

HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton Chairman

Date: June 29, 2022

MEMORANDUM

TO: Mitra Pedoeem

Department of Permitting Services

FROM: Dan Bruechert

Historic Preservation Section

Maryland-National Capital Park & Planning Commission Historic

SUBJECT: Area Work Permit # 984980 - Building Additions

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the March 23, 2022 HPC meeting.

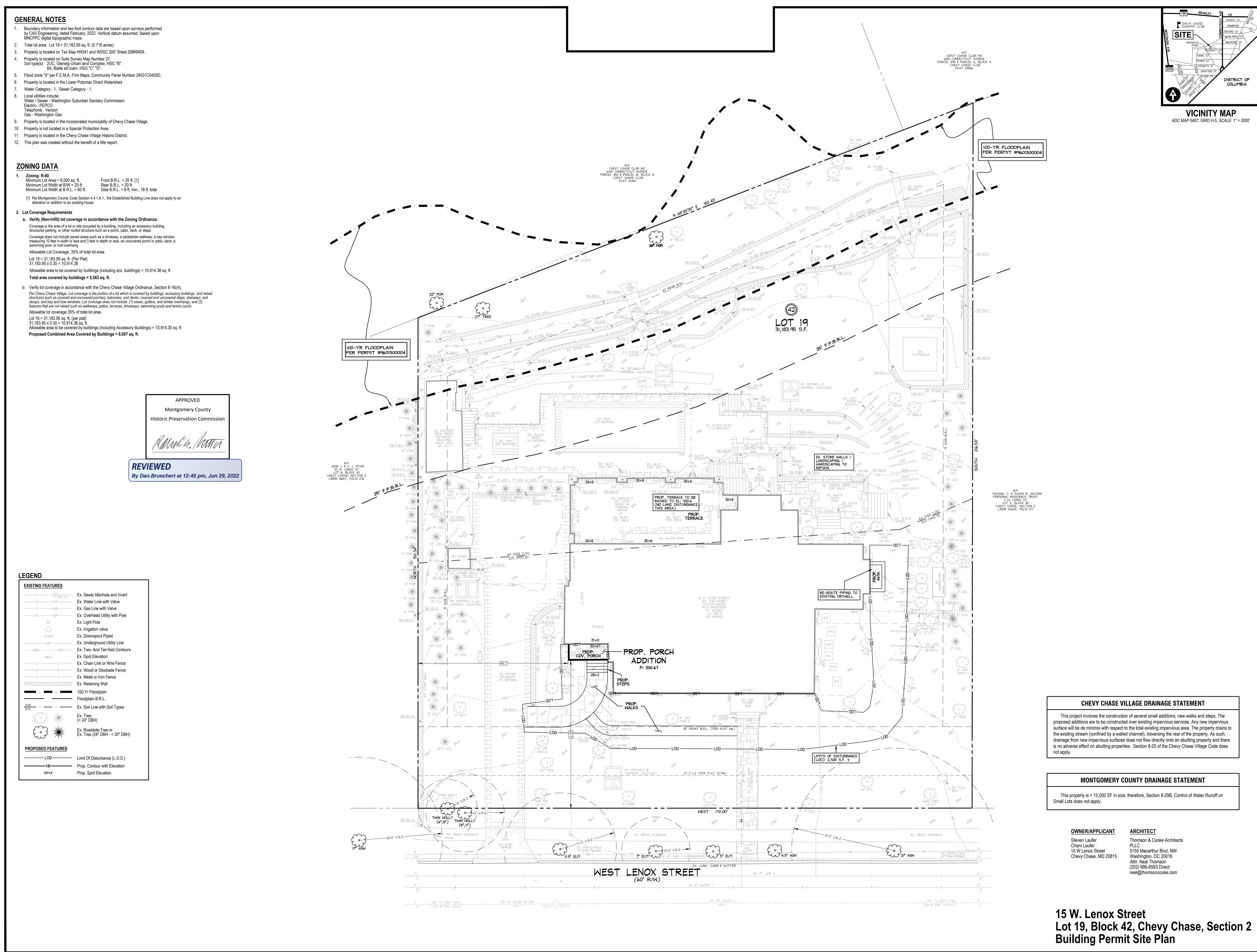
The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: 15 W. Lenox Street Trust Address: 15W. Lenox St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.





P:\2021\211113__15 W. Lenox Street\6 drawings\211113_SCP.dwg, 6/22/2022 2:10:31 PM, © 2022 CAS Engineering and CAS Engineering-DC, LLC

DATE REVISION

2/22/22 IND - Topographic Survey Sheet to Client and Architect.

03/08/22 IND - Topographic Survey Sheet to Client and Architect.

06/22/22 JAR - Permit Set - for MCDPS / CCV

CURT A. SCHREFFLER, PE

PROFESSIONAL ENGINEER CERTIFICATION:

I hereby certify that these documents were pre-

pared or approved by me, and that I am a duly licensed professional engineer under the laws

of the State of Maryland, License No. 19568, expiration date 3/8/2024, and that this plan

meets MCDPS criteria for building permit

5 C

ENGINEERING

CAS ENGINEERING-MD 10 South Bentz Street

Frederick, Maryland 21701 301-607-8031 Phone

info@casengineering.com www.casengineering.com

CAS ENGINEERING-DC, LLC 4836 MacArthur Boulevard, NW, 2nd Floor

Washington, DC 20007 202-393-7200 Phone

info@cas-dc.com

www.cas-dc.com

SCALE: 1 INCH = 10 FEET

SHEET TITLE:

Building Permit Site Plan

1 OF 1

applications.



West Lenox Residence

15 West Lenox Street Chevy Chase, MD 20815



PROJECT INFO:

INTERIOR RENOVATION AND SECOND STORY ADDITION TO EXISTING TWO-STORY SINGLE FAMILY HOME. MODIFICATIONS TO CERTAIN EXISTING BAYS AND ADJUSTMENTS TO EXTERIOR IMPROVEMENTS AND LANDSCAPE.

BLOCK 42, LOT 19

15 West Lenox Street Chevy Chase, MD 20815

ZONING:

SETBACKS:

Front: 25', SIDE: 8', 10', REAR: 20'

LOT AREA: HISTORIC:

CHEVY CHASE VILLAGE HISTORIC DISTRICT

NO CHANGE

BUILDING HEIGHT: LOT COVERAGE:

35% (10,914 SF) SEE CIVIL DOCS

BUILDING AREA:

BASEMENT AREA: FIRST FLOOR AREA:

5,332 SF 2,981 SF 3,380 SF

1,062 SF

TOTAL FLOOR AREA:

SECOND FLOOR AREA:

13,851 SF 12,982 SF

1,062 SF

GARAGE AREA: (INCL.)

ATTIC AREA:

805 SF 13,851 SF

PLANS PREPARED BASED ON THE FOLLOWING CODES:

2018 INTERNATIONAL RESIDENTIAL CODE AND 2018 INTERNATIONAL ENERGY CONSERVATION CODE AS AMENDED BY MONTGOMERY COUNTY EXECUTIVE REGULATION 31-19.



Drawing Symbols Surface Materials Section Materials Standard Abbreviations Project Team Drawing List SIM Similar
SK Addendum Sheet
SP Stand Pipe
SPEC Specification
SQ Square
SS Stainless Steel
ST Street
STD Standard
STL Steel
STND Stained
STOR Storage
STRUCT Structur(al)
SILSP Suspension or 5 A/C Air Condition(er, ing, ed)
AB Anchor Bolt
ABV Above
AD Area Drain
ADJ Adjustable
AFF Above Finish Floor
AGG Aggregate
AHU Air Handling Unit
ALUM Aluminum
ANOD Anodized
AP Access Panel
ARCH Architect(ural)
AUTO Automatic
AVG Average
BA Bath
BD Board
BEV Bevel (Ed)
BIT Bituminous
BLDG Building
BLK Block
BLKG Blocking
BM Beam
BMT Basement
BOT Bottom
BR Bedroom
BRG Bearing
BRK Brick
BRL Building Restriction Line
BTW Between
C/C Center To Center
CAB Cabinet
CEM Cement
CI Cast Iron
CL Center Line
CL Closet
CLG Ceiling
CLR Clear (ance)
CO Clean Out
COL Column
CPT Carpet
CT Ceramic Tile
CTR Center
CTV Cable TV
CJ Construction Joint
CLT Center
CTR Center
CTV Cable TV
CJ Construction Joint
CLL Concrete Masonry Unit
CONC Concrete Masonry Unit
CONT Contractor
CRS Courses
CTOP Countersink
CU FT Cubic Feet 0000 Cover \$002 General Notes D Drain, Dryer Double Diameter DilA Diameter DilA Diagonal DiFF Diffuser Diffu Ceramic Tile DRAWING___ NO Number
NOM Nominal
NTS Not to Scale
O Oven
OC On Center
OD Outside Diameter
OFF Office
OPNG Opening
OPP Opposite
P Pantry
PART Partition
PC Portland Cement
PDR Powder Room
PL Plate
PLAM Plastic Laminate
PLAS Plaster
PLAST Plastic
PLYWD Plywood
PNL Panel
POL Polished
PR Pair
PROP Property
PSF Pounds Per Square Foot
PSI Pounds Per Square Inch
PT Point
PT Pessure Treated
PVC Polyvinyle Chloride
PVMT Pavement
PTW Pressure Treated Wood
PUE Public Utility Easement
QTY Quantity
B Badius Pisser 0001 Code Notes \$003 Legend And Schedules homson+Cooke Architects pllc Running - Size Varies — HD Head
HDR Header
HDWD Hardwood
HDWR Hardware
HGR Hanger
HORIZ Horizontal
HR Hour SHEET A2-3 5155 MacArthur Blvd NW A2-3 0002 Door Schedules \$100 Foundation Plan Washington, DC 20016 0003 Window Schedules \$100 First Floor Framing Plan Building Section 202-686-6583 STD Standard STL Steel STND Stained STOR Storage STRUCT Structur(al) Suspension or Suspend Sys System TBD To Be Determined TD Terrace Drain TECH Technical TEL Telephone TEMP Top Of TP Toilet Paper T Tread T&B Top And Bottom T&G Top Of ThK Thick Thick Thick Thick Thick The Thick Top of Stab Top of Stab Tost Top Of Steel TOW Top of Wall TS Tubular Steel Typ Typical UNO Unless Otherwise Noted UTIL Utility VAN Vanity VB Vapor Barrier VCT Vinyl Composition Tile VERT Vertical Vest W/ With W/O Without WD Wood WDW Window WIC Walk-in Closet WP Waterproofing WT Weight Welded Wire Fabric 0004 Exterior Trim Details \$102 Second Floor Framing Plan — DRAWING Running Size Varies HT Height
HVAC Heating, Ventilating & A/0
HVC Hose Valve Cabinet
HWH Hot Water Heater
ID Inside Diameter
INST Installation CONTRACTOR 12-09-2021 0005 Images \$103 Attic Framing Plan Zantzinger, Inc. A2-1 SHEET A3-1 EC001 Building Envelope \$104 Roof Framing Plan 01-13-2022 5141 MacArthur Boulevard NW D000 Basement Demolition Plan Washington, DC 20016 S200 Foundation Sections Parged Building Elevation Wall Section/Detail D001 First Floor Demolition Plan **\$201** Foundation Sections Concrete Irregular ⊭ D002 Second Floor Demolition Plan **\$202 Foundation Sections** STRUCTURAL ENGINEER FACING WALL S300 Details D003 Attic Demolition Plan MCC1200 AE PLLC 210 N Lee Street - Suite 210 D004 Roof Demolition Plan S301 Details Shakes Random Alexandria, VA 22314 S302 Details A100 Basement Plan Rectangular 703-350-4151 iterior Elevation Roof Slope A101 First Floor Plan S303 Details A102 Second Floor Plan S304 Details 8'-0" **CIVIL ENGINEER** Lumber CAS Engineering A103 Attic Plan S305 Details 1001 Connecticut Avenue NW, Suite 401 _evel Elevation: Level Elevation: A104 Roof Plan S306 Details Washington, DC 20036 R/S Rod And Shelf
RAB Rabbet (Ed)
RB Rubber
RCP Reflected Ceiling Plan
RD Roof Drain
REBAR Reinforcing Bar
RECP Receptacle
REF Reference, Refrigerator
REGR Required
REQR Required
REV Revised, Reverse
RFG Roofing
RM Room
RO Rough Opening R/S Rod And Shelf Section/Elevation A200 Front Elevation 202-393-7200 ate Roof ⊦ 2 Revision A201 Right Elevation Blocking LANDSCAPE ARCHITECT A202 Rear Elevation A Window Arentz Landscape Architects LLC A203 Left Elevation 1612 20th St NW - Suite 400 Marble/Granite 2 Door Washington, DC 20009 A204 Building Section 202-537-8020 A205 Cross Section (2) Structure Member A206 Cross Section MSL Mean Sea Level
MTD Mounted
MTG Mounting
N North
N/A Not Applicable INTERIOR DESIGNER A300 Wall Sections Amy Zantzinger Interior Design 2 Footing 2520 44th St NW S001 General Notes Washington, DC 20007 202-364-2496

Residence West Lenox

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License number 17073, expiration date 09-04-2022

Cover

Existing Conditions SD 2 Meeting SD 3 Meeting Preliminary Pricing Set

02-07-2022 04-04-2022 04-25-2022 Permit Progress

Applicant Address

Phone Number <u>202-686-6583</u> Building Address 15 WEST LENOX STREET, CHEVY CHASE, MD 20815 ___Permit (A/P) # _

Provided Assembly Description Windows/Doors - Maximum U-FRADEWOOD WINDOWS AND DOORS Max SHGC - glazed fenestration 0.40 Skylights - Maximum U-Factor Max SHGC 0.40 R-49 CLOSED CELL SPRAY FOAM INSULATION Ceilings **R-20 or 13+5** | R-21 OPEN CELL SPRAY FOAM INSULATION Walls (wood framing) OPEN CELL SPRAY FOAM INSULATION Mass Walls ****R-8/13** | R-13 *R-10/13 Basement Walls OPEN CELL SPRAY FOAM INSULATION R-19 OPEN CELL SPRAY FOAM INSULATION Floors R-10, 2ft Slab perimeter-RIGID BOARD INSULATION R-value and Depth *R-10/13 Crawlspace

Insulation material used in layers, such as framing cavity insulation and insulating sheathing, shall be summed to compute

*The first R-value applies to continuous insulation, the second to framing cavity insulation. "10/13 means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation on the interior of the

**The second R-value applies when more than half the insulation is on the interior of the mass wall.

THOMSON & COOKE ARCHITECTS

□ Thermally Isolated Sunroom, Check box if applicable.

Minimum Ceiling R-Value for Sunroom (R-19) Minimum Wall R-Value (R-13)

New wall(s) separating a sunroom from conditioned space shall meet the building thermal envelope requirements.

I hereby certify that the building design represented in the attached construction documents has been designed to meet or exceed the requirements of: 2

lider/Designer/Contractor				Company Name						
TABLE R402.1.2										
		INSIII /	ATION AND FEN	ESTRATIO	N REQUIREME	NTS BY C	OMPONE	лта		
CLIMATE ZONE	FENESTRATION U-FACTOR ^b	SKYLIGHT ^b U-FACTOR	GLAZED FENESTRATION SHGC ^{b, e}	CEILING R-VALUE	WOOD FRAME WALL R-VALUE	MASS WALL R-VALUE	FLOOR R-VALUE	BASEMENT ^C WALL <i>R</i> -VALUE	SLAB ^d R-VALUE & DEPTH	CRAWL SPACE ^c WALL R-VALUE
1	NR	0.75	0.25	30	13	3/4	13	0	0	0
2	0.40	0.65	0.25	38	13	4/6	13	0	0	0
3	0.32	0.55	0.25	38	20 or 13+5 ^h	8/13	19	5/13 ^f	0	5/13
4 except Marine	0.32	0.55	0.40	49	20 or 13+5 ^h	8/13	19	10/13	10, 2 ft	10/13
5 and Marine 4	0.30	0.55	NR	49	20 or 13+5 ^h	13/17	30 ⁹	15/19	10, 2 ft	15/19
6	0.30	0.55	NR	49	20+5 ^h or 13+10 ^h	15/20	30 ⁹	15/19	10, 4 ft	15/19

a. R-values are minimums. U-factors and SHGC are maximums. Where insulation is installed in a cavity that is less than the label or design thickness of the insulation, the installed R

value of the insulation shall be not less than the R-value specified in the table.

b. The fenestration U-factor column excludes skylights. The SHGC column applies to all glazed fenestration. Exception: In Climate Zones 1 through 3, skylights shall be permitted to be excluded from glazed fenestration SHGC requirements provided that the SHGC for such skylights

c. "10/13" means R-10 continuous insulation on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall. "15/19" means R-15 continuous insulation on the interior or exterior of the home or R-19 cavity insulation at the interior of the basement wall. Alternatively, compliance with "15/19" shall be R-13 cavity insulation on

d. R-5 insulation shall be provided under the full slab area of a heated slab in addition to the required slab edge insulation R-value for slabs, as indicated in the table. The slab edge

e. There are no SHGC requirements in the Marine Zone

NEAL THOMSON

f. Basement wall insulation is not required in warm-humid locations as defined by Figure R301.1 and Table R301.1

he interior of the basement wall plus R-5 continuous insulation on the interior or exterior of the home

i. Mass walls shall be in accordance with Section R402.2.5. The second R-value applies where more than half of the insulation is on the interior of the mass wall.

