



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: May 17, 2022

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission Historic

SUBJECT: Area Work Permit # 951746 - ADU Construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the February 2, 2022 HPC Meeting.

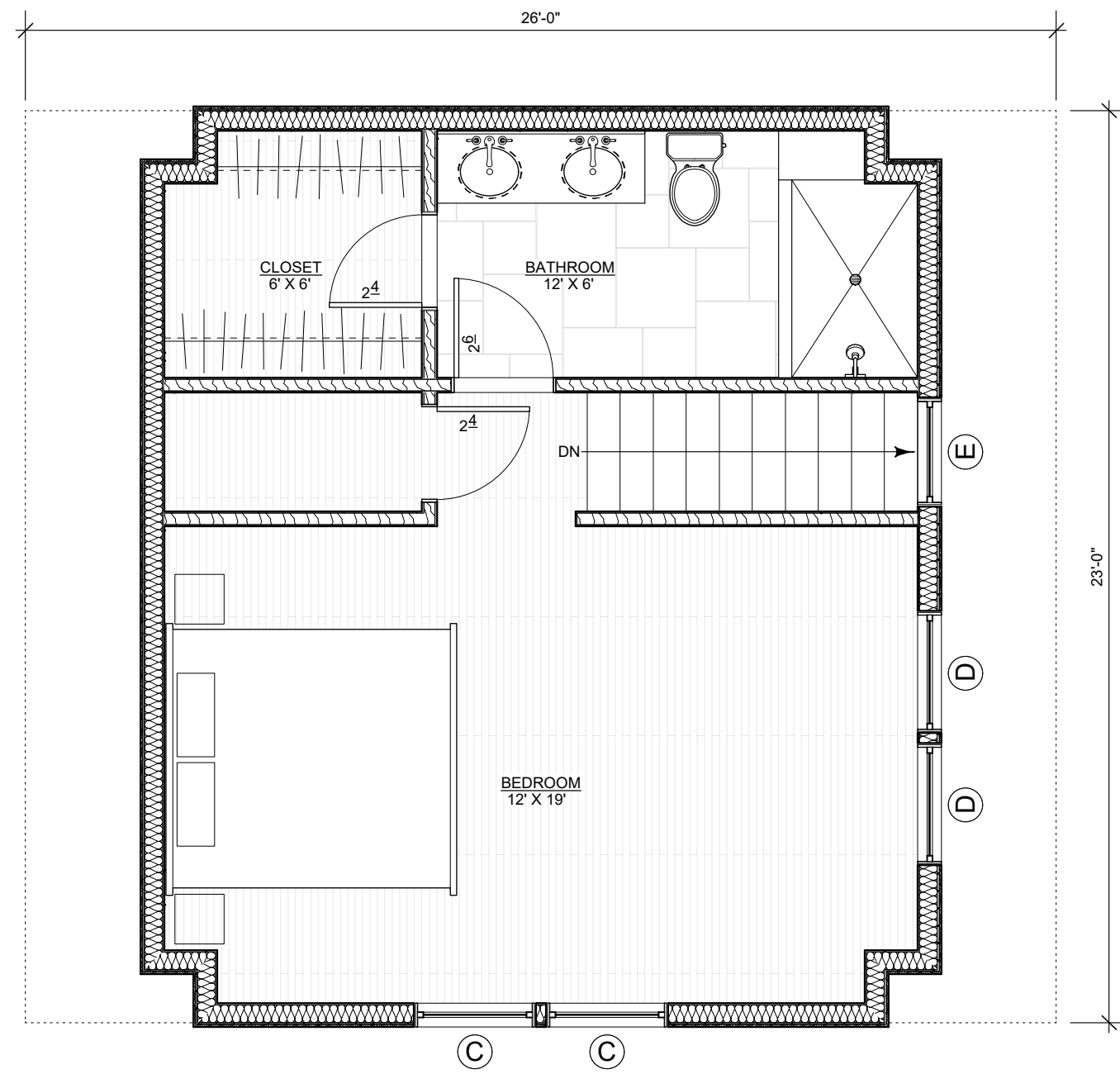
The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

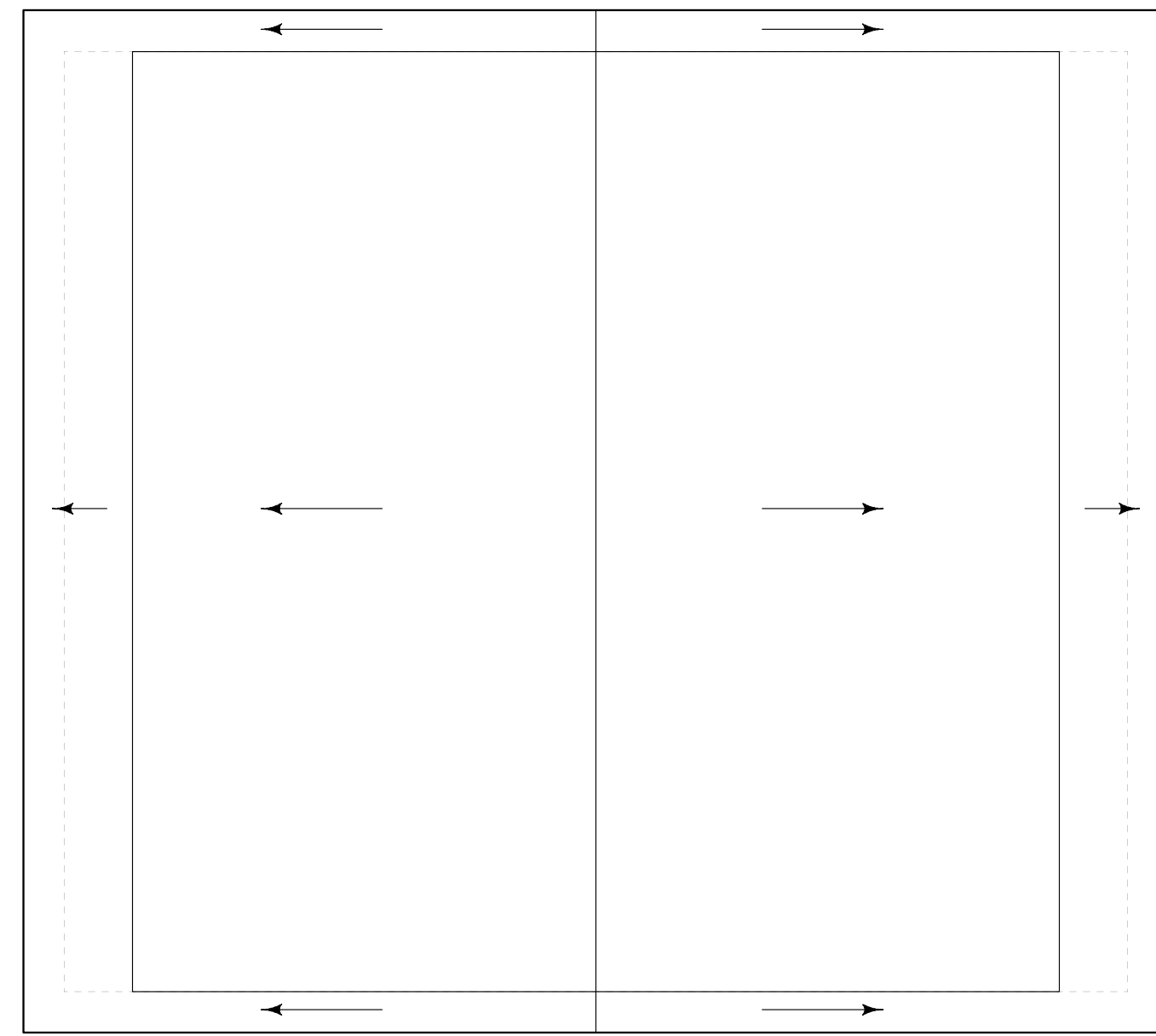
Applicant: Brett Howard
Address: 2115 Salisbury Rd., Silver Spring

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.

