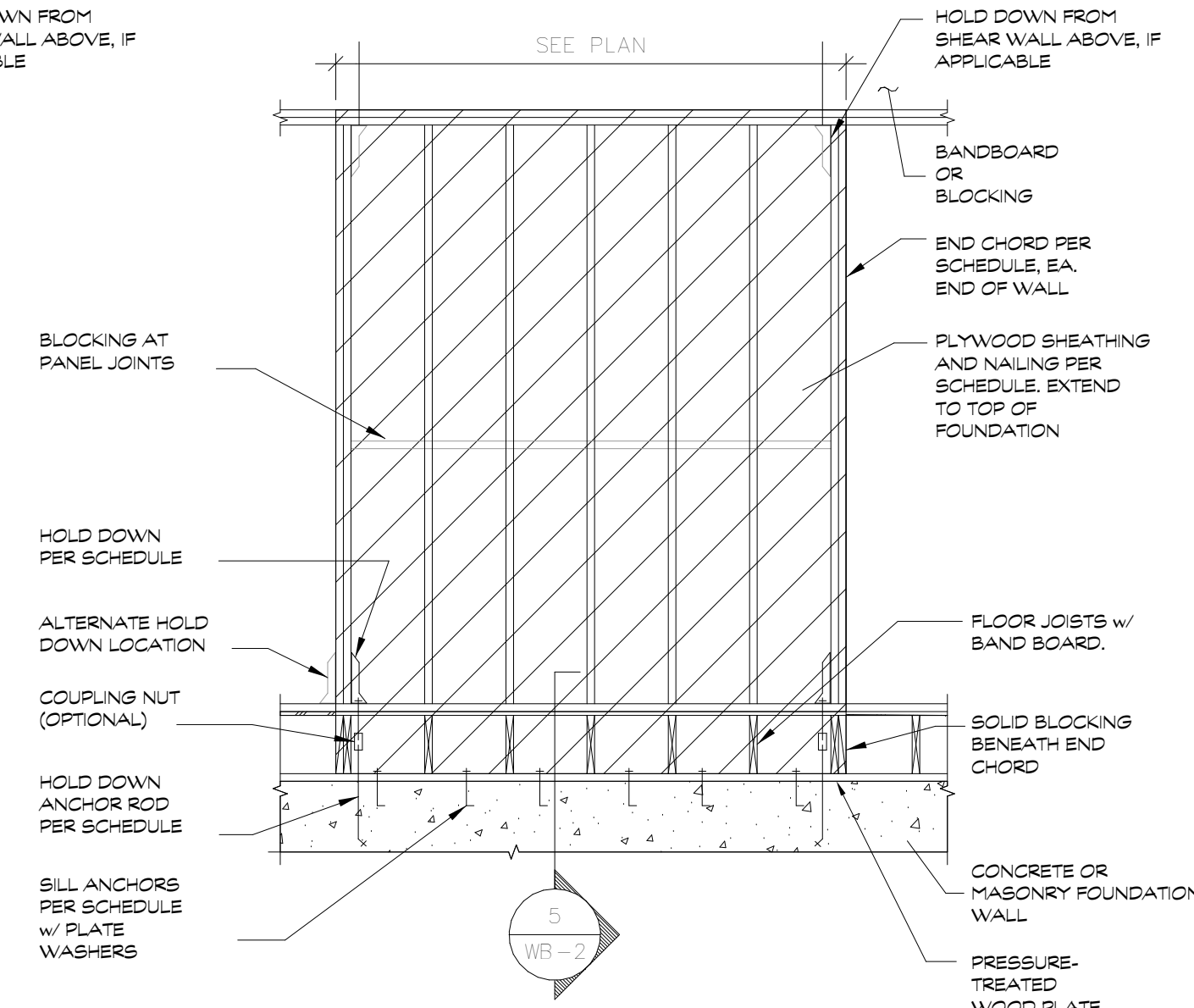
TYPICAL SHEAR WALL ON SLAB-ON GRADE
SECTION 4
NOT TO SCALE WB-2



TYPICAL SHEAR WALL ON BEAM
SECTION 3
