



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: June 29, 2022

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission Historic

SUBJECT: Area Work Permit # 984980 - Building Additions

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the March 23, 2022 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: 15 W. Lenox Street Trust
Address: 15W. Lenox St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



GENERAL NOTES

- Boundary information and two-foot contour data are based upon surveys performed by CAS Engineering, dated February, 2022. Vertical datum assumed, based upon MNCPPC digital topographic maps.
- Total lot area: Lot 19 = 31,183.95 sq. ft. (0.716 acres)
- Property is located on Tax Map HN341 and WSSC 2007 Sheet 208NW04.
- Property is located on Soils Survey Map Number 27.
Soil type(s): S.U.C. Cheery Urban Land Complex, HSG "B", 6A, Baile silt loam, HSG "C" "D".
- Flood zone "X" per F.E.M.A. Firm Maps, Community Panel Number 24031C0455D.
- Property is located in the Lower Potomac Direct Watershed.
- Water Category - 1, Sewer Category - 1
- Local utilities include:
Water - Sewer - Washington Suburban Sanitary Commission
Electric - PEPCO
Telephone - Verizon
Gas - Washington Gas
- Property is located in the incorporated municipality of Chevy Chase Village.
- Property is not located in a Special Protection Area.
- Property is located in the Chevy Chase Village Historic District.
- This plan was created without the benefit of a title report.

ZONING DATA

- Zoning: R-60**
Minimum Lot Area = 6,000 sq. ft. Front B.R.L. = 25 ft. [1]
Minimum Lot Width at R/W = 25 ft. Rear B.R.L. = 20 ft.
Minimum Lot Width at B.R.L. = 60 ft. Side B.R.L. = 8 ft. min., 18 ft. total
[1] Per Montgomery County Code Section 4.1.A.1., the Established Building Line does not apply to an alteration or addition to an existing house.
- Lot Coverage Requirements**
 - Verify (Non-Infill) lot coverage in accordance with the Zoning Ordinance.**
Coverage is the area of a lot or site occupied by a building, including an accessory building, structured parking, or other roofed structure such as a porch, patio, deck, or steps.
Coverage does not include paved areas such as a driveway, a pedestrian walkway, a bay window measuring 10 feet in width or less and 3 feet in depth or less, an uncovered porch or patio, deck, a swimming pool, or roof overhang.
Allowable Lot Coverage: 35% of total lot area.
Lot 19 = 31,183.95 sq. ft. (Per Plat)
31,183.95 x 0.35 = 10,914.38
Allowable area to be covered by buildings (including acc. buildings) = 10,914.38 sq. ft.
Total area covered by buildings = 5,563 sq. ft.
 - Verify lot coverage in accordance with the Chevy Chase Village Ordinance, Section 8-16(m).**
Per Chevy Chase Village: Lot coverage is the portion of a lot which is covered by buildings, accessory buildings, and raised structures such as covered and uncovered porches, balconies, and decks, covered and uncovered steps, stairways, and stoops, and bay and bow windows. Lot coverage does not include: (1) wires, gutters, and similar overhangs; and (2) features that are not raised such as walkways, patios, terraces, driveways, swimming pools and tennis courts.
Allowable lot coverage 35% of total lot area.
Lot 19 = 31,183.95 sq. ft. (per plat)
31,183.95 x 0.35 = 10,914.38 sq. ft.
Allowable area to be covered by buildings (Including Accessory Buildings) = 10,914.38 sq. ft.
Proposed Combined Area Covered by Buildings = 8,007 sq. ft.

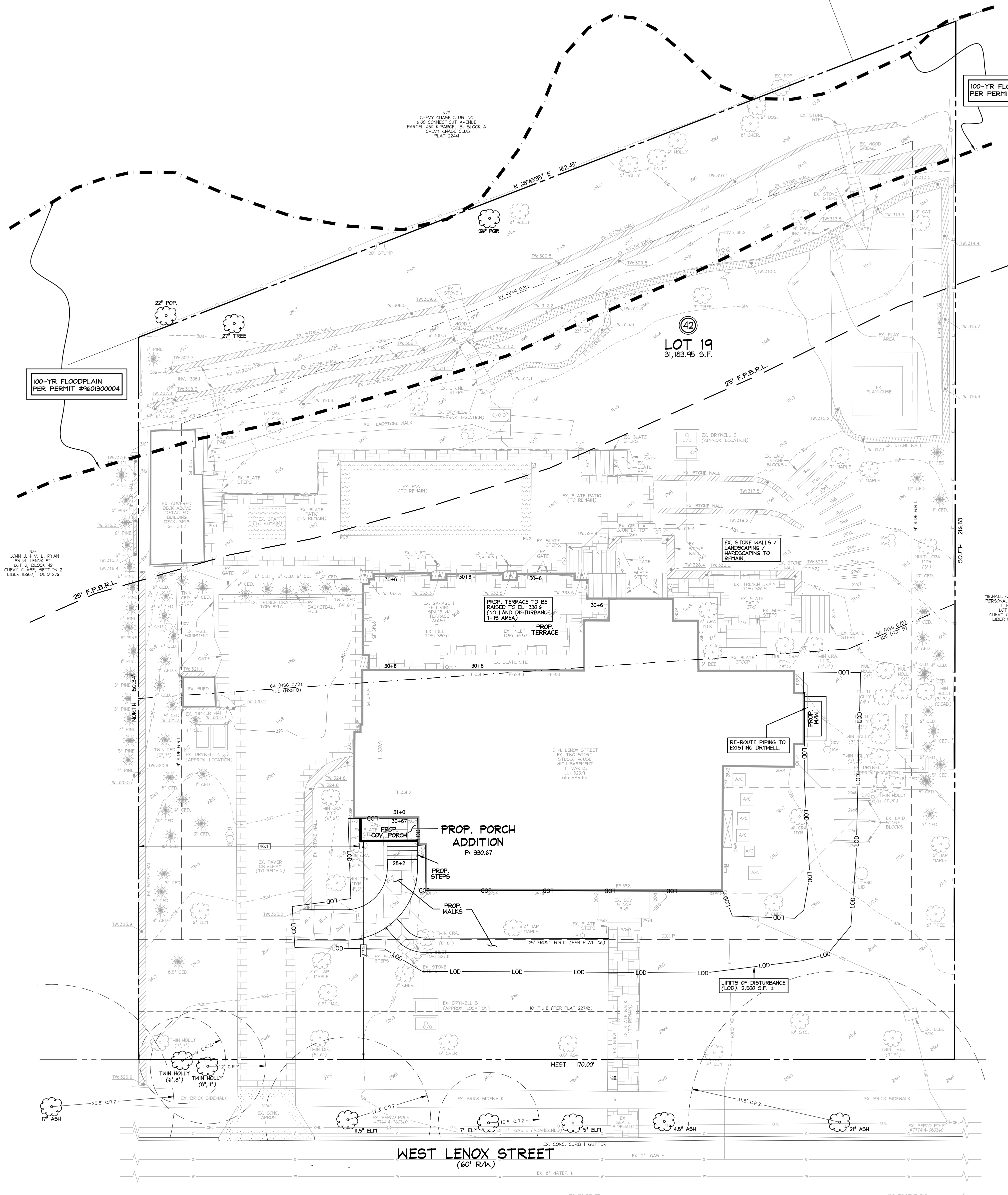
APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 12:45 pm, Jun 29, 2022

LEGEND

EXISTING FEATURES	
	Ex. Sewer Manhole and Invert
	Ex. Water Line with Valve
	Ex. Gas Line with Valve
	Ex. Overhead Utility with Pole
	Ex. Light Pole
	Ex. Irrigation Valve
	Ex. Downspout Pipe
	Ex. Underground Utility Line
	Ex. Two-And-Ten-Foot Contours
	Ex. Spot Elevation
	Ex. Chain Link or Wire Fence
	Ex. Wood or Stockade Fence
	Ex. Metal or Iron Fence
	Ex. Retaining Wall
	100-Yr Floodplain
	Floodplain B.R.L.
	Ex. Soil Line with Soil Types
	Ex. Tree (< 24' DBH)
	Ex. Roadside Tree or Ex. Tree (24' DBH - < 30' DBH)
PROPOSED FEATURES	
	Limit Of Disturbance (L.O.D.)
	Prop. Contour with Elevation
	Prop. Spot Elevation



CAS JOB NO.: 21-1113
DATE: 03/2022

DATE	REVISION
02/22/22	NO - Topographic Survey Sheet to Client and Architect.
03/08/22	NO - Topographic Survey Sheet to Client and Architect.
06/22/22	JAR - Permit Set - for MCDPS / CDV Applications.

VICINITY MAP
ADC MAP 5407, GRID H-5, SCALE: 1" = 200'

PROFESSIONAL ENGINEER CERTIFICATION:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 19593, expiration date 3/8/2024, and that this plan meets MCDPS criteria for building permit applications.

CURT A. SCHREFFLER, PE
06/22/2022

Lot 19, Block 42, Chevy Chase, Section 2
Plat No. 22748, Recorded 12/4/2003
Bethesda (7th) Election District, Montgomery County, MD

**15 W. Lenox Street
Chevy Chase, Maryland 20815**

CHEVY CHASE VILLAGE DRAINAGE STATEMENT

This project involves the construction of several small additions, new walks and steps. The proposed additions are to be constructed over existing impervious services. Any new impervious surface will be de minimis with respect to the total existing impervious area. The property drains to the existing stream (confined by a walled channel), traversing the rear of the property. As such, drainage from new impervious surfaces does not flow directly onto an abutting property and there is no adverse effect on abutting properties. Section 8-25 of the Chevy Chase Village Code does not apply.

MONTGOMERY COUNTY DRAINAGE STATEMENT

This property is > 15,000 SF in size, therefore, Section 8-29B. Control of Water Runoff on Small Lots does not apply.

OWNER/APPLICANT
Steven Lauffer
Chani Lauffer
15 W Lenox Street
Chevy Chase, MD 20815

ARCHITECT
Thomson & Cooke Architects
PLLC
5155 MacArthur Blvd, NW
Washington, DC 20016
Attn: Neal Thomson
(202) 686-6883 Direct
neal@thomsoncooke.com

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Frederick, Maryland 21701
301-607-8031 Phone
info@casengineering.com
www.casengineering.com

CAS ENGINEERING-DC, LLC
4836 MacArthur Boulevard, NW, 2nd Floor
Washington, DC 20007
202-393-7200 Phone
info@cas-dc.com
www.cas-dc.com

SHEET TITLE:
Building Permit Site Plan

1 OF 1

**15 W. Lenox Street
Lot 19, Block 42, Chevy Chase, Section 2
Building Permit Site Plan**

West Lenox Residence

15 West Lenox Street
Chevy Chase, MD 20815

APPROVED
Montgomery County
Historic Preservation Commission

Robert K. Thomas

REVIEWED
By Dan.Bruechert at 12:45 pm, Jun 29, 2022



Vicinity Map

PROJECT INFO :

INTERIOR RENOVATION AND SECOND STORY ADDITION TO EXISTING TWO-STORY SINGLE FAMILY HOME. MODIFICATIONS TO CERTAIN EXISTING BAYS AND ADJUSTMENTS TO EXTERIOR IMPROVEMENTS AND LANDSCAPE.

ADDRESS: 15 West Lenox Street
Chevy Chase, MD 20815

LOCATION: BLOCK 42, LOT 19

ZONING: R-60
SETBACKS: Front: 25', SIDE: 8', REAR: 20'
LOT AREA: 31,183 SF
HISTORIC: CHEVY CHASE VILLAGE HISTORIC DISTRICT

ALLOWED: 30' (MID POINT)
PROPOSED: NO CHANGE
LOT COVERAGE: 35% (10,914 SF) SEE CIVIL DOCS

BUILDING AREA:

BASEMENT AREA:	EXISTING: 5,197 SF	PROPOSED: 5,332 SF
FIRST FLOOR AREA:	EXISTING: 3,742 SF	PROPOSED: 4,077 SF
SECOND FLOOR AREA:	EXISTING: 2,981 SF	PROPOSED: 3,380 SF
ATTIC AREA:	EXISTING: 1,062 SF	PROPOSED: 1,062 SF
TOTAL FLOOR AREA:	EXISTING: 12,982 SF	PROPOSED: 13,851 SF
GARAGE AREA: (INCL.)	EXISTING: 805 SF	PROPOSED: 805 SF
TOTAL:	EXISTING: 12,982 SF	PROPOSED: 13,851 SF

PLANS PREPARED BASED ON THE FOLLOWING CODES:

2018 INTERNATIONAL RESIDENTIAL CODE AND 2018 INTERNATIONAL ENERGY CONSERVATION CODE AS AMENDED BY MONTGOMERY COUNTY EXECUTIVE REGULATION 31-19.



THOMSON & COOKE ARCHITECTS

5155 MACARTHUR BLVD NW
WASHINGTON DC 20016
202.686.6583
WWW.THOMSONCOOKE.COM



West Lenox Residence
15 West Lenox Street Chevy Chase MD 20815

NOT FOR CONSTRUCTION
© THOMSONCOOKE ARCHITECTS, INC.

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number 17073, expiration date 09-04-2022

Standard Abbreviations

AC Air Conditioner (incl. ad.)	D Drain, Dryer	GWB Gypsum Wall Board	NIC Not in Contract	SIM Similar
AB Anchor Bolt	DBL Double	GYP Gypsum	NO Number	SK Addendum Sheet
AD Above	DEM Demolition	HB Hose Bibb	NCM Nominal	SPF Specification
ADJ Adjustable	DET Detail	HD Head	NTS Not to Scale	SS Square
AF Above Finish Floor	DIA Diameter	HW Hardwood	OC On Center	STD Standard
AGG Aggregate	DIAG Diagonal	HWK Hardware	OD Outside Diameter	STL Steel
AHU Air Handling Unit	DM Dimension	HGR Hanger	OPG Opening	STN Stained
ALUM Aluminum	DISP Dispenser	HORIZ Horizontal	OPP Opposite	STR Storage
AND Anodized	DW Disposal	HT Height	STR Structural	SUS Suspension or Suspended
AP Access Panel	DL Dead Load	HVAC Heating, Ventilating & AC	STRUT Strut	SYR System
ARCH Architectural	DN Down	HVC Hose Valve Cabinet	STRUT Structural	TD Terrace Drain
AUTO Automatic	DR Door	ID Inside Diameter	STRUT Structural	TEMP Temperature
AVG Average	DS Down Spout	INS Installation	STRUT Structural	TEL Telephone
BA Bath	DW Dishwasher	INSUL Insulation/Insulating	STRUT Structural	TEMP Temperature
BD Board	E East	INT Interior	STRUT Structural	TO Top of
BEV Bevel (Ed.)	EA Each	LAM Laminated	STRUT Structural	TP Toilet Paper
BIT Bituminous	EF Exhaust Fan	LIN Linear	STRUT Structural	T&G Tongue and Groove
BLK Block	EJ Expansion Joint	LL Live Load	STRUT Structural	THR Threshold
BLKG Blotting	ELEC Electrical	LLH Long Leg Horizontal	STRUT Structural	TK Thick
BM Beam	ENC Enclosure	LLV Long Leg Vertical	STRUT Structural	TR Top of
BMFT Basement	EMER Emergency	LV Live Voltage	STRUT Structural	TR Top of
BOT Bottom	ENG Engineering	LW Light Weight	STRUT Structural	TR Top of
BR Bedroom	EQ Equal	LWC Laminated Veneer Lumber	STRUT Structural	TR Top of
BRG Bearing	EQP Equipment	LV Light Veneer	STRUT Structural	TR Top of
BRL Building Restriction Line	EW Each Way	MC Machine Cabinet	STRUT Structural	TR Top of
BTW Between	EXP Exposed	MACH Machine	STRUT Structural	TR Top of
CC Center to Center	EXST Existing	MAINT Maintenance	STRUT Structural	TR Top of
CAB Cabinet	EXP Expansion	MAX Maximum	STRUT Structural	TR Top of
CEM Cement	EXT Exterior	MATL Material	STRUT Structural	TR Top of
CL Center Line	FT Foot	MCH Mechanical	STRUT Structural	TR Top of
CLD Ceiling	FR Frame	MEM Membrane	STRUT Structural	TR Top of
CLR Clear (ance)	FRM Framing	MET Metal	STRUT Structural	TR Top of
CO Clean Out	FRD Floor Drain	MFG Manufacturer	STRUT Structural	TR Top of
COL Column	FTD Foundation	MISC Miscellaneous	STRUT Structural	TR Top of
CPT Carpet	FG Floor Glass	MIS Miscellaneous	STRUT Structural	TR Top of
CT Ceramic Tile	FIXT Fixture	MNT Maintenance	STRUT Structural	TR Top of
CTR Center	FL Floor	MNT Maintenance	STRUT Structural	TR Top of
CTV Cable TV	FM Face of Masonry	MNT Maintenance	STRUT Structural	TR Top of
CU Construction Joint	FS Face of Stud	MNT Maintenance	STRUT Structural	TR Top of
CUL Control Unit	FP Fire Place	MNT Maintenance	STRUT Structural	TR Top of
CLL Contract Limit Line	FR Fire Rated	MNT Maintenance	STRUT Structural	TR Top of
CMU Concrete Masonry Unit	FRM Framing	MNT Maintenance	STRUT Structural	TR Top of
CONC Concrete	FRD Floor Drain	MNT Maintenance	STRUT Structural	TR Top of
CONSTR Construction	FUR Furred or Furring	MNT Maintenance	STRUT Structural	TR Top of
CONT Continuous	GA Gauge or Gauge	MNT Maintenance	STRUT Structural	TR Top of
CONTR Contractor	GAL Gallon	MNT Maintenance	STRUT Structural	TR Top of
CONTR Contractor	GA'N Galvanized	MNT Maintenance	STRUT Structural	TR Top of
CTOP Counter Top	GC Glass Contractor	MNT Maintenance	STRUT Structural	TR Top of
CTSK Countersink	GR Grade	MNT Maintenance	STRUT Structural	TR Top of
CU FT Cubic Feet		MNT Maintenance	STRUT Structural	TR Top of

Surface Materials

Brick - Running	Ceramic Tile - Size Varies
Block - Running	Stone Tile - Size Varies
Parged Concrete	Flagstone - Irregular
Shingles/Shakes	Flagstone - Random Rectangular
Metal Roof	Wood Floor - Siding
Slate Roof	Stone Veneer
Marble/Granite	