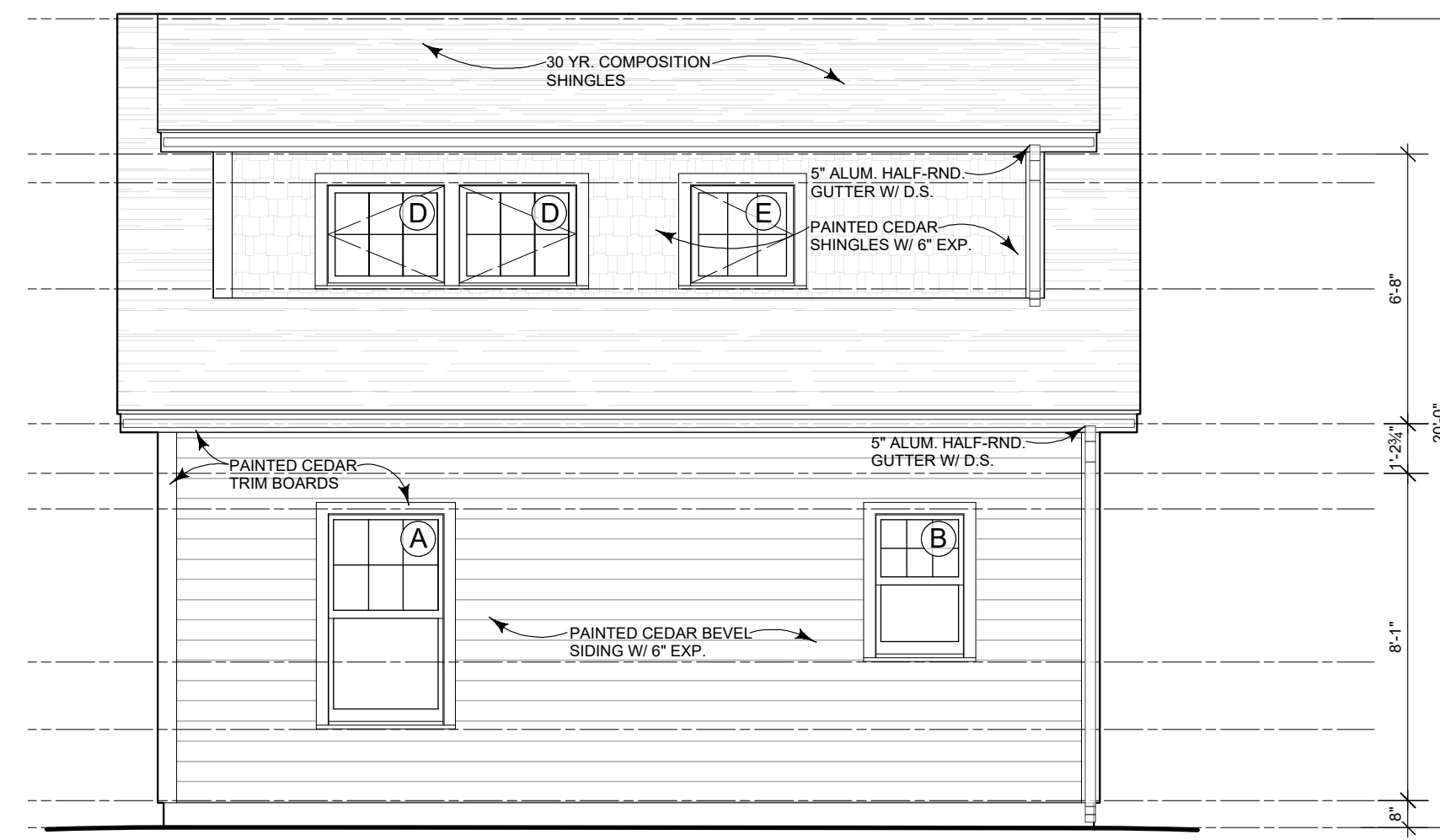




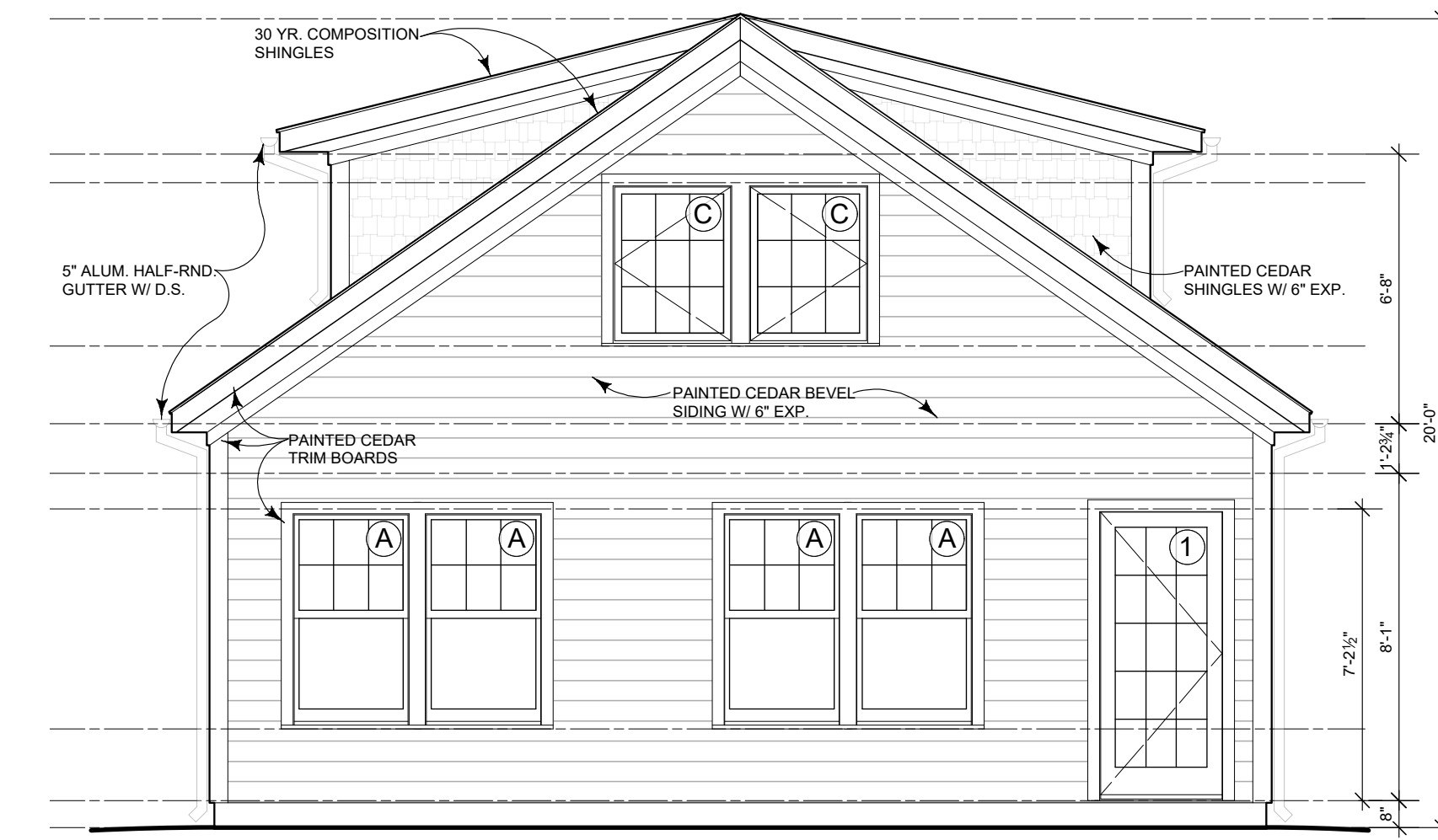
A-1.0 SECOND FLOOR PLAN 1/4"=1'-0"



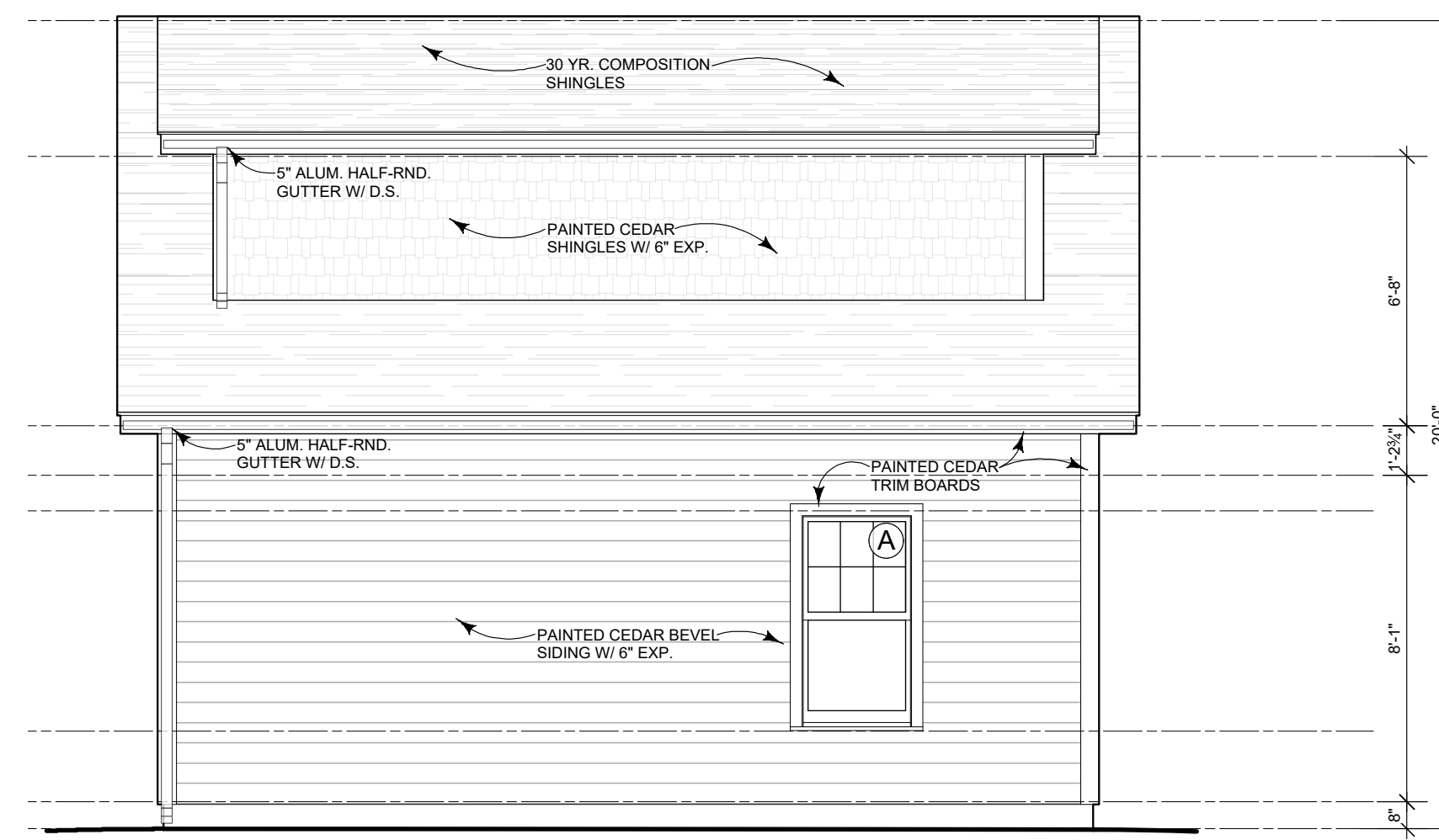
A-1.0 ROOF PLAN 1/4"=1'-0"