NOT TO SCALE WB-2



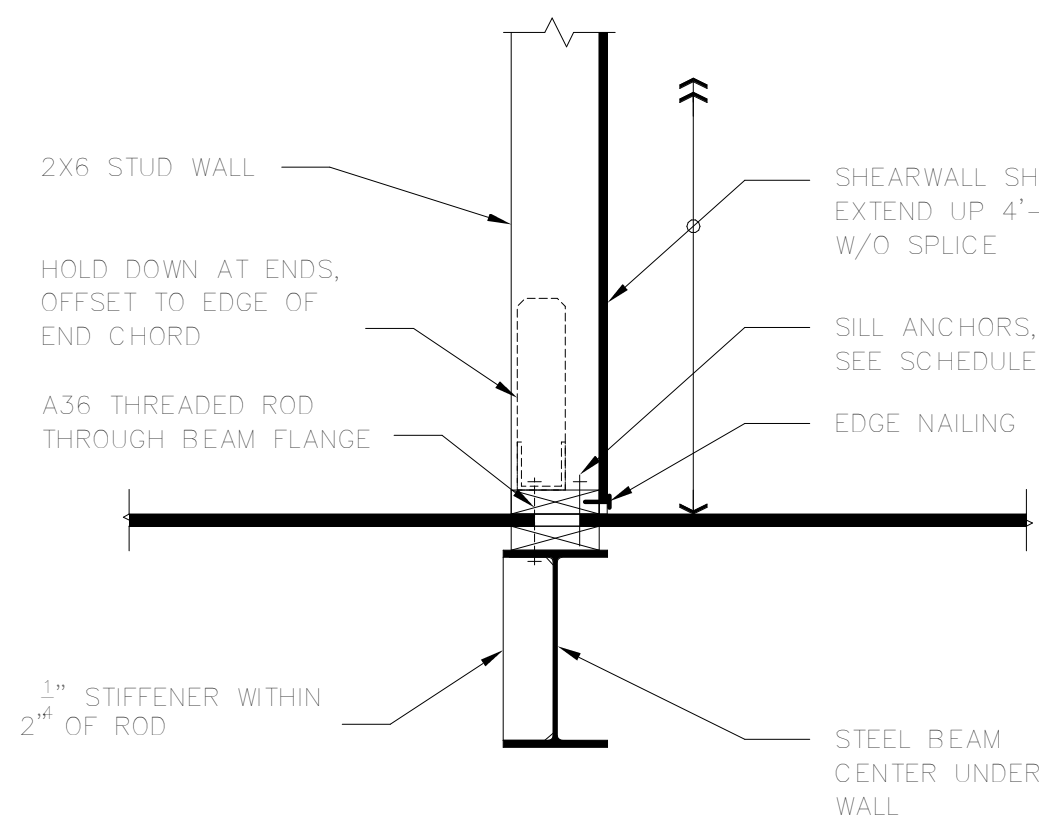
TYPICAL SHEAR WALL ON WALL BELOW
SECTION 2
NOT TO SCALE WB-2



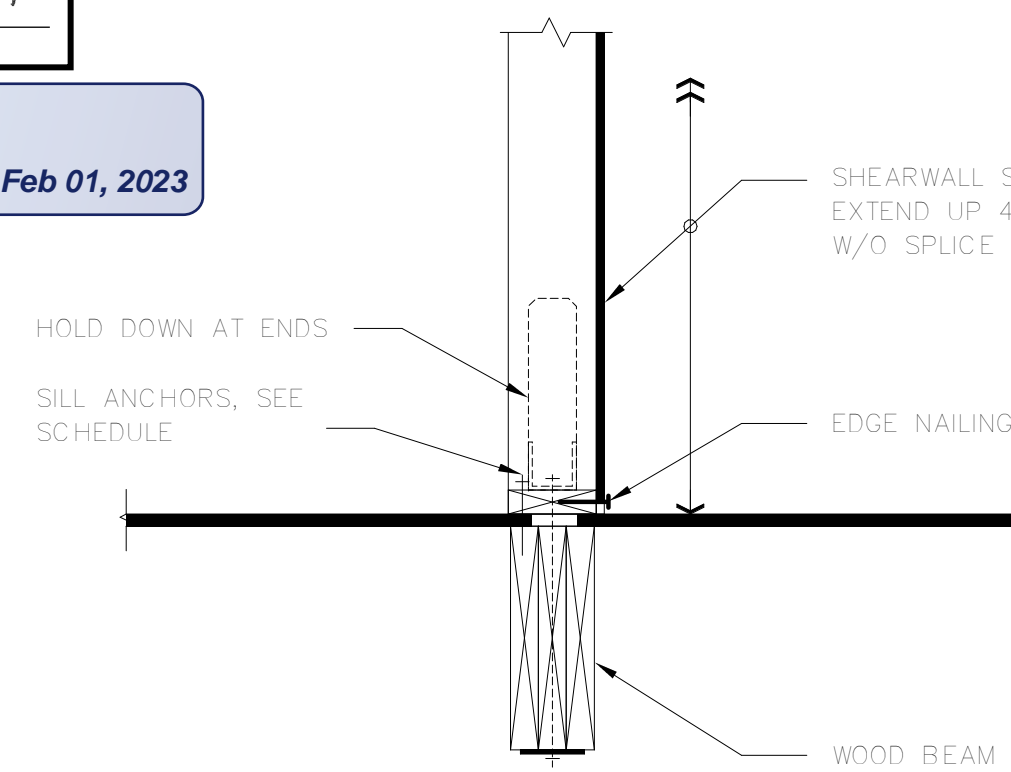
TYPICAL SHEAR WALL ON FOUNDATION
SECTION 1
NOT TO SCALE WB-2

APPROVED
Montgomery County
Historic Preservation Commission
Robert H. ...