Section Materials

Brick	Earth
Poured Concrete	Steel
CMU	Finish Wood
Rubble Stone	Plywood
Fire Brick	Dimensional Lumber
Finish Stone/Slate	Wood Blocking

Drawing Symbols

Building Section	1 - DRAWING SHEET
Building Elevation	1 - DRAWING SHEET
Interior Elevation	1 - DRAWING SHEET
Level Elevation: Section/Elevation	1 - DRAWING SHEET
Revision	1 - DRAWING SHEET
Window	1 - DRAWING SHEET
Door	1 - DRAWING SHEET
Structure Member	1 - DRAWING SHEET
Footing	1 - DRAWING SHEET

Project Team

ARCHITECT
Thomson & Cooke Architects PLLC
5155 MacArthur Blvd NW
Washington, DC 20016
202-686-6583

CONTRACTOR
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703-350-4151

CIVIL ENGINEER
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INTERIOR DESIGNER
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Washington, DC 20007
202-364-2496

Drawing List

0000 Cover	S002 General Notes
0001 Code Notes	S003 Legend And Schedules
0002 Door Schedules	S100 Foundation Plan
0003 Window Schedules	S100 First Floor Framing Plan
0004 Exterior Trim Details	S102 Second Floor Framing Plan
0005 Images	S103 Attic Framing Plan
EC001 Building Envelope	S104 Roof Framing Plan
D000 Basement Demolition Plan	S200 Foundation Sections
D001 First Floor Demolition Plan	S201 Foundation Sections
D002 Second Floor Demolition Plan	S202 Foundation Sections
D003 Attic Demolition Plan	S300 Details
D004 Roof Demolition Plan	S301 Details
A100 Basement Plan	S302 Details
A101 First Floor Plan	S303 Details
A102 Second Floor Plan	S304 Details
A103 Attic Plan	S305 Details
A104 Roof Plan	S306 Details
A200 Front Elevation	
A201 Right Elevation	
A202 Rear Elevation	
A203 Left Elevation	
A204 Foundation Section	
A205 Cross Section	
A206 Cross Section	
A300 Wall Sections	
S001 General Notes	

Cover

12-09-2021	Existing Conditions
01-13-2022	SD 2 Meeting
02-07-2022	SD 3 Meeting
04-04-2022	Preliminary Pricing Set
04-25-2022	Permit Progress

0000

Product Features

- Styles**
Traditional, Push Out and Mission® options.
- Standard Features**
- Natural, clear Douglas Fir interior (no visible finger joints)
 - 4 9/16" (116 mm) jamb construction
 - LowE insulated glazing with 1/2" (13 mm) airspace
 - Roto gear operator and concealed sash locks
 - Extruded aluminum cladding in a variety of standard colors, primed wood or clear for exterior
 - Flexible continuous weatherstrip system
 - Insect screens
 - Metal handle, cover and locks
- Hardware**
Multiple hardware type and finish choices are available. See the Hardware in section A for more information.

- Glazing**
LowE Double, LowE Triple, Tranquility® and StormForce™. StormForce is not available on all products.
- Simulated Divided Lites (SDL)**
Ogee Profile – 3/4" (19 mm), 1 1/8" (30 mm), 2" (51 mm)
Putty Profile – 5/8" (16 mm), 7/8" (22 mm), 1 1/8" (30 mm), 2" (51 mm)
Square Profile (interior only) – 3/4" (19 mm), 7/8" (22 mm), 1 1/8" (30 mm), 2" (51 mm)
- Casing**
Wood: 2" (51 mm) Brickmould, 3 1/2" (89 mm) Flat, 5 1/2" (139 mm) Flat, Adams and Williamsburg.
Metal Clad: 2" (51 mm) Brickmould, 3 1/2" (89 mm) Flat, 2" clad frame extension, Nose & Cove, Adams, Williamsburg and Kerf.
- Metal Clad Color Spectrum**
All Palette colors, including anodized finishes. Available in Cyprium Collection.



HARDWARE STYLES	Traditional Casement				Mission® Casement				Push Out Casement			
	Standard	Optional	Standard	Optional	Standard	Optional	Standard	Optional	Standard	Optional	Standard	Optional
Exterior Sash Handle	•	•	•	•	•	•	•	•	•	•	•	•
Push Out Handle	•	•	•	•	•	•	•	•	•	•	•	•
Multiple Lock	•	•	•	•	•	•	•	•	•	•	•	•

• Standard ○ Optional
Finish Options: Refer to Section A.

B2 | Technical Guide Casement Windows

Product Features

- Styles**
Double Hung, Single Hung, Radius Top and Cottage options.
- Standard Features**
- Natural, clear Douglas Fir interior (no visible finger joints)
 - 4 9/16" (116 mm) jamb construction
 - LowE insulated glazing with 1/2" (13 mm) airspace
 - Extruded aluminum cladding in a variety of standard colors, primed wood or clear for exterior
 - Flexible continuous weatherstrip system
 - Insect screens
 - Metal locks
- Hardware**
Multiple hardware type and finish choices are available. See the Hardware in section A for more information.

- Glazing**
LowE Double, LowE Triple and StormForce™. StormForce is not available on all products.
- Simulated Divided Lites (SDL)**
Ogee Profile – 3/4" (19 mm), 1 1/8" (30 mm), 2" (51 mm)
Putty Profile – 5/8" (16 mm), 7/8" (22 mm), 1 1/8" (30 mm), 2" (51 mm)
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Metal Clad: 2" (51 mm) Brickmould, 3 1/2" (89 mm) Flat, 2" clad frame extension, Nose & Cove, Adams, Williamsburg and Kerf.
- Metal Clad Color Spectrum**
All Palette colors, including anodized finishes.



HARDWARE STYLES	Double/Single Hung	
	Standard	Optional
Sash Lock	•	•

• Standard ○ Optional
Finish Options: Refer to Section A.

B2 | Technical Guide Double/Single Hung Windows

Specifications

- Standards**
Most units have been tested by an independent laboratory for air and water infiltration, structural performance, and thermal performance requirements.
- Frame & Sash**
Manufactured from Coastal Douglas Fir kiln-dried lumber with frame construction designed for 4 9/16" (116 mm) jamb. All wood exterior components are factory primed unless specified as clear exterior. Minor scratches or abrasions in the wood surface or primer are not considered defects.
- Alternate Species**
The entire Loewen product line is also available in optional Mahogany.
- Preservative Treated**
All wood parts are dipped in approved preservative.
- Glazing**
With countless glazing configurations and LowE coating options, we ensure that you can choose the perfect blend of protection and comfort.
- Insulating Glass**
Double or triple glass configurations with 1/2" (13 mm) airspace.
- LowE Systems**
LowE best describes the benefits of the product that incorporates glazing coatings and Argon gas. LowE systems help reduce heating and cooling costs, providing superior energy efficiency.
- Simulated Divided Lites (SDL)**
Standard SDL complete with airspace grilles, where available. Grille bars are permanently applied to the interior and exterior.
- Hardware Option**
Operator and sash locks are available in a variety of finishes. See section A.

Visit the Loewen Photo Gallery online at www.loewen.com for a large collection of Loewen product and elevation photography. Numerous custom window configuration opportunities exist – please contact your Authorized Loewen Dealer. Specifications and technical information are subject to change without notice. Imperial and metric measurements are converted accurately. However, in some cases, industry standards cause a 1 mm variance. (Example: 3/4" is shown as 19 mm for all glass measurements.) [CAD Download: www.loewen.com/architect](http://www.loewen.com/architect) | Installation instructions: www.loewen.com

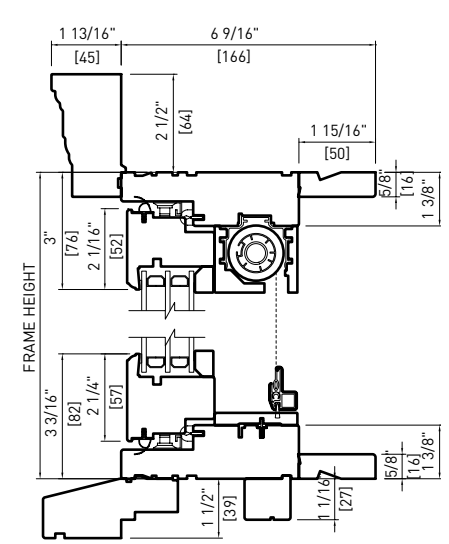
Casement Windows Technical Guide | B3

Specifications

- Standards**
Most units have been tested by an independent laboratory for air and water infiltration, structural performance, and thermal performance requirements.
- Frame & Sash**
Manufactured from Coastal Douglas Fir kiln-dried lumber with frame construction designed for 4 9/16" (116 mm) jamb. All wood exterior components are factory primed unless specified as clear exterior. Minor scratches or abrasions in the wood surface or primer are not considered defects.
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Double or triple glass configurations with 1/2" (13 mm) airspace.
- LowE Systems**
LowE best describes the benefits of the product that incorporates glazing coatings and Argon gas. LowE systems help reduce heating and cooling costs, providing superior energy efficiency.
- Simulated Divided Lites (SDL)**
Standard SDL complete with airspace grilles, where available. Grille bars are permanently applied to the interior and exterior.
- Hardware Option**
Sash locks and optional sash lifts are available in a variety of finishes. See section A.

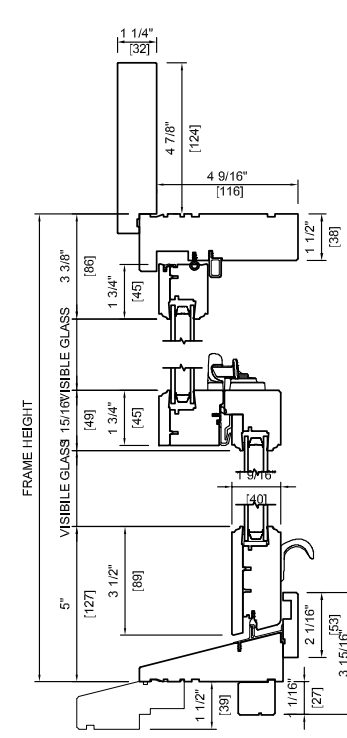
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Double/Single Hung Windows Technical Guide | B3



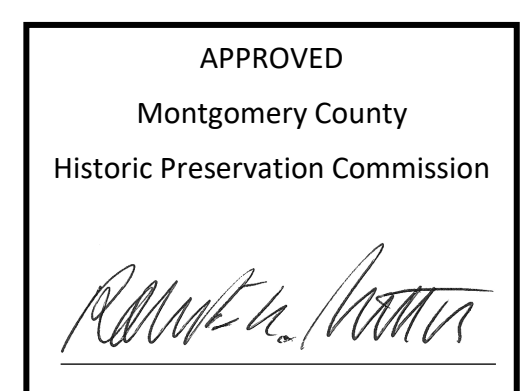
Casement Section

NTS



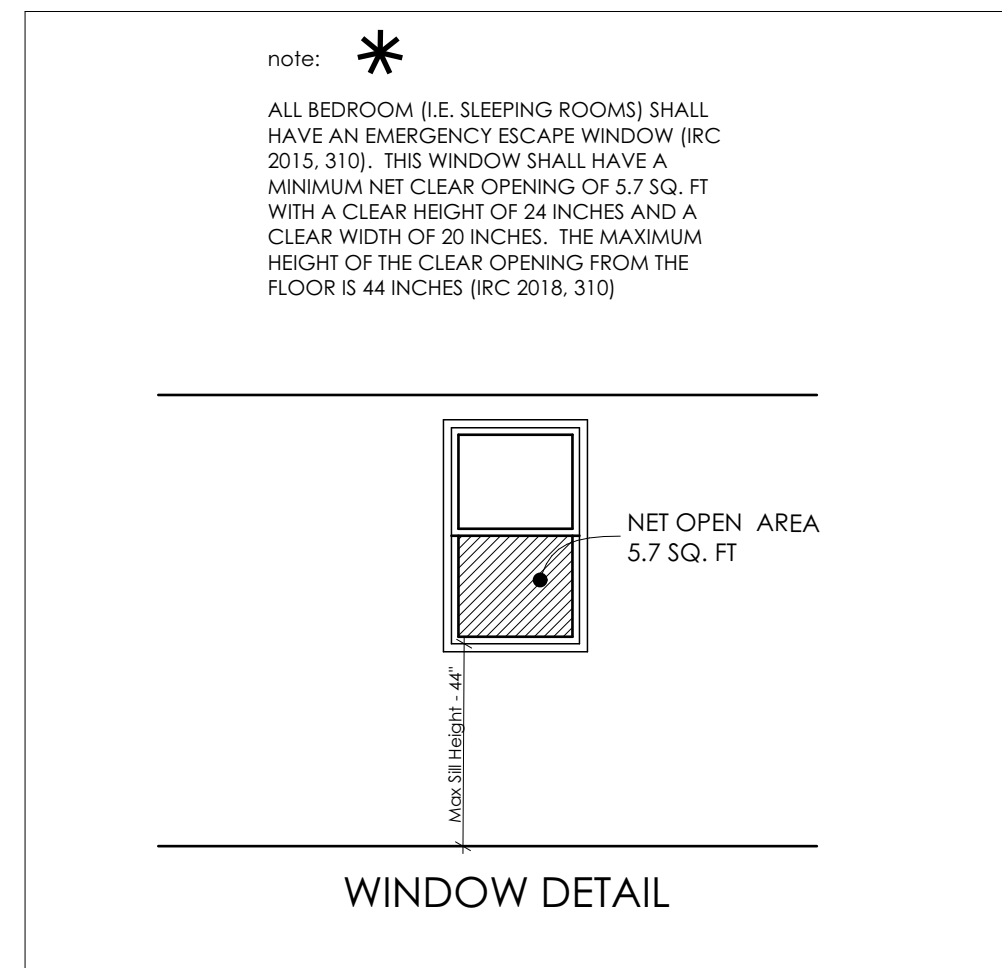
Double Hung Section

NTS

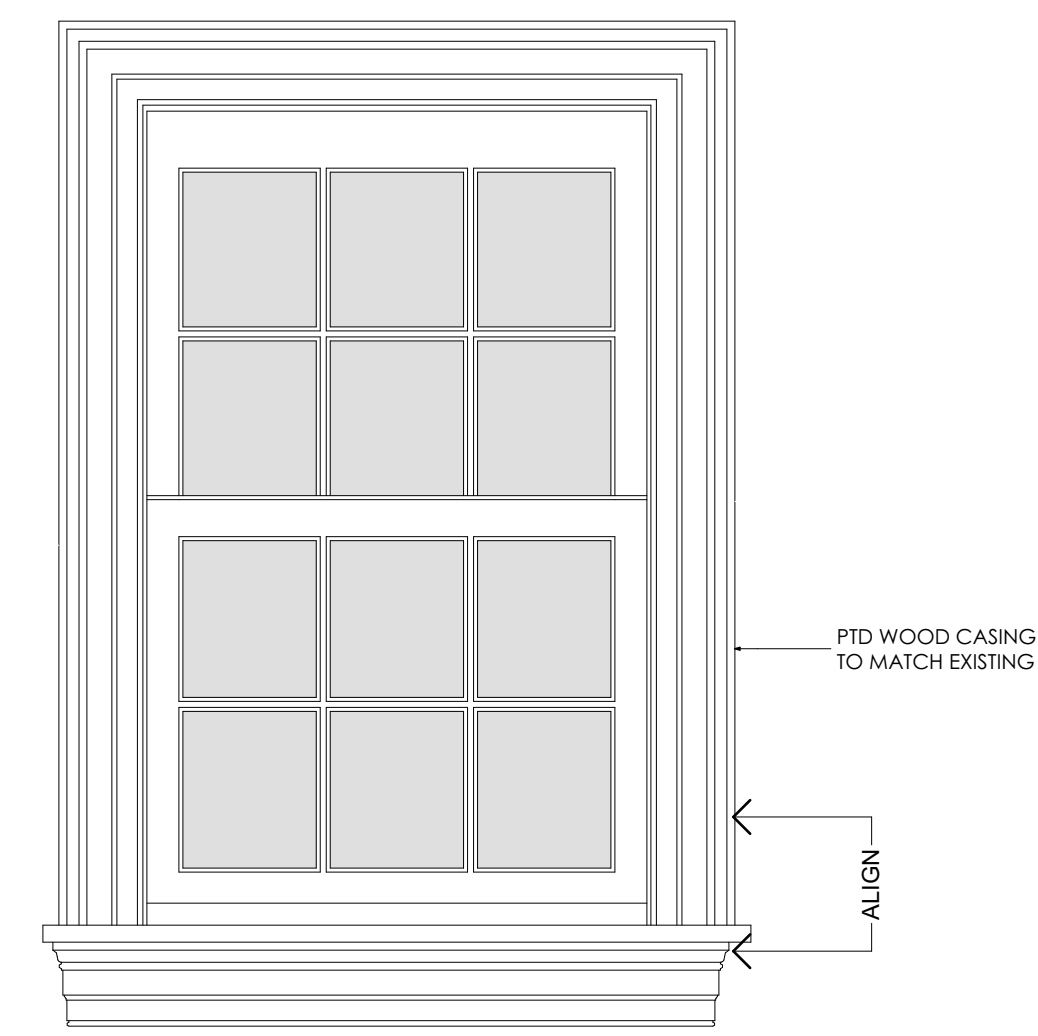


REVIEWED
By Dan.Bruechert at 12:45 pm, Jun 29, 2022

ID	Qty	Units	Model/Size	Type	Manuf.	Lites	Location	Note
W001	1	2	2-10x5-0 2W	Casement		3W4H	Exercise	Egress
W002	1	2	2-10x5-0 2W	Casement		3W4H	Bedroom 8	Tempered, Egress
W101	1	2	2-6x5-5 2W	Double Hung		3W2H/2W1H	Library	
W102	1	3	3-2x9-4 3W	Casement		3W5H	Library	
W103	1	1	3-3x9-4	Casement		3W5H	Family Room	
W104	1	3	3-8x9-4 3W	Casement		3W5H	Family Room	
W105	1	1	3-3x9-4	Casement		3W5H	Family Room	
W106	1	2	4-0x6-6 2W	Casement		4W5H	Den	
W1...	1	1	2-8x6-6	Casement		3W5H	Den	
W1...	1	1	2-8x6-6	Casement		3W5H	Den	
W108	1	2	2-8x6-6 2W	Casement		3W5H	Den	
W109	1	2	2-8x6-6 2W	Casement		3W5H	Den	
W110	1	1	2-0x4-0	Casement		2W3H	Butler's Pantry	
W111	1	1	2-0x4-0	Casement		2W3H	Mudroom	
W112	1	1	2-0x4-0	Casement		2W3H	Mudroom	
W201	1	1	2-10x4-5	Double Hung		3W2H/3W2H	Bath 2	
W202	1	1	2-10x4-5	Double Hung		3W2H/3W2H	Her Closet	
W203	1	1	2-10x4-5	Double Hung		3W2H/3W2H	Her Closet	
W204	1	1	2-10x4-5	Double Hung		3W2H/3W2H	Her Closet	
W205	1	1	2-10x4-5	Double Hung		3W2H/3W2H	Her Bath	
W206	1	1	2-10x4-5	Double Hung		3W2H/3W2H	Her Bath	
W207	1	1	2-10x4-5	Double Hung		3W2H/3W2H	Her Bath	
W208	1	1	2-10x4-5	Double Hung		3W2H/3W2H	Her Bath	
W209	1	1	2-10x4-5	Double Hung		3W2H/3W2H	Owner's Bedroom	
W210	1	1	2-10x4-5	Casement		3W4H	Owner's Bedroom	Thick Center Rail, Egress
W211	1	1	2-10x4-5	Casement		3W4H	Owner's Bedroom	Thick Center Rail
W212	1	1	2-10x4-5	Double Hung		3W2H/3W2H	Owner's Bedroom	