TABLE 1: R-VALUE

a. Nonfenestration U-factors shall be obtained from measurement, calculation or an approved source

TABLE 2: U-VALUE

b. Mass walls shall be in accordance with Section R402.2.5. Where more than half the insulation is on the interior, the mass wall U-factors shall not exceed 0.17 in Climate Zone in Climate Zone 2, 0.12 in Climate Zone 3, 0.087 in Climate Zone 4 except Marine, 0.065 in Climate Zone 5 and Marine 4, and 0.057 in Climate Zones 6 through 8.

c. In warm-humid locations as defined by Figure R301.1 and Table R301.1, the basement wall *II-*factor shall not exceed 0.360.

PROPOSED INSULATION R-VALUE AND GLAZING U-FACTOR RATINGS FOR BUILDING ENVELOPE

R-VALUE

ASSEMBLY	DESCRIPTION	PROPOSED R-VALUE	REQUIRED R-VALUE
ASSEMBET	DESCRIPTION	FROF OSED K-VALUE	REQUIRED R-VALUE
Roof	Roof 2x10 with spray foam		R-49
Walls	Walls 2x6 with spray foam		R-20
Floor over unconditioned space	2x12 with spray foam	R-19	R-19
Floor over outside air	2x12 with spray foam	R-19	R-19
Basement wall	Styrofoam	R-13	R-13
Slab floor	Styrofoam	R-10	R-10
Slab perimeter & Depth	Styrofoam	R-10, 2 feet	R-10
Crawl space wall	2x12 with spray foam	R-19	R-17
Duct Insulation Batts		R-8	R-6, R-8 in Attics

U-FACTOR

ASSEMBLY	DESCRIPTION	PROPOSED U- FACTOR	REQUIRED U- FACTOR
Glazing - Windows & Doors	LoewenWindows & Doors	U - 0.4	U - 0.4
Glazing - Skylights	N/A	N/A	U - 0.6

COMPONENT	AIR BARRIER CRITERIA	INSULATION INSTALLATION CRITERIA	
General requirements	A continuous air barrier shall be installed in the building envelope. The exterior thermal envelope contains a continuous air barrier. Breaks or joints in the air barrier shall be sealed.	Air-permeable insulation shall not be used as a sealing material.	
Ceiling/attic	The air barrier in any dropped ceiling or soffit shall be aligned with the insulation and any gaps in the air barrier shall be sealed. Access openings, drop down stairs or knee wall doors to unconditioned attic spaces shall be sealed.	The insulation in any dropped ceiling/soffit shall be aligned with the air barrier.	
Walls	The junction of the foundation and sill plate shall be sealed. The junction of the top plate and the top of exterior walls shall be sealed. Knee walls shall be sealed.	Cavities within corners and headers of frame walls shall be insulated by completely filling the cavity with a material having a thermal resistance, <i>R</i> -value, of not less than R-3 per inch. Exterior thermal envelope insulation for framed walls shall be installed in substantial contact and continuous alignment with the air barrier.	
Windows, skylights and doors	The space between framing and skylights, and the jambs of windows and doors, shall be sealed.	_	
Rim joists	Rim joists shall include the air barrier.	Rim joists shall be insulated.	
Floors, including cantilevered floors and floors above garages	The air barrier shall be installed at any exposed edge of insulation.	Floor framing cavity insulation shall be installed to maintain permanent contact with the underside of subfloor decking. Alternatively, floor framing cavity insulation shall be in contact with the top side of sheathing, or continuous insulation installed on the underside of floor framing; and shall extend from the bottom to the top of all perimeter floor framing members.	
Crawl space walls	Exposed earth in unvented crawl spaces shall be covered with a Class I vapor retarder with overlapping joints taped.	Crawl space insulation, where provided instead of floor insulation, shall be permanently attached to the walls.	
Shafts, penetrations	Duct shafts, utility penetrations, and flue shafts opening to exterior or unconditioned space shall be sealed.	_	
Narrow cavities	_	Batts to be installed in narrow cavities shall be cut to fit or narrow cavities shall be filled with insulation that on installation readily conforms to the available cavity space	
Garage separation	Air sealing shall be provided between the garage and conditioned spaces.	_	
Recessed lighting	Recessed light fixtures installed in the building thermal envelope shall be sealed to the finished surface.	Recessed light fixtures installed in the building thermal envelope shall be air tight and IC rated.	
Plumbing and wiring	_	In exterior walls, batt insulation shall be cut neatly to fit around wiring and plumbing, or insulation, that on installation readily conforms to available space, shall extend behind piping and wiring.	
Shower/tub on exterior wall	The air barrier installed at exterior walls adjacent to showers and tubs shall separate the wall from the shower or tub.	Exterior walls adjacent to showers and tubs shall be insulated.	
Electrical/phone box on exterior walls	The air barrier shall be installed behind electrical and communication boxes. Alternatively, air-sealed boxes shall be installed.	_	
HVAC register boots	HVAC supply and return register boots that penetrate building thermal envelope shall be sealed to the subfloor, wall covering or ceiling penetrated by the boot.	_	
Concealed sprinklers	Where required to be sealed, concealed fire sprinklers shall only be sealed in a manner that is recommended by the manufacturer. Caulking or other adhesive sealants shall not be used to fill voids between fire sprinkler cover plates and walls or ceilings.	_	

TABLE R402.4.1.1

AIR BARRIER AND INSULATION INSTALLATION^a

a. Inspection of log walls shall be in accordance with the provisions of ICC 400.

TABLE 3: AIR SEALING NOTES

TABLE R301.5 MINIMUM UNIFORMLY DISTRIBUTED LIVE LOADS (IN POUNDS PER SQUARE INCH)

TABLE R301.5. Minimum design live load values shall conform to the following values:

USE	LIVE LOAD
Attics With Storage (b)	20
Attics Without Storage (b)	10
Habitable attics and attics served with fixed stairs	30
Exterior Balconies and Decks	40
Fire Escapes	40
Guardrails and Handrails (d)	200 (h)
Guardrails In-Fill Components (f)	50 (h)
Passenger Vehicle Garages (a)	50 (a)
Rooms Other Than Sleeping Rooms	40
Sleeping Rooms	30
Stairs	40 (c)

Elevated garage floors shall be capable of supporting a 2,000-pound load applied over a 20-squareinch area.

No storage with slope roof not over 3 units in 12 units.

Individual stair treads shall be designed for the uniformly distributed live load or a 300-pound concentrated load acting over an area of 4 square inches, whatever produces the greater stresses.

A single concentrated load applied in any direction at any point along the top.

1979

See Section R502.2.1 for decks attached to exterior walls.

Guard in-fill components (all those exept the handrail), ballusters and panel fillers shall be designed to withstand a horizontally applied normal load of 50 pounds on an area equal to 1 square foot. This load need not be assumed to act concurrently with any other live load requirement.

Residential Code Notes

1. All construction shall be in conformance with the 2018 International Residential Code (IRC) and International Energy Conservation Code (IECC), 2018 edition, as amended by Montgomery County Executive Regulation No. 31-19. All chapters, tables, sections, figures, and appendices referenced here

within are from IRC. This document contains items often written on approved plans and is provided for convenience only. It is not intended as a substitute for the code or all of its provisions.

2. The residential construction design parameters are as follows:

GROUND		SEISMIC	SUBJE	CT TO DAM	AGE FRC	DM
snow Load	WIND SPEED	DESIGN CATEGOR Y	WEATHERING	FROST LINE DEPTH	TERMITE	DECAY
30 PSF	115 MPH	В	SEVERE	30 IN.	MODERA TO HEAV	
WINTER DESIGN TEMP.	ICE SHIELD UNDERLAY FLOOD MENT REQUIRED		AIR FREEZING INDEX	MEAN ANNUAL TEMP.		SOIL BEARING CAPACITY
13 F	YES	JULY 2,	300	55 F		2,000 PSF OR AS DETERMINED BY

GENERAL NOTES 01 General Types of documents. Large-format drawing sheets bearing the name of the Architect and Project, and the notation "Construction Set" or "Revision [#]". Sheets bearing the notations, "Permit Set", "Not for Construction", "Preliminary", "Pricing", or "Schematic" shall not be used for construction.

Specifications bearing the notation, "Construction Specifications". Preliminary and other specifications shall not be used for construction. Supplemental drawing sheets bearing the name of the Architect, Project, and the notation "SK-[#]". Such drawings become part of the Project Documents as they are issued. Schedules of finishes, fixtures, doors, windows, and other manufactured products, which may be issued as part of any of the above document Any work done from out of date documents will be solely at the Contractor's risk and expense. Any inconsistencies found between the drawings and existing conditions, or among the drawings, or between the drawings and the specifications, shall be reported to the Architect. The Contractor shall not perform any work affected in any manner by the inconsistencies until the Architect has clarified the information. Any work done without such clarification will be solely at the Contractor's risk and expense. The Architect will resolve the inconsistencies in a timely manner. Project Document Precedence. In the event of conflicting information within the project documents, the following precedence order shall be followed. Specifications Drawings at larger scale Drawings at smaller scale 2. Where construction documents specify more stringent requirements than building code minimums, 04 Masonry construction document requirements shall govern. 2. Dimensions. Columns are dimensioned to centerline Wood framing is dimensioned to face of framing. Concrete and masonry are dimensioned to face of material. Openings are dimensioned to centerline, UNO. See door and window schedules for rough openings and masonry openings if applicable.

3. Existing conditions. A. All existing conditions, materials, dimensions and elevations shall be verified by the Contractor prior to beginning work.

Extreme care and safety measures must be taken by the General Contractor so as not to damage the existing structure in any way. Any damage to the existing structure resulting from construction work shall be the sole responsibility of the Contractor Codes and standards. A. International Residential Code for One- and Two-Family Dwellings, 2018 Edition, as amended by

Montgomery County Executive Regulation.

B. Concrete: ACI 318, Building Code Requirements for Structural Concrete and Commentary, latest edition, of the American Concrete Institute. Structural Steel: Code of Standard Practice for Steel Buildings and Bridges, March latest edition, of the American Institute of Steel Construction. Welding: Structural Welding Code – Steel, latest edition, of the American Welding Society. Masonry: ACI530/ASCE 5/TMS 402 Wood Framing: National Design Specification for Stress-Grade Lumber and Its Fastenings" of the National Forest Products Association, latest edition

5. Design Loads. A. Live loads. Sleeping Rooms: 30 PSF Rooms other than Sleeping: 40 PSF

Dead loads: Minimum design dead weight of superimposed building materials in accordance with table A1 of the Minimum Design Loads for Building and Other Structures, ANSI A58.1-82. Wind Speed: 90 MPH. Seismic design category: B.

Design Code Notes. Ceiling Heights: Habitat rooms, hallways, corridors, bathrooms, toilet rooms, laundry rooms and basements shall have a ceiling height of no less than 7'-0". The required height shall be measured from the finish floor to the lowest projection from the ceiling, IRC sec. R305. Exceptions: 1) Beams and girders spaced not less that 48" on center may project not more than 6" below the required ceiling height. 2) Not more than 50%of the floor area of a room or space is permitted to have a sloped ceiling less than 7'-0" in height. Any floor area having less than 5'-0" of ceiling height shall not be considered part of the room area and shall not be allowed to have any permanent fixtures or furnishings such as, but not limited to, bathtubs, showers, water closets, sinks, cabinets, counters, and shelves.

Garage floor shall be at least 4" below the adjacent dwelling floor, or a permanent noncombustible liquidtight curb, at least 4" high, shall be on the garage side. Garage shall be provided with minimum 1/2" drywall. A solid wood door 1-3/8" thick or a 20-minute fire-rated door is required, IRC §R309. Every sleeping room and every habitable room shall have at least one operable window or exterior door opening for emergency escape and rescue. Openings shall have a sill height of not more than

44" above the floor. All emergency escape and rescue openings shall have a minimum net clear opening of 5.7 sq.ft., a minimum net clear opening width of 20", and a minimum net clear opening height of 24", IRC §R310. All egress doors and windows shall be readily openable from the side from which egress is to be made without the use of a key or special knowledge or effort, IRC §R311.2.

Stairs shall comply with IRC §R314, and handrails shall comply with IRC §R315. Treads and risers shall comply with IRC §R314.2, as amended by Montgomery County Executive Tread: 10" min. Riser: 7 3/4" min.

Open risers shall not permit the passage of a 4" diameter sphere. Headroom: Minimum headroom in stairways shall be 6'-8", as described in IRC §R314.3. Under-stair protection: Accessible space under stairs shall finished with 1/2" GWB to comply IRC Handrails shall have a minimum height of 34" and a maximum height of 38" measured from the

nosing of the treads, IRC §R315.1 Illumination: Interior and exterior stairways shall be illuminated in compliance with IRC §R303.4 Where required: Porches, balconies or raised floor surfaces located more than 30" above the flo or grade below and retaining walls with a difference in grade level on either side of the wall exceeding 4 ft. and within 2 ft. of a walk, path, parking lot or driveway on the high side shall have guards not less than 36" in height. Open sides of stairs with a total rise of more than 30" above the floor or grade below shall have guards not less than 34" in height, IRC Sec. R316. Opening limitations: Required guards as described above shall have intermediate balusters that do not allow the passage of a 4" diameter sphere. Required guards shall not be constructed with horizontal rails or other pattern that results in a ladder effect, IRC §R316.2. Exception: Triangular

ppenings formed by the riser, tread, and bottom rail of a guard at the open side of a stairway are permitted to be of such a size that a 6" diameter sphere cannot pass through Smoke Alarms. Smoke alarms shall, at a minimum, be placed in the following locations. a. Each sleeping room.
b. Outside of each separate sleeping area in the immediate vicinity of the bedrooms.

. On each additional story, in compliance with IRC §R317.1. 1. Interconnection: All smoke alarms in the dwelling shall be interconnected so that activation of one activates all the others, IRC §R317.1. Power source: Smoke alarms shall be hard-wired, with battery backup, IRC §R317.2. Low voltage heat or smoke detection systems require a permit from the Department of Fire and Rescue Automatic sprinkler systems: IRC §R317.3.

Foundations.
1. Concrete and masonry foundation walls shall comply with IRC R404.1. Walls shall be capable of supporting lateral of 40 pcf/foot of depth below grade Foundation concrete shall comply with IRC §R402.2.
Height of walls: Concrete and masonry foundation walls shall extend above the finished grade

adjacent to the foundation at all points a minimum of 4" where masonry veneer is used and a minimum of 6" elsewhere, IRC §R404.1.6 Wood sill plates: Wood sill plates shall be pressure-preservative-treated. The minimum width shall be the width of the studs of the frame wall directly above. Sill plates shall be anchored to the foundation with anchor bolts or approved straps spaced a maximum of 4'-0" OC, and shall also be located within 12" from the ends of each plate section. Bolts shall be at least 1/2" diameter and shall extend a minimum of 7" into masonry or concrete. IRC §R403.1.6

Crawlspaces (or "Under-Floor Space") shall comply with IRC §R408. a. Minimum net area of ventilation openings shall not be less than 1 square foot per 150 sf of crawlspace area.

One ventilating opening shall be within 3'-0" of each building corner. Access: An access opening at least 18" x 24" shall be provided for the crawlspace, IRC §R408.3.

All untreated lumber shall be minimum 18" above finished grade, and shall comply with IRC §R323.

O7 Thermal & Moisture Protection

Roof loads shall be transmitted to foundation. Roof assemblies shall comply with IRC Chapter 9. Roof ventilation and attic access shall comply with IRC §R806 and §R807. Fireplaces, flues, and chimneys.

Chimneys and fireplaces shall comply with IRC Chapter 10 and Fig. R1003.1. Flue sizes shall be determined in accordance with Fig. R1001.12.2 Clearance to combustible materials a. Masonry chimneys located within the exterior walls of the building shall have a minimum air space clearance to combustibles of 2". Chimneys located entirely outside the exterior walls of the building, including chimneys that pass through the soffit or cornice, shall have a minimum air space clearance of 1." The air space shall not be filled, except to provide

fireblocking in accordance with IRC §R602.8 and §R1001.15. All wood beams, joists, studs and other combustible material shall have a clearance of not less than 2" from the front faces and sides of masonry fireplaces and not less than 4" from the back faces of masonry fireplaces, IRC §R1003.12 Ventilation: Factory-built or masonry fireplaces shall be equipped with an exterior air supply to assure proper fuel combustion, unless the room is mechanically ventilated and controlled so that the ndoor pressure is neutral or positive, IRC Sec. R1005.

Swimming pools.