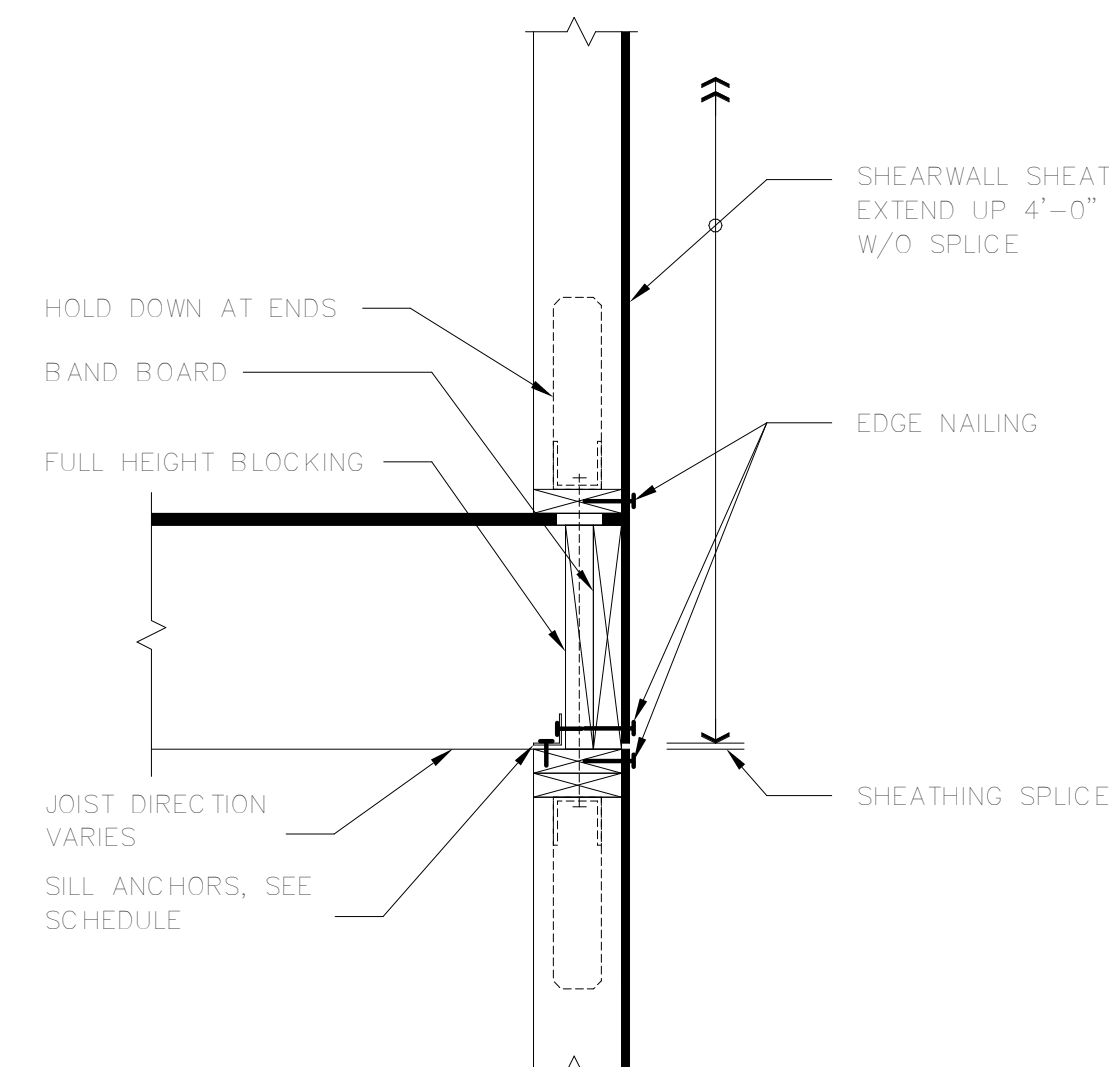
REVIEWED
By Dan.Bruechert at 2:07 pm, Feb 01, 2023