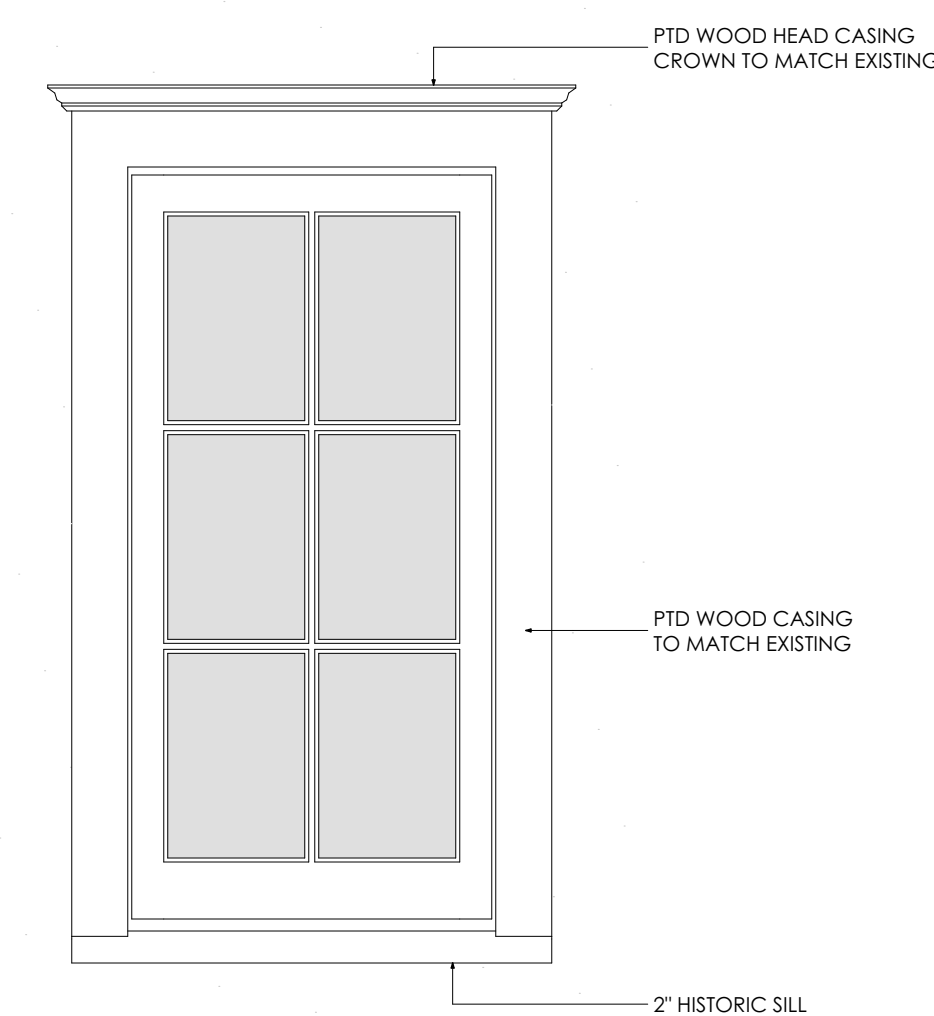
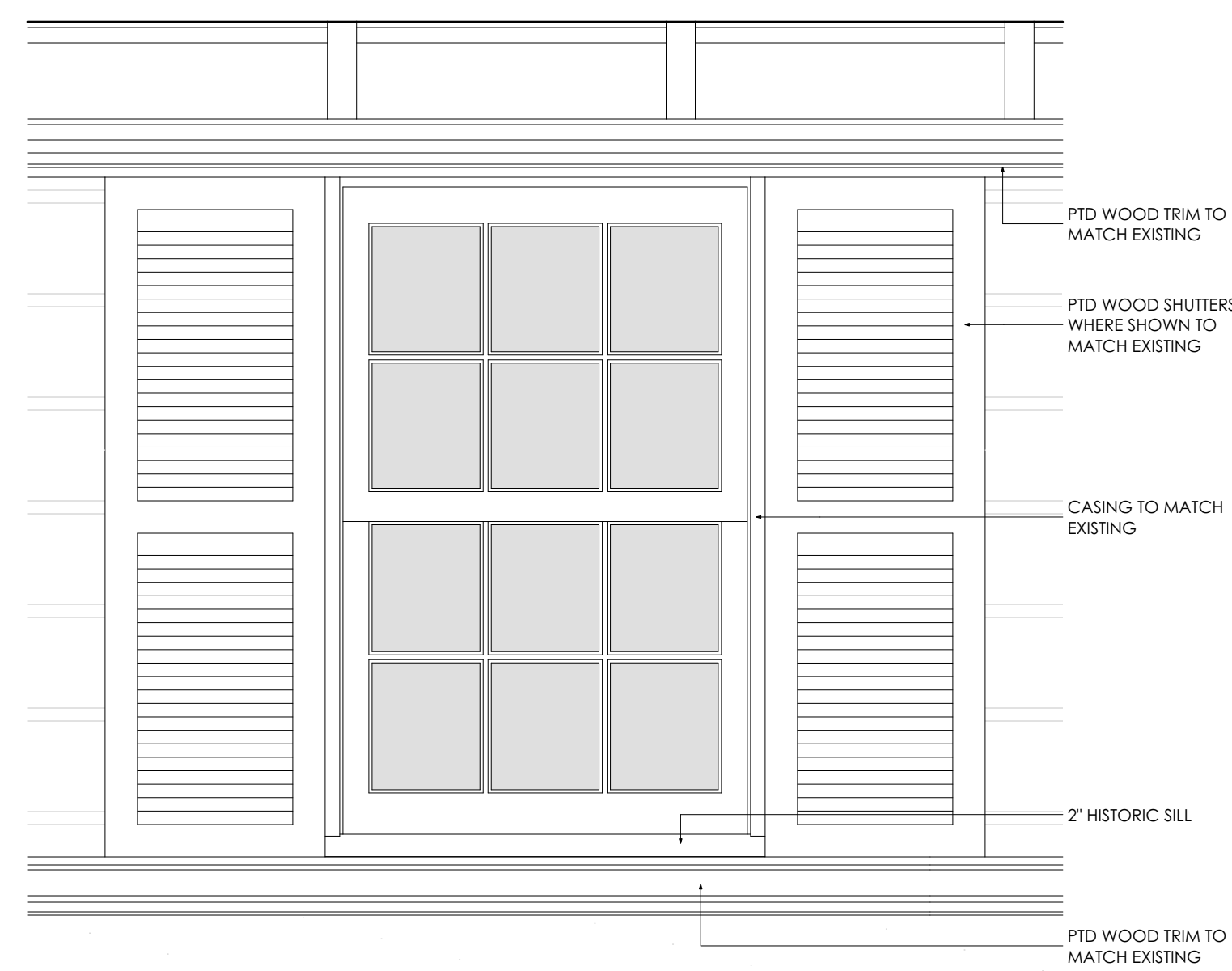


NOTE: ALL WINDOWS AND NON-OPAQUE DOORS TO MEET MINIMUM U-FACTOR AND SHGC VALUES ON TABLE 2, SHEET 0001



3 Typ. Interior Window

1" = 1'-0"



2 Typ. Stucco Window

1" = 1'-0"

1 Typ. Exterior Window

1" = 1'-0"

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Window Schedules

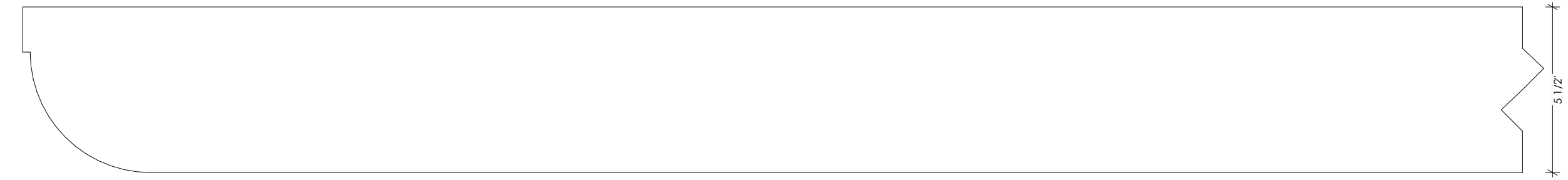
12-09-2021	Existing Conditions
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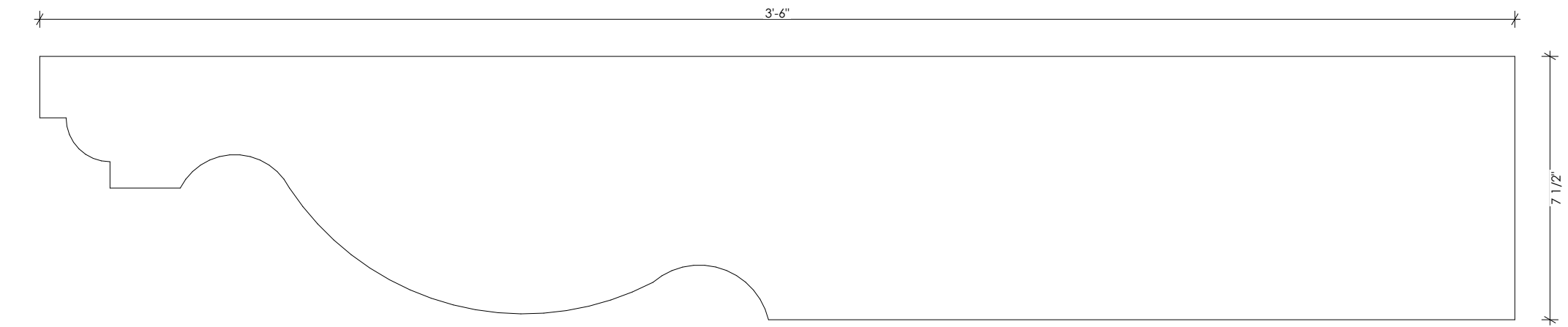
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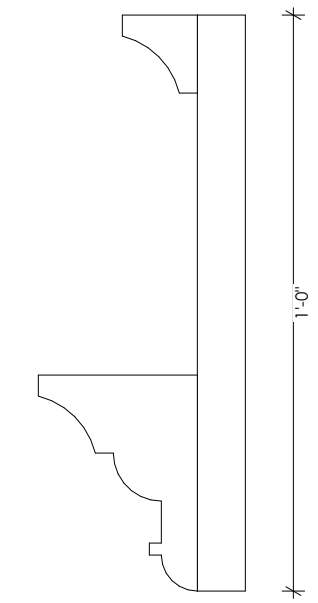
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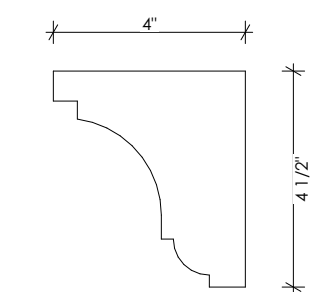
LOUVERS



EXISTING ROOF
 OUTRIGGER



EXISTING ROOF CROWN



EXISTING BANDBOARD

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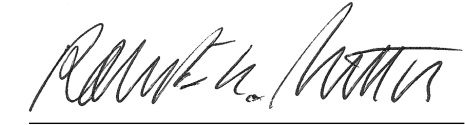
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Exterior Trim
 Details