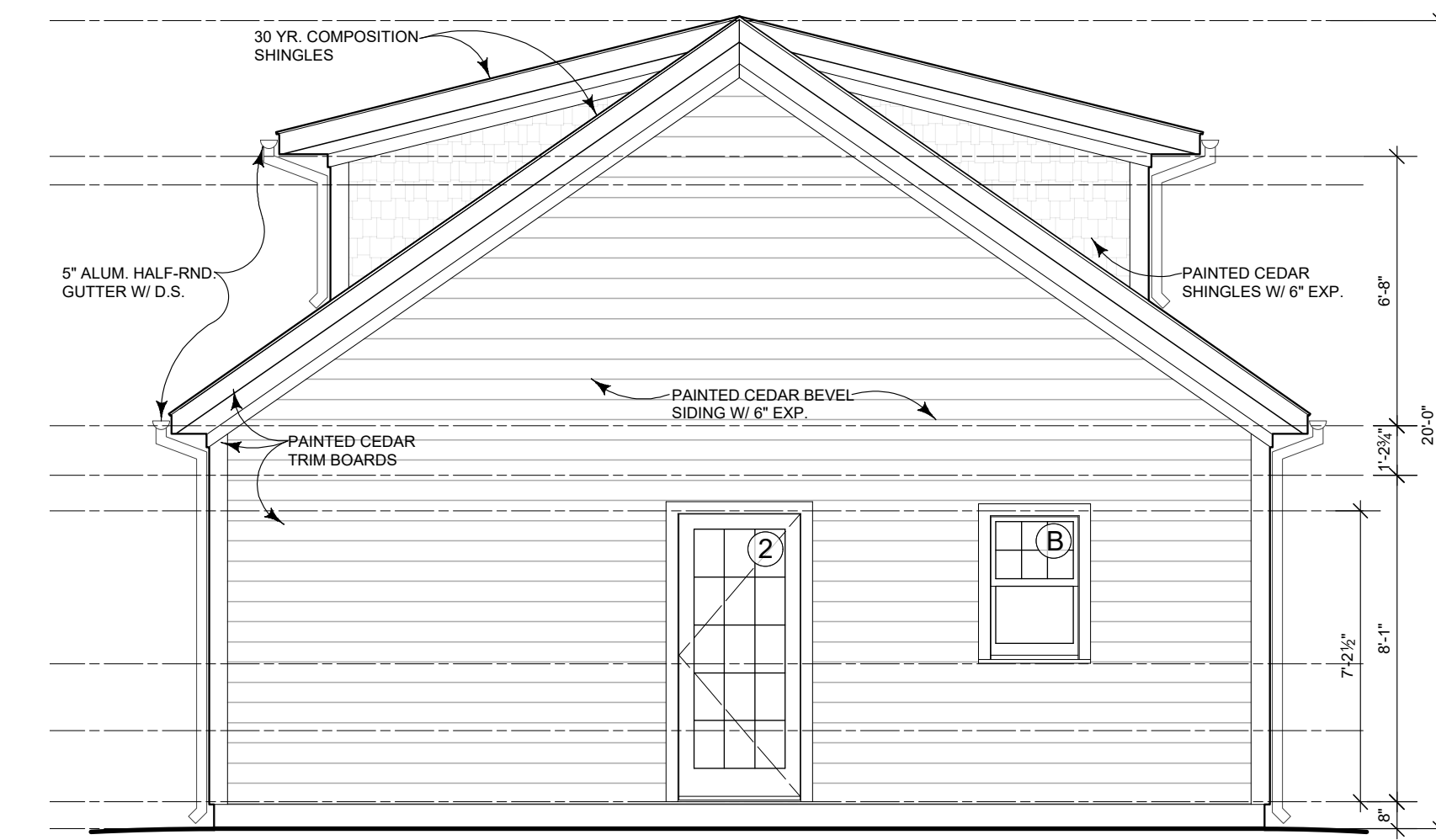
A-1 EAST ELEVATION 1/4"=1'-0"



A-1 SOUTH ELEVATION 1/4"=1'-0"



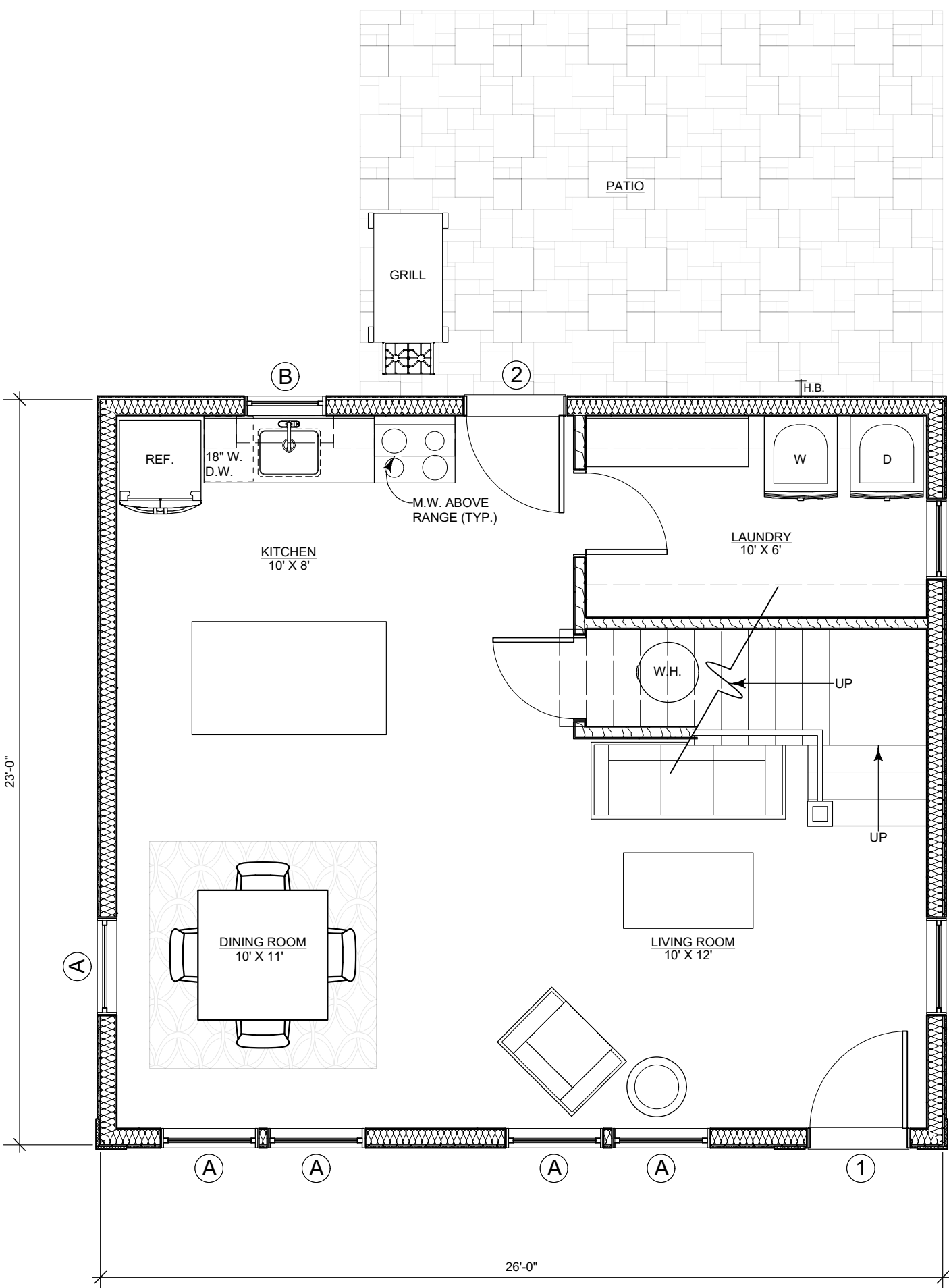
A-1 WEST ELEVATION 1/4"=1'-0"



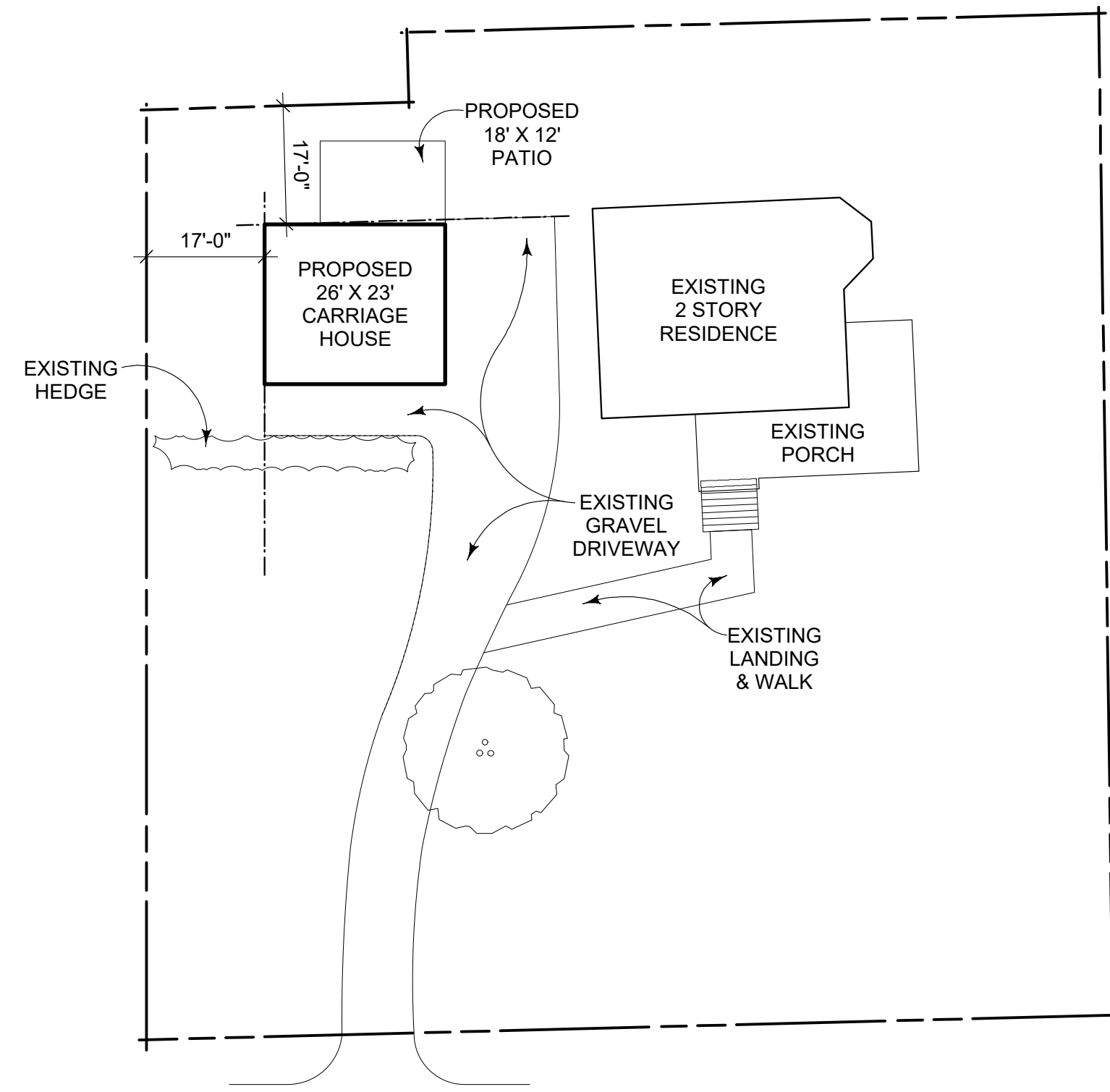
A-1 NORTH ELEVATION 1/4"=1'-0"

Mark	Mfr.	Model	Rough Opening Width X Height	Type	Lites	Glazing S.H.G.C. U Value	Finish	Hardware	Remarks
1	Marvin	ELIFD 3070R	3'-1 1/4" X 7'-2 1/2"	Inswing French	15	<.4 <.3	Fiberglass		
2	Marvin	ELIFD 3070L	3'-1 1/4" X 7'-2 1/2"	Inswing French	15	<.4 <.3	Fiberglass		
A	Marvin	ELDH 3664	3'-0 1/2" X 5'-4 1/4"	Double Hung	6/1	<.4 <.3	Fiberglass		Screen
B	Marvin	ELDH 3044	2'-6 1/2" X 3'-8 1/4"	Double Hung	6/1	<.4 <.3	Fiberglass		Screen
C	Marvin	ELCA 3747	3'-1" X 3'-11 1/2"	Casement	9	<.4 <.3	Fiberglass		Screen, egress
D	Marvin	ELCA 3731	3'-1" X 2'-7 1/2"	Casement	6	<.4 <.3	Fiberglass		Screen
E	Marvin	ELCA 3331	2'-9" X 2'-7 1/2"	Casement	6	<.4 <.3	Fiberglass		Screen

Note: Contractor shall field verify each R.O./M.O. prior to ordering units.
Contractor shall verify that all glazed units meet or exceed federal S.H.G.C. & R-values to qualify for federal tax credits.