1. All residential swimming pools shall comply with IRC Appendix G, and Article 680 of the National Electric Code. Swimming pool areas shall be fenced in compliance with IRC §AG105, as amended by Montgomery County Executive Regulation. The minimum barrier height shall be 5'-0". Energy efficiency: All dwellings shall comply with IRC Chapter 11, Energy Efficiency. Exception: 1

story additions of 200 sf or less. Radon: Radon venting is required and shall be installed per IRC Appendix F (Radon Control 3. Safety glass: Glass in doors, side lights, tub and shower enclosures, and skylights shall be safety 7. Manufactured parts: All manufactured parts to be installed according to Manufacturers' specifications

02 Site Work Soil bearing capacity minimum requirement: 2000 PSF UNO.

Assumed soil equivalent fluid pressure: 40 PSF Lot drainage shall comply with IRC §R401.2

Foundation drainage shall comply with IRC §R405.1

GEOTECHNICAL EVALUATION

Unless otherwise determined by soil engineer, all fill under paving and slab shall be graded mixtures of sand and gravel, well-compacted by appropriate types of compaction equipment in successive layers not greater than 6" thick, to a density not less than 95% of the maximum density at optimum moisture content determined by ASTMD-698, the standard Proctor method. Fill material shall be free from organic naterial, trash, muck, concrete, asphalt or other deleterious substances. Prior to placing fill, the existing surface shall be cleared of all refuse or organic material.

Basement wall shall not be backfilled until the first floor framing is in place and the walls have been

Maximum unbalanced fill for foundation walls shall comply with IRC Tables §R404.1.1 (1) through (4).

. Compressive strength of concrete: f1c=3000 PSI, UNO.

All footings shall comply with IRC §R403. All footings shall be carried to a minimum of 12" into undisturbed, original soil or controlled compacted

Bottom of exterior footings shall be minimum of 24" below finished exterior grade. Footings shall step when required, at a maximum slope of one unit vertically to two units horizontally. horizontal distance between steps shall not be less than 16". Utility lines passing under footing shall be protected with concrete cover 9" minimum at sides and bottom of lines and up to bottom of wall or footing structure.

3. Minimum cover of reinforcing steel. Slabs and walls at faces not exposed to weather:1 1/2"
Columns and bottoms and sides of beams: 1 1/ Bottoms of slabs poured on vapor barrier: All members exposed to weather or backfill: 2" Footings and all members placed against earth

Concrete slabs-on-grade to be a minimum of 4" thick, reinforced with 6x6-10/10 welded wire fabric, placed over a minimum of 4" gravel, IRC §R506.1.

Interior slabs to have 6 mil polyethylene vapor barrier beneath concrete.

A. The Contractor is responsible for providing necessary inserts, sleeves, clips and anchors and niscellaneous devices as may be required for construction. Dimensions and locations of these items shall be verified before concrete is placed.

. Structural masonry construction shall comply with IRC §R606.

2. Masonry Veneer. Masonry veneer construction shall comply with IRC §R703.7-8. Weepholes: Maximum weephole spacing shall be 33" OC, and minimum diameter shall be 3/16". Weepholes shall be located directly above the flashing, IRC §R703.7.6.

C. Flashing shall comply with IRC §R703.8.

D. Masonry Ties: Corrugated, hot-dipped galvanized, at maximum 16" OC horizontal and 24" OC vertical.

3. Concrete masonry to have a minimum prism strength of 1000 PSI. 4. Masonry mortar to conform to ASTM C270 Type S for foundation walls and Type N elsewhere.

Structural Steel to have a minimum yield strength of 36 ksi per ASTM A36. All steel columns: 3" std pipe sch 40 with 4" long cap, UNO Use only E70XX welding rod. Steel Lintels: At masonry openings, provide one angle for each 4" of masonry wall as follows, UNO:

1. Width up to 3'-5": L3 1/2 x 3 1/2 x 1/4 (5/16 for exterior)

3'-6" to 5'-11": L4 x 3 1/2 x 5/16 6'-0" to 7'-11": L6 x 3 1/2 x 5/16 Greater than 7'-11" Design required. A. Reinforcing steel to be ASTM A615 Grade 60.

B. Welded wire fabric shall conform to ASTM A185-85. Lap the edges of wire fabric at least one cell width in

mid-depth, UNO. Provide metal flashing at all window heads, horizontal window stops, windowsills, at the bottom of all cavity walls and at all other locations recommended by SMACNA

each direction. All slabs on grade shall have a minimum of one layer of 6x6 - 10/10welded wire fabric at

4. See Architectural drawings for additional miscellaneous metal not shown in structural drawings

Spacing: Maximum stud spacing shall be 16" OC.
Plates: All stud bearing walls to be provided with 2 continuous top plates and one continuous bottom plate. Splices of top plate shall occur over stud. Splices in the top plates shall be staggered a minimum of 4'-0". When the top plate of any load bearing wall is cut more than 50% of its width, a galvanized metal tie must be used in compliance with Bridging: Provide horizontal bridging at mid-height of wall, UNO. Stucco walls shall have bridging at each sheathing joint.

e. Headers: All framed openings in bearing walls shall have headers as follows, UNO: 2x4 stud walls: (2)2x8 2x6 stud walls: (3)2x6s Holes and notches: Holes bored in single bearing wall studs shall not exceed 40% of stud width. Holes bored in double bearing wall studs shall not exceed 60% of the stud width. No more than two consecutive studs may be doubled and so bored. Notches in bearing wall studs shall not exceed 25% of stud width. Holes and notches shall not over lap in any

stud cross-section. Holes must be at least 5/8" from either stud edge. IRC§602.6. Fireblocking: Shall comply with IRC §R602.8. Bracing: Shall comply with IRC §R602.10. Freestanding Posts

Blocking: Shall comply with IRC §502.7.1. Openings: Shall comply with IRC §502.10 Holes and notches in nominal dimension lumber Notching depth in the top or bottom of the joists and beams shall not exceed one-sixth the depth of the members and shall not be located in the middle one-third of the

Notch depth at the ends of members shall not exceed 1/4 the depth of the members. The tension side of beams, joists and rafters of four inches or greater nominal thickness shall not be notched, except at the ends of members. Holes bored or cut into joists shall not be closer than 2" to the top or bottom of the joists. The diameter of the hole shall not exceed one-third the depth of the joists. Holes and notches in manufactured lumber or joists: Shall comply with Manufacturers' Two layers of sheathing shall to be used under all tile and stone floors. Joints shall be

Draftstopping: Shall comply with IRC §R502.12. Fireblocking: Shall comply with IRC §502.13. When the floor framing is less than 36" from the ground, a framing inspection must be requested prior to installing any flooring materials.

Rafters: 2x10, UNO. Prefabricated roof trusses to be engineered, fabricated, and erected in accordance with IRC §802.10, ANSI/TPI 1, and Manufacturer's specifications. All roof trusses to be further attached to wall top plate with Simpson H1 hurricane clips.

 Use pressure-preservative-treated wood for nailers, blocking, sleepers, plates, grounds, and all
framing in contact with exterior masonry walls, concrete, slabs-on-grade, and elsewhere as indicated or required. 4. Lumber: All lumber shall be No. 2 SPF, shall have the following minimum properties: Bending stress "Fb" = 1000 psi for single member use

Horizontal shear "Fv" = 70 psi Compression perpendicular to grain "Fc" = 335 psi Compression parallel to grain "Fc^" = 1300 psi Modulus of elasticity "E" = 1,300,000 psi 5. Laminated Veneer Lumber (LVL) shall have the following minimum properties: Bending stress "Fb" = 2850 psi Horizontal shear "Fv" = 285 psi Modulus of elasticity "E" = 1,900,000 psi

Bending stress "Fb" = 1150 psi for repetitive member use

a. Bearing grade/trademark of the American Plywood Association. Span rating as required to suit stud or joist spacing indicated. Wall sheathing: APA rated 1/2" plywood. Floor sheathing: APA rated 3/4" "Sturd-I-Floor" plywood, glued and nailed to joists. Roof sheathing: APA rated 5/8" plywood. Joist and beam hangers shall be sized and installed per manufacturers' specifications.

All wood blocking, nailers, etc., shall be attached to steel or concrete framing with power actuated fasteners or 3/8" diameter bolts, unless otherwise noted. Fasteners shall be spaced at 24" maximum OC and shall be staggered. Fasteners shall have minimum capacity of 100 pounds in

 Run exterior perimeter foundation drains to daylight.
 Provide rubber membrane ('Wintergard' by Certainteed) under all roofs where slopes are less than 4/12.
 Exterior foundation walls that retain earth and habitable or usable spaces located below grade shall be waterproofed with a membrane extending from the top of the footing to the finished grade, IRC §R406.2 1. Heating, Ventilation, and Air Conditioning (HVAC)

HVAC design, equipment, and installation shall comply with IRC Part V - Mechanical. Bathrooms without windows shall be vented to the outside of the building, IRC sec. R303.3 Clothes dryer exhaust.

a. Clothes dryer exhaust systems shall be independent of all other systems and shall be vented to the exterior of the building; flexible transition duct connectors shall not be

concealed within the walls or ceiling, IRC § M1501.1.

The maximum length of a clothes dryer exhaust duct not exceed 25' from the dryer location to the wall or roof termination. The maximum length of the duct shall be reduced 2.5' for each 45-degree bend and 5' for each 90-degree bend, IRC §M1501.3

2. Plumbing: Plumbing design, equipment, and installation shall comply with IRC Part VII – Plumbing.

16 Electrical: Electrical design, equipment, and installation shall comply with IRC Part VIII - Electrical.

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Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License number

17073, expiration date 09-04-2022

Code Notes

12-09-2021 Existing Conditions 01-13-2022 SD 2 Meeting 02-07-2022 SD 3 Meeting 04-04-2022 Preliminary Pricing Set 04-25-2022 Permit Progress

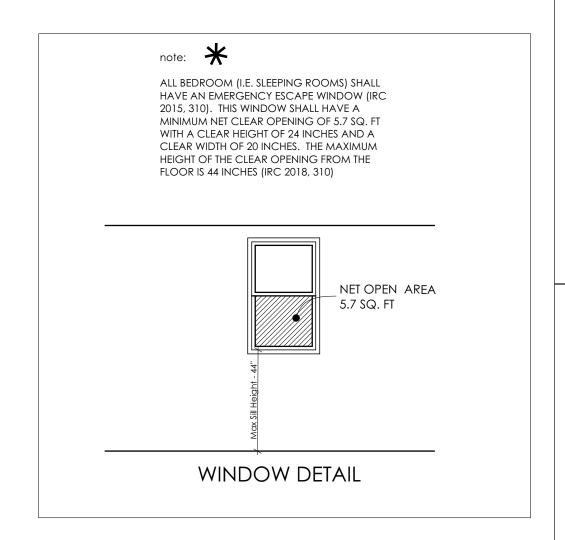


FLAT PANEL HARMON HINGE

 $\begin{array}{lll}
\mathbf{1} & \text{Interior Door Details} \\
\frac{3}{4"} & = & 1'-0"
\end{array}$

(DRYWALL RETURN)

ī	O#.	T. up a	A A susse of sussels on sussels)	1:4	Trar	nsom	l a a subi a sa	A A sub suit sul	Note
ID	Qty	Туре	Manufacturer	Model/Size	Lites	Height	Lites	Location	Material	
D002	1	Glazed/Paneled		2-8x7-0	2W3H			Bsmt Side Entry	Wood	Arched, Tempered, 3-0 Side Lights
D101	1	Three Panel		3-4x7-7	See Elevations			Front Entry	Wood	Tempered Side Lights
D102	1	French		(2)3-0x9-4	3W5H			Library	Wood	Arched, Tempered, 2-0 Side Lights
D103	1									
D104	1									
D105	1	French		(2)3-3x9-2	3W5H			Kitchen	Steel	Tempered
D106	1	French		(2)3-3x9-2	6W5H			Kitchen	Steel	Tempered, Fixed
D107	1	French		(2)3-3x9-2	3W5H			Kitchen	Steel	Tempered
D108	1	Glazed/Paneled		(2)2-8x9-2	3W5H			Den	Wood	Tempered
D109	1	Glazed/Paneled		3-0x7-2	3W3H			Back Hall	Wood	Tempered
G001	1	Paneled		8-8x7-7	See Elevations			Garage	Wood	Arched Garage Door
G002	1	Paneled		8-8x7-7	See Elevations			Garage	Wood	Arched Garage Door



NOTE: ALL WINDOWS AND NON-OPAQUE DOORS TO MEET MINIMUM U-FACTOR AND SHGC VALUES ON TABLE 2, SHEET 0001

APPROVED

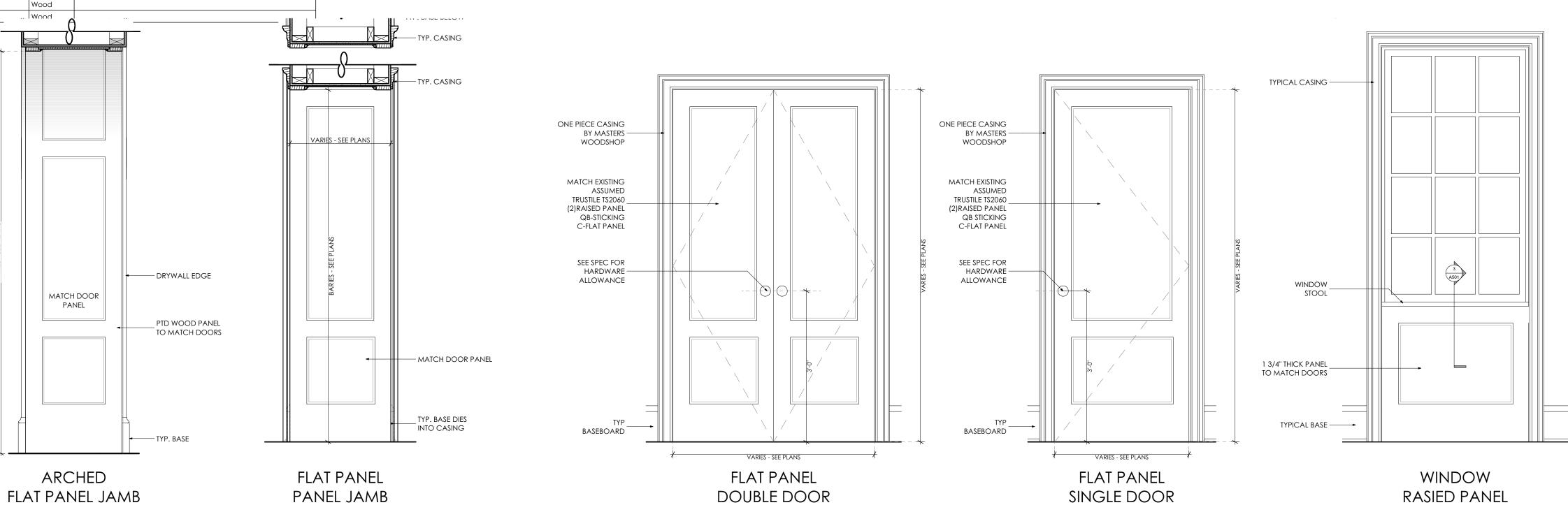
Montgomery County

Historic Preservation Commission

AMALIA

REVIEWED

By Dan.Bruechert at 12:45 pm, Jun 29, 2022



THOMSON & COOKE ARCHITE

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ACARTHI NGTON 1 02.686.

West Lenox Street Chevy Chase MD 20815

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License number 17073, expiration date 09-04-2022

Door Schedules

 12-09-2021
 Existing Conditions

 01-13-2022
 SD 2 Meeting

 02-07-2022
 SD 3 Meeting

 04-04-2022
 Preliminary Pricing Set

 04-25-2022
 Permit Progress

Preliminary Pricing S
5-2022 Permit Progress

0002

Standard Features Natural, clear Douglas Fir interior (no visible finger

joints)

 Roto gear operator and concealed sash locks Extruded aluminum cladding in a variety of standard

colors, primed wood or clear fir exterior Flexible continuous weatherstrip system

 Insect screens Metal handle, cover and locks

Standard O Optional

Finish Options: Refer to Section A.

B2 | Technical Guide Casement Windows

4 9/16" (116 mm) jamb construction

colors, primed wood or clear fir exterior

Flexible continuous weatherstrip system

LowE insulated glazing with 1/2" (13 mm) airspace

Multiple hardware type and finish choices are available.

See the Hardware in section A for more information.

Extruded aluminum cladding in a variety of standard

Product Features

Standard Features

Insect screens

HARDWARE STYLES

Standard O Optional

Finish Options: Refer to Section A.

Metal locks

Multiple hardware type and finish choices are available. See the Hardware in section A for more information

Most units have been tested by an independent laboratory LowE Double, LowE Triple, Tranquility® and StormForce™. for air and water infiltration, structural performance, and aluminum is available in a variety of Palette colors, including StormForce is not available on all products. thermal performance requirements. Simulated Divided Lites (SDL) Frame & Sash

> Manufactured from Coastal Douglas Fir kiln-dried lumber with frame construction designed for 4 9/16" (116 mm) jamb. All wood exterior components are factory primed unless specified as clear exterior. Minor scratches or abrasions in the wood surface or primer are not

Specifications

considered defects. Alternate Species The entire Loewen product line is also available in optional components are coated for superior corrosion protection.