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FRONT VIEW



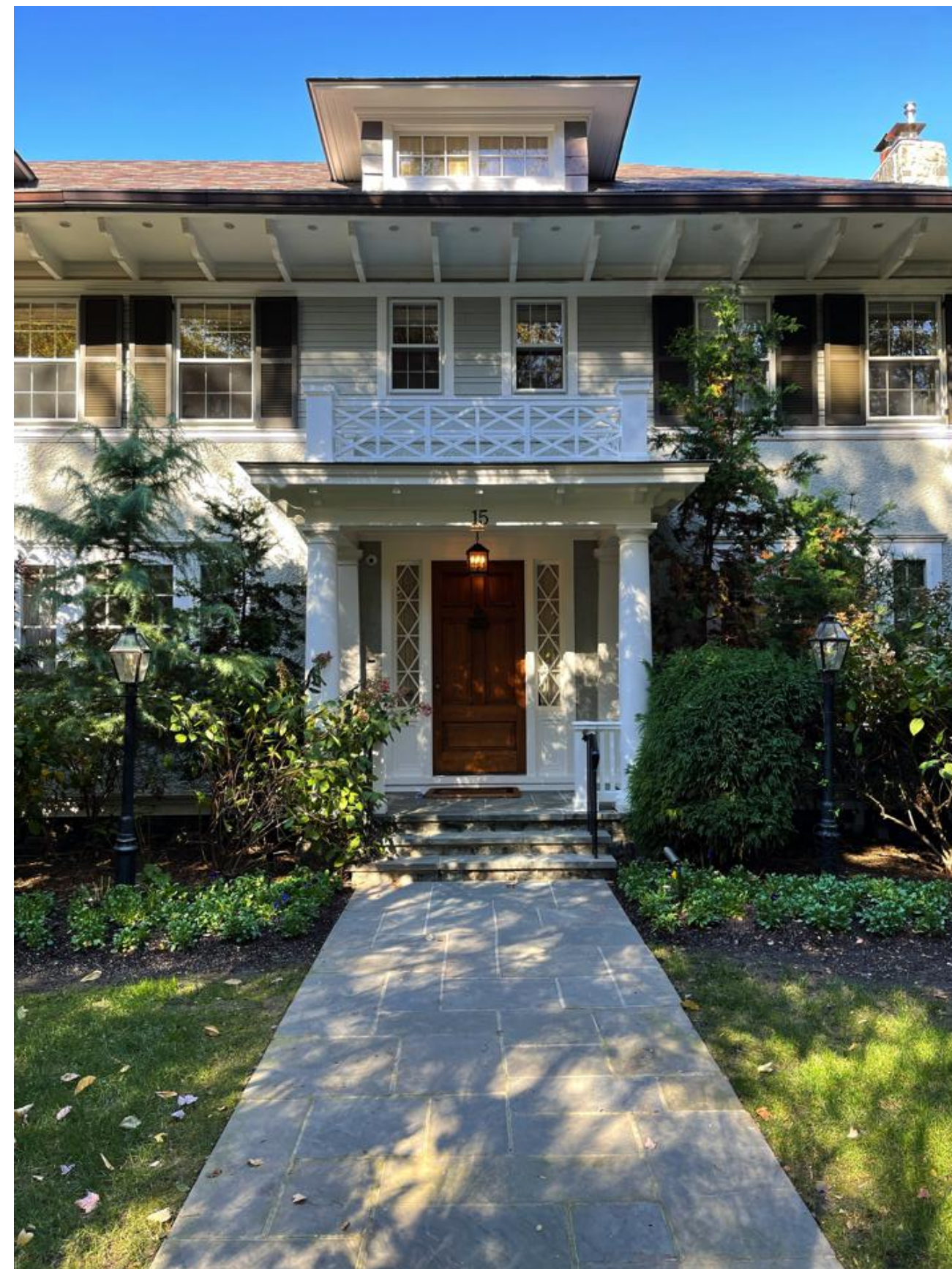
FRONT VIEW - RIGHT



FRONT VIEW - LEFT



DETAIL FRONT VIEW - LEFT



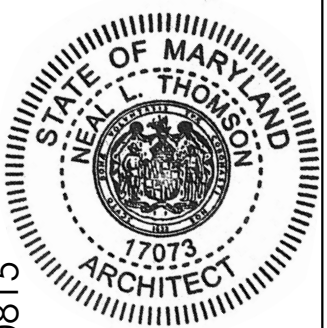
DETAIL FRONT VIEW



DETAIL FRONT VIEW - RIGHT

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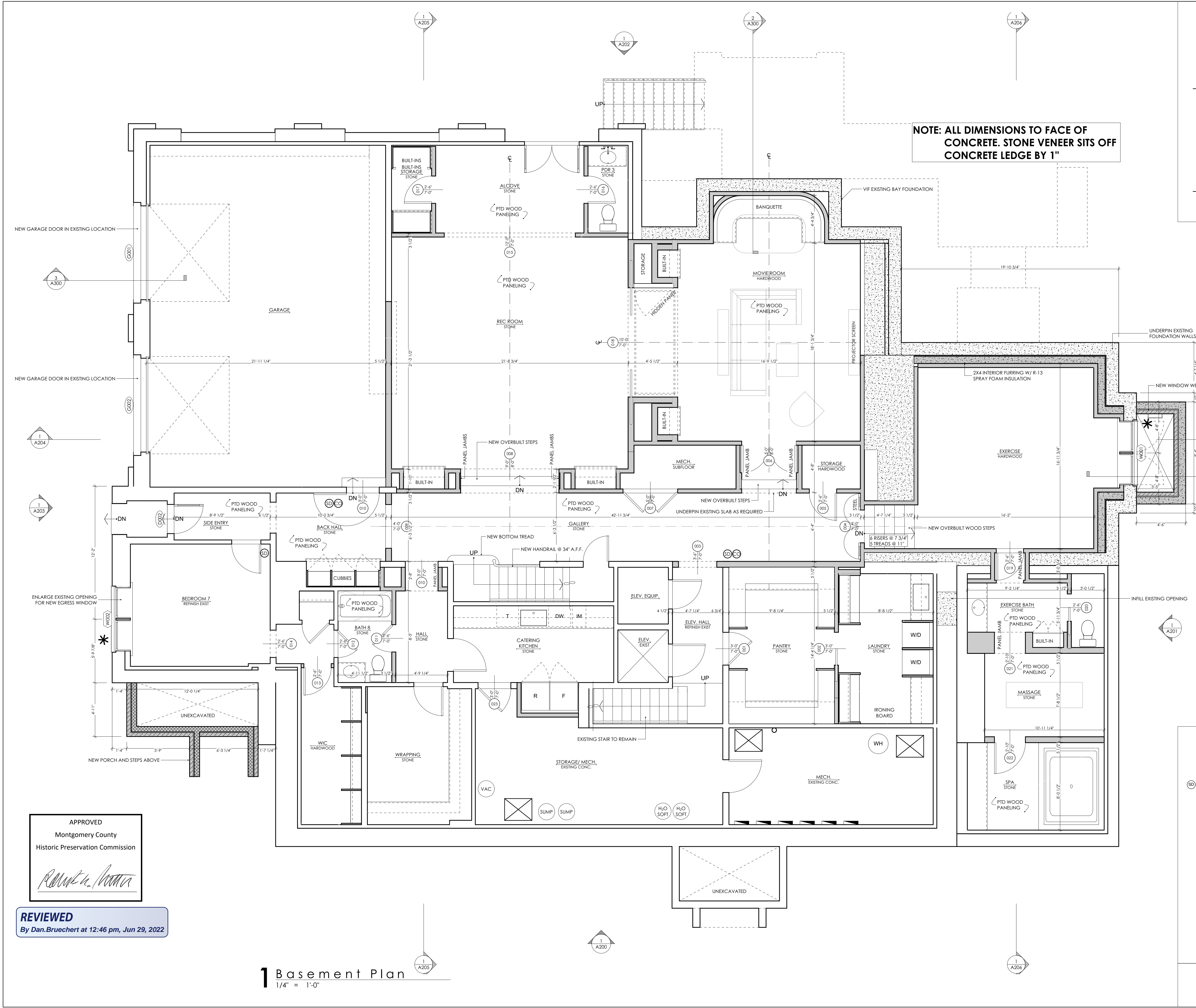
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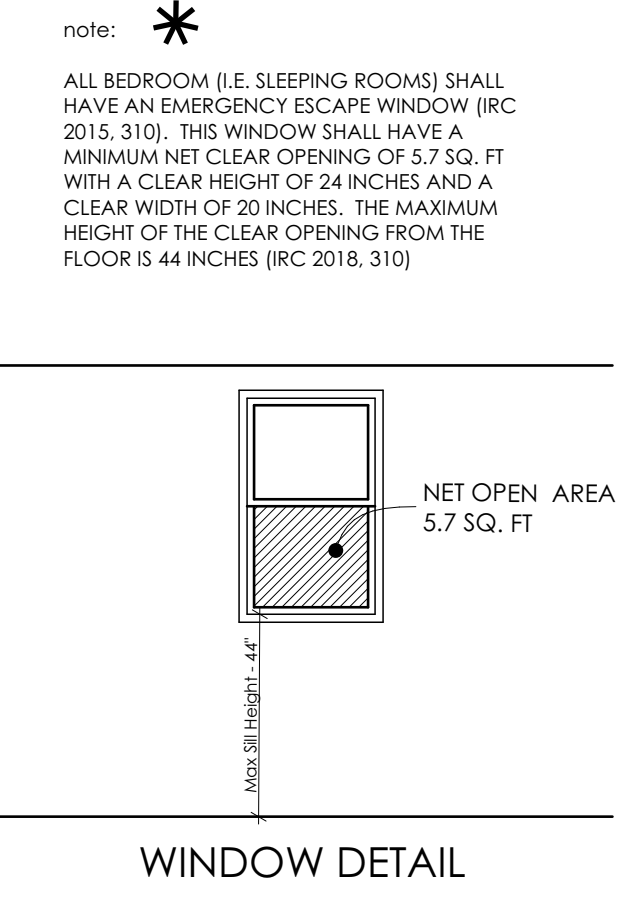
Images

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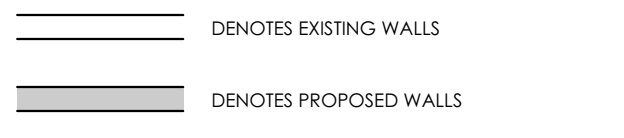
0005



NOTE: ALL DIMENSIONS TO FACE OF CONCRETE. STONE VENEER SITS OFF CONCRETE LEDGE BY 1"



- GENERAL NOTES:**
- UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING.
 - VERIFY ALL EXTERIOR RISER AND TREAD DIMENSIONS IN THE FIELD.
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 - PROVIDE CARBON MONOXIDE ALARMS PER R315.1 REQUIREMENTS.
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- WALL TYPES**
- TYPICAL EXTERIOR WALL: 2X6 WOOD STUDS 16" O.C. WITH R-21 OPEN CELL SPRAY FOAM INSULATION, 1/2" GSS SHEATHING, HENRY BLUESKIN HOUSE WRAP, AND SIDING OR STUCCO TO MATCH EXISTING; SEE ELEVATIONS. INTERIOR FINISH TO BE 5/8" GYP. BOARD.
- TYPICAL INTERIOR WALL: 2X4 OR 2X6 STUDS 16" O.C. WITH 5/8 GYP BOARD EACH SIDE.



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Basement Plan

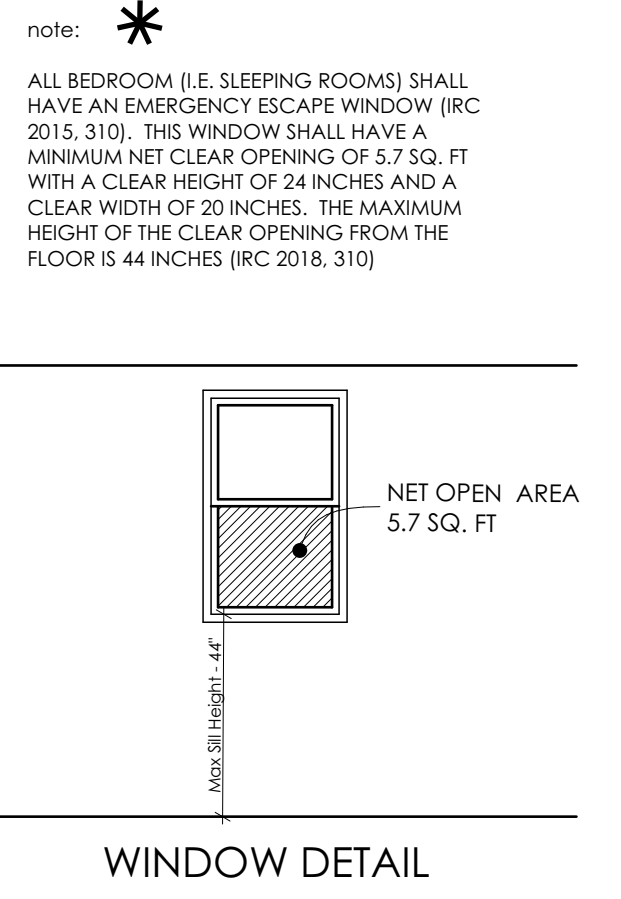
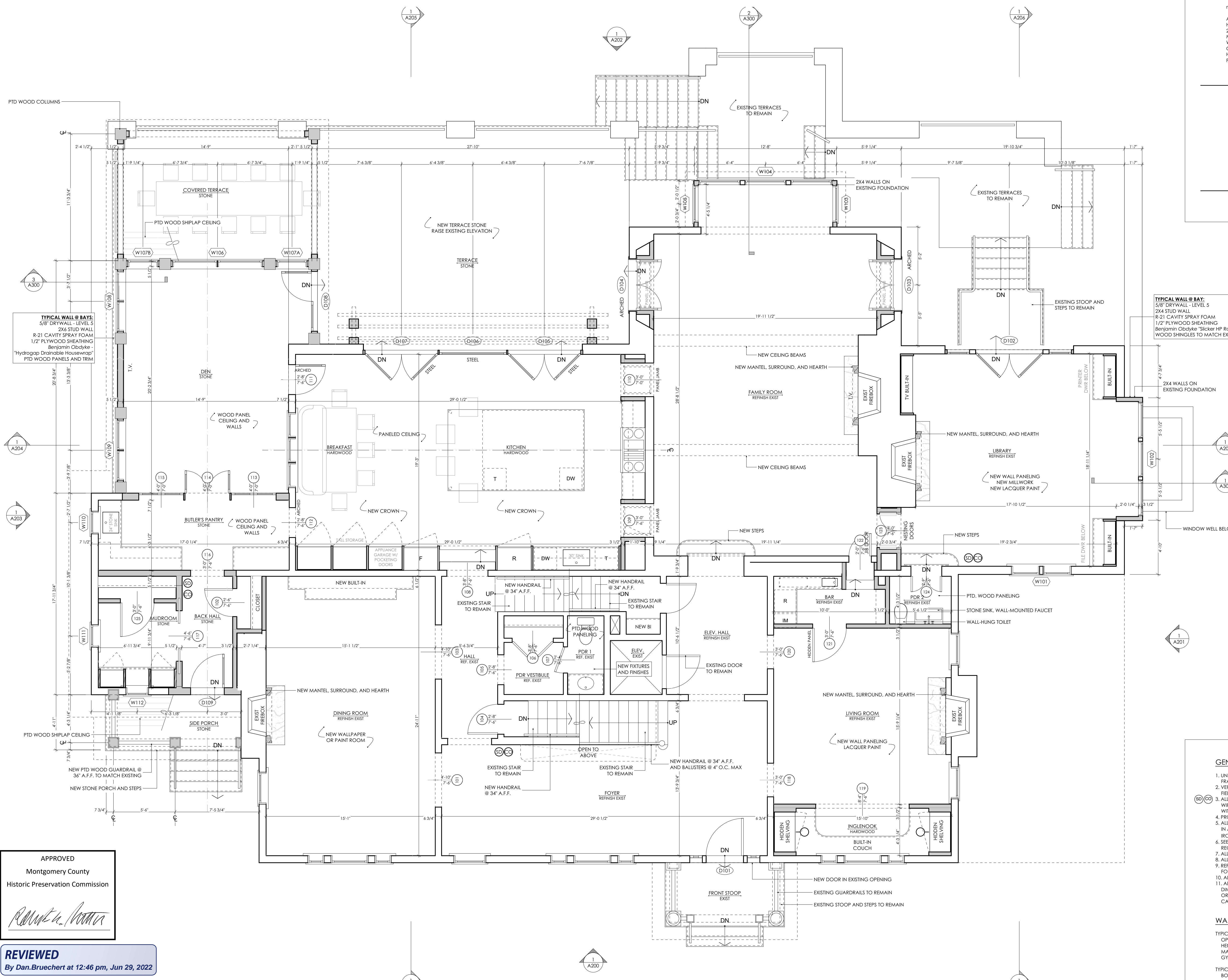
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04-25-2022	Permit Progress

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REVIEWED
By Dan.Bruechert at 12:46 pm, Jun 29, 2022

1 Basement Plan
1/4" = 1'-0"



TYPICAL WALL @ BAY:
 5/8" DRYWALL - LEVEL 5
 2x4 STUD WALL
 R-21 CAVITY SPRAY FOAM
 1/2" PLYWOOD SHEATHING
 Benjamin Obdyke - "Slicker HP Rainscreen"
 WOOD SHINGLES TO MATCH EXISTING

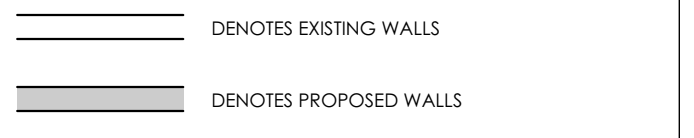
TYPICAL WALL @ BAYS:
 5/8" DRYWALL - LEVEL 5
 2x6 STUD WALL
 R-21 CAVITY SPRAY FOAM
 1/2" PLYWOOD SHEATHING
 Benjamin Obdyke - "Hydrogrip Drainable Housewrap"
 PTD WOOD PANELS AND TRIM

- GENERAL NOTES:**
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WALL TYPES

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TYPICAL INTERIOR WALL: 2x4 OR 2x6 STUDS 16" O.C. WITH 5/8 GYP BOARD EACH SIDE.



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First Floor Plan

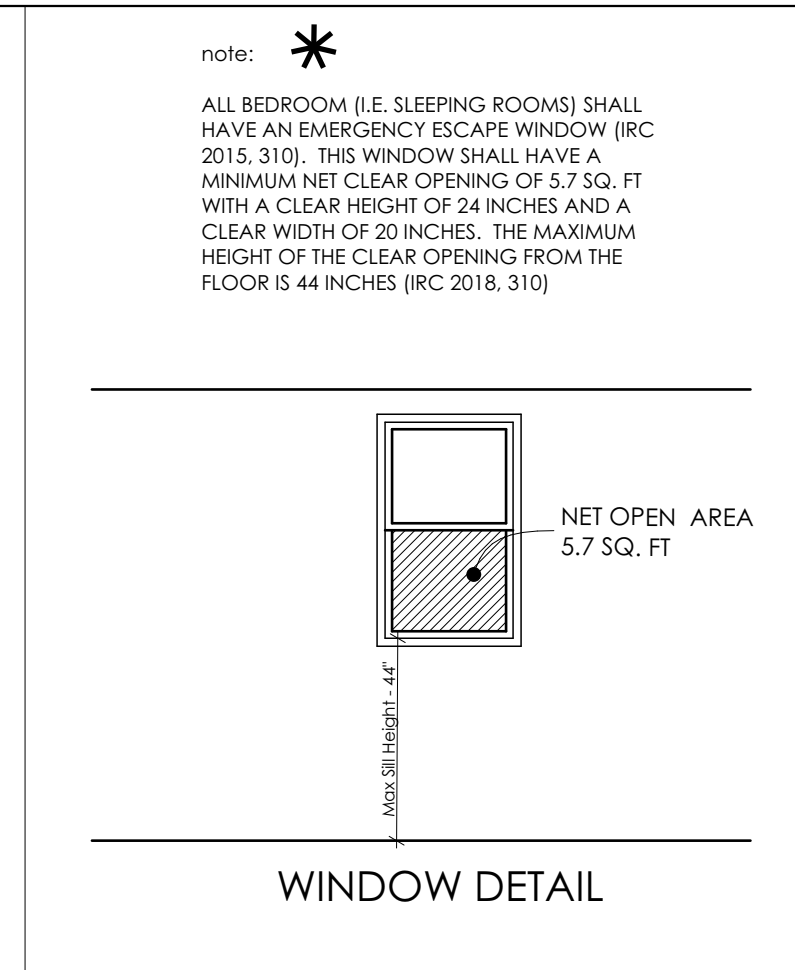
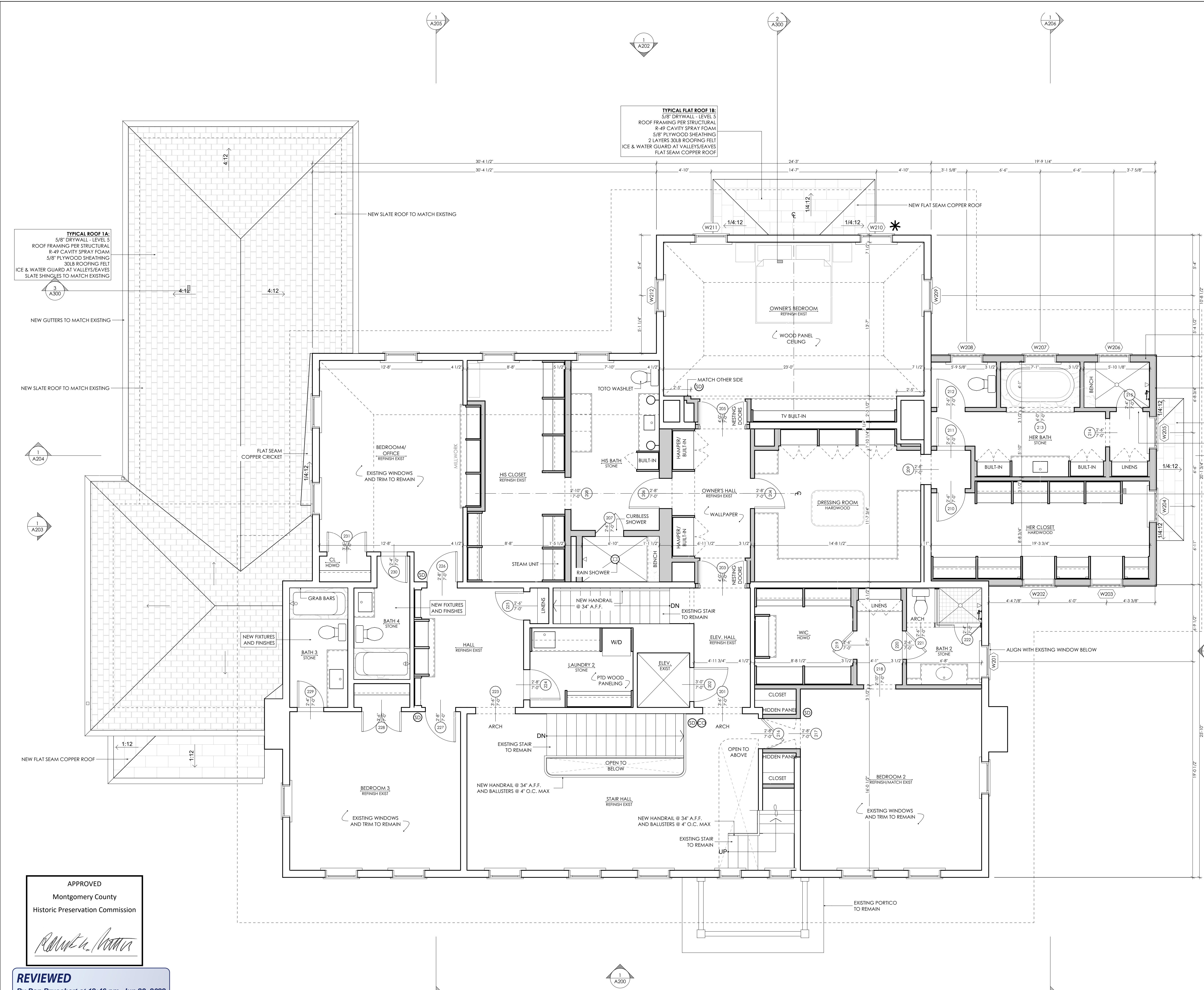
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REVIEWED
 By Dan.Bruechert at 12:46 pm, Jun 29, 2022