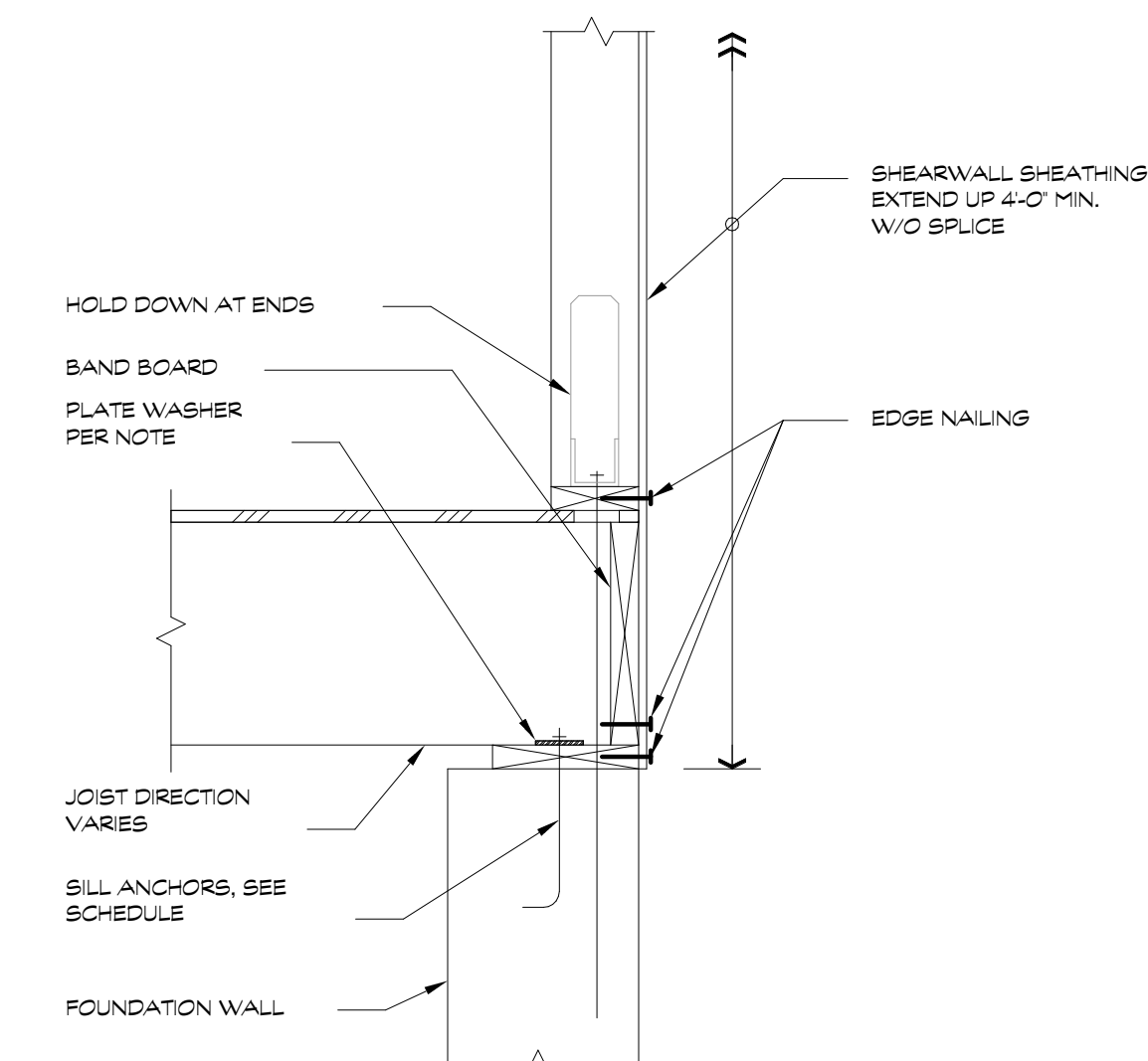
SHEAR WALL AT STEEL BEAM
SECTION 8
SCALE: 1" = 1'-0" WB-2