A-1.0 FIRST FLOOR PLAN 1/4"=1'-0"



A-1.0 PROPOSED SITE PLAN 1"=30'-0"

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 3:57 pm, May 16, 2022

Frederick Sieracki AIA
Architect
119 Monticello Avenue
Annapolis, Maryland 21401
410 268 7907

Drawing: Plans & Elevations
Date: 01-04-2022
Revisions:

PRELIMINARY
A Carriage House for:
The Farmer Residence
2115 Salisbury Road
Silver Spring, MD 20910

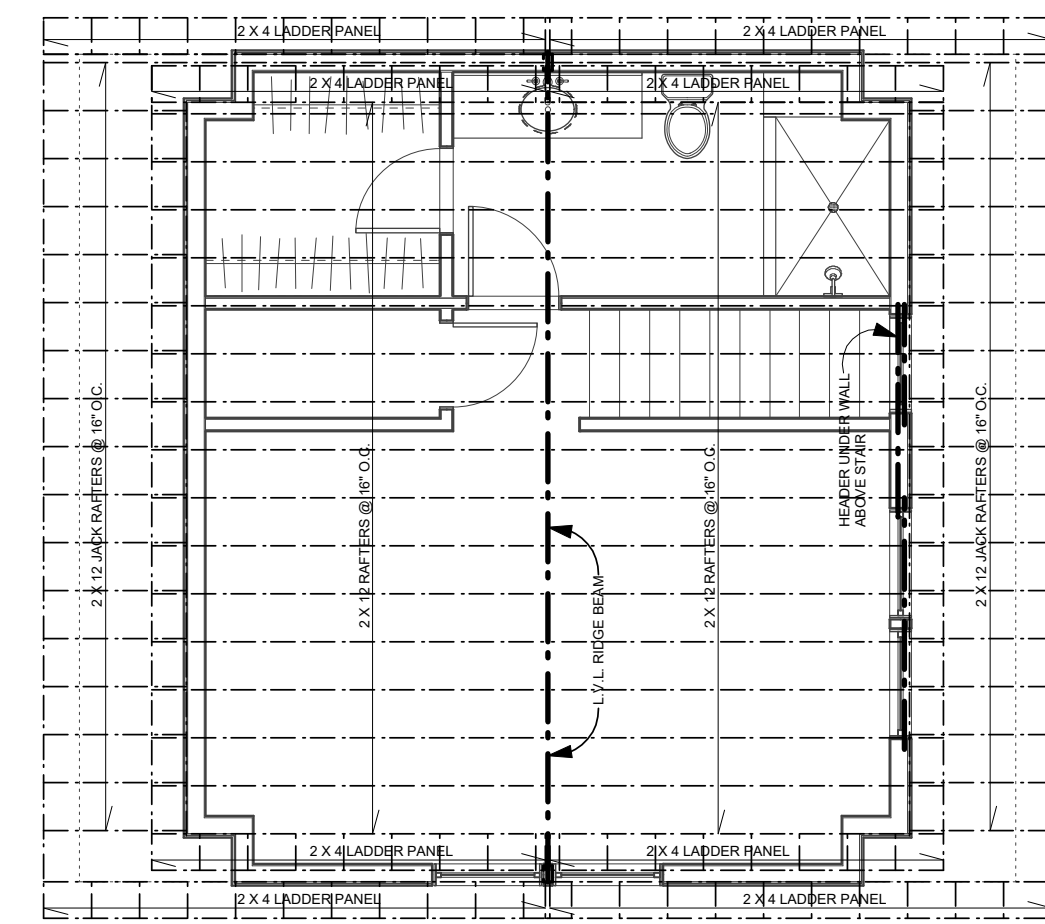
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GENERAL APPLICABLE CODES:

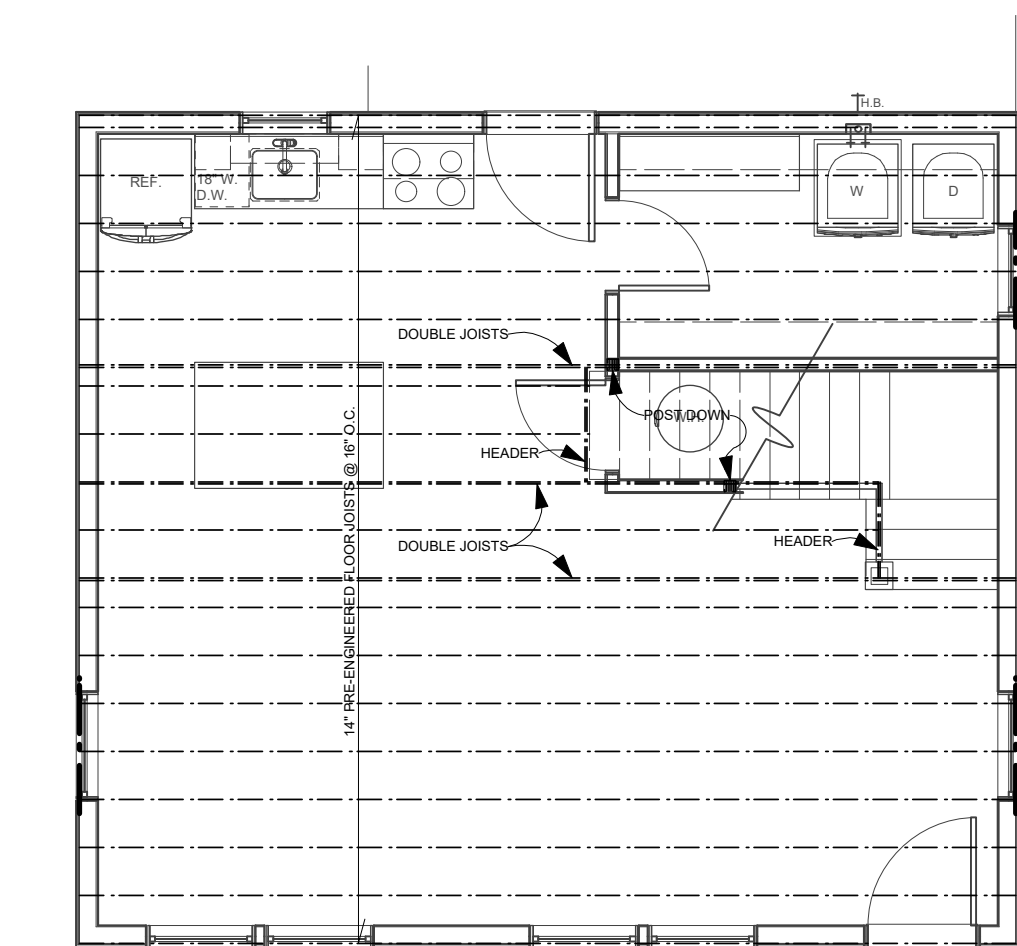
- 2015 INTERNATIONAL RESIDENTIAL CODE
- 2015 LIFE SAFETY CODE - NFPA 101
- 2015 NFPA UNIFORM FIRE CODE - NFPA 1
- 2013 AUTOMATIC SPRINKLER SYSTEMS CODE - NFPA 13
- 2013 SPRINKLER SYSTEMS FOR 1&2 FAMILY DWELLINGS - NFPA 13D
- 2013 FIRE ALARM CODE - NFPA 72 NATIONAL FIRE ALARM CODE
- 2015 INTERNATIONAL FUEL GAS CODE
- 2015 INTERNATIONAL ELECTRICAL CODE
- 2015 INTERNATIONAL MECHANICAL CODE
- 2015 INTERNATIONAL PLUMBING CODE
- 2015 INTERNATIONAL ENERGY CONSERVATION CODE

GENERAL NOTES:

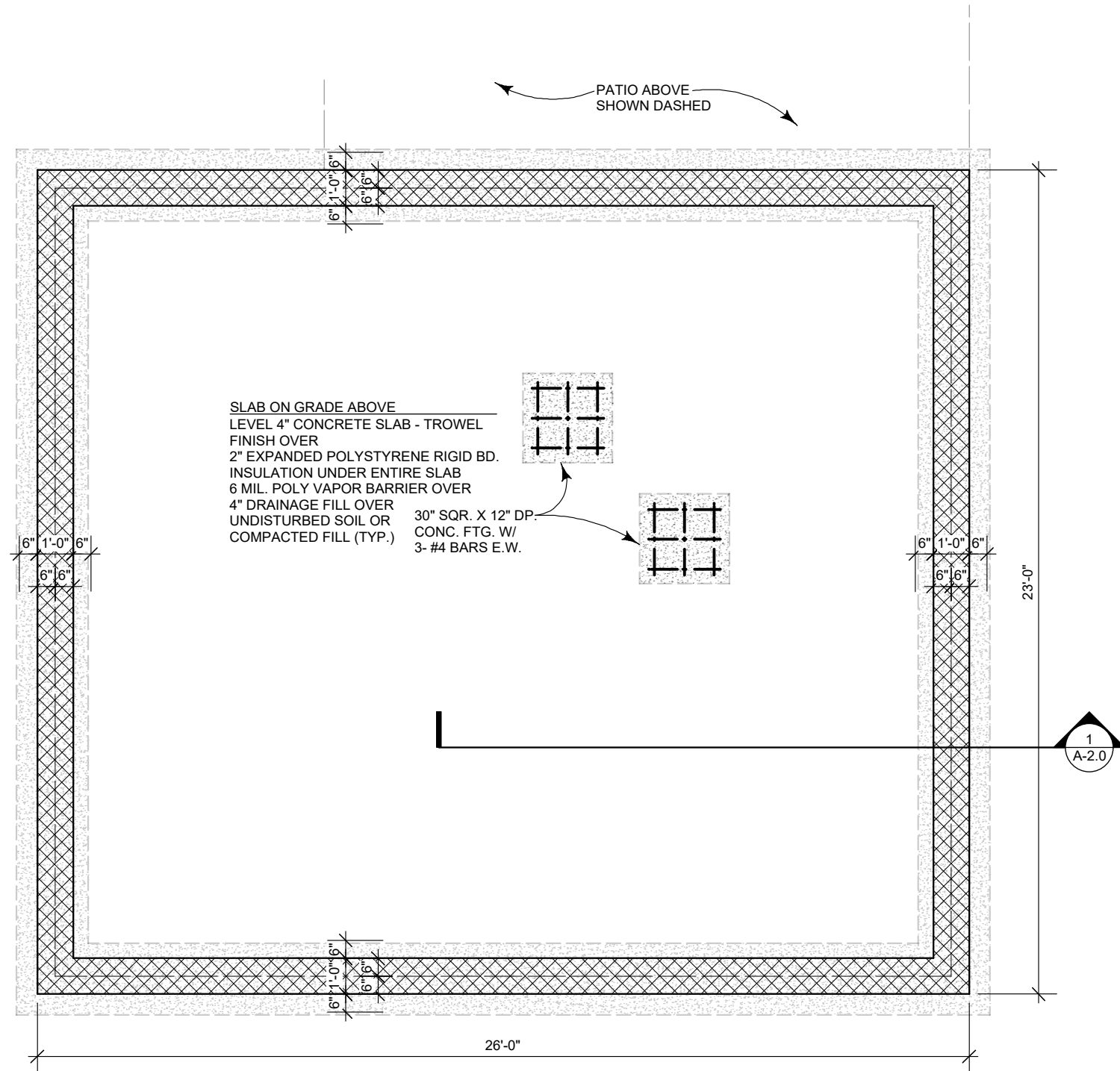
- The contractor shall comply with all current applicable codes, laws, ordinances, and requirements of the public authorities having jurisdiction over this project.
- The contractor shall verify all dimensions and conditions given on the drawings and report any errors or discrepancies to the architect before commencing work.
- All dimensions on the drawings are to face of stud, face of masonry, or edge of floor platform, unless noted otherwise. Numerical dimensions shall take precedence over scaled dimensions.
- The contractor shall be responsible for coordinating the installation of all cabinetry, appliances, fixtures, equipment, etc., at locations indicated on the drawings. The contractor shall notify the architect of any dimensional discrepancies before proceeding with the work. The contractor shall bear all responsibility for corrective action due to the contractor's failure to coordinate the work.
- All notes on the drawings shall be assumed to be typical unless noted otherwise on the drawings.



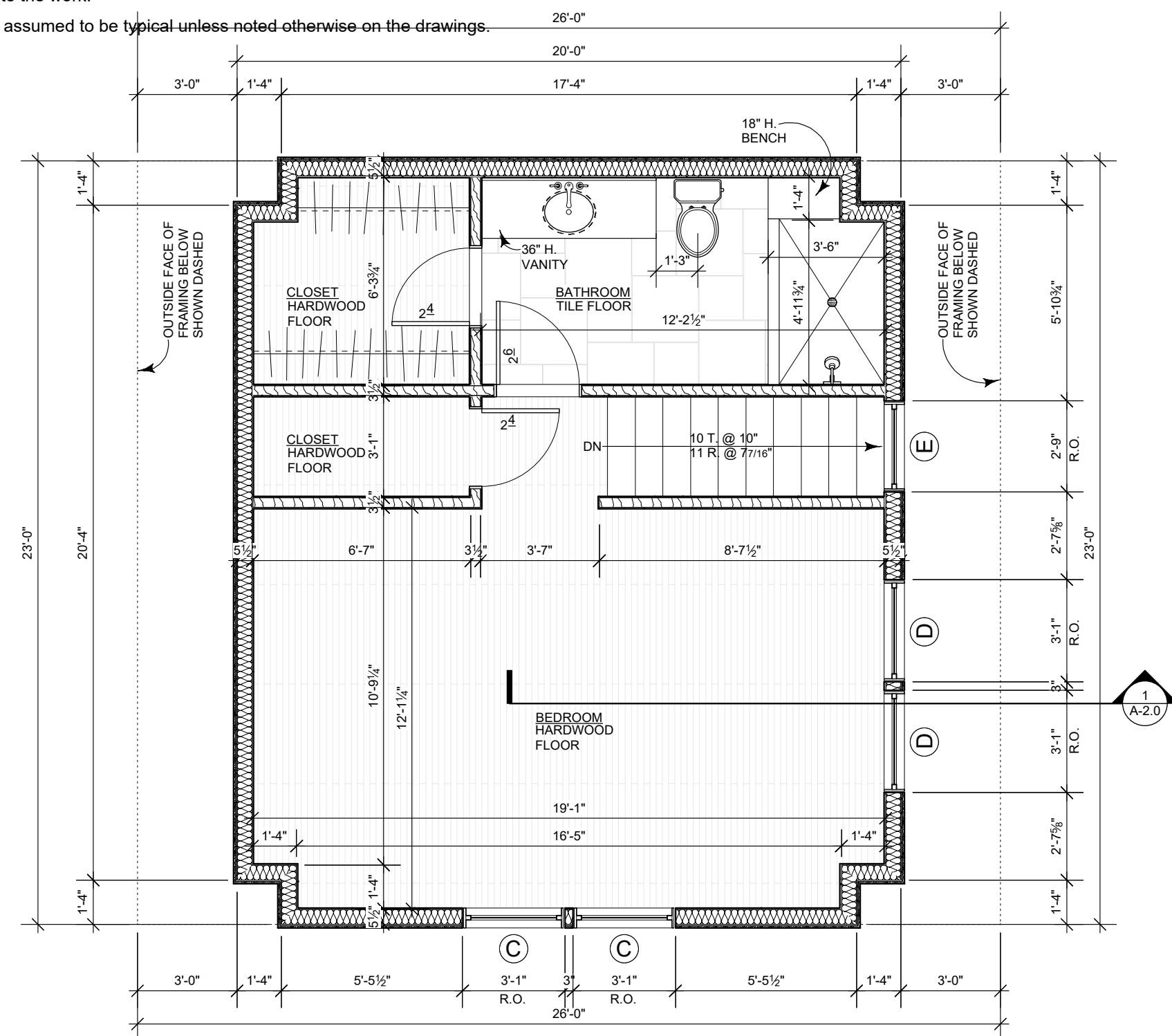
SECOND FLOOR FRAMING PLAN 3/16=1'-0"



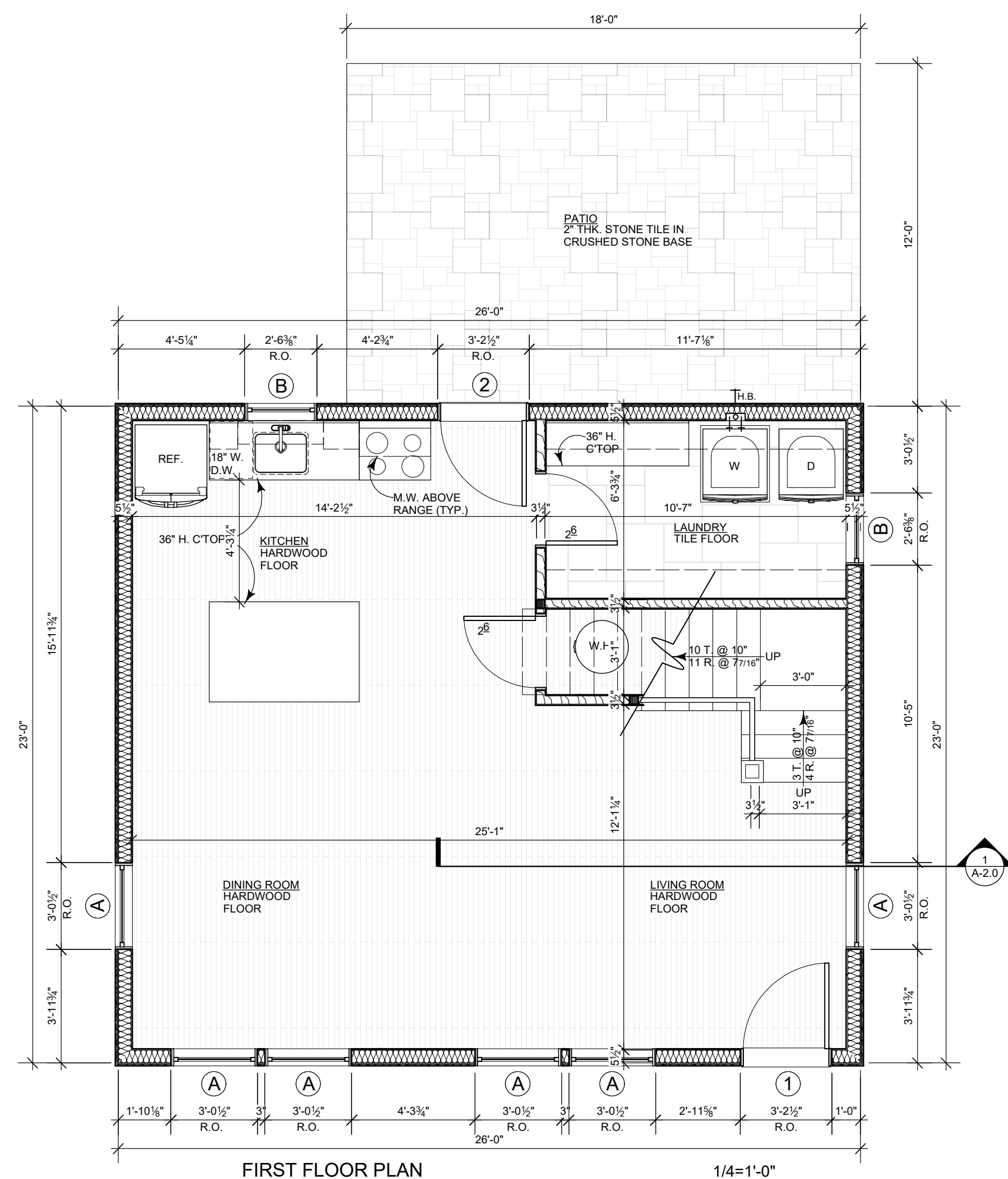
SECOND FLOOR FRAMING PLAN 3/16=1'-0"



FOUNDATION PLAN 1/4=1'-0"



SECOND FLOOR PLAN 1/4=1'-0"



FIRST FLOOR PLAN 1/4=1'-0"

STRUCTURAL NOTES

Design Loads (per square foot)

	live load	dead load	total load
First Floor	40	10	50
Second Floor	30	10	40
Roof	30	10	40
Lateral Wind Ld	-	-	15

Concrete

- All concrete shall have a minimum compressive strength of 3000 psi at 28 days.
- All concrete shall be placed on undisturbed soil or controlled compacted fill.
- All concrete slabs shall be reinforced with 6x6, 10/10 WWF.
- All exterior concrete shall be air entrained.
- All reinforcing steel shall conform to ASTM 615-82, grade 60. All continuous (abbreviated cont.) steel reinforcing shall be lapped 36 bar diameters. Concrete cover for reinforcing steel shall be 3 inches minimum for ground contact and 1-1/2 inches at slabs.