Preservative Treated 2" clad frame extension, Nose & Cove, Adams, Williamsburg All wood parts are dipped in approved preservative.

> With countless glazing configurations and LowE coating options, we ensure that you can choose the perfect blend of Screen protection and comfort.

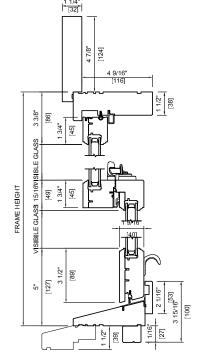
Insulating Glass Double or triple glass configurations with 1/2" (13 mm)

LowE Systems LowE best describes the benefits of the product that incorporates glazing coatings and Argon gas. LowE systems help reduce heating and cooling costs, providing superior

available for Casement windows, which enables some sizes Simulated Divided Lites (SDL) Standard SDL complete with airspace grilles, where

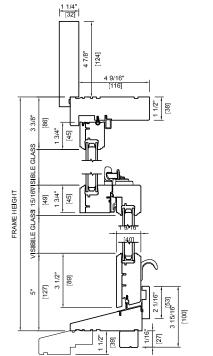
finishes. See section A.

Casement Section



Double Hung Section

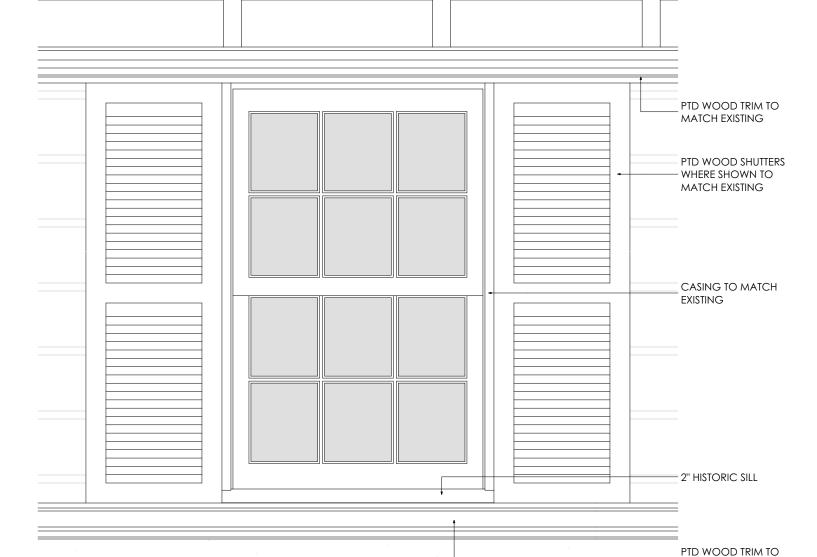
APPROVED Montgomery County





PTD WOOD HEAD CASING CROWN TO MATCH EXISTING PTD WOOD CASING TO MATCH EXISTING

— 2" HISTORIC SILL



 $3\frac{\text{Typ. Interior Window}}{\frac{1}{1}=\frac{1}{-0}}$

note:

ALL BEDROOM (I.E. SLEEPING ROOMS) SHALL HAVE AN EMERGENCY ESCAPE WINDOW (IRC

MINIMUM NET CLEAR OPENING OF 5.7 SQ. FT

WITH A CLEAR HEIGHT OF 24 INCHES AND A

CLEAR WIDTH OF 20 INCHES. THE MAXIMUM

HEIGHT OF THE CLEAR OPENING FROM THE

WINDOW DETAIL

PTD WOOD CASING

TO MATCH EXISTING

NET OPEN AREA

NOTE: ALL WINDOWS AND NON-

TABLE 2, SHEET 0001

MATCH EXISTING

OPAQUE DOORS TO MEET MINIMUM U-FACTOR AND SHGC VALUES ON

5.7 SQ. FT

FLOOR IS 44 INCHES (IRC 2018, 310)

2015, 310). THIS WINDOW SHALL HAVE A

 4 9/16" (116 mm) jamb construction LowE insulated glazing with 1/2" (13 mm) airspace

Square Profile (interior only) - 3/4" (19 mm), 7/8" (22 mm), 1 1/8" (30 mm), 2" (51 mm)

> Wood: 2" (51 mm) Brickmould, 3 1/2" (89 mm) Flat, 5 1/2" (139 mm) Flat, Adams and Williamsburg. Metal Clad: 2" (51 mm) Brickmould, 3 1/2" (89 mm) Flat,

Ogee Profile -3/4" (19 mm), 1 1/8" (30 mm), 2" (51 mm)

Putty Profile - 5/8" (16 mm), 7/8" (22 mm), 1 1/8" (30 mm),

Metal Clad Color Spectrum All Palette colors, including anodized finishes. Available in

Cyprium Collection.

Use for Egress

Available with Screen

Concealed Hardware

0 0 0 0

0 0 0 0

Ogee Profile - 3/4" (19 mm), 1 1/8" (30 mm), 2" (51 mm)

Putty Profile - 5/8" (16 mm), 7/8" (22 mm), 1 1/8" (30 mm),

Square Profile (interior only) -3/4" (19 mm), 7/8" (22 mm),

Wood: 2" (51 mm) Brickmould, 3 1/2" (89 mm) Flat,

Metal Clad: 2" (51 mm) Brickmould, 3 1/2" (89 mm) Flat,

2" clad frame extension, Nose & Cove, Adams, Williamsburg

5 1/2" (139 mm) Flat, Adams and Williamsburg.

All Palette colors, including anodized finishes.

Metal Clad Exterior

LowE Double

LowE Triple StormForce™

is not available on all products.

1 1/8" (30 mm), 2" (51 mm)

Metal Clad Color Spectrum

VARIABLES

Use for Egress Available with Screen

LowE Triple StormForce™

Low Maintenance Metal Clad Exterior

Clear Douglas Fir Exterior Finish Clear Mahogany Exterior Finish Primed Exterior Finish

Double Hung, Single Hung, Radius Top and Cottage options. LowE Double, LowE Triple and StormForce™. StormForce

Natural, clear Douglas Fir interior (no visible finger joints) Simulated Divided Lites (SDL)

aluminum or black aluminum frame, screened with antiglare fiberglass cloth. Wood-framed screens and High Transparency mesh available. Optional Retractable Screen airspace. and Swinging Screen available. Swinging Screen available on Push Out models only.

Consult local building codes for confirmation of size requirements for your area. Special egress hardware is energy efficiency.

to meet egress codes, eliminating the need to go to the next larger size window. Consult your Authorized Loewen Dealer available. Grille bars are permanently applied to the interior for more details. and exterior.

Hardware Option Operator and sash locks are available in a variety of

Visit the Loewen Photo Gallery online at www.loewen.com for a large collection of Loewen product and elevation photography Numerous custom window configuration opportunities exist — please contact your Authorized Loewen Dealer.

Specifications and technical information are subject to change without notice. Imperial and metric measurements are converted accurately. However, in some cases, industry standards cause a 1 mm variance. (Example: 3/4" is shown as 19 mm for all glass measurements.) Cad Download: www.loewen.com/architect | Installation Instructions: www.loewen.com Casement Windows Technical Guide | B3

Metal Cladding

Double Weatherstrip

Heavy duty exterior metal cladding comprised of extruded

anodized and Cyprium (copper and bronze cladding).

Interior of window can be natural wood (unfinished) or

Standard Casement sash opens out to nearly 90 degrees

for ease of cleaning. The roto gear operator will hold the

sash at any position in its operating radius. The sash

is supported by concealed heavy-duty hinges. All steel

The combination of a continuous, flexible foam weatherstrip

and a flexible automotive type bulb weatherstrip ensures

maximum energy efficiency and protection against air and

Screens available in bronze, linen, Tuscany brown, brushed

aluminum is available in a variety of Palette colors,

including anodized. Interior of window can be natural wood

(unfinished) or primed. Metal clad units are supplied ready-

Standard screens have a bronze, linen or aluminum frame,

color is matched to exterior finish on metal clad units. High

screened with anti-glare fiberglass cloth. Screen-frame

primed. Metal clad units are supplied ready-to-install

complete with integral metal nailing flange.

Specifications

Most units have been tested by an independent laboratory Heavy duty exterior metal cladding comprised of extruded for air and water infiltration, structural performance, and thermal performance requirements.

Manufactured from Coastal Douglas Fir kiln-dried lumber to-install complete with integral metal nailing flange. with frame construction designed for 4 9/16" (116 mm) jamb. Hardware All wood exterior components are factory primed unless Hardware is standard in bronze, linen, or black. Optional specified as clear exterior. Minor scratches or abrasions in sash lifts are available at an additional charge. Operable

the wood surface or primer are not considered defects. sash with single-handle tilt latch enables inward tilting of sash for easy cleaning. Alternate Species The entire Loewen product line is also available in optional Flexible weatherstrip ensures a positive weather seal. Mahogany.

Preservative Treated All wood parts are dipped in approved preservative.

With countless glazing configurations and LowE coating options, we ensure that you can choose the perfect blend of transparency mesh, full screens and half screens available. protection and comfort.

Consult local building codes for confirmation of size Insulating Glass requirements for your area. Consult your Authorized Double or triple glass configurations with 1/2" (13 mm) LowE Systems

LowE best describes the benefits of the product that incorporates glazing coatings and Argon gas. LowE systems help reduce heating and cooling costs, providing superior energy efficiency.

Simulated Divided Lites (SDL) Standard SDL complete with airspace grilles, where available. Grille bars are permanently applied to the interior and exterior.

Hardware Option Sash locks and optional sash lifts are available in a variety of finishes. See section A.

Numerous custom window configuration opportunities exist - please contact your Authorized Loewen Dealer. Specifications and technical information are subject to change without notice. Imperial and metric measurements are converted accurately. However n some cases, industry standards cause a 1 mm variance. (Example: 3/4" is shown as 19 mm for all glass measurements. Cad Download: www.loewen.com/architect | Installation Instructions: www.loewen.com

Double/Single Hung Windows Technical Guide | E3

E2 | Technical Guide Double/Single Hung Windows

Window Schedule Model/Size Type | ID | Qty | Units Manuf. Lites Location Note W001 1 -10x5-0 2W Casement 3W4H Exercise W002 1 2-10x5-0 2W Casement 3W4H Bedroom 8 Tempered, Egress W101 1 2-6x5-5 2W Double Hung 3W2H/2W1H Library W102 1 3-2x9-4 3W 3W5H Library Casement W103 1 3-3x9-4 Casement 3W5H Family Room W104 | 1 3-8x9-4 3W Casement 3W5H Family Room W105 1 3-3x9-4 Casement 3W5H Family Room W106 1 4W5H 4-0x6-6 2W Casement Den 2-8x6-6 Casement 2-8x6-6 Casement 3W5H Den W108 1 3W5H 2-8x6-6 2W Casement W109 1 2-8x6-6 2W 3W5H Casement Den W110 1 2W3H 2-0x4-0 Casement Butler's Pantry W111 1 2-0x4-0 2W3H Casement Mudroom W112 | 1 2-0x4-0 Casement 2W3H Mudroom W201 Bath 2 2-10x4-5 3W2H/3W2H Double Hung W202 1 2-10x4-5 3W2H/3W2H Her Closet Double Hung W203 1 2-10x4-5 Double Hung 3W2H/3W2H Her Closet W204 1 2-10x4-5 Double Hung 3W2H/3W2H Her Closet W205 1 2-10x4-5 Double Hung 3W2H/3W2H Her Bath W206 1 2-10x4-5 Double Hung 3W2H/3W2H Her Bath W207 1 2-10x4-5 3W2H/3W2H Her Bath Double Hung W208 1 2-10x4-5 Double Hung 3W2H/3W2H Her Bath W209 1 2-10x4-5 3W2H/3W2H Double Hung Owner's Bedroom W210 | 1 2-10x4-5 Casement 3W4H Owner's Bedroom Thick Center Rail, Egress W211 1 Thick Center Rail 2-10x4-5 Casement 3W4H Owner's Bedroom W212 1 2-10x4-5 3W2H/3W2H Owner's Bedroom Double Hung

2 Typ. Stucco Window 1 Typ. Exterior Window

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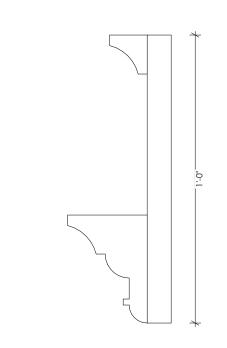
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West Lenox Street Chevy Chase MD 2

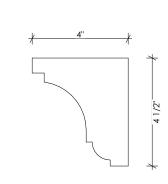
Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License number 17073, expiration date 09-04-2022

Window Schedules 12-09-2021 Existing Conditions 01-13-2022 SD 2 Meeting 02-07-2022 SD 3 Meeting 04-04-2022 Preliminary Pricing Set 04-25-2022 Permit Progress





EXISTING ROOF CROWN



EXISTING BANDBOARD

 $\mathcal{C}_{\mathcal{D}}$ 0 THOMS

ARCHITE

West Lenox Street Chevy Chase MD 2

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Exterior Trim Details

12-09-2021 Existing Conditions 01-13-2022 SD 2 Meeting 02-07-2022 SD 3 Meeting 04-04-2022 Preliminary Pricing Set 04-25-2022 Permit Progress

0004

Printed: 6/21/22

APPROVED **Montgomery County** Historic Preservation Commission REVIEWED

By Dan.Bruechert at 12:46 pm, Jun 29, 2022



FRONT VIEW

FRONT VIEW - LEFT

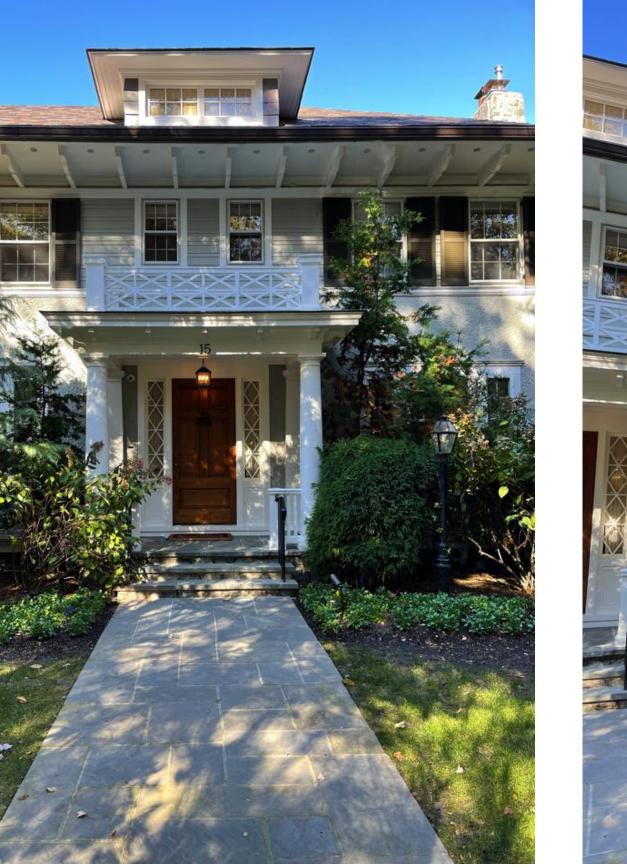




DETAIL FRONT VIEW - LEFT



FRONT VIEW - RIGHT



DETAIL FRONT VIEW



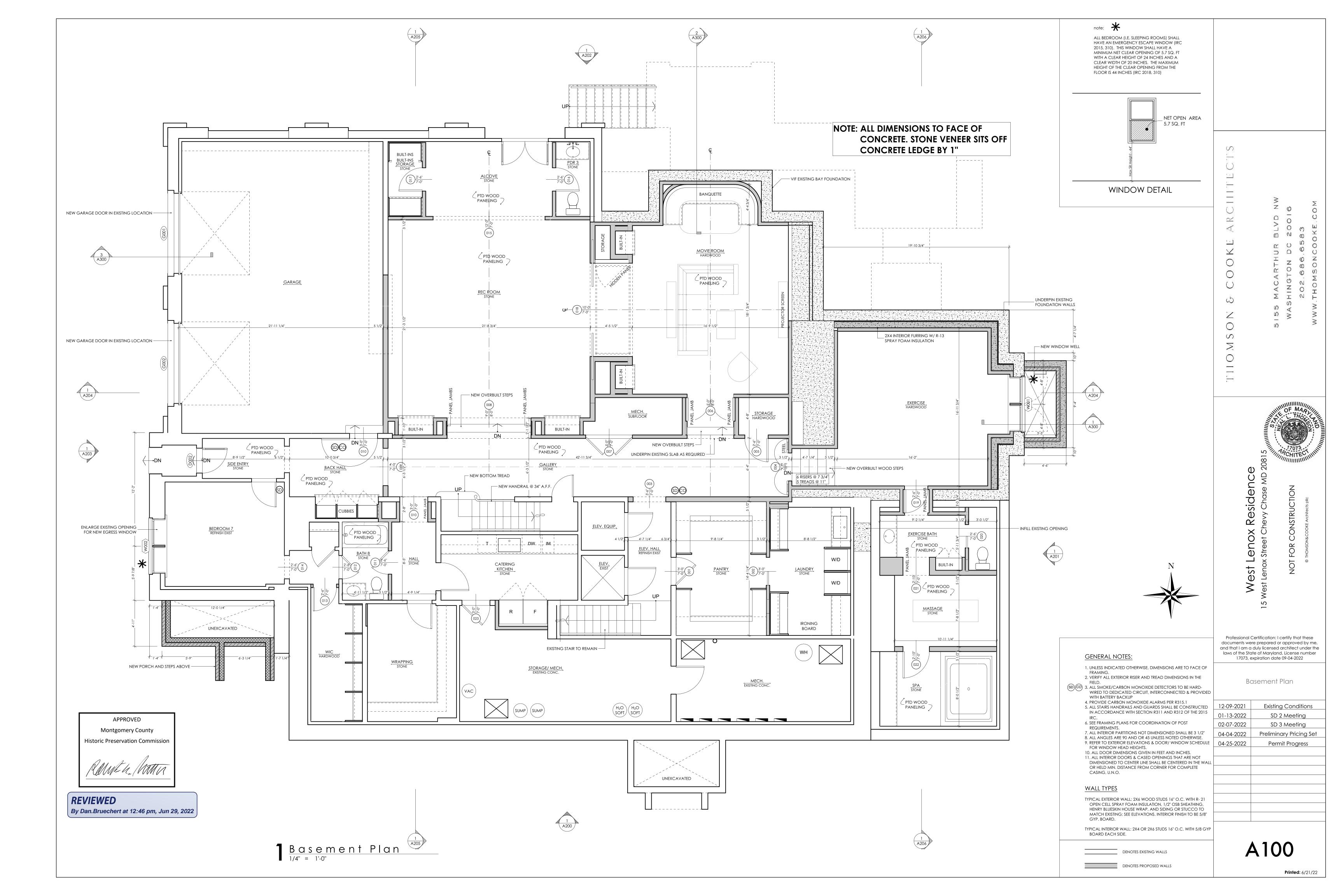
DETAIL FRONT VIEW - RIGHT

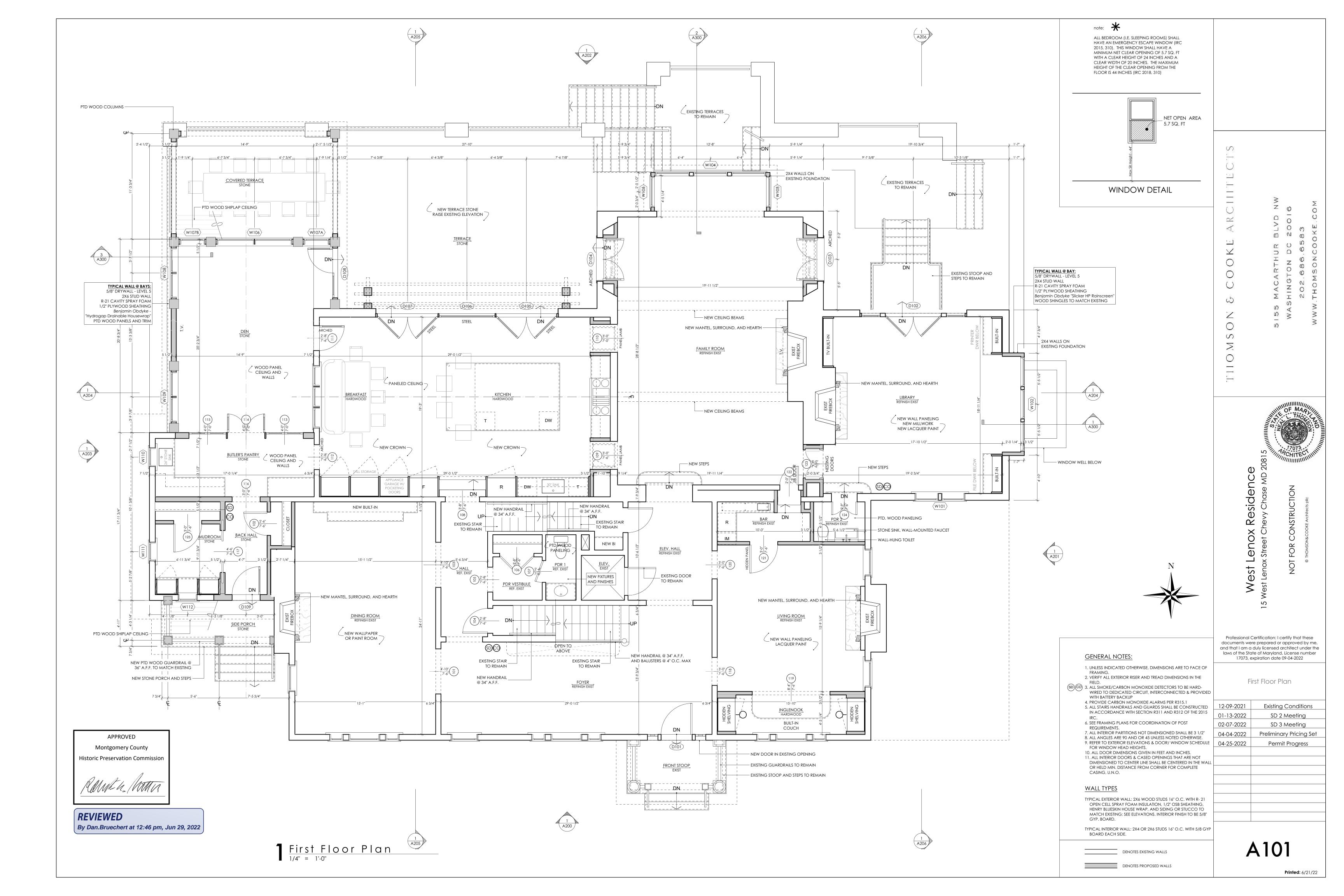
Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License number 17073, expiration date 09-04-2022

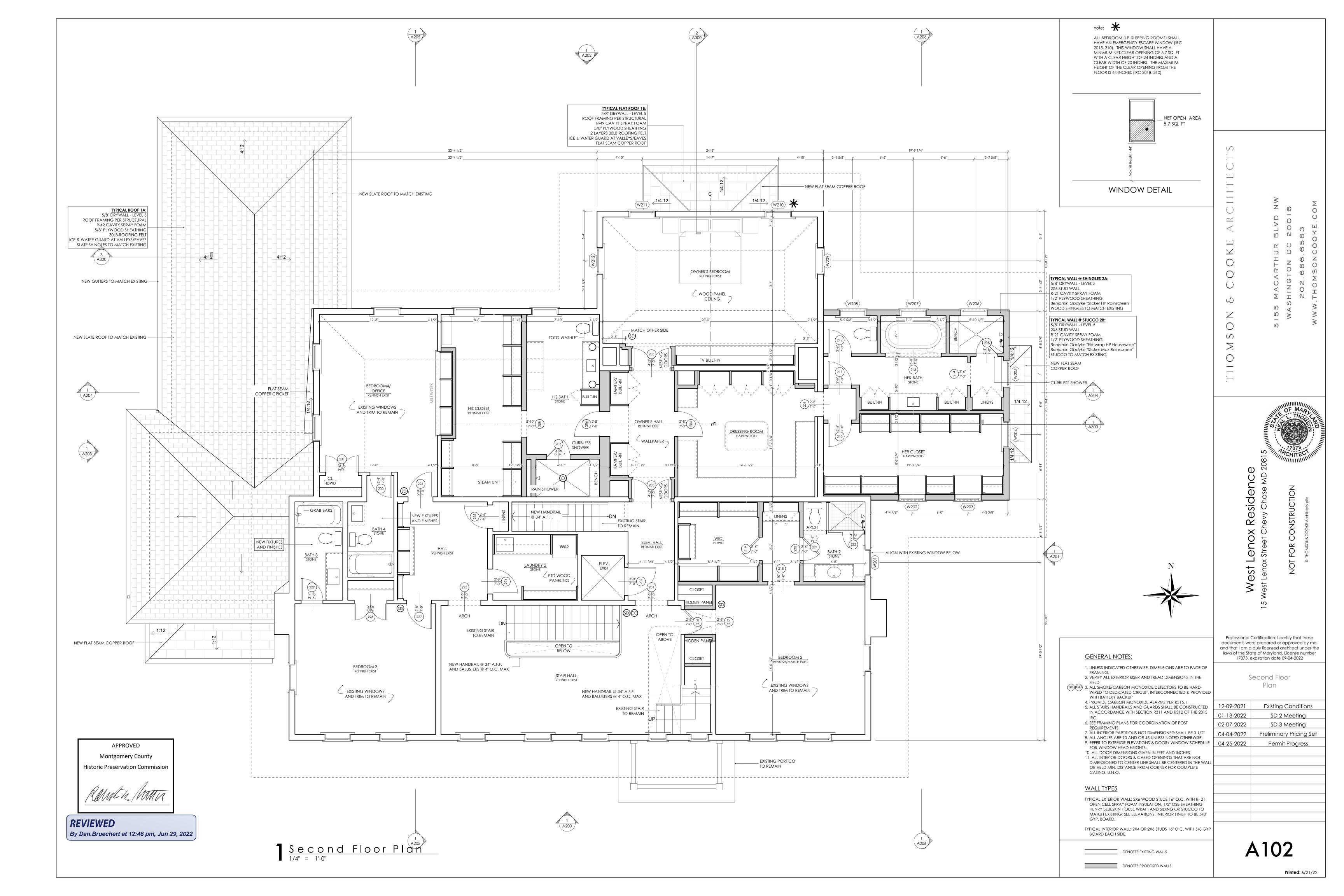
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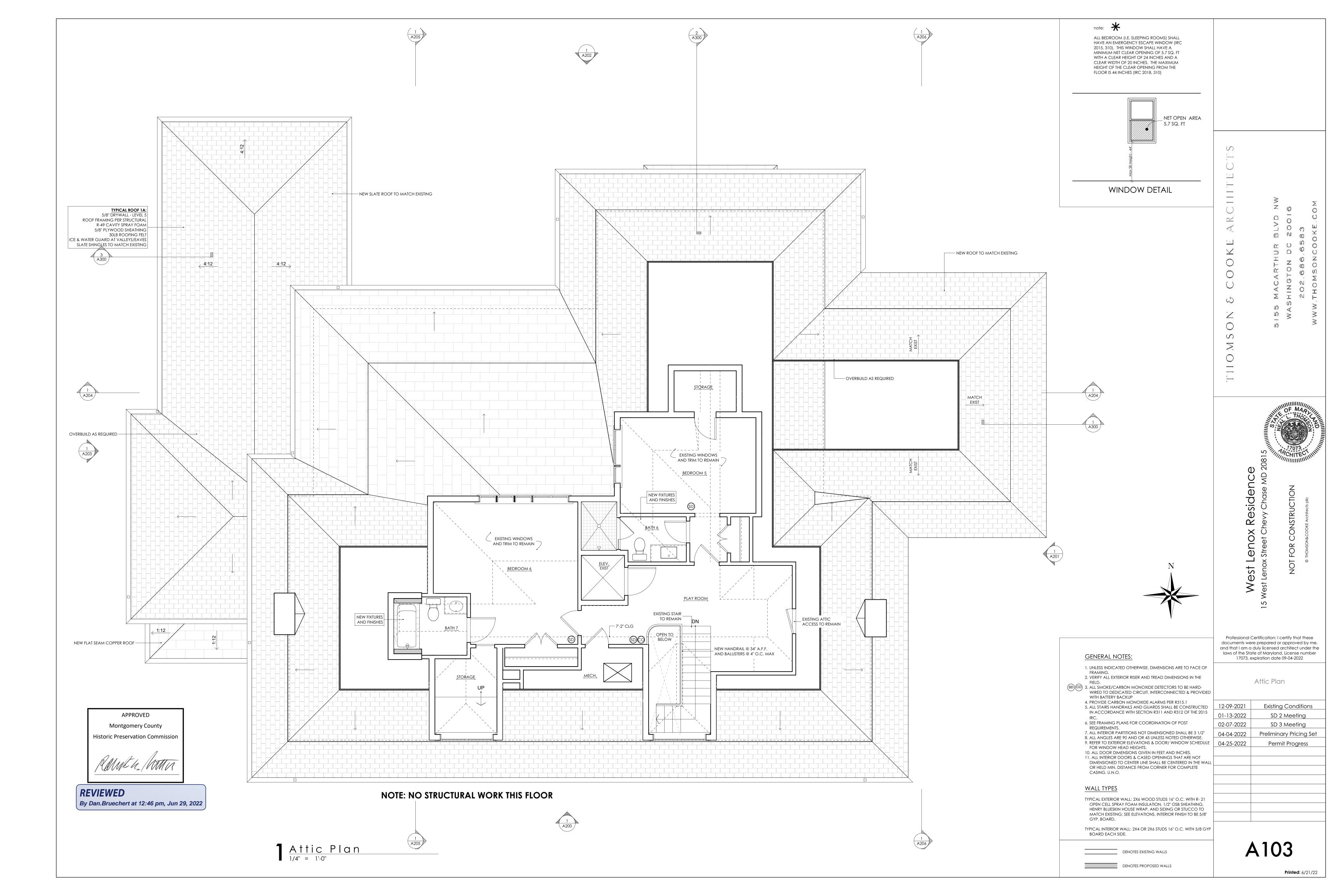
12-09-2021	Existing Conditions
01-13-2022	SD 2 Meeting
02-07-2022	SD 3 Meeting
04-04-2022	Preliminary Pricing Set
04-25-2022	Permit Progress
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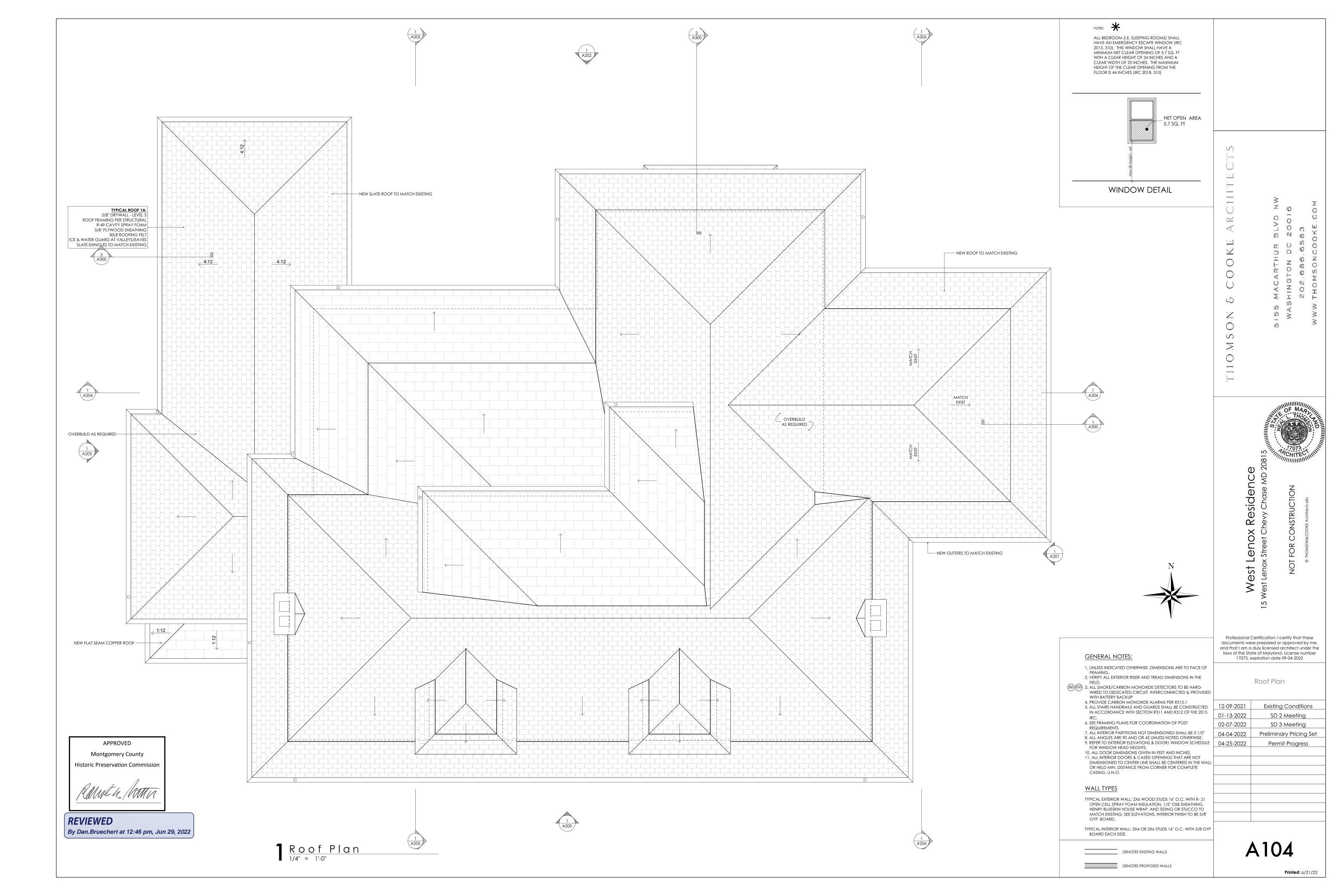
0005











SD 2 Meeting SD 3 Meeting Preliminary Pricing Set 04-25-2022 Permit Progress

A200

Printed: 6/21/22



 $\frac{\text{Front Elevation}}{\frac{1}{4}} = \frac{1}{0}$

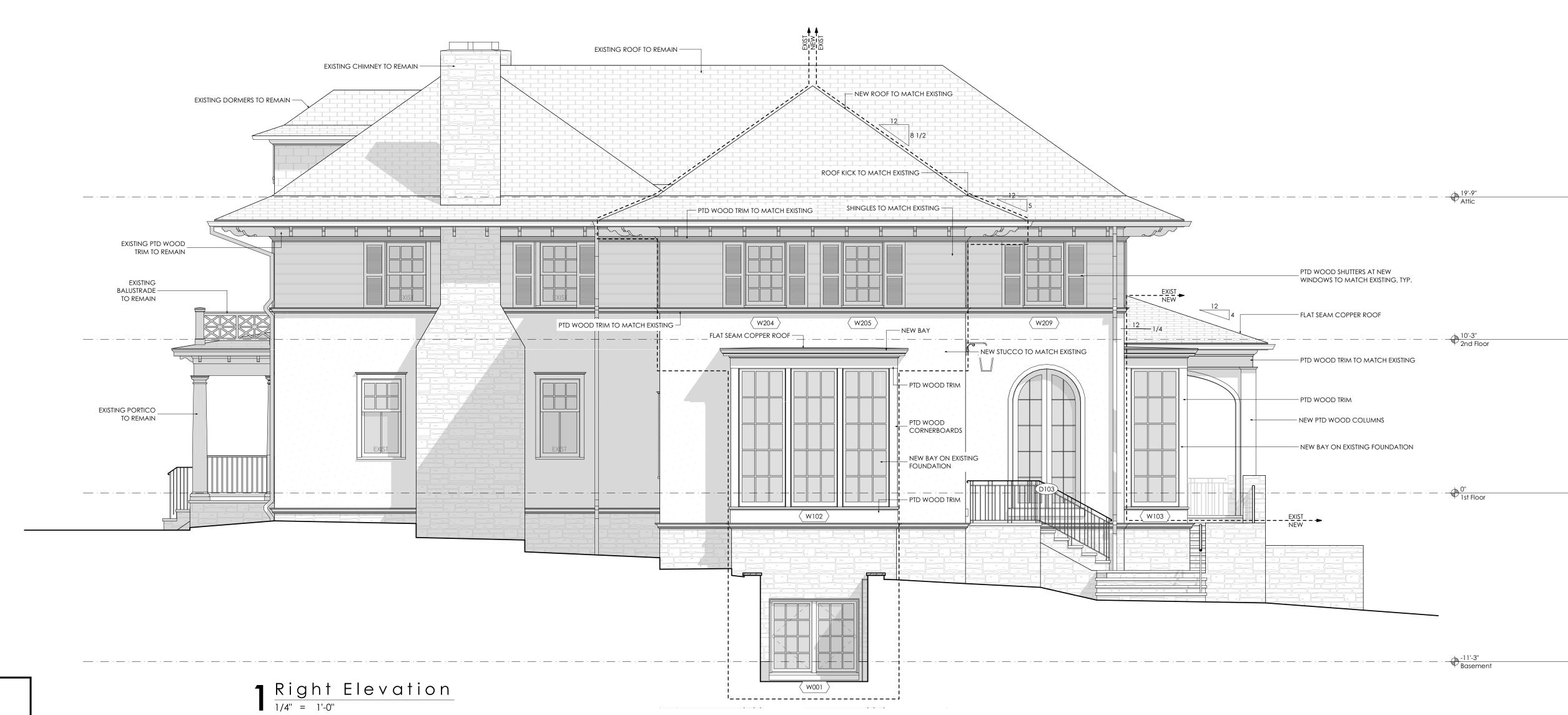
APPROVED Montgomery County **Historic Preservation Commission**

12-09-2021	Existing Conditions
01-13-2022	SD 2 Meeting
02-07-2022	SD 3 Meeting
04-04-2022	Preliminary Pricing Se
04-25-2022	Permit Progress

Permit Progress

A201

Printed: 6/21/22

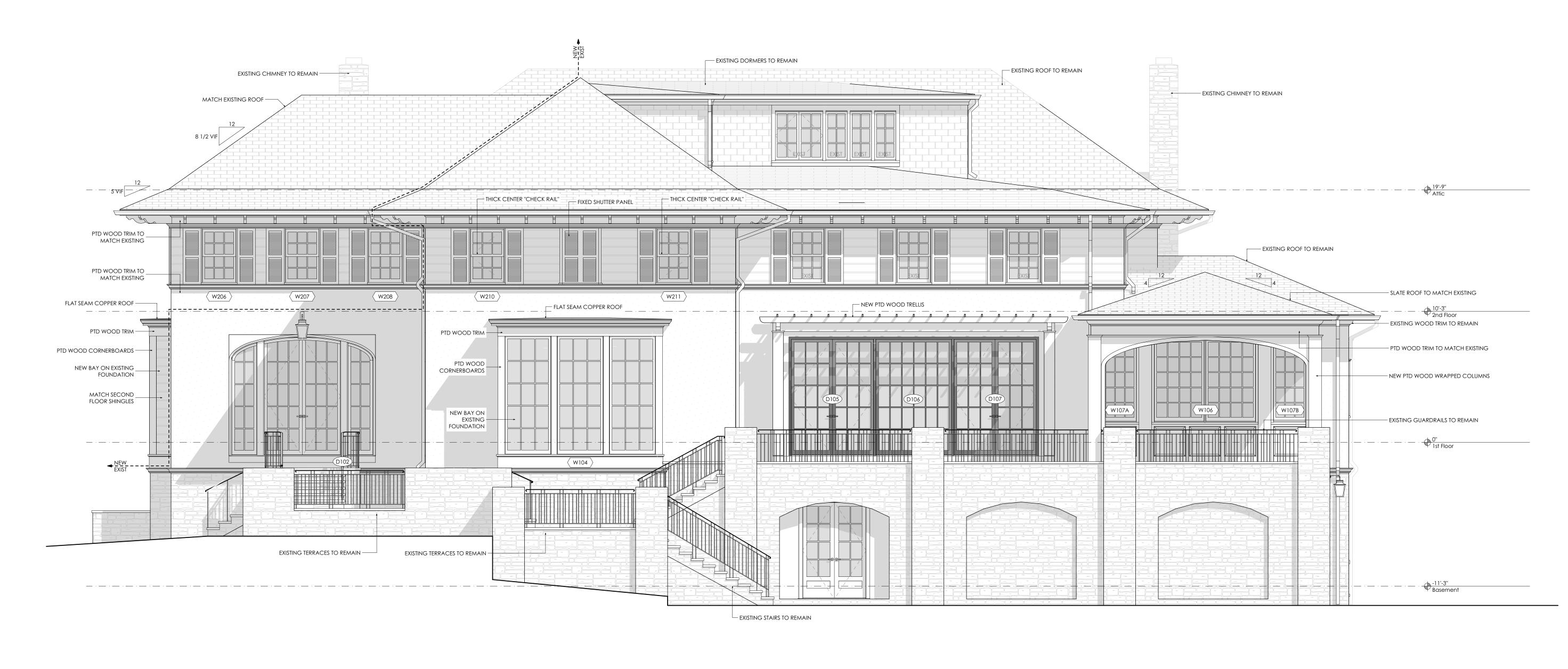


APPROVED **Montgomery County Historic Preservation Commission**

SD 3 Meeting Permit Progress

Printed: 6/21/22

A202



$\begin{array}{ll} \mathbf{Rear Elevation} \\ \frac{1}{4"} = \frac{1}{0} \end{array}$

APPROVED **Montgomery County Historic Preservation Commission**

SD 3 Meeting 04-25-2022 Permit Progress

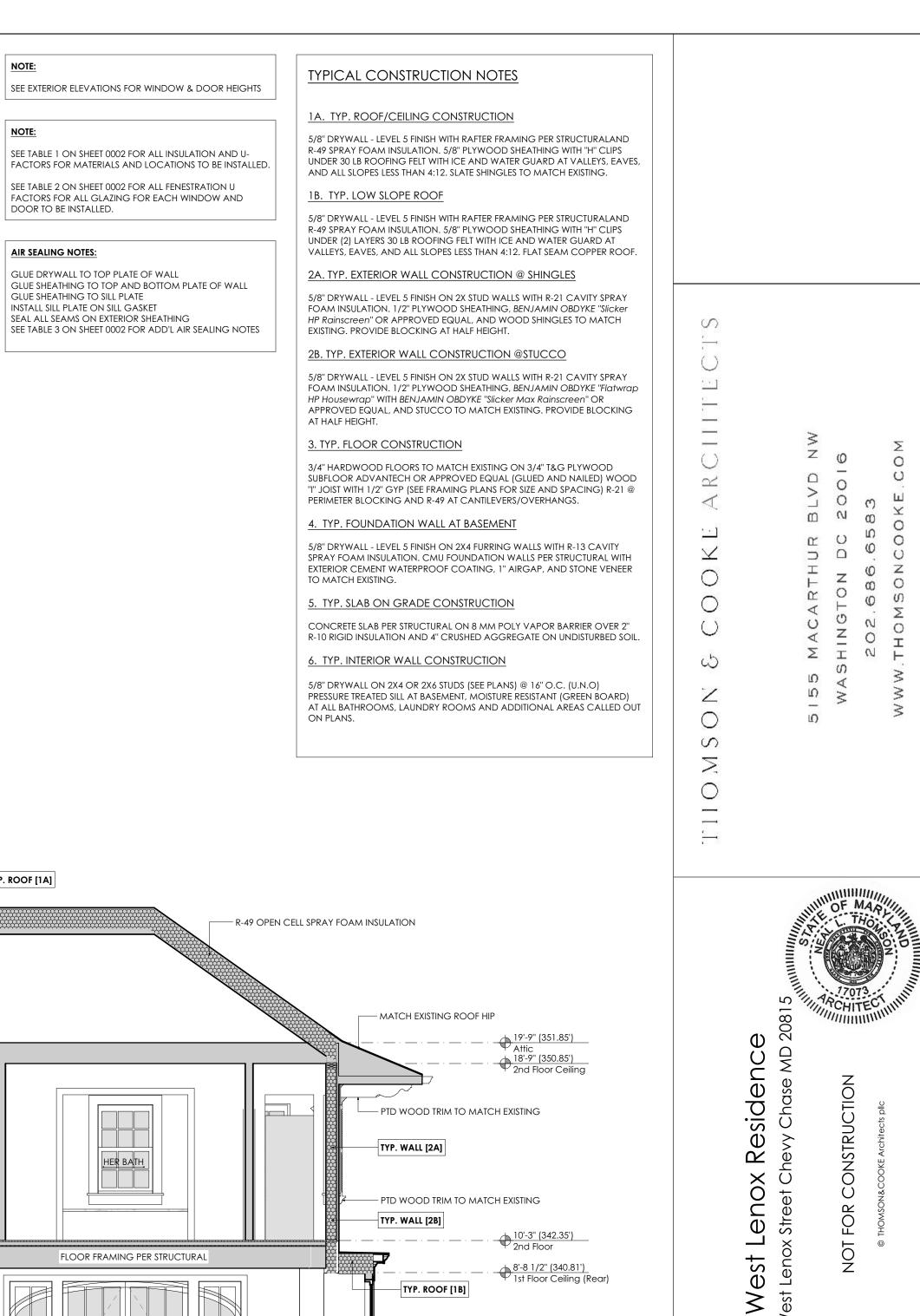
Printed: 6/21/22

A203



1 Left Elevation $\frac{1}{1/4"} = \frac{1}{-0"}$





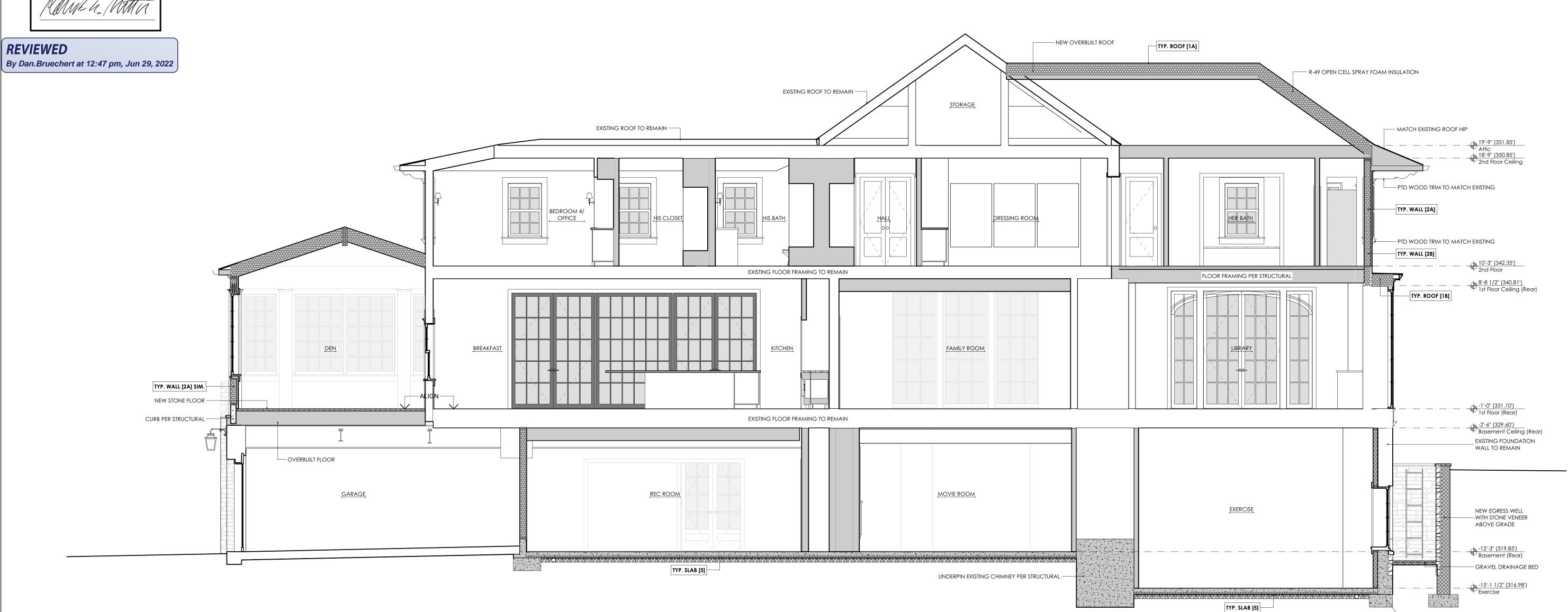
SEE EXTERIOR ELEVATIONS FOR WINDOW & DOOR HEIGHTS

SEE TABLE 1 ON SHEET 0002 FOR ALL INSULATION AND U-FACTORS FOR MATERIALS AND LOCATIONS TO BE INSTALLED.

SEE TABLE 2 ON SHEET 0002 FOR ALL FENESTRATION U FACTORS FOR ALL GLAZING FOR EACH WINDOW AND DOOR TO BE INSTALLED.

AIR SEALING NOTES:

GLUE DRYWALL TO TOP PLATE OF WALL GLUE SHEATHING TO TOP AND BOTTOM PLATE OF WALL GLUE SHEATHING TO SILL PLATE INSTALL SILL PLATE ON SILL GASKET SEAL ALL SEAMS ON EXTERIOR SHEATHING



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Montgomery County

Historic Preservation Commission

1 Building Section Through Exercise $\frac{1}{1/4"} = \frac{1}{-0"}$

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> Building Section

> > Existing Conditions

SD 2 Meeting

SD 3 Meeting

Preliminary Pricing Set

Permit Progress

Printed: 6/21/22

A204

- UNDERPINNING PER STRUCTURAL

12-09-2021

01-13-2022

02-07-2022

04-04-2022

04-25-2022

SEE TABLE 1 ON SHEET 0002 FOR ALL INSULATION AND U-FACTORS FOR MATERIALS AND LOCATIONS TO BE INSTALLED. SEE TABLE 2 ON SHEET 0002 FOR ALL FENESTRATION U FACTORS FOR ALL GLAZING FOR EACH WINDOW AND DOOR TO BE INSTALLED.

AIR SEALING NOTES:

GLUE DRYWALL TO TOP PLATE OF WALL GLUE SHEATHING TO TOP AND BOTTOM PLATE OF WALL GLUE SHEATHING TO SILL PLATE INSTALL SILL PLATE ON SILL GASKET SEAL ALL SEAMS ON EXTERIOR SHEATHING SEE TABLE 3 ON SHEET 0002 FOR ADD'L AIR SEALING NOTES

TYPICAL CONSTRUCTION NOTES

1A. TYP. ROOF/CEILING CONSTRUCTION

5/8" DRYWALL - LEVEL 5 FINISH WITH RAFTER FRAMING PER STRUCTURALAND R-49 SPRAY FOAM INSULATION. 5/8" PLYWOOD SHEATHING WITH "H" CLIPS UNDER 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, EAVES, AND ALL SLOPES LESS THAN 4:12. SLATE SHINGLES TO MATCH EXISTING.

1B. TYP. LOW SLOPE ROOF

5/8" DRYWALL - LEVEL 5 FINISH WITH RAFTER FRAMING PER STRUCTURALAND R-49 SPRAY FOAM INSULATION. 5/8" PLYWOOD SHEATHING WITH "H" CLIPS UNDER (2) LAYERS 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, EAVES, AND ALL SLOPES LESS THAN 4:12. FLAT SEAM COPPER ROOF.

2A. TYP. EXTERIOR WALL CONSTRUCTION @ SHINGLES

5/8" DRYWALL - LEVEL 5 FINISH ON 2X STUD WALLS WITH R-21 CAVITY SPRAY FOAM INSULATION. 1/2" PLYWOOD SHEATHING, BENJAMIN OBDYKE "Slicker HP Rainscreen" OR APPROVED EQUAL, AND WOOD SHINGLES TO MATCH EXISTING. PROVIDE BLOCKING AT HALF HEIGHT.

2B. TYP. EXTERIOR WALL CONSTRUCTION @STUCCO

5/8" DRYWALL - LEVEL 5 FINISH ON 2X STUD WALLS WITH R-21 CAVITY SPRAY FOAM INSULATION. 1/2" PLYWOOD SHEATHING, BENJAMIN OBDYKE "Flatwrap HP Housewrap" WITH BENJAMIN OBDYKE "Slicker Max Rainscreen" OR APPROVED EQUAL, AND STUCCO TO MATCH EXISTING. PROVIDE BLOCKING AT HALF HEIGHT.

3. TYP. FLOOR CONSTRUCTION

3/4" HARDWOOD FLOORS TO MATCH EXISTING ON 3/4" T&G PLYWOOD SUBFLOOR ADVANTECH OR APPROVED EQUAL (GLUED AND NAILED) WOOD "I" JOIST WITH 1/2" GYP (SEE FRAMING PLANS FOR SIZE AND SPACING) R-21 @ PERIMETER BLOCKING AND R-49 AT CANTILEVERS/OVERHANGS.

4. TYP. FOUNDATION WALL AT BASEMENT

5/8" DRYWALL - LEVEL 5 FINISH ON 2X4 FURRING WALLS WITH R-13 CAVITY SPRAY FOAM INSULATION. CMU FOUNDATION WALLS PER STRUCTURAL WITH EXTERIOR CEMENT WATERPROOF COATING, 1" AIRGAP, AND STONE VENEER TO MATCH EXISTING.

5. TYP. SLAB ON GRADE CONSTRUCTION

CONCRETE SLAB PER STRUCTURAL ON 8 MM POLY VAPOR BARRIER OVER 2" R-10 RIGID INSULATION AND 4" CRUSHED AGGREGATE ON UNDISTURBED SOIL.

6. TYP. INTERIOR WALL CONSTRUCTION

5/8" DRYWALL ON 2X4 OR 2X6 STUDS (SEE PLANS) @ 16" O.C. (U.N.O) PRESSURE TREATED SILL AT BASEMENT, MOISTURE RESISTANT (GREEN BOARD)
AT ALL BATHROOMS, LAUNDRY ROOMS AND ADDITIONAL AREAS CALLED OUT

APPROVED Montgomery County Historic Preservation Commission

REVIEWED

By Dan.Bruechert at 12:47 pm, Jun 29, 2022



 $1 \frac{\text{Cross Section Through Terrace}}{\frac{1}{1/4"} = \frac{1}{1} \cdot 0"}$

A205

S

West Lenox Residence

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Cross Section

laws of the State of Maryland, License number 17073, expiration date 09-04-2022

12-09-2021 01-13-2022 02-07-2022 04-04-2022

04-25-2022

SD 2 Meeting SD 3 Meeting

Existing Conditions

Preliminary Pricing Set Permit Progress

SEE EXTERIOR ELEVATIONS FOR WINDOW & DOOR HEIGHTS

SEE TABLE 1 ON SHEET 0002 FOR ALL INSULATION AND U-FACTORS FOR MATERIALS AND LOCATIONS TO BE INSTALLED.

SEE TABLE 2 ON SHEET 0002 FOR ALL FENESTRATION U FACTORS FOR ALL GLAZING FOR EACH WINDOW AND DOOR TO BE INSTALLED.

AIR SEALING NOTES:

GLUE DRYWALL TO TOP PLATE OF WALL GLUE SHEATHING TO TOP AND BOTTOM PLATE OF WALL GLUE SHEATHING TO SILL PLATE INSTALL SILL PLATE ON SILL GASKET SEAL ALL SEAMS ON EXTERIOR SHEATHING SEE TABLE 3 ON SHEET 0002 FOR ADD'L AIR SEALING NOTES

TYPICAL CONSTRUCTION NOTES

1A. TYP. ROOF/CEILING CONSTRUCTION

5/8" DRYWALL - LEVEL 5 FINISH WITH RAFTER FRAMING PER STRUCTURALAND R-49 SPRAY FOAM INSULATION. 5/8" PLYWOOD SHEATHING WITH "H" CLIPS UNDER 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, EAVES, AND ALL SLOPES LESS THAN 4:12. SLATE SHINGLES TO MATCH EXISTING.

1B. TYP. LOW SLOPE ROOF

5/8" DRYWALL - LEVEL 5 FINISH WITH RAFTER FRAMING PER STRUCTURALAND R-49 SPRAY FOAM INSULATION. 5/8" PLYWOOD SHEATHING WITH "H" CLIPS UNDER (2) LAYERS 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT

FOAM INSULATION. 1/2" PLYWOOD SHEATHING, BENJAMIN OBDYKE "Slicker HP Rainscreen" OR APPROVED EQUAL, AND WOOD SHINGLES TO MATCH EXISTING. PROVIDE BLOCKING AT HALF HEIGHT.

5/8" DRYWALL - LEVEL 5 FINISH ON 2X STUD WALLS WITH R-21 CAVITY SPRAY FOAM INSULATION. 1/2" PLYWOOD SHEATHING, BENJAMIN OBDYKE "Flatwrap HP Housewrap" WITH BENJAMIN OBDYKE "Slicker Max Rainscreen" OR APPROVED EQUAL, AND STUCCO TO MATCH EXISTING. PROVIDE BLOCKING AT HALF HEIGHT.

3/4" HARDWOOD FLOORS TO MATCH EXISTING ON 3/4" T&G PLYWOOD SUBFLOOR ADVANTECH OR APPROVED EQUAL (GLUED AND NAILED) WOOD "I" JOIST WITH 1/2" GYP (SEE FRAMING PLANS FOR SIZE AND SPACING) R-21 @

4. TYP. FOUNDATION WALL AT BASEMENT

SPRAY FOAM INSULATION. CMU FOUNDATION WALLS PER STRUCTURAL WITH EXTERIOR CEMENT WATERPROOF COATING, 1" AIRGAP, AND STONE VENEER TO MATCH EXISTING.

5. TYP. SLAB ON GRADE CONSTRUCTION

CONCRETE SLAB PER STRUCTURAL ON 8 MM POLY VAPOR BARRIER OVER 2" R-10 RIGID INSULATION AND 4" CRUSHED AGGREGATE ON UNDISTURBED SOIL.

6. TYP. INTERIOR WALL CONSTRUCTION

5/8" DRYWALL ON 2X4 OR 2X6 STUDS (SEE PLANS) @ 16" O.C. (U.N.O) PRESSURE TREATED SILL AT BASEMENT, MOISTURE RESISTANT (GREEN BOARD)
AT ALL BATHROOMS, LAUNDRY ROOMS AND ADDITIONAL AREAS CALLED OUT ON PLANS.

S

West Lenox Residence

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License number 17073, expiration date 09-04-2022

Cross Section

Existing Conditions

SD 2 Meeting

SD 3 Meeting

Preliminary Pricing Set

Permit Progress

12-09-2021

01-13-2022

02-07-2022

04-04-2022

04-25-2022

MATCH EXISTING ROOF SLOPE — - R-49 SPRAY FOAM INSULATION TYP. ROOF [1A] ROOF HIP TO MATCH EXISTING — Montgomery County **Historic Preservation Commission** CEILING FRAMING PER STRUCTURAL PTD WOOD TRIM TO MATCH EXISTING -TYP. WALL [2A] **REVIEWED** By Dan.Bruechert at 12:47 pm, Jun 29, 2022 PTD WOOD TRIM TO MATCH EXISTING -TYP. WALL [2B] NEW BEAM PER FLOOR FRAMING PER STRUCTURAL STRUCTURAL — EXISTING EXTERIOR WALLS TO REMAIN EXISTING FLOOR FRAMING TO REMAIN - EXISTING FOUNDATION WALLS TO REMAIN _ 2X4 FURRING WITH R-13 CAVITY SPRAY FOAM INSULATION — 8" CONCRETE LINER WALL PER STRUCTURAL EXISTING ROOF SLAB TO REMAIN EXISTING FDN WALL TO REMAIN EXISTING STOOP AND STEPS TO REMAIN — EXISTING FOUNDATION WALLS TO REMAIN EXERCISE BATH MASSAGE EXISTING CONCRETE SLAB TO REMAIN UNDERPINNING PER STRUCTURAL ----TYP. SLAB [5]

A206

TYPICAL CONSTRUCTION NOTES

1A. TYP. ROOF/CEILING CONSTRUCTION

5/8" DRYWALL - LEVEL 5 FINISH WITH RAFTER FRAMING PER STRUCTURALAND SEE TABLE 1 ON SHEET 0002 FOR ALL INSULATION AND U-R-49 SPRAY FOAM INSULATION. 5/8" PLYWOOD SHEATHING WITH "H" CLIPS FACTORS FOR MATERIALS AND LOCATIONS TO BE INSTALLED. UNDER 30 LB ROOFING FELT WITH ICE AND WATER GUARD AT VALLEYS, EAVES, AND ALL SLOPES LESS THAN 4:12. SLATE SHINGLES TO MATCH EXISTING. SEE TABLE 2 ON SHEET 0002 FOR ALL FENESTRATION U

1B. TYP. LOW SLOPE ROOF

SEE EXTERIOR ELEVATIONS FOR WINDOW & DOOR HEIGHTS

FACTORS FOR ALL GLAZING FOR EACH WINDOW AND

GLUE SHEATHING TO TOP AND BOTTOM PLATE OF WALL

DOOR TO BE INSTALLED.

AIR SEALING NOTES:

GLUE DRYWALL TO TOP PLATE OF WALL

SEAL ALL SEAMS ON EXTERIOR SHEATHING

GLUE SHEATHING TO SILL PLATE

INSTALL SILL PLATE ON SILL GASKET

PRESSURE TREATED SILL AT BASEMENT, MOISTURE RESISTANT (GREEN BOARD) AT ALL BATHROOMS, LAUNDRY ROOMS AND ADDITIONAL AREAS CALLED OUT ON PLANS.

APPROVED

Montgomery County

Historic Preservation Commission

By Dan.Bruechert at 12:47 pm, Jun 29, 2022

REVIEWED

S

West Lenox Residence

Professional Certification: I certify that these documents were prepared or approved by me,

Wall Sections

and that I am a duly licensed architect under the

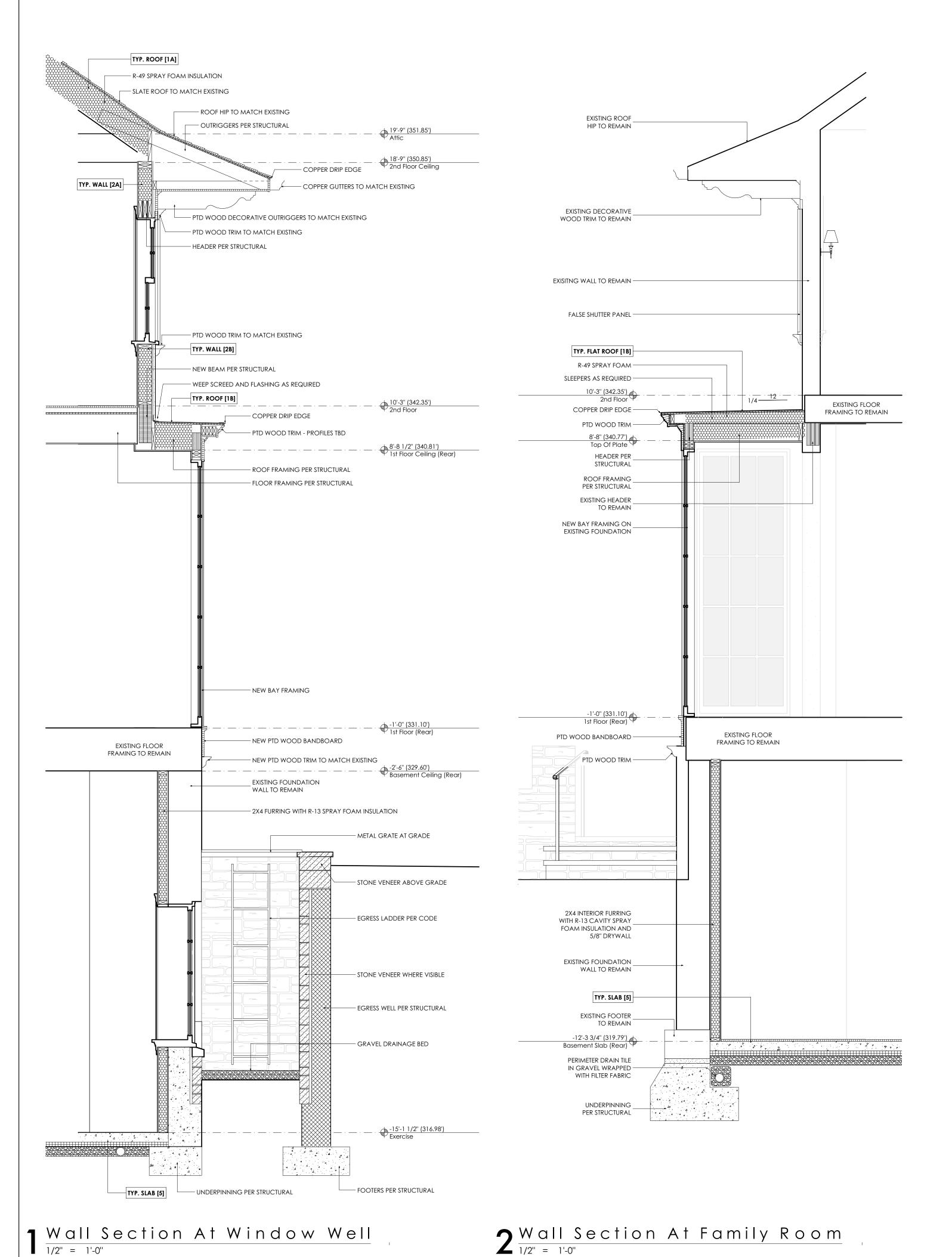
laws of the State of Maryland, License number 17073, expiration date 09-04-2022

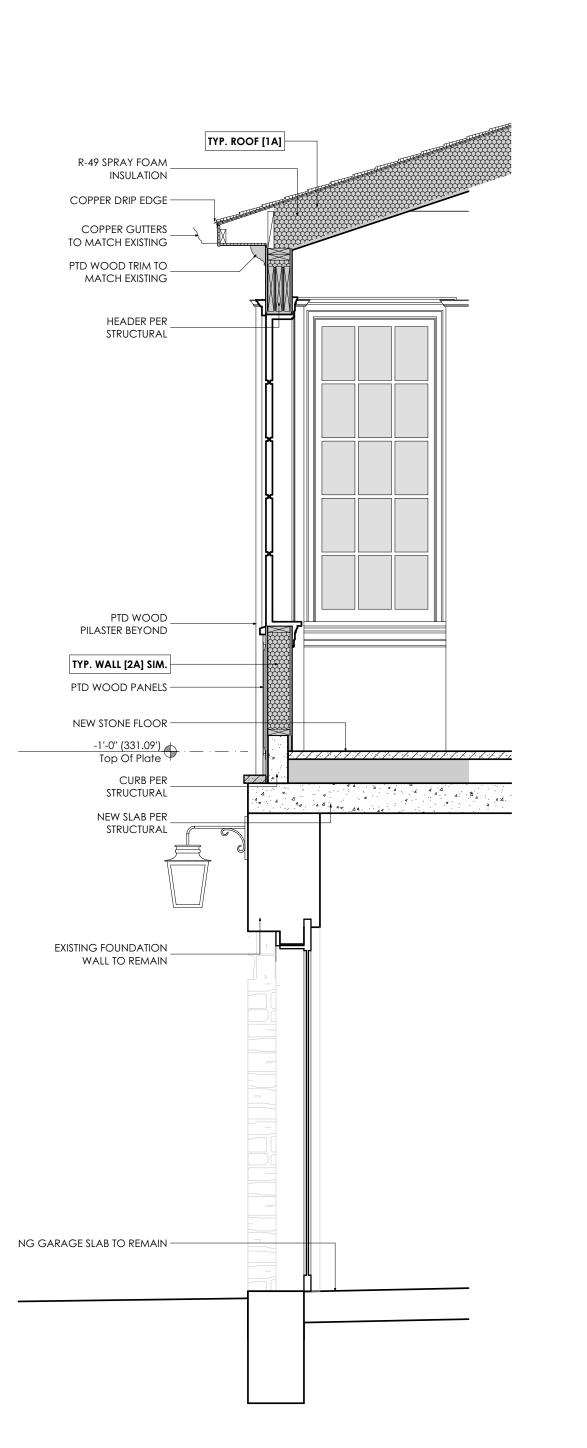
12-09-2021 Existing Conditions 01-13-2022 SD 2 Meeting 02-07-2022 SD 3 Meeting 04-04-2022 Preliminary Pricing Set

04-25-2022 Permit Progress

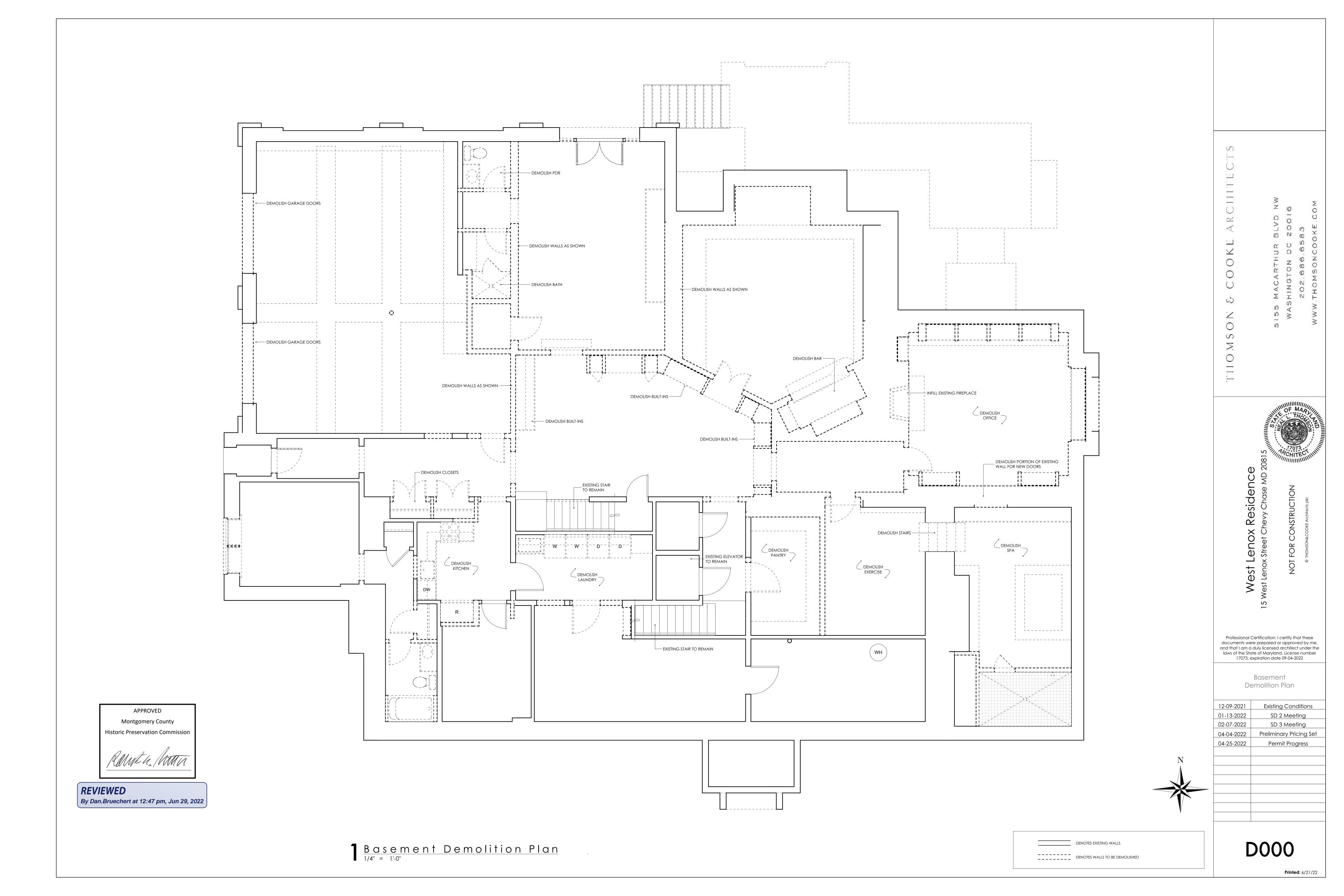
A300

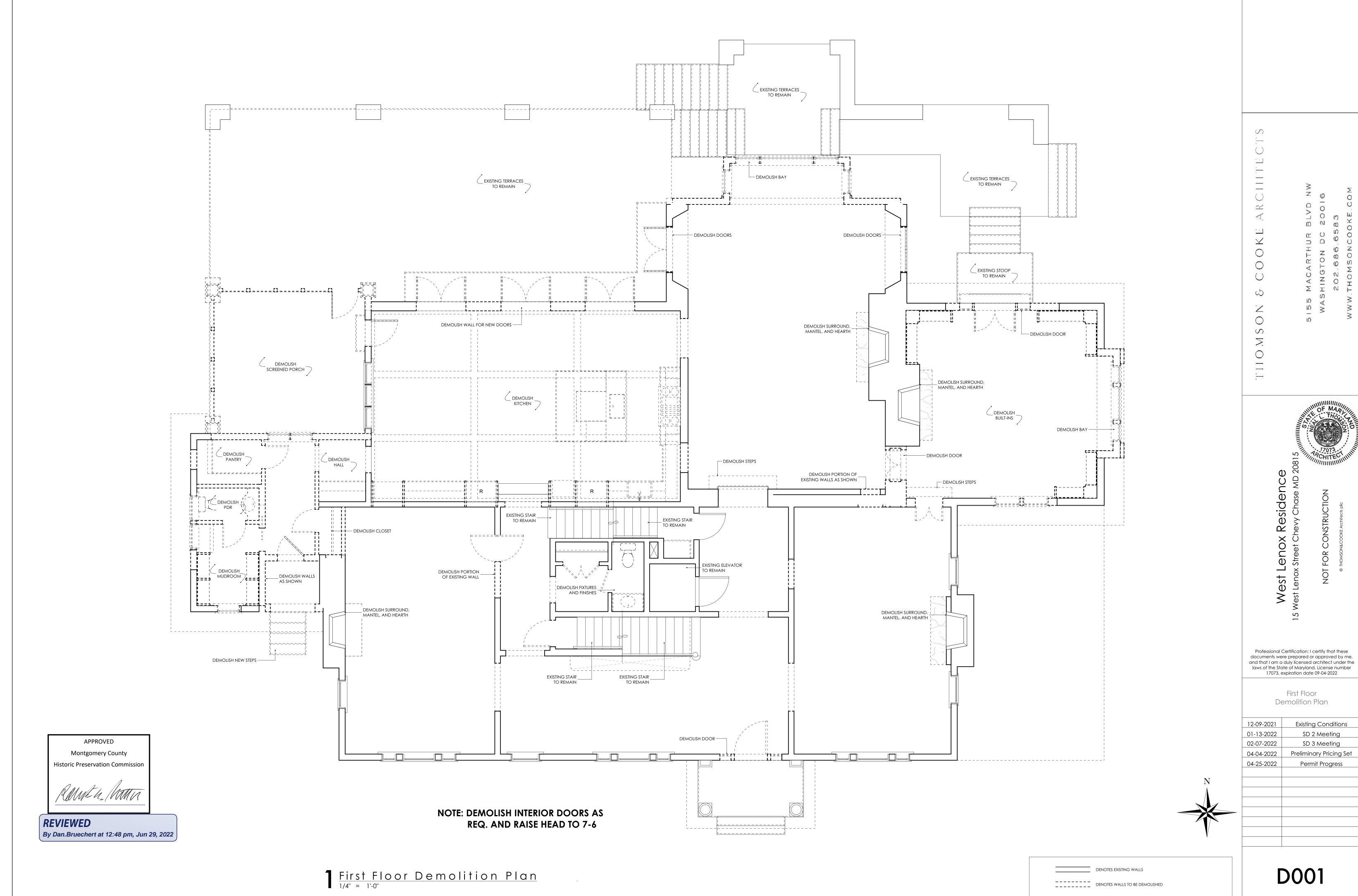
 $3 \frac{\text{Wall Section At Den}}{\frac{1}{2''} = \frac{1}{-0''}}$

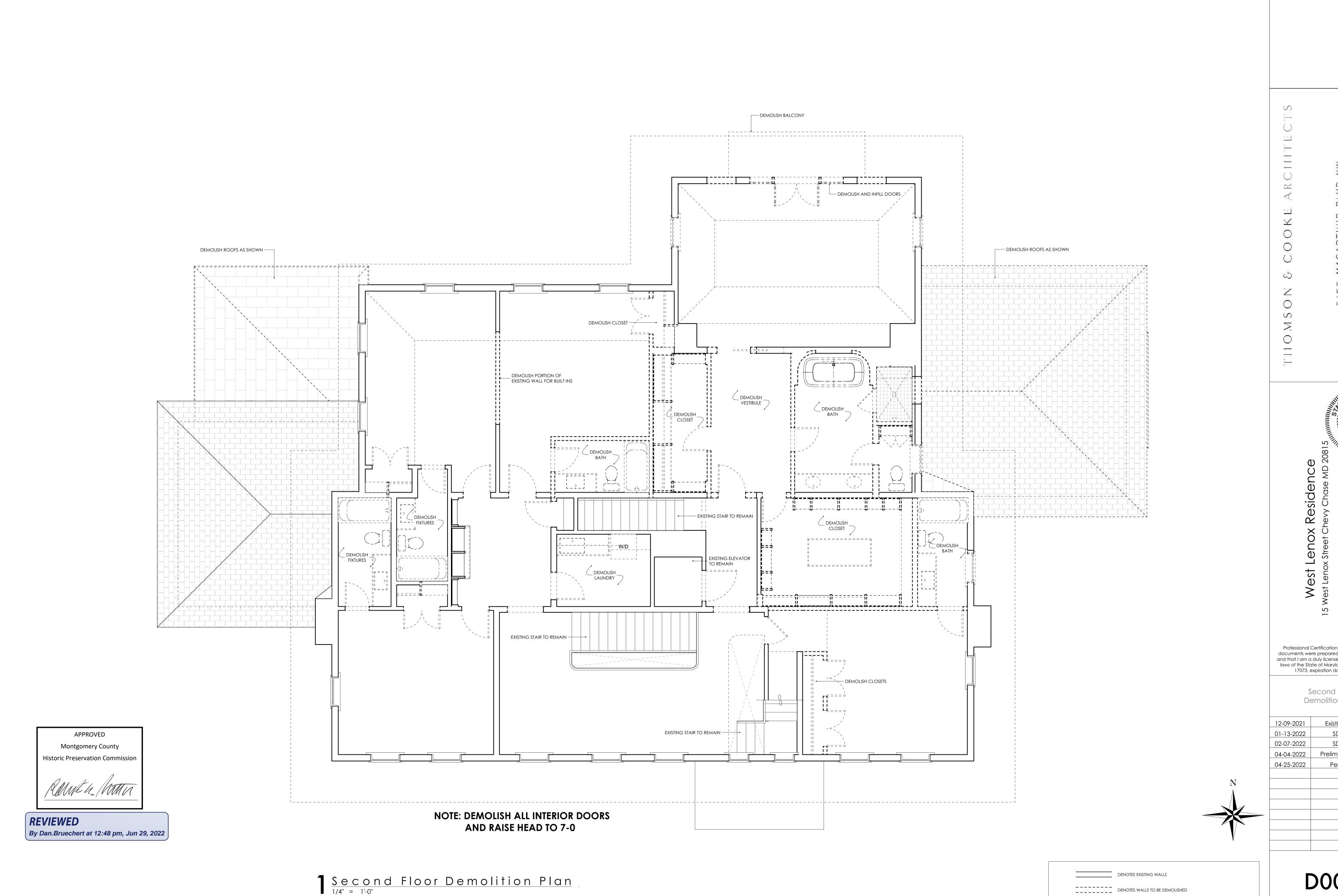




 $2^{\text{Wall Section At Family Room}}$





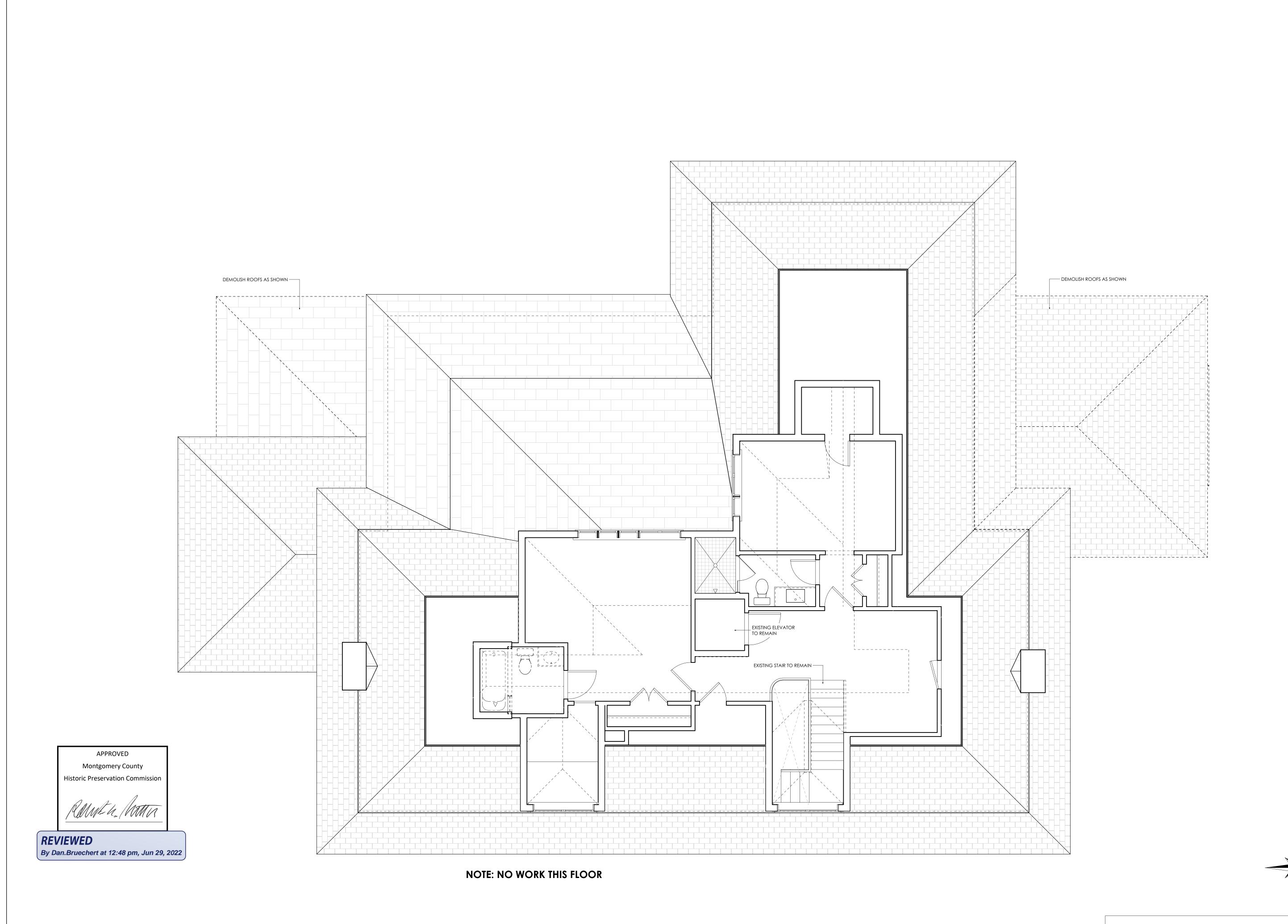


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> Second Floor Demolition Plan

12-09-2021	Existing Conditions
01-13-2022	SD 2 Meeting
02-07-2022	SD 3 Meeting
04-04-2022	Preliminary Pricing Se
04-25-2022	Permit Progress
	_

D002



West Lenox Street Chevy Chase MD 2

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Attic Demolition Plan

12-09-2021 Existing Conditions 01-13-2022 SD 2 Meeting SD 3 Meeting 04-04-2022 Preliminary Pricing Set Permit Progress