SHEAR WALL AT WOOD BEAM
SECTION 7
SCALE: 1" = 1'-0" WB-2



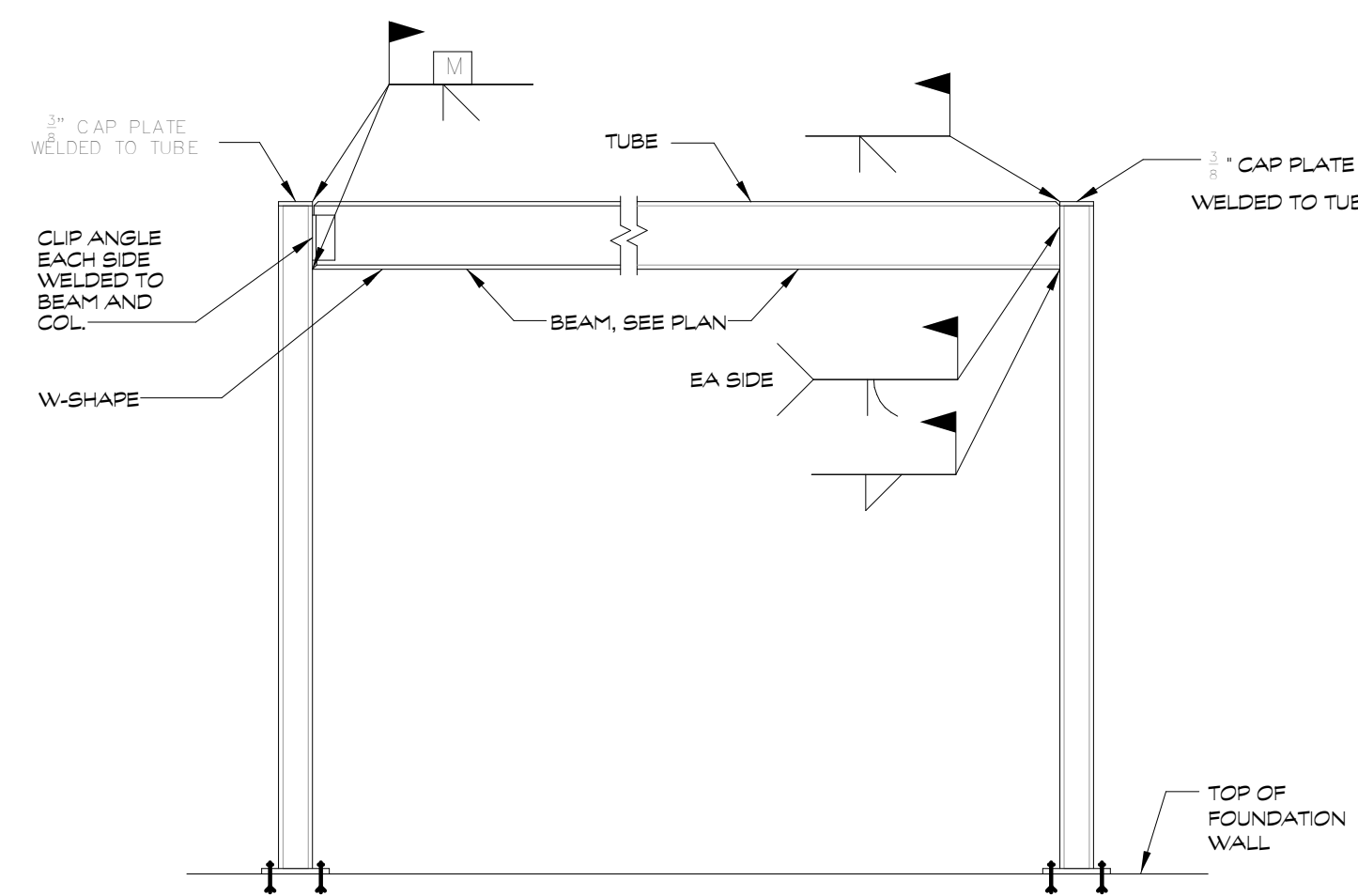
SHEAR WALL AT FLOOR
SECTION 6
SCALE: 1" = 1'-0" WB-2