Masonry

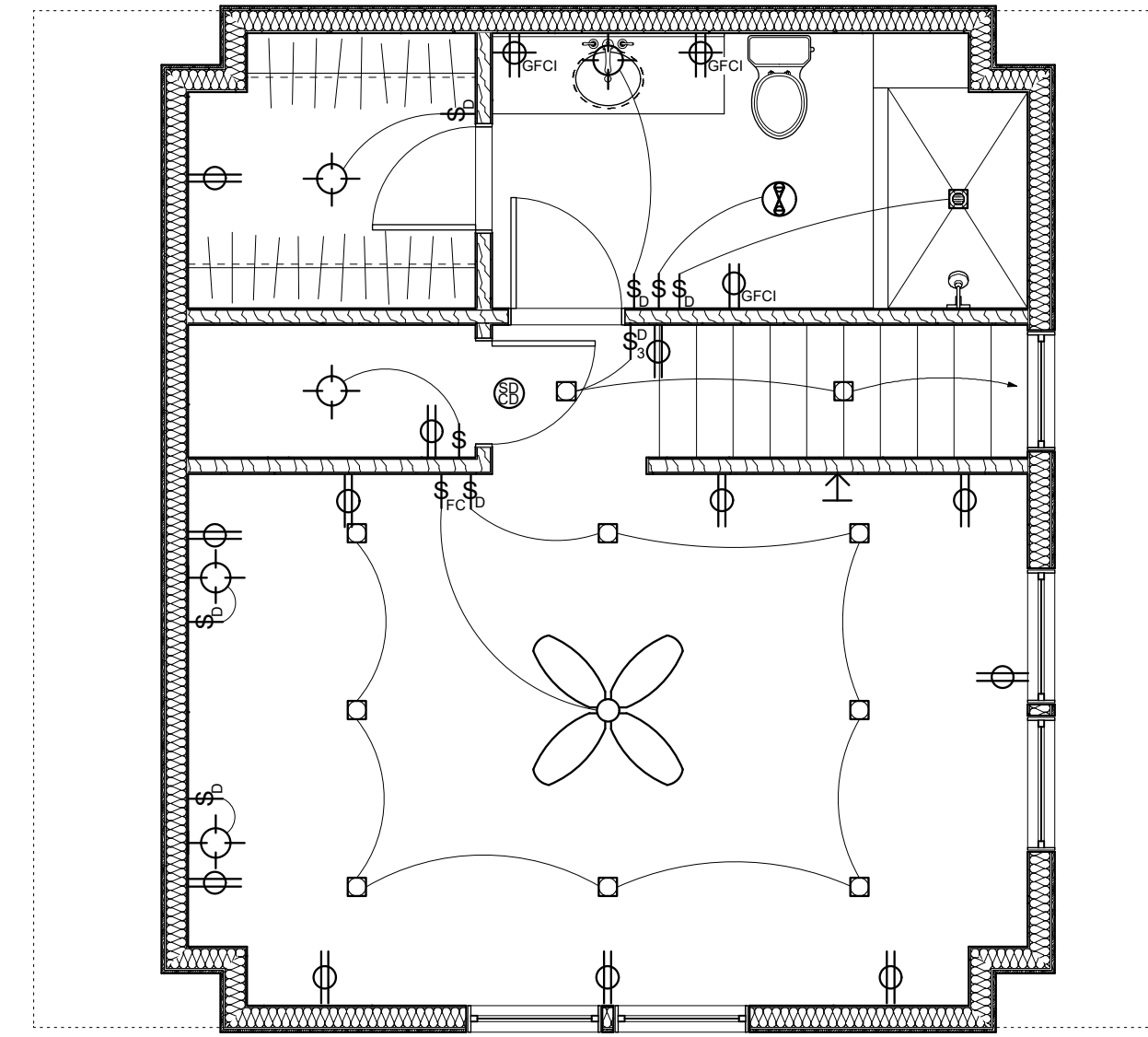
- CMU shall conform to ASTM C90 -75.
- Mortar shall be Type "S" and conform to ASTM C270-82
- Solid CMU shall be used at all changes of wall width and at the top of foundation walls.

Wood Framing

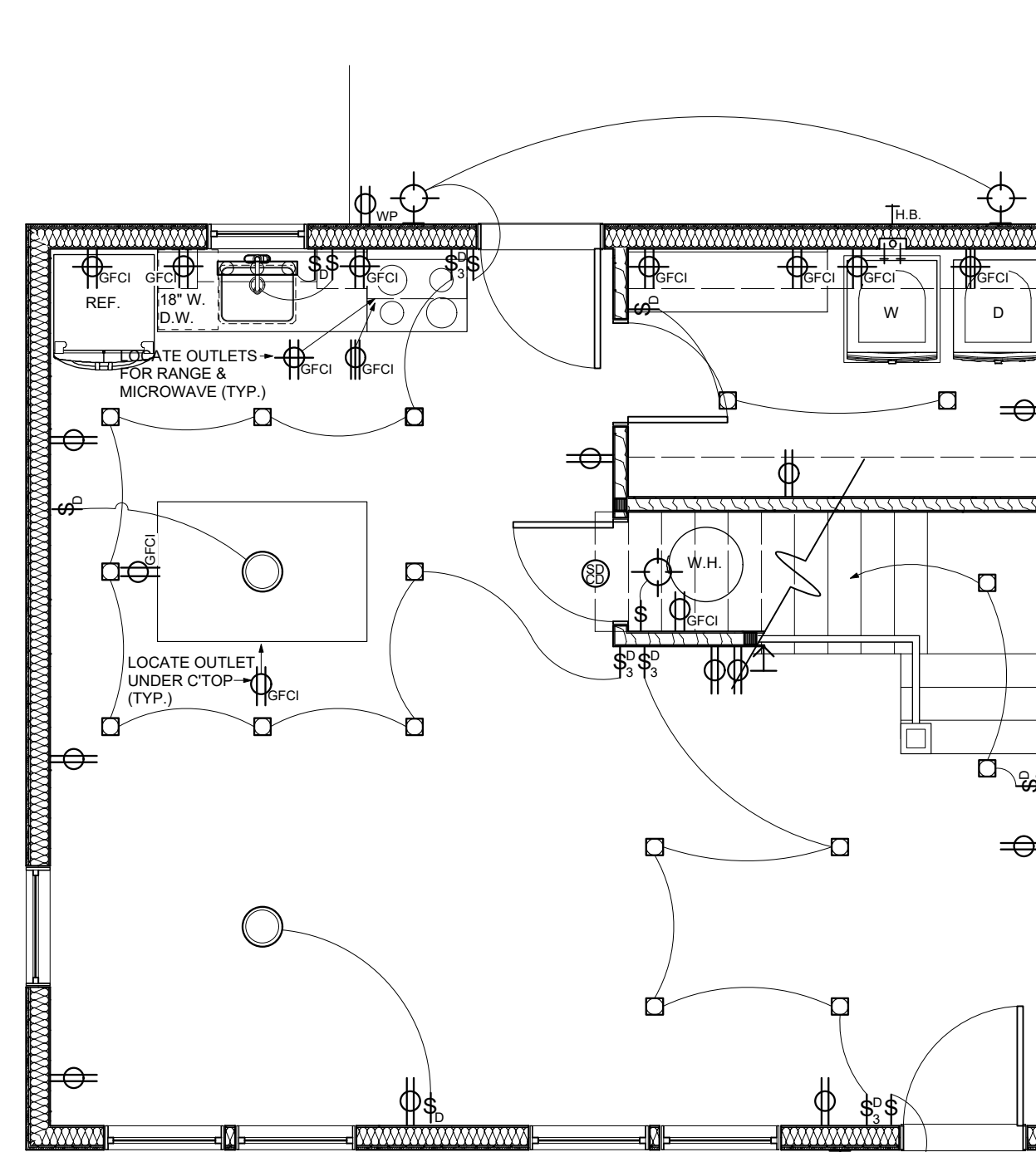
- All framing lumber shall be SPF #2, kiln-dried or better.
- All wood in contact with concrete, masonry or steel shall be A.W.P.A. UC4A.
- All metal fasteners and joist hangers in contact with AC4A treated wood shall be 316 stainless steel.
- Joists shall have a minimum of 2 inch of bearing at all bearing walls.
- All beams shall have a minimum of two 2x4 posts at all bearing points.
- All framing shall be set square, plumb, and level.
- Unless otherwise noted, all headers over openings of 3'-0" or less shall be two 2x10's at bearing walls.
- Provide cross-bracing at midspan for all joist spans over 8'-0".
- Provide all necessary blocking for wall and ceiling fixtures.
- Provide fire blocking per applicable code.
- Prefabricated structural timber shall be either microlam (ML) conforming to NBR-126 or paralam (PL) conforming to BR-292.
- Oriented strand board wall sheathing shall be installed so as to provide a continuous membrane from from foundation to rafter bearing.
- Subfloors shall be 3/4-inch T&G "ADVANTECH" nailed and glued per APA specifications.
- Roof sheathing shall be 5/8-inch fir plywood installed per APA specifications

Fiberglass Batt Insulation & Closed Cell Polyurethane Spray Insulation

- Verify existing conditions before starting work.
- Verify that substrate is free of any foreign material that will impede application.
- Verify that other work on and within spaces to be insulated is complete prior to application.
- Notify Architect of conditions that would adversely affect the application.
- Beginning of installation means applicator accepts existing conditions.
- Comply with manufacturer's written installation instructions for preparing substrates indicated to receive insulation.
- Mask and protect adjacent surfaces from overspray or damage.
- Remove foreign materials, dirt, grease, oil, paint, laitance, efflorescence, and other substances that will affect application.
- Apply insulation in accordance with manufacturers written application instructions.
- Apply insulation to a reasonably uniform monolithic density without voids.
- Apply to minimum cured thickness +/- 1/2 inch as scheduled.
- Apply insulation to fill voids around doors and windows.
- Apply insulation to fill voids around accessible service and equipment penetrations [as noted on drawings].
- Seal plumbing stacks, electrical wiring and other penetrations into attic to control air leakage.
- Apply insulation in vented roof spaces and cathedral ceiling areas per manufacturer or as indicated on drawings to meet all applicable codes.
- Where building is designed to meet the specific airtightness standards of the Energy Star Program, apply insulation as recommended by manufacturer to provide airtight construction. Apply caulking to seal joints between structural assemblies.