1 First Floor Plan
 1/4" = 1'-0"

A101



TYPICAL WALL @ SHINGLES 2A:
5/8" DRYWALL - LEVEL 5
2x6 STUD WALL
R-21 CAVITY SPRAY FOAM
1/2" PLYWOOD SHEATHING
Benjamin Obdyke "Slicker HP Rainscreen"
WOOD SHINGLES TO MATCH EXISTING

TYPICAL WALL @ STUCCO 2B:
5/8" DRYWALL - LEVEL 5
2x6 STUD WALL
R-21 CAVITY SPRAY FOAM
1/2" PLYWOOD SHEATHING
Benjamin Obdyke "Flatwrap HP Housewrap"
Benjamin Obdyke "Slicker Max Rainscreen"
STUCCO TO MATCH EXISTING

TYPICAL ROOF 1A:
5/8" DRYWALL - LEVEL 5
ROOF FRAMING PER STRUCTURAL
R-49 CAVITY SPRAY FOAM
5/8" PLYWOOD SHEATHING
30LB ROOFING FELT
ICE & WATER GUARD AT VALLEYS/EAVES
SLATE SHINGLES TO MATCH EXISTING

TYPICAL FLAT ROOF 1B:
5/8" DRYWALL - LEVEL 5
ROOF FRAMING PER STRUCTURAL
R-49 CAVITY SPRAY FOAM
5/8" PLYWOOD SHEATHING
2 LAYERS 30LB ROOFING FELT
ICE & WATER GUARD AT VALLEYS/EAVES
FLAT SEAM COPPER ROOF

GENERAL NOTES:

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WALL TYPES

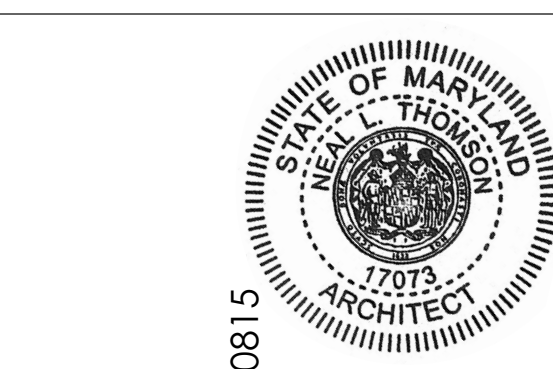
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TYPICAL INTERIOR WALL: 2x4 OR 2x6 STUDS 16" O.C. WITH 5/8" GYP BOARD EACH SIDE.

— DENOTES EXISTING WALLS
— DENOTES PROPOSED WALLS

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Second Floor Plan	
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Robert A. Norton

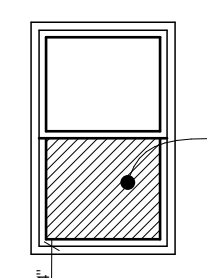
REVIEWED
By Dan.Bruechert at 12:46 pm, Jun 29, 2022

1 Second Floor Plan
1/4" = 1'-0"

A102

TYPICAL ROOF 1A:
 5/8" DRYWALL - LEVEL 5
 ROOF FRAMING PER STRUCTURAL
 R-49 CAVITY SPRAY FOAM
 5/8" PLYWOOD SHEATHING
 30LB ROOFING FELT
 ICE & WATER GUARD AT VALLEYS/EAVES
 SLATE SHINGLES TO MATCH EXISTING

note: *
 ALL BEDROOM (I.E. SLEEPING ROOMS) SHALL
 HAVE AN EMERGENCY ESCAPE WINDOW (IRC
 2015.310). THIS WINDOW SHALL HAVE A
 MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT
 WITH A CLEAR HEIGHT OF 24 INCHES AND A
 CLEAR WIDTH OF 20 INCHES. THE MAXIMUM
 HEIGHT OF THE CLEAR OPENING FROM THE
 FLOOR IS 44 INCHES (IRC 2018, 310)



WINDOW DETAIL

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Attic Plan

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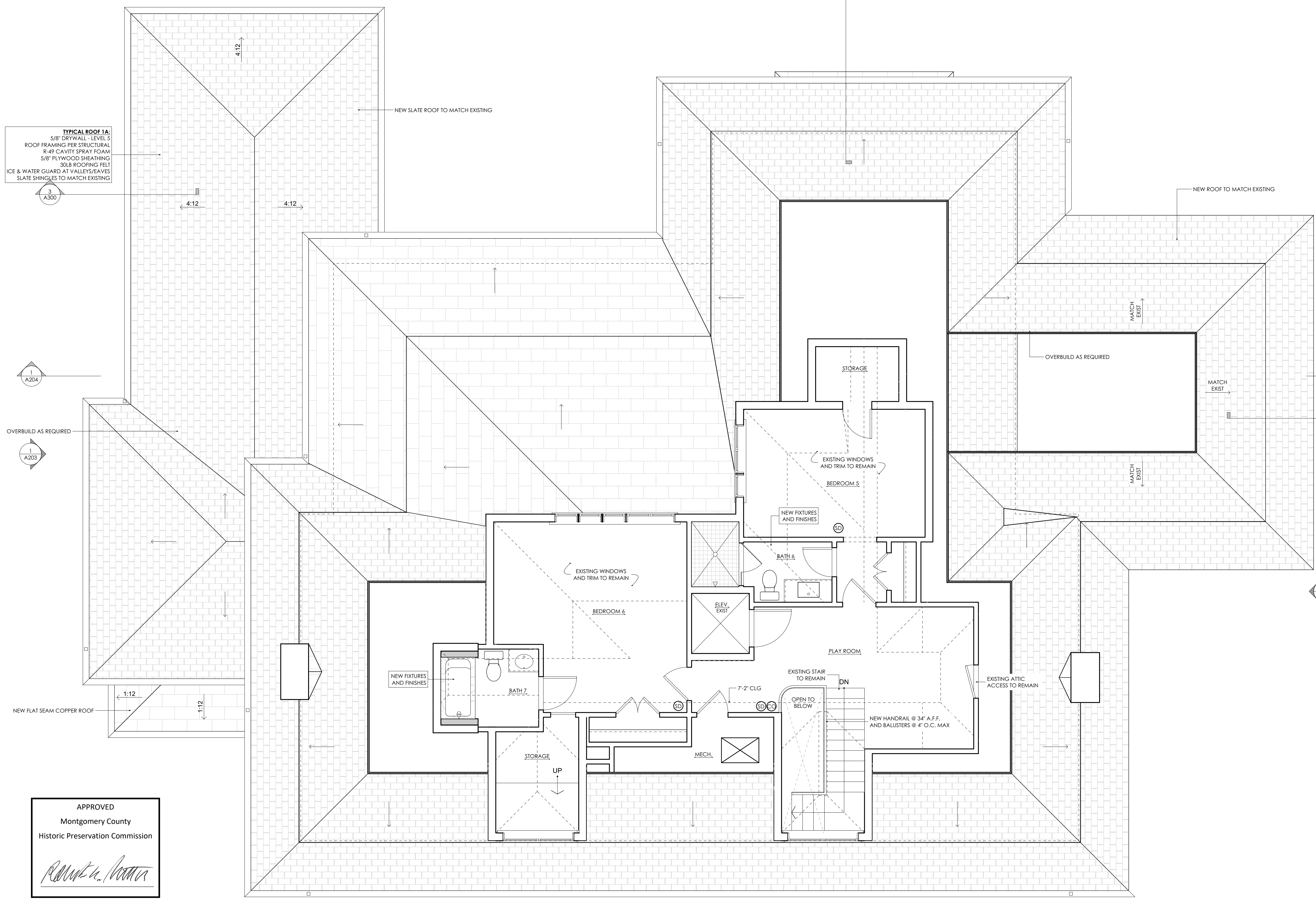
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TYPICAL INTERIOR WALL: 2X4 OR 2X6 STUDS 16" O.C. WITH 5/8" GYP BOARD EACH SIDE.

- DENOTES EXISTING WALLS
- DENOTES PROPOSED WALLS



NOTE: NO STRUCTURAL WORK THIS FLOOR

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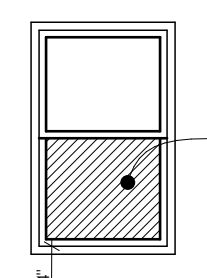
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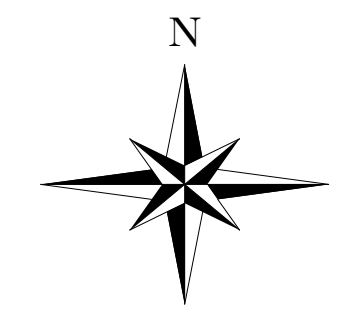
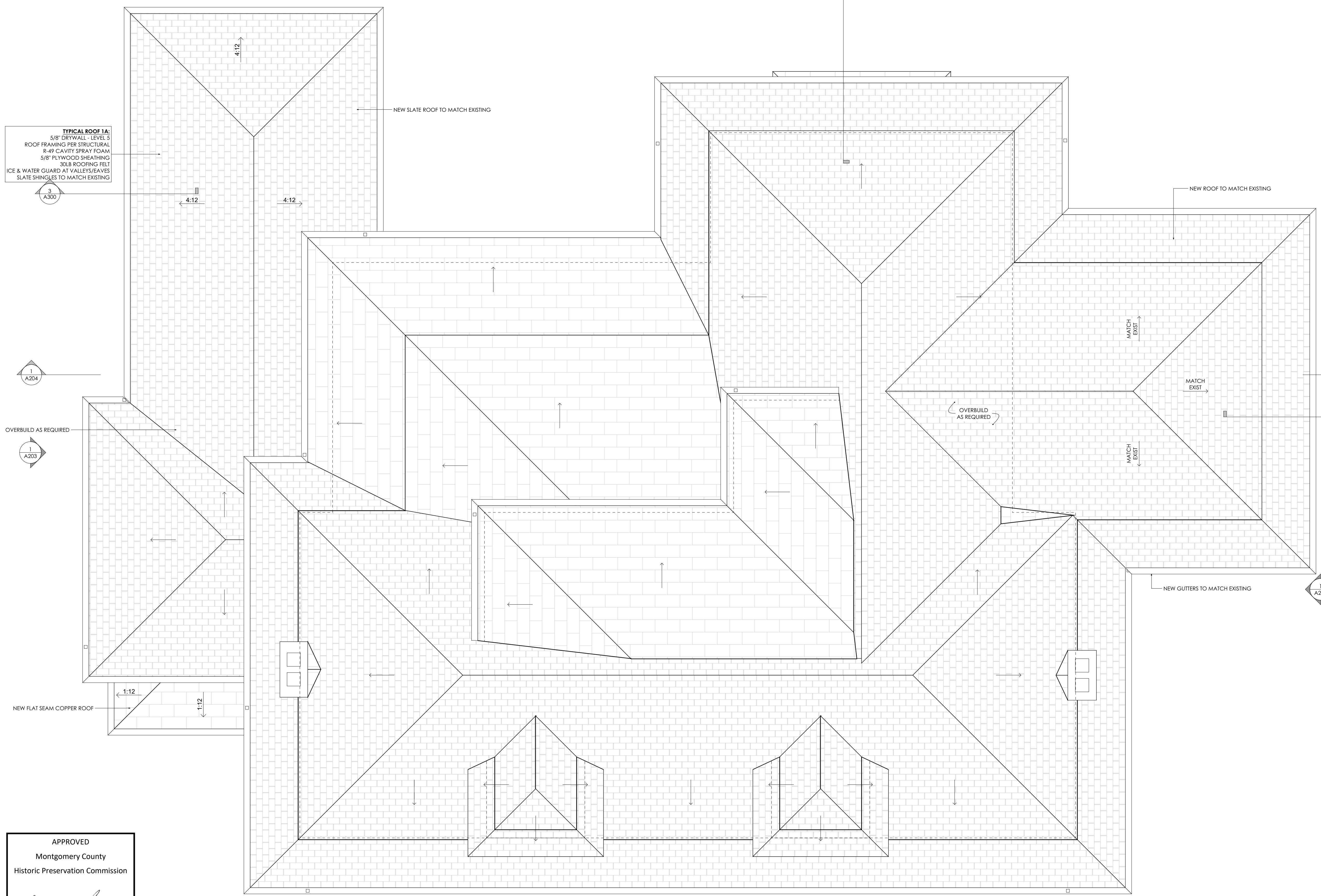
A103

TYPICAL ROOF 1A:
 5/8" DRYWALL - LEVEL 5
 ROOF FRAMING PER STRUCTURAL
 R-49 CAVITY SPRAY FOAM
 5/8" PLYWOOD SHEATHING
 30LB ROOFING FELT
 ICE & WATER GUARD AT VALLEYS/EAVES
 SLATE SHINGLES TO MATCH EXISTING

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WINDOW DETAIL



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- DENOTES EXISTING WALLS
- DENOTES PROPOSED WALLS

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Roof Plan

12-09-2021	Existing Conditions
01-13-2022	SD 2 Meeting
02-07-2022	SD 3 Meeting
04-04-2022	Preliminary Pricing Set
04-25-2022	Permit Progress

A104

1 Roof Plan
 1/4" = 1'-0"



1 Front Elevation
1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 12:47 pm, Jun 29, 2022

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Front Elevation

12-09-2021	Existing Conditions
01-13-2022	SD 2 Meeting
02-07-2022	SD 3 Meeting
04-04-2022	Preliminary Pricing Set
04-25-2022	Permit Progress


A200

Printed: 6/21/22



1 Right Elevation
 1/4" = 1'-0"

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 Montgomery County
 Historic Preservation Commission



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 By Dan.Bruechert at 12:47 pm, Jun 29, 2022

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Right Elevation

12-09-2021	Existing Conditions
01-13-2022	SD 2 Meeting
02-07-2022	SD 3 Meeting
04-04-2022	Preliminary Pricing Set
04-25-2022	Permit Progress

A201



1 Rear Elevation
1/4" = 1'-0"

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Montgomery County
Historic Preservation Commission

[Signature]

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By Dan.Bruechert at 12:47 pm, Jun 29, 2022

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Rear Elevation

12-09-2021	Existing Conditions
01-13-2022	SD 2 Meeting
02-07-2022	SD 3 Meeting
04-04-2022	Preliminary Pricing Set
04-25-2022	Permit Progress

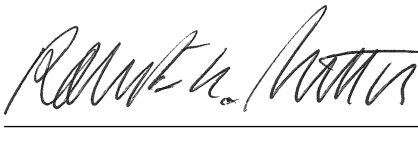
A202

Printed: 6/21/22



1 Left Elevation
1/4" = 1'-0"

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Montgomery County
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REVIEWED
By Dan.Bruechert at 12:47 pm, Jun 29, 2022

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Left Elevation

12-09-2021	Existing Conditions
01-13-2022	SD 2 Meeting
02-07-2022	SD 3 Meeting
04-04-2022	Preliminary Pricing Set
04-25-2022	Permit Progress

A203

Printed: 6/21/22

NOTE:
SEE EXTERIOR ELEVATIONS FOR WINDOW & DOOR HEIGHTS

NOTE:
SEE TABLE 1 ON SHEET 0002 FOR ALL INSULATION AND U-FACTORS FOR MATERIALS AND LOCATIONS TO BE INSTALLED.
SEE TABLE 2 ON SHEET 0002 FOR ALL FENESTRATION U-FACTORS FOR ALL GLAZING FOR EACH WINDOW AND DOOR TO BE INSTALLED.

AIR SEALING NOTES:
GLUE DRYWALL TO TOP PLATE OF WALL
GLUE SHEATHING TO TOP AND BOTTOM PLATE OF WALL
GLUE SHEATHING TO SILL PLATE
INSTALL SILL PLATE ON SILL GASKET
SEAL ALL SEAMS ON EXTERIOR SHEATHING
SEE TABLE 3 ON SHEET 0002 FOR ADD'L AIR SEALING NOTES

TYPICAL CONSTRUCTION NOTES

1A. TYP. ROOF/CEILING CONSTRUCTION
5/8" DRYWALL - LEVEL 5 FINISH WITH RAFTER FRAMING PER STRUCTURAL AND R-49 SPRAY FOAM INSULATION. 5/8" PLYWOOD SHEATHING WITH 1" CLIPS UNDER 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, EAVES, AND ALL SLOPES LESS THAN 4:12. SLATE SHINGLES TO MATCH EXISTING.

1B. TYP. LOW SLOPE ROOF
5/8" DRYWALL - LEVEL 5 FINISH WITH RAFTER FRAMING PER STRUCTURAL AND R-49 SPRAY FOAM INSULATION. 5/8" PLYWOOD SHEATHING WITH 1" CLIPS UNDER (2) LAYERS 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, EAVES, AND ALL SLOPES LESS THAN 4:12. FLAT SEAM COPPER ROOF.

2A. TYP. EXTERIOR WALL CONSTRUCTION @ SHINGLES
5/8" DRYWALL - LEVEL 5 FINISH ON 2X STUD WALLS WITH R-21 CAVITY SPRAY FOAM INSULATION. 1/2" PLYWOOD SHEATHING, BENJAMIN OBDYKE "Slicker HP Rainscreen" OR APPROVED EQUAL, AND WOOD SHINGLES TO MATCH EXISTING. PROVIDE BLOCKING AT HALF HEIGHT.