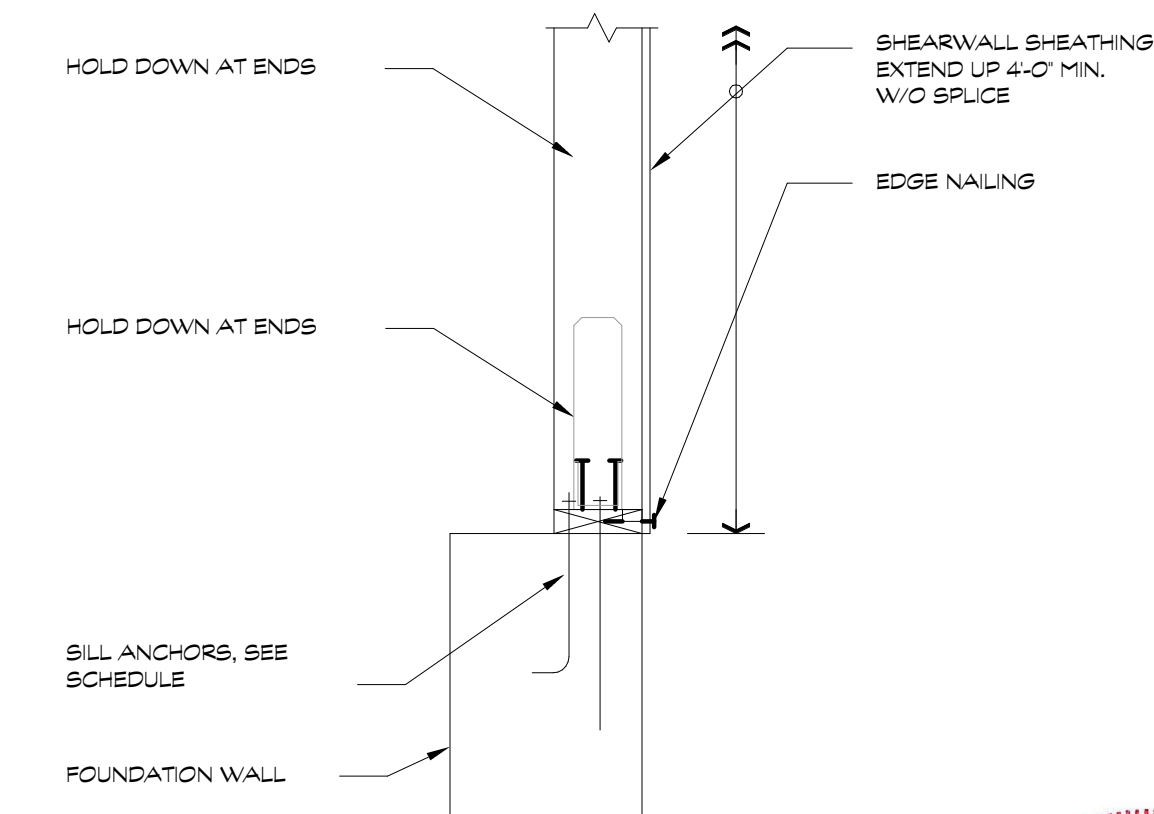
SHEAR WALL AT FOUNDATION
SECTION 5
SCALE: 1" = 1'-0" WB-2

MARK	SECTION	LEVEL	SHEATHING TYPE	NAIL SIZE	NAIL SPACING		END CHORD	HOLD DOWN		SILL ANCHORS
					EDGES	FIELD		TYPE	ANCHOR	
SW-1	1WB-2	FIRST	7/16 OSB	8d	6"	12"	3-2x6	HDU5-SDS2.5	5/8"	1/2" AB @ 16" O.C.
SW-2	1WB-2	FIRST	7/16 OSB	8d	6"	12"	3-2x6	HDU4-SDS2.5	5/8"	1/2" AB @ 16" O.C.

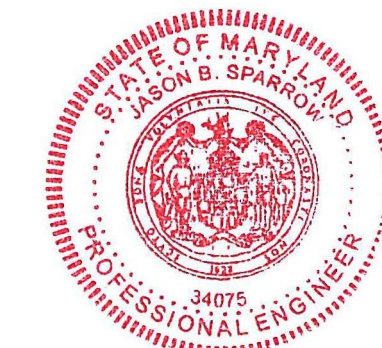
- NOTES:
- ALL SHEATHING JOINTS TO BE BLOCKED.
 - PROVIDE 4 1/2" X 4 1/2" X 4 1/4" PLATE WASHERS AT SILL ANCHOR BOLTS IN 2x6 WALLS. 2 1/2" X 2 1/2" X 2 1/4" WASHER AT 2x4 WALLS.
 - ANCHOR SW-2 INTO EXISTING WALL USING HILTI HY-270 ADHESIVE ANCHOR SYSTEM.



TYPICAL MOMENT FRAME
SECTION 10
NOT TO SCALE WB-2



SHEAR WALL AT FOUNDATION
SECTION 9
SCALE: 1" = 1'-0" WB-2



Professional Certification. I, Jason B. Sparrow, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of State of Maryland, License no. 34075, Expiration Date: 02/11/23.

proposed renovation for:
WHALEN
10905 MONTROSE AVE,
GARRETT PARK, MD
20896

sheet title:
Typ. Wall
Bracing
Det.- Eng.
Method
sheet scale:

N.T.S.

sheet date:

02.09.22

drawing revisions:

date:
02.09.22

description:
PERMIT

rev.#
1
2
3
4
5

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WB-2