SECOND FLOOR ELECTRICAL PLAN 1/4=1'-0"



FIRST FLOOR ELECTRICAL PLAN 1/4=1'-0"

ELECTRICAL LEGEND

- RECESSED LIGHT
- CEILING MOUNTED FIXTURE
- WALL MOUNTED FIXTURE
- SMALL WALL MOUNT SCOFF
- CATV OUTLET
- FAN RATED JUNCTION BOX
- PHONE JACK
- LAN CAT- DATA PORT
- HOME BASE LAN HUB
- EXHAUST FAN
- EXHAUST FAN W/ LIGHT
- FLUORESCENT/L.E.D. LIGHT
- EXTERIOR FLOOD LIGHT
- TRACK LIGHTING 4" OR 8" LG. (SEE PLAN)
- ROPE LIGHTING (SEE PLAN FOR LENGTH)
- PENDANT LIGHT
- SWITCH
- THREEWAY SWITCH
- FOURWAY SWITCH
- SWITCH W/ DIMMER
- FAN CONTROL SWITCH
- SMOKE/CARBON MONOXIDE DETECTOR
- JAMB SWITCH
- CEILING FAN
- 4" DIA. LINE VOLTAGE RECESSED LIGHT
- 6" DIA. LINE VOLTAGE EYEBALL LIGHT
- UNDER CABINET-SURFACE MOUNT LINE VOLTAGE LIGHTING
- HALOGEN OR LED SPOT LIGHT
- DUPLEX OUTLET
- SWITCHED DUPLEX OUTLET
- DUPLEX OUTLET ABOVE COUNTER
- DUPLEX OUTLET W/ GROUND FAULT INTERRUPTER
- WATER DUPLEX OUTLET
- 240 V. OUTLET
- SINGLE OUTLET IN FLOOR
- SWITCHED SINGLE OUTLET IN FLOOR
- INSULATED WHOLE HOUSE VENTILATOR
- HEATED FLOOR CONTROL PANEL
- HEATED FLOOR AREA
- MOTION SENSITIVE SWITCH
- BREAKER PANEL