2B. TYP. EXTERIOR WALL CONSTRUCTION @ STUCCO
5/8" DRYWALL - LEVEL 5 FINISH ON 2X STUD WALLS WITH R-21 CAVITY SPRAY FOAM INSULATION. 1/2" PLYWOOD SHEATHING, BENJAMIN OBDYKE "Flatwrap HP Housewrap" WITH BENJAMIN OBDYKE "Slicker Max Rainscreen" OR APPROVED EQUAL, AND STUCCO TO MATCH EXISTING. PROVIDE BLOCKING AT HALF HEIGHT.

3. TYP. FLOOR CONSTRUCTION
3/4" HARDWOOD FLOORS TO MATCH EXISTING ON 3/4" T&G PLYWOOD SUBFLOOR ADVANTECH OR APPROVED EQUAL (GLUED AND NAILED) WOOD T JOIST WITH 1/2" GYP (SEE FRAMING PLANS FOR SIZE AND SPACING) R-21 @ PERIMETER BLOCKING AND R-49 AT CANTILEVERS/OVERHANGS.

4. TYP. FOUNDATION WALL AT BASEMENT
5/8" DRYWALL - LEVEL 5 FINISH ON 2X4 FURRING WALLS WITH R-13 CAVITY SPRAY FOAM INSULATION. CMU FOUNDATION WALLS PER STRUCTURAL WITH EXTERIOR CEMENT WATERPROOF COATING, 1" AIRGAP, AND STONE VENEER TO MATCH EXISTING.

5. TYP. SLAB ON GRADE CONSTRUCTION
CONCRETE SLAB PER STRUCTURAL ON 8 MM POLY VAPOR BARRIER OVER 2" R-10 RIGID INSULATION AND 4" CRUSHED AGGREGATE ON UNDISTURBED SOIL.

6. TYP. INTERIOR WALL CONSTRUCTION
5/8" DRYWALL ON 2X4 OR 2X6 STUDS (SEE PLANS) @ 16" O.C. (U.N.O.) PRESSURE TREATED SILL AT BASEMENT, MOISTURE RESISTANT (GREEN BOARD) AT ALL BATHROOMS, LAUNDRY ROOMS AND ADDITIONAL AREAS CALLED OUT ON PLANS.

APPROVED
Montgomery County
Historic Preservation Commission

Robert L. Norton

REVIEWED
By Dan.Bruechert at 12:47 pm, Jun 29, 2022

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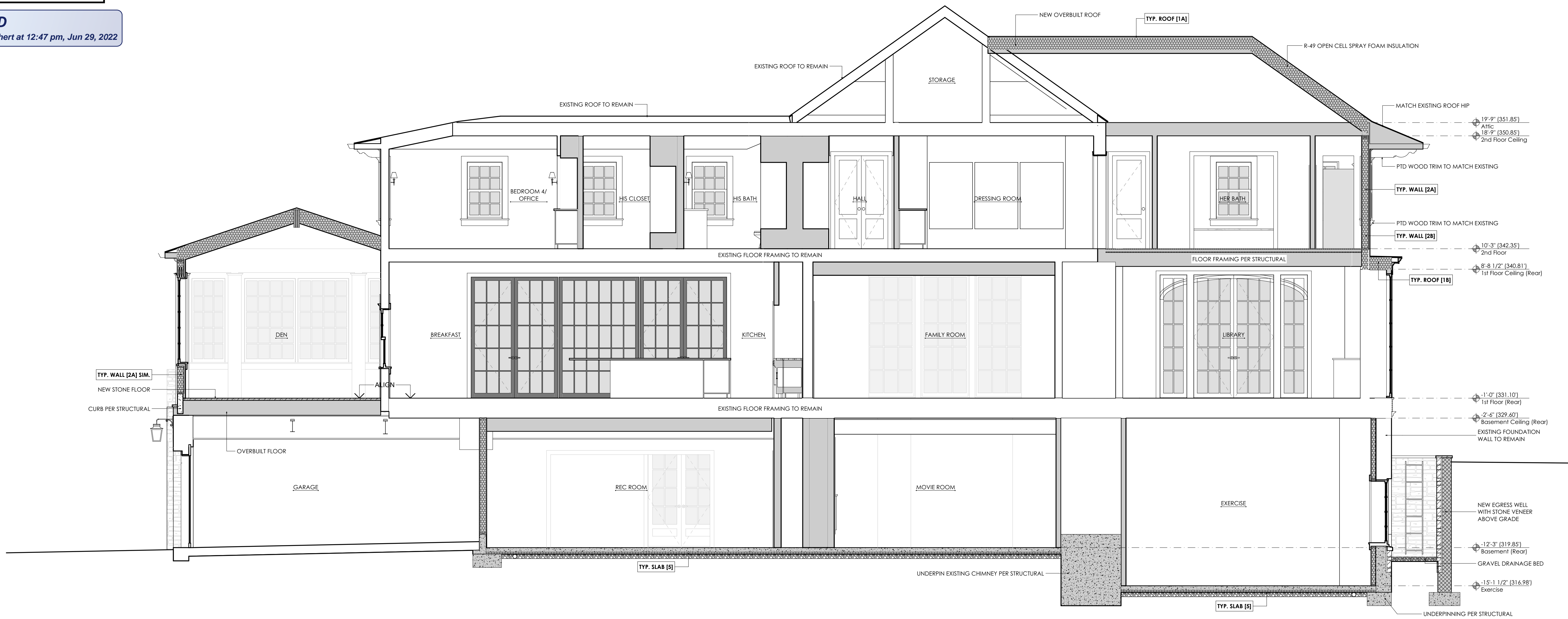
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Building Section

12-09-2021	Existing Conditions
01-13-2022	SD 2 Meeting
02-07-2022	SD 3 Meeting
04-04-2022	Preliminary Pricing Set
04-25-2022	Permit Progress



1 Building Section Through Exercise
1/4" = 1'-0"

NOTE:
SEE EXTERIOR ELEVATIONS FOR WINDOW & DOOR HEIGHTS

NOTE:
SEE TABLE 1 ON SHEET 0002 FOR ALL INSULATION AND U-FACTORS FOR MATERIALS AND LOCATIONS TO BE INSTALLED.
SEE TABLE 2 ON SHEET 0002 FOR ALL FENESTRATION U-FACTORS FOR ALL GLAZING FOR EACH WINDOW AND DOOR TO BE INSTALLED.

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TYPICAL CONSTRUCTION NOTES

1A. TYP. ROOF/CEILING CONSTRUCTION

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1B. TYP. LOW SLOPE ROOF

5/8" DRYWALL - LEVEL 5 FINISH WITH RAFTER FRAMING PER STRUCTURAL AND R-49 SPRAY FOAM INSULATION. 5/8" PLYWOOD SHEATHING WITH 1" CLIPS UNDER (2) LAYERS 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, EAVES, AND ALL SLOPES LESS THAN 4:12. FLAT SEAM COPPER ROOF.

2A. TYP. EXTERIOR WALL CONSTRUCTION @ SHINGLES

5/8" DRYWALL - LEVEL 5 FINISH ON 2X STUD WALLS WITH R-21 CAVITY SPRAY FOAM INSULATION. 1/2" PLYWOOD SHEATHING. BENJAMIN OBDYKE "Slicker HP Rainscreen" OR APPROVED EQUAL. AND WOOD SHINGLES TO MATCH EXISTING. PROVIDE BLOCKING AT HALF HEIGHT.

2B. TYP. EXTERIOR WALL CONSTRUCTION @ STUCCO

5/8" DRYWALL - LEVEL 5 FINISH ON 2X STUD WALLS WITH R-21 CAVITY SPRAY FOAM INSULATION. 1/2" PLYWOOD SHEATHING. BENJAMIN OBDYKE "Flatwrap HP Housewrap" WITH BENJAMIN OBDYKE "Slicker Max Rainscreen" OR APPROVED EQUAL. AND STUCCO TO MATCH EXISTING. PROVIDE BLOCKING AT HALF HEIGHT.

3. TYP. FLOOR CONSTRUCTION

3/4" HARDWOOD FLOORS TO MATCH EXISTING ON 3/4" T&G PLYWOOD SUBFLOOR ADVANTECH OR APPROVED EQUAL (GLUED AND NAILED) WOOD "T" JOIST WITH 1/2" GYP (SEE FRAMING PLANS FOR SIZE AND SPACING) R-21 @ PERIMETER BLOCKING AND R-49 AT CANTILEVERS/OVERHANGS.

4. TYP. FOUNDATION WALL AT BASEMENT

5/8" DRYWALL - LEVEL 5 FINISH ON 2X4 FURRING WALLS WITH R-13 CAVITY SPRAY FOAM INSULATION. CMU FOUNDATION WALLS PER STRUCTURAL WITH EXTERIOR CEMENT WATERPROOF COATING, 1" AIRGAP, AND STONE VENEER TO MATCH EXISTING.

5. TYP. SLAB ON GRADE CONSTRUCTION

CONCRETE SLAB PER STRUCTURAL ON 8 MM POLY VAPOR BARRIER OVER Z. R-10 RIGID INSULATION AND 4" CRUSHED AGGREGATE ON UNDISTURBED SOIL.

6. TYP. INTERIOR WALL CONSTRUCTION

5/8" DRYWALL ON 2X4 OR 2X6 STUDS (SEE PLANS) @ 16" O.C. (I.N.O) PRESSURE TREATED SILL AT BASEMENT, MOISTURE RESISTANT (GREEN BOARD) AT ALL BATHROOMS, LAUNDRY ROOMS AND ADDITIONAL AREAS CALLED OUT ON PLANS.

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 12:47 pm, Jun 29, 2022

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1 Cross Section Through Terrace
1/4" = 1'-0"



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Cross Section

12-09-2021	Existing Conditions
01-13-2022	SD 2 Meeting
02-07-2022	SD 3 Meeting
04-04-2022	Preliminary Pricing Set
04-25-2022	Permit Progress

A205

NOTE:
SEE EXTERIOR ELEVATIONS FOR WINDOW & DOOR HEIGHTS

NOTE:
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5/8" DRYWALL - LEVEL 5 FINISH WITH RAFTER FRAMING PER STRUCTURAL AND R-49 SPRAY FOAM INSULATION. 5/8" PLYWOOD SHEATHING WITH 1" CLIPS UNDER (2) LAYERS 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, EAVES, AND ALL SLOPES LESS THAN 4:12. FLAT SEAM COPPER ROOF.

2A. TYP. EXTERIOR WALL CONSTRUCTION @ SHINGLES

5/8" DRYWALL - LEVEL 5 FINISH ON 2X STUD WALLS WITH R-21 CAVITY SPRAY FOAM INSULATION. 1/2" PLYWOOD SHEATHING. BENJAMIN OBDYKE "Slicker HP Rainscreen" OR APPROVED EQUAL. AND WOOD SHINGLES TO MATCH EXISTING. PROVIDE BLOCKING AT HALF HEIGHT.

2B. TYP. EXTERIOR WALL CONSTRUCTION @ STUCCO

5/8" DRYWALL - LEVEL 5 FINISH ON 2X STUD WALLS WITH R-21 CAVITY SPRAY FOAM INSULATION. 1/2" PLYWOOD SHEATHING. BENJAMIN OBDYKE "Flatwrap HP Housewrap" WITH BENJAMIN OBDYKE "Slicker Max Rainscreen" OR APPROVED EQUAL. AND STUCCO TO MATCH EXISTING. PROVIDE BLOCKING AT HALF HEIGHT.

3. TYP. FLOOR CONSTRUCTION

3/4" HARDWOOD FLOORS TO MATCH EXISTING ON 3/4" T&G PLYWOOD SUBFLOOR ADVANTECH OR APPROVED EQUAL (GLUED AND NAILED) WOOD "T" JOIST WITH 1/2" GYP (SEE FRAMING PLANS FOR SIZE AND SPACING) R-21 @ PERIMETER BLOCKING AND R-49 AT CANTILEVERS/OVERHANGS.

4. TYP. FOUNDATION WALL AT BASEMENT

5/8" DRYWALL - LEVEL 5 FINISH ON 2X4 FURRING WALLS WITH R-13 CAVITY SPRAY FOAM INSULATION. CMU FOUNDATION WALLS PER STRUCTURAL WITH EXTERIOR CEMENT WATERPROOF COATING, 1" AIRGAP, AND STONE VENEER TO MATCH EXISTING.

5. TYP. SLAB ON GRADE CONSTRUCTION

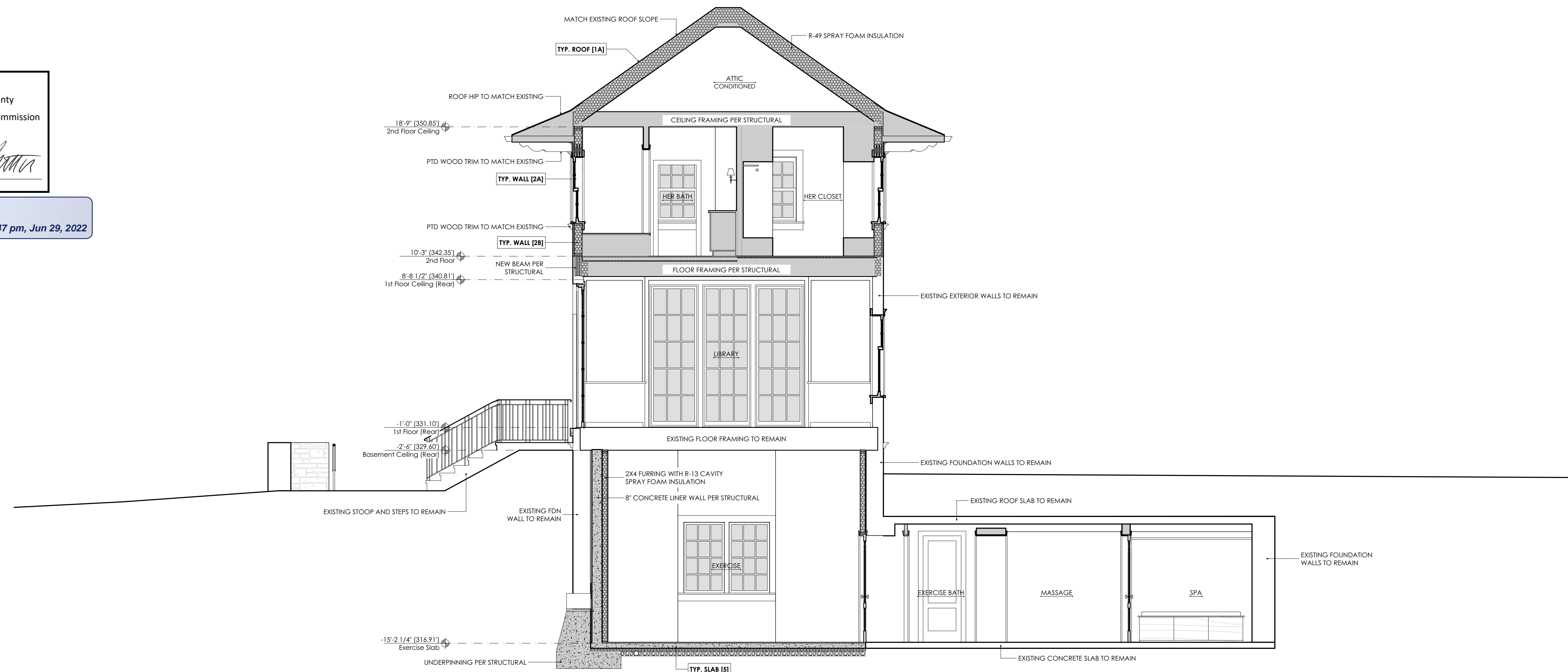
CONCRETE SLAB PER STRUCTURAL ON 8 MM POLY VAPOR BARRIER OVER 2" R-10 RIGID INSULATION AND 4" CRUSHED AGGREGATE ON UNDISTURBED SOIL.

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APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

REVIEWED
By Dan.Bruechert at 12:47 pm, Jun 29, 2022



1 Cross Section Through Library
1/4" = 1'-0"

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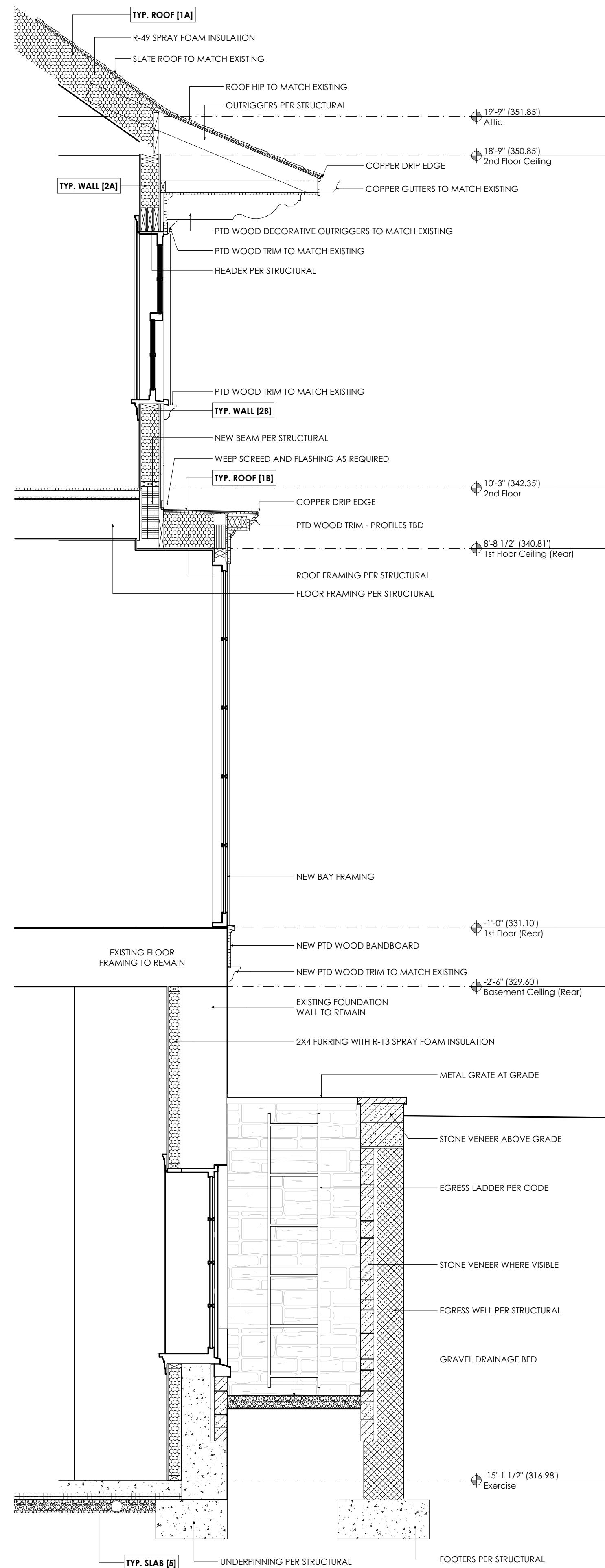
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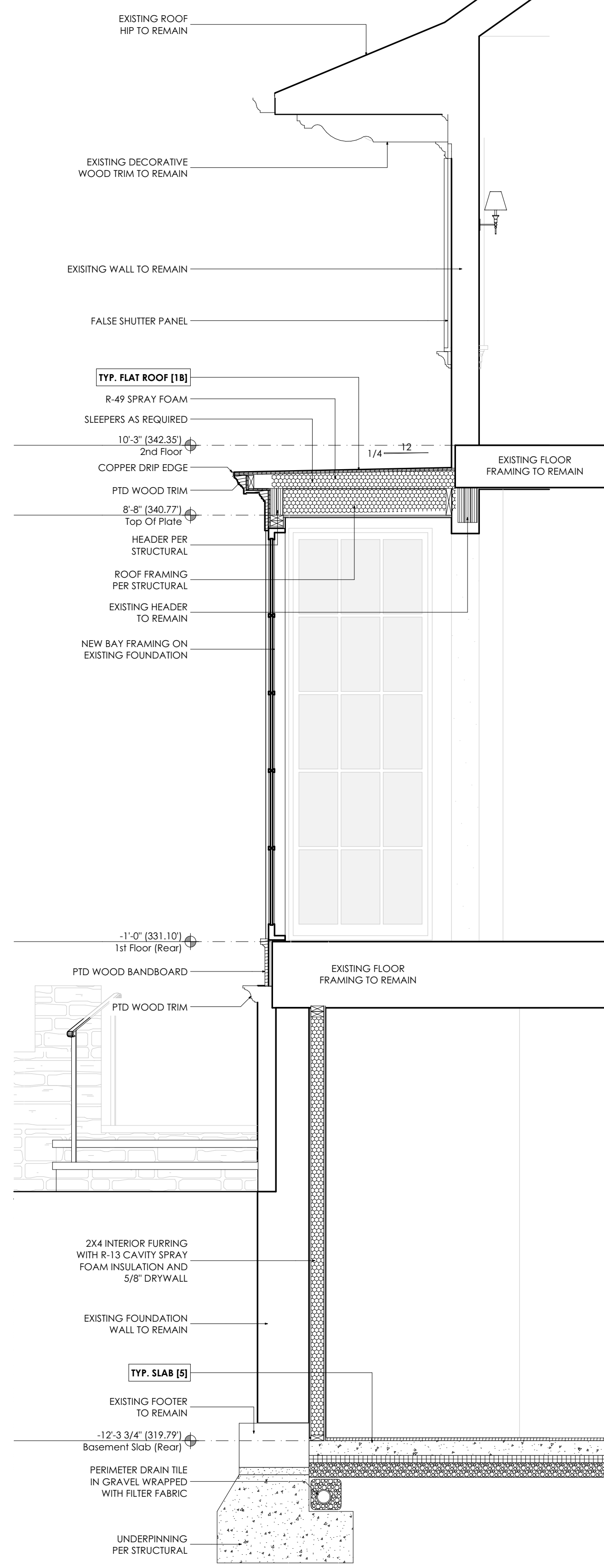
Cross Section

12-09-2021	Existing Conditions
01-13-2022	SD 2 Meeting
02-07-2022	SD 3 Meeting
04-04-2022	Preliminary Pricing Set
04-25-2022	Permit Progress

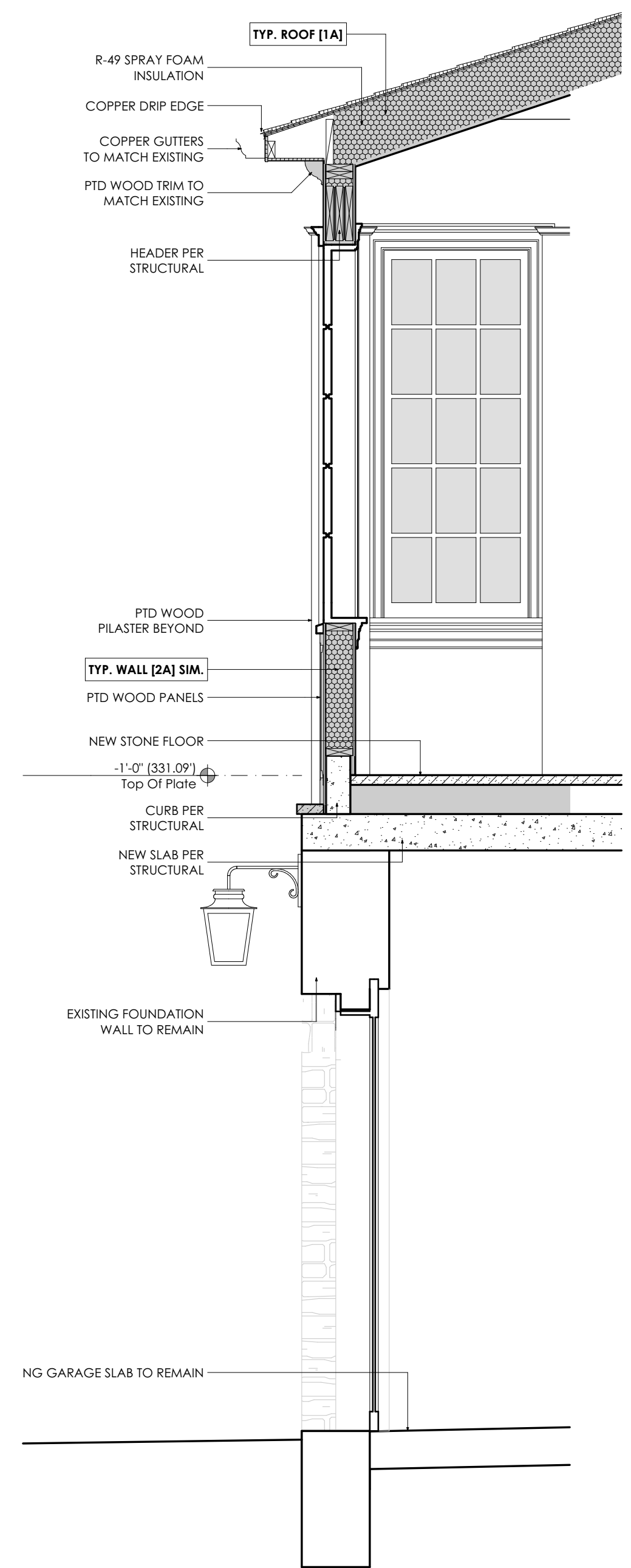
A206



1 Wall Section At Window Well
1/2" = 1'-0"



2 Wall Section At Family Room
1/2" = 1'-0"



3 Wall Section At Den
1/2" = 1'-0"

NOTE:
SEE EXTERIOR ELEVATIONS FOR WINDOW & DOOR HEIGHTS

NOTE:
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5/8" DRYWALL - LEVEL 5 FINISH WITH RAFTER FRAMING PER STRUCTURAL AND R-49 SPRAY FOAM INSULATION. 5/8" PLYWOOD SHEATHING WITH "1" CLIPS UNDER (2) LAYERS 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, EAVES, AND ALL SLOPES LESS THAN 4:12. FLAT SEAM COPPER ROOF.

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3. TYP. FLOOR CONSTRUCTION
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APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 12:47 pm, Jun 29, 2022

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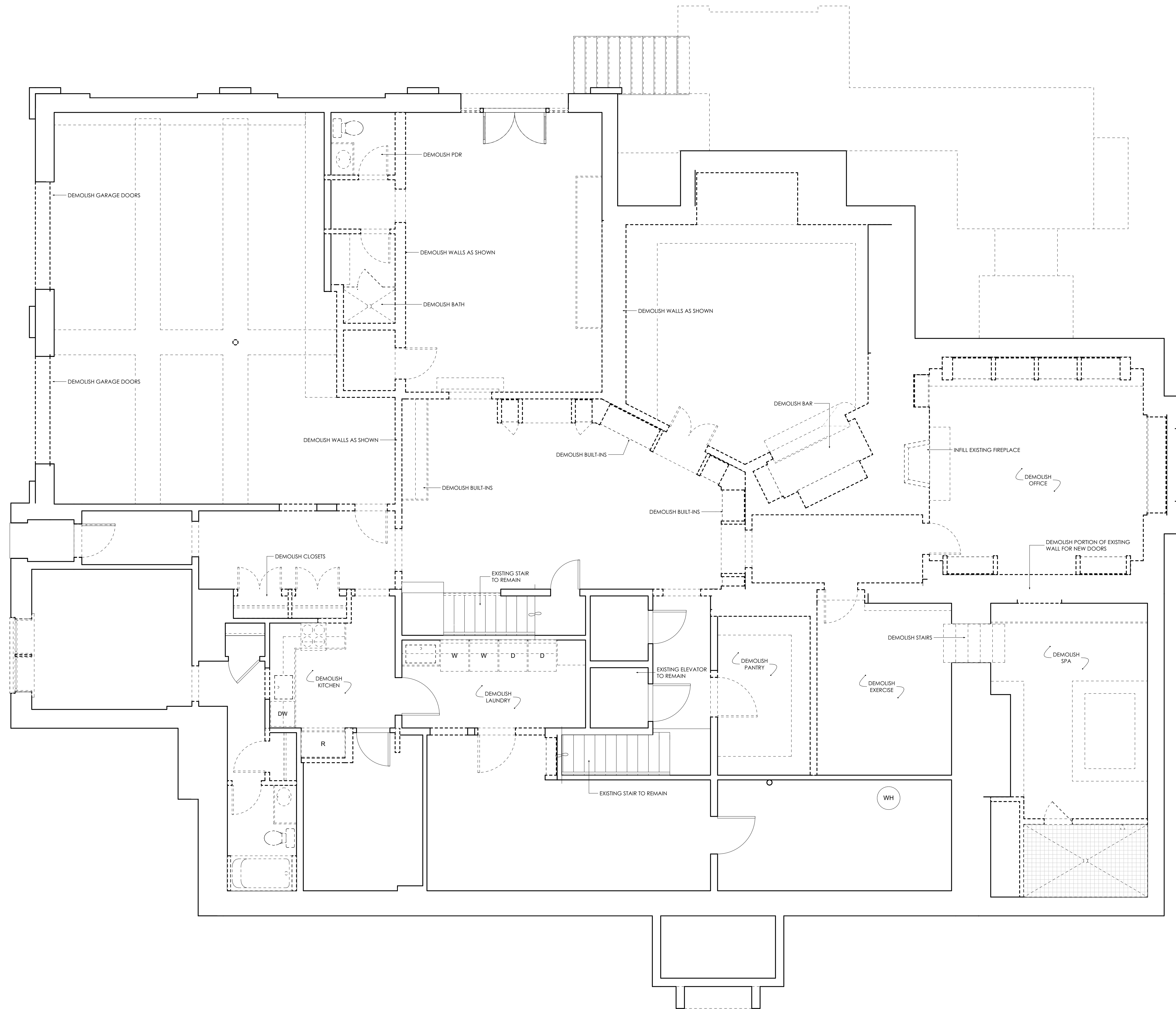
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Wall Sections

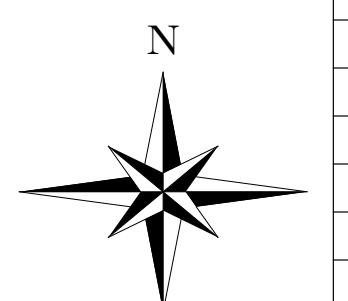
12-09-2021	Existing Conditions
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04-04-2022	Preliminary Pricing Set
04-25-2022	Permit Progress

A300



APPROVED
 Montgomery County
 Historic Preservation Commission
[Signature]

REVIEWED
 By Dan.Bruechert at 12:47 pm, Jun 29, 2022



1 Basement Demolition Plan
 1/4" = 1'-0"

	DENOTES EXISTING WALLS
	DENOTES WALLS TO BE DEMOLISHED

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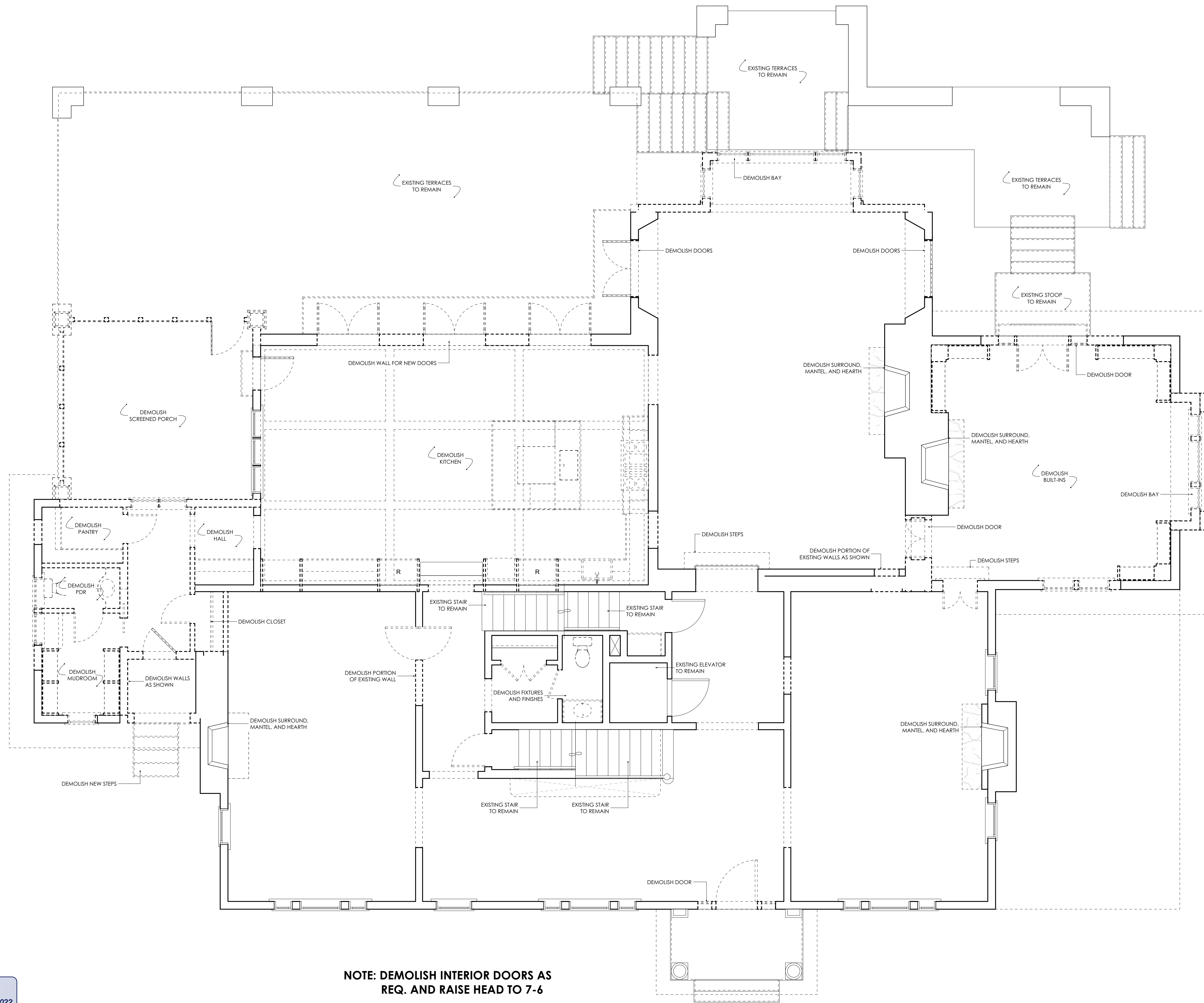
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Basement
 Demolition Plan

12-09-2021	Existing Conditions
01-13-2022	SD 2 Meeting
02-07-2022	SD 3 Meeting
04-04-2022	Preliminary Pricing Set
04-25-2022	Permit Progress

D000

Printed: 6/21/22



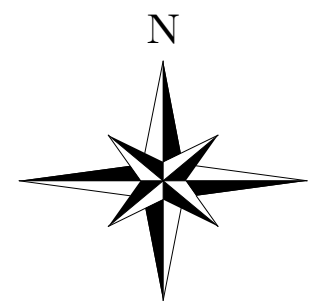
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Montgomery County
Historic Preservation Commission

Dan Bruechert
REVIEWED
By Dan.Bruechert at 12:48 pm, Jun 29, 2022

NOTE: DEMOLISH INTERIOR DOORS AS REQ. AND RAISE HEAD TO 7-6

1 First Floor Demolition Plan
1/4" = 1'-0"

—	DENOTES EXISTING WALLS
- - - - -	DENOTES WALLS TO BE DEMOLISHED



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West Lenox Residence
15 West Lenox Street Chevy Chase MD 20815

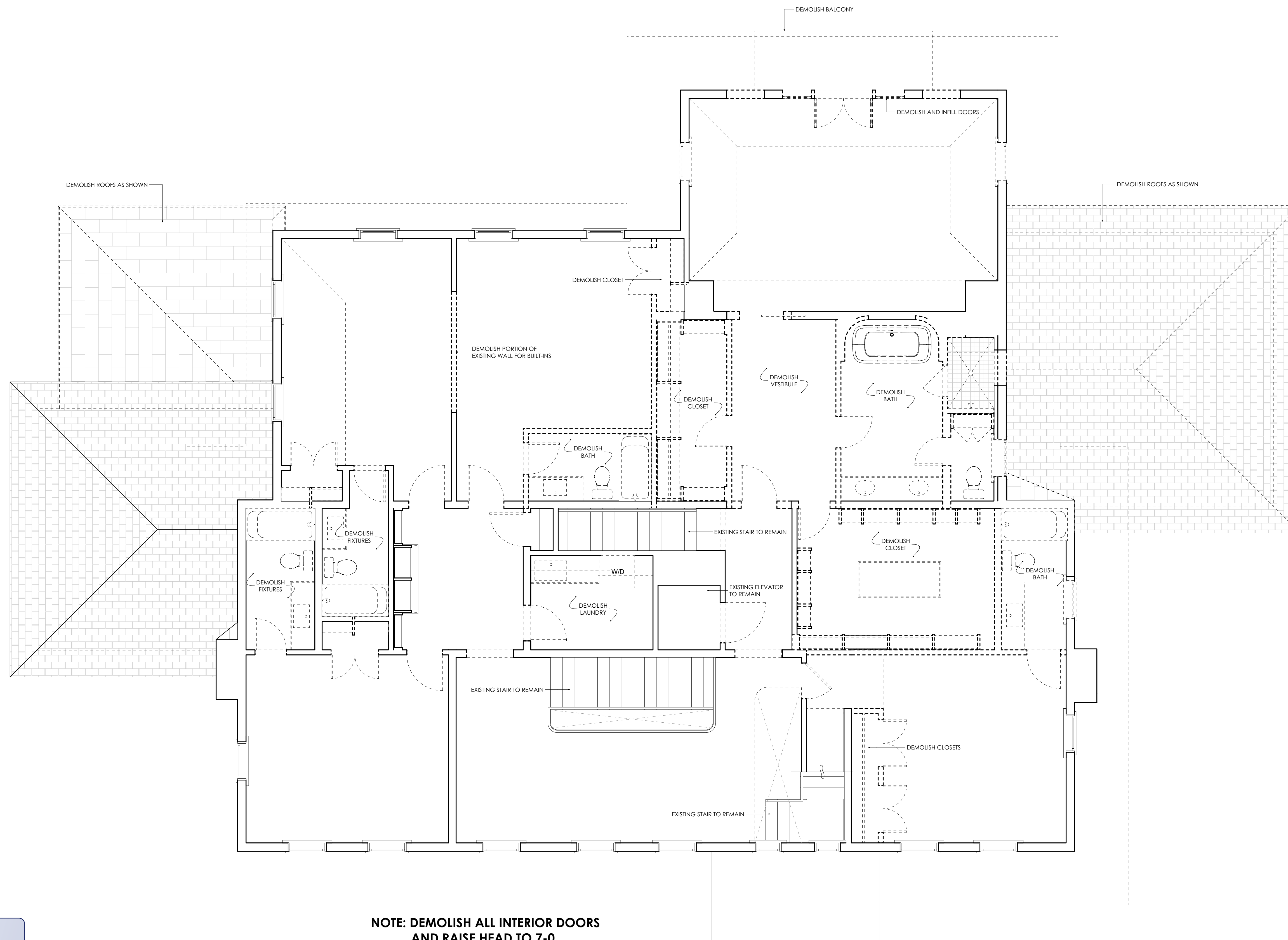
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Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland. License number 17073, expiration date 09-04-2022

First Floor
Demolition Plan

12-09-2021	Existing Conditions
01-13-2022	SD 2 Meeting
02-07-2022	SD 3 Meeting
04-04-2022	Preliminary Pricing Set
04-25-2022	Permit Progress

D001



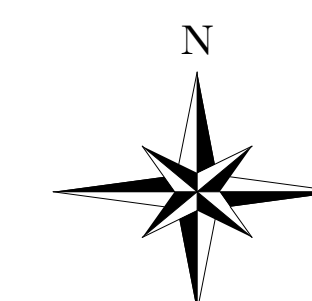
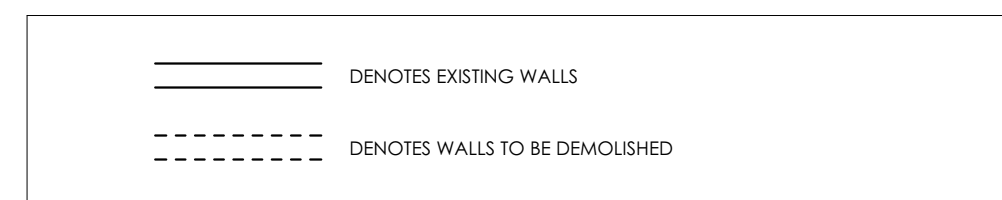
**NOTE: DEMOLISH ALL INTERIOR DOORS
AND RAISE HEAD TO 7-0**

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Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 12:48 pm, Jun 29, 2022

1 Second Floor Demolition Plan
1/4" = 1'-0"



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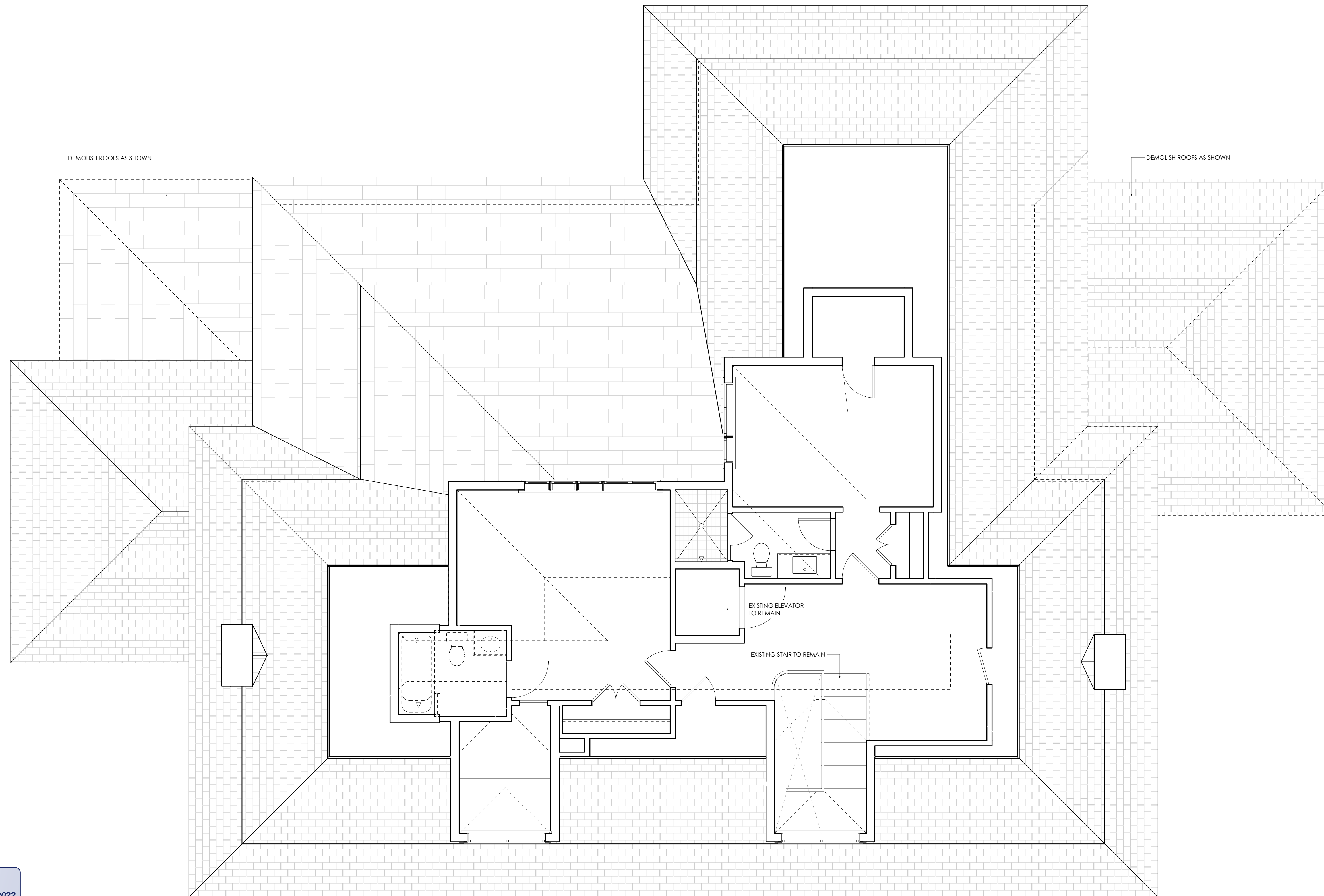
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Second Floor Demolition Plan

Date	Event
12-09-2021	Existing Conditions
01-13-2022	SD 2 Meeting
02-07-2022	SD 3 Meeting
04-04-2022	Preliminary Pricing Set
04-25-2022	Permit Progress

D002



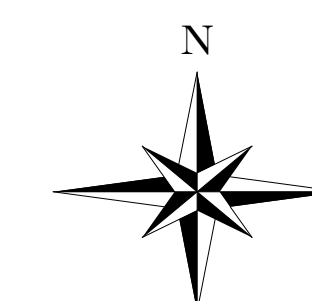
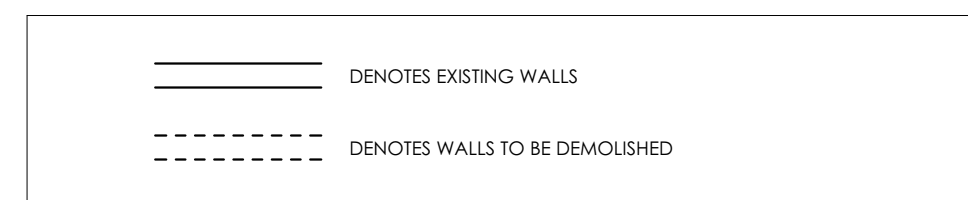
NOTE: NO WORK THIS FLOOR

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1 Attic Demolition Plan
1/4" = 1'-0"



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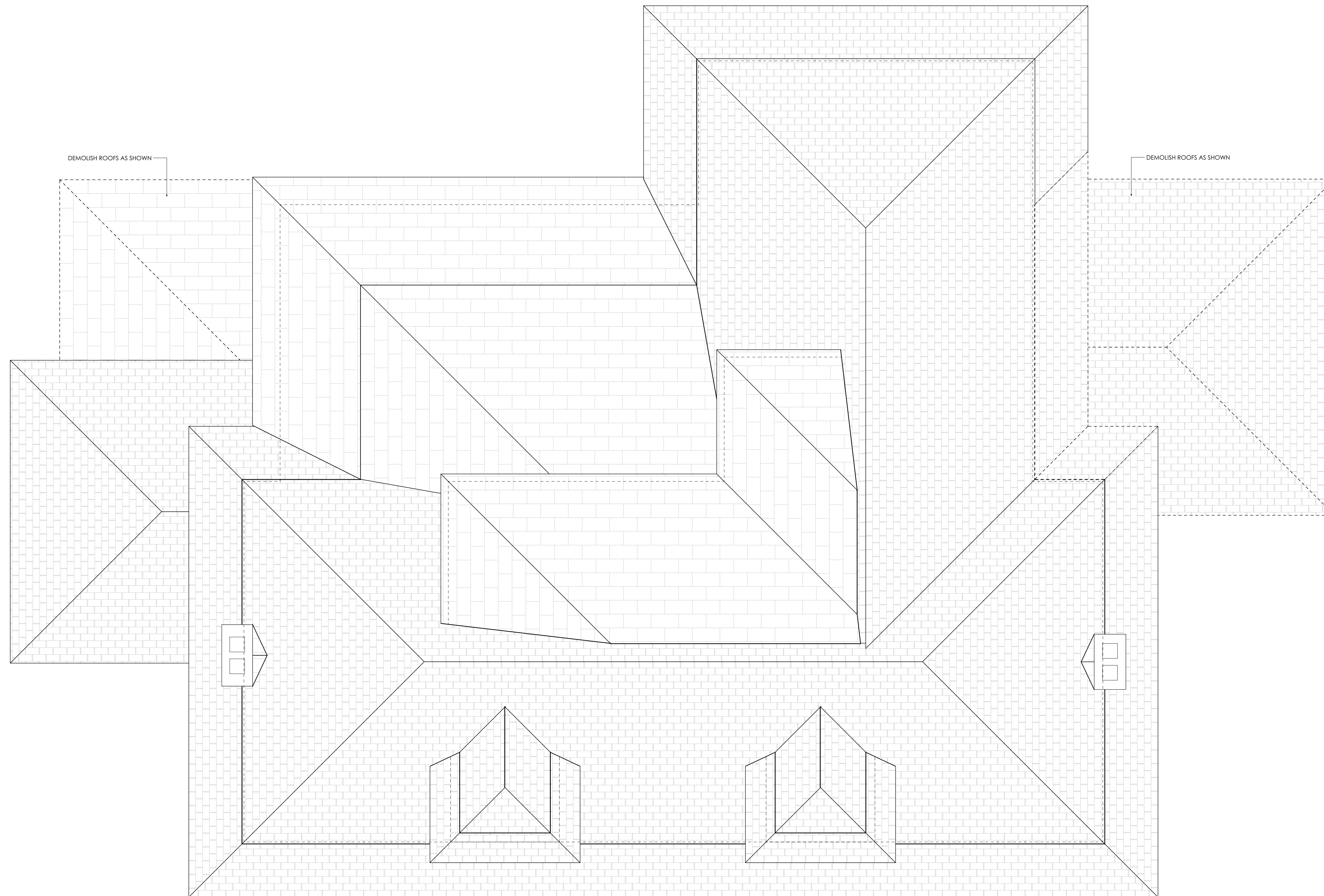
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Attic Demolition Plan

12-09-2021	Existing Conditions
01-13-2022	SD 2 Meeting
02-07-2022	SD 3 Meeting
04-04-2022	Preliminary Pricing Set
04-25-2022	Permit Progress

D003



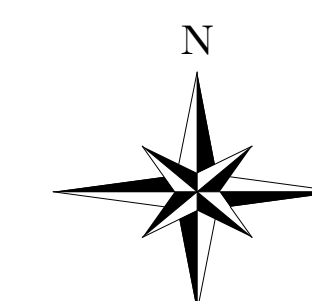
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REVIEWED
 By Dan.Bruechert at 12:48 pm, Jun 29, 2022

1 Roof Demolition Plan
 1/4" = 1'-0"

— DENOTES EXISTING WALLS
 - - - - - DENOTES WALLS TO BE DEMOLISHED



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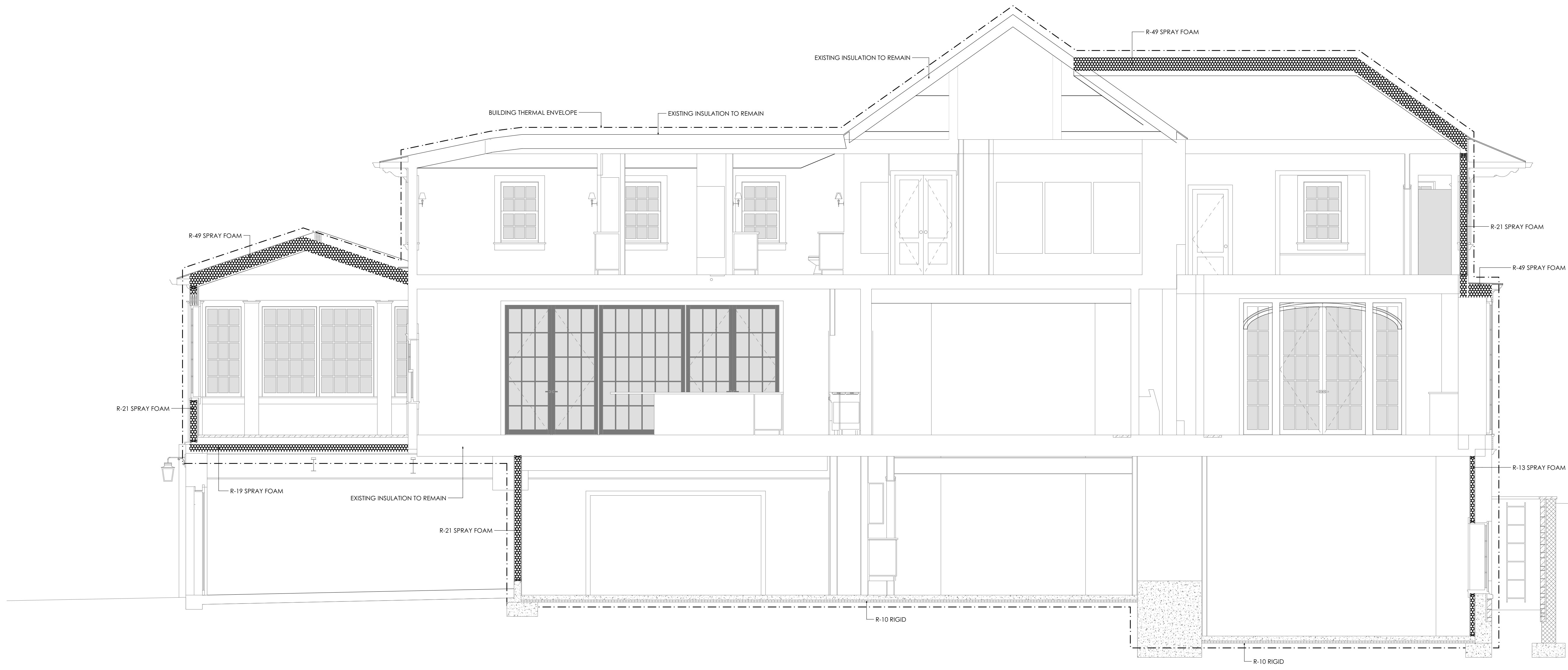
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Roof Demolition Plan

Date	Event
12-09-2021	Existing Conditions
01-13-2022	SD 2 Meeting
02-07-2022	SD 3 Meeting
04-04-2022	Preliminary Pricing Set
04-25-2022	Permit Progress

D004
 Printed: 6/21/22



1 Building Envelope
 1/4" = 1'-0"

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REVIEWED
 By Dan.Bruechert at 12:48 pm, Jun 29, 2022

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Building Envelope

12-09-2021	Existing Conditions
01-13-2022	SD 2 Meeting
02-07-2022	SD 3 Meeting
04-04-2022	Preliminary Pricing Set
04-25-2022	Permit Progress

EC001