PERMIT

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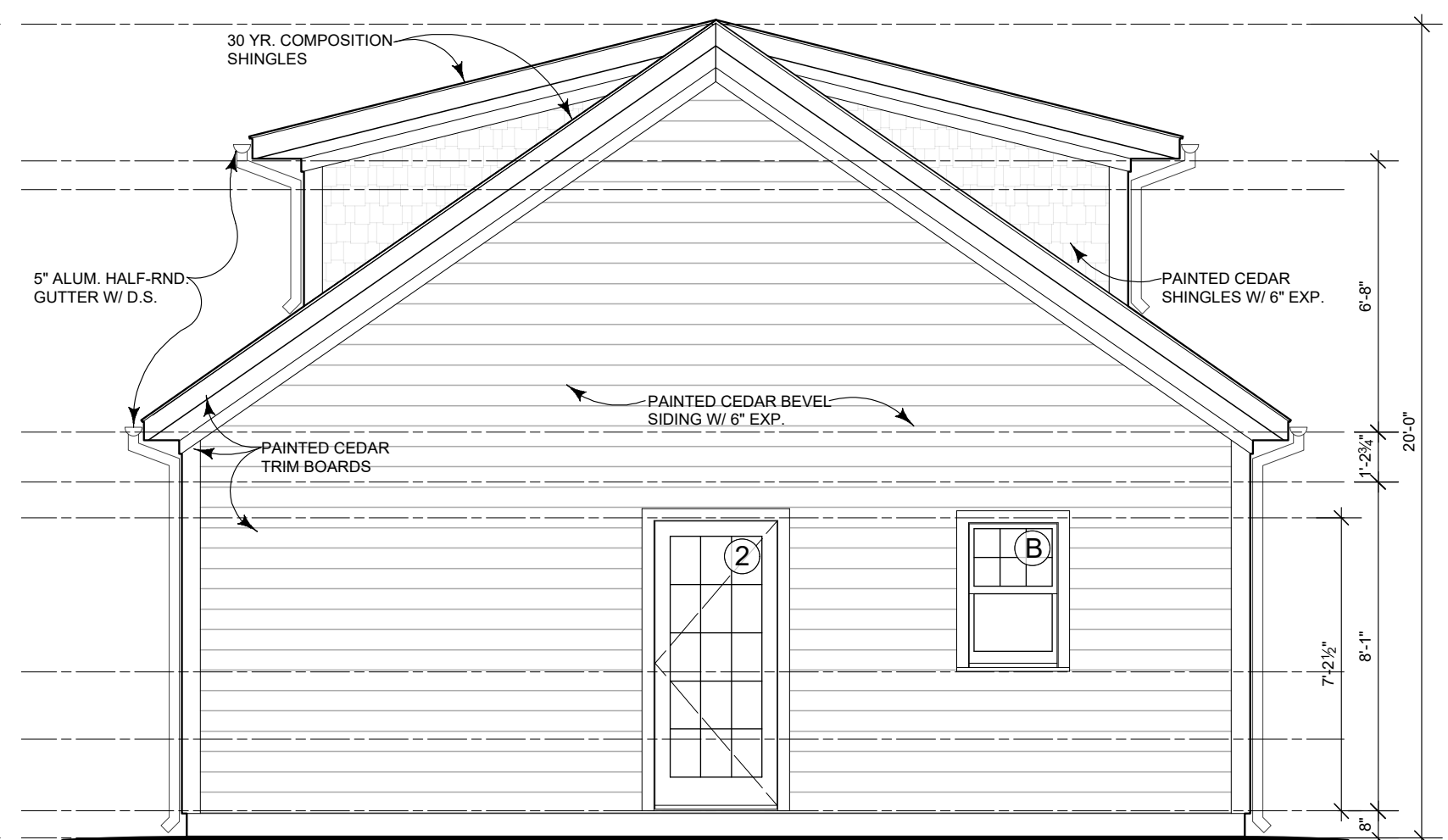
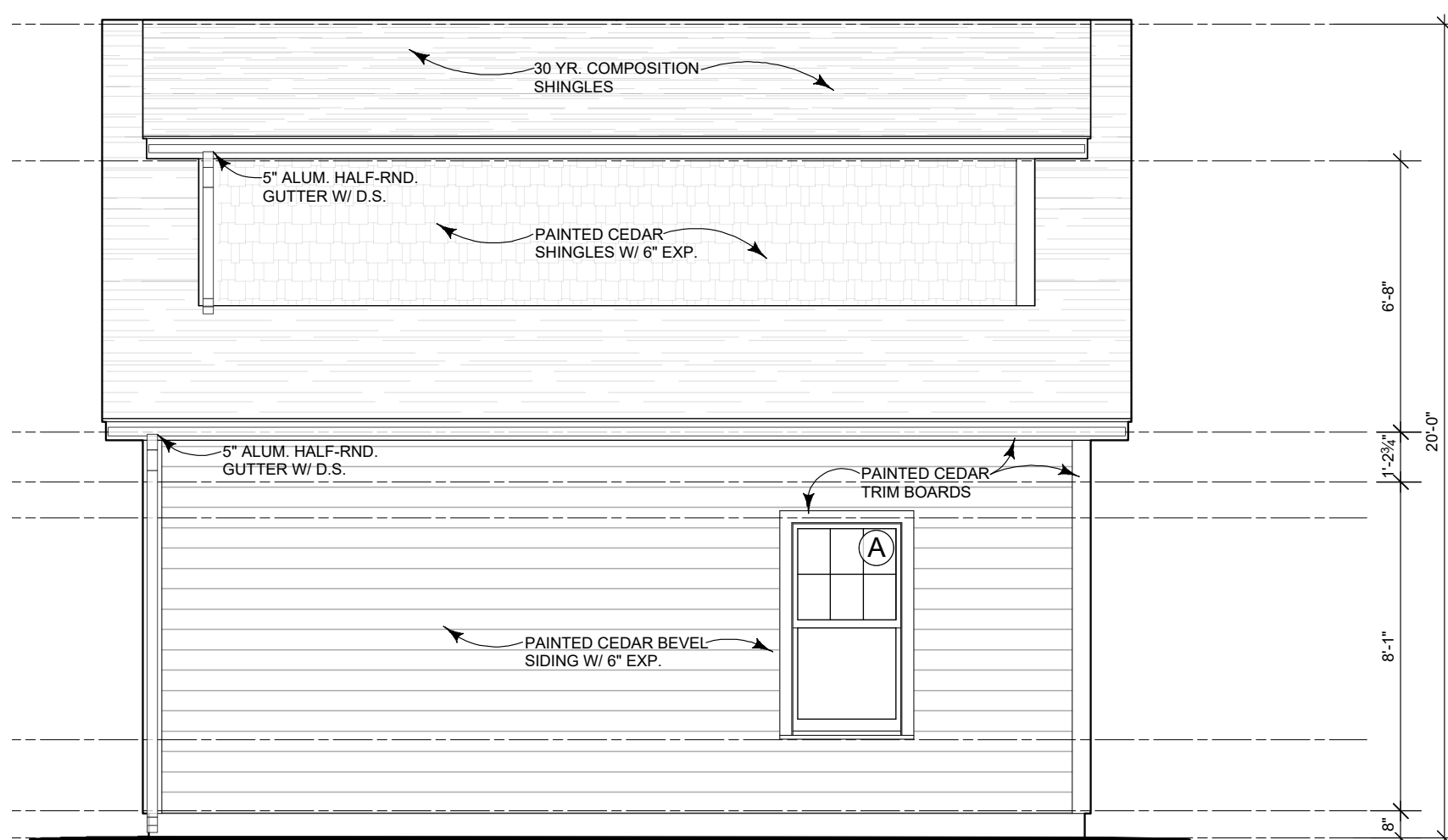
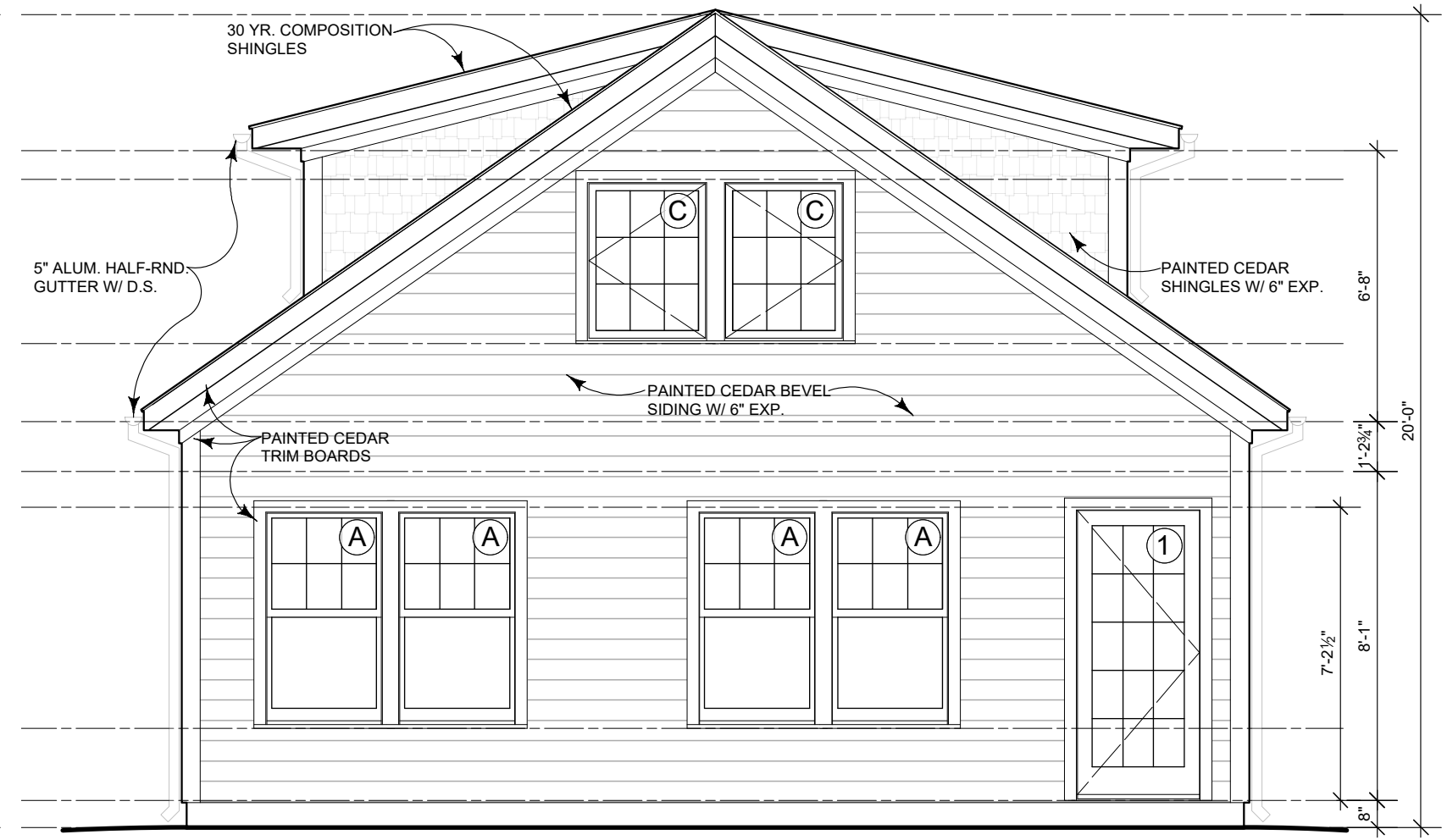
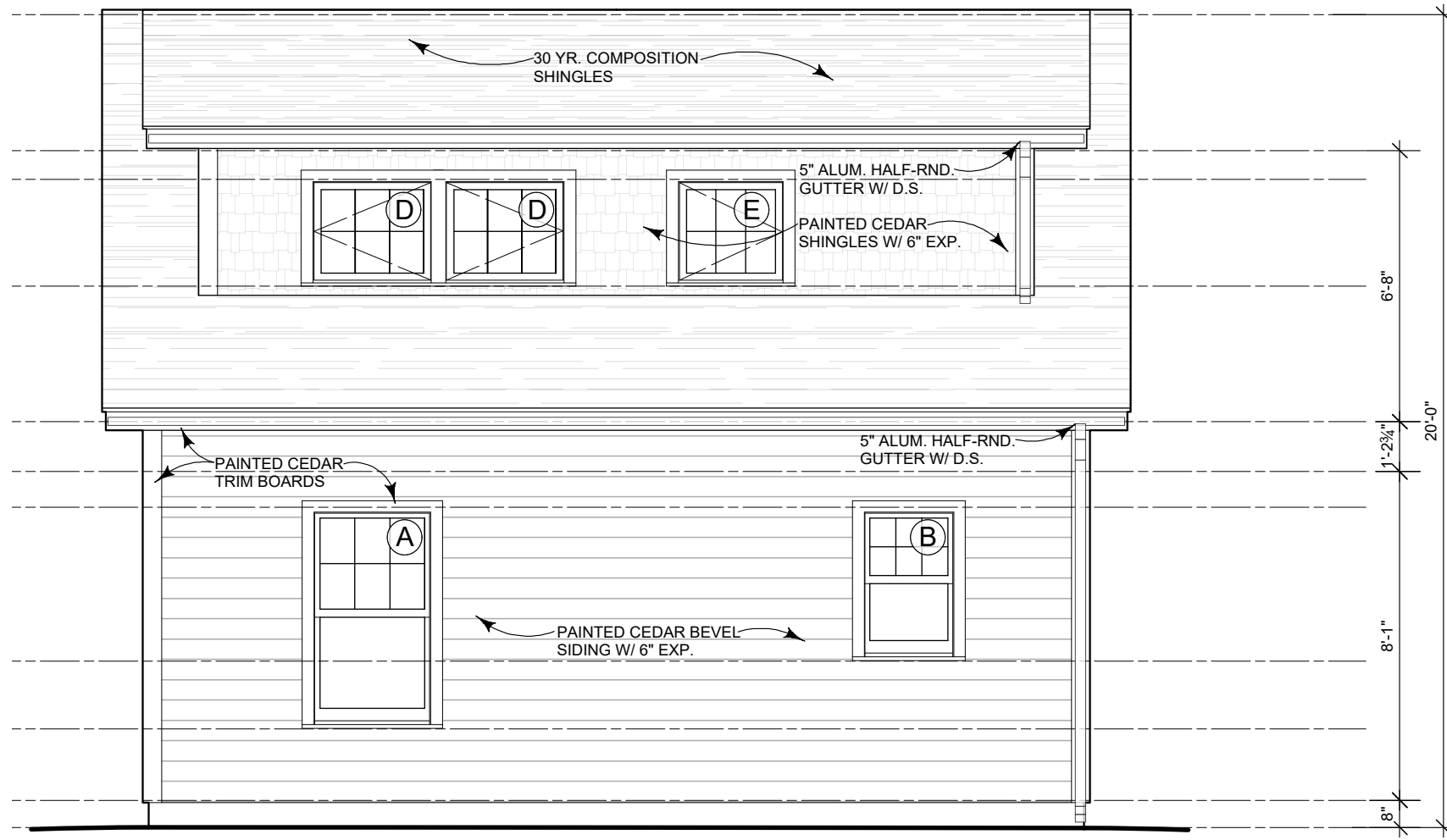
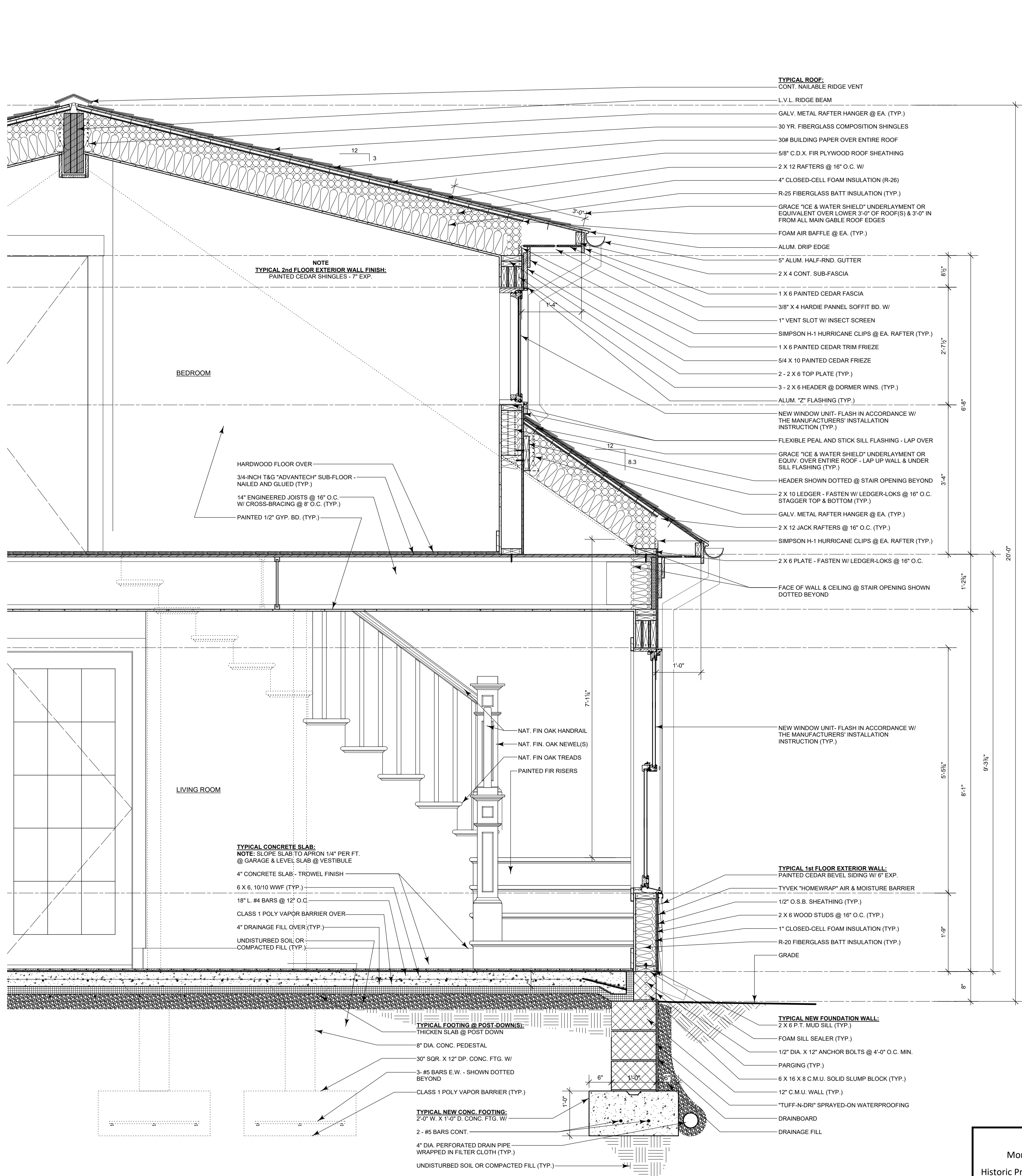
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A-2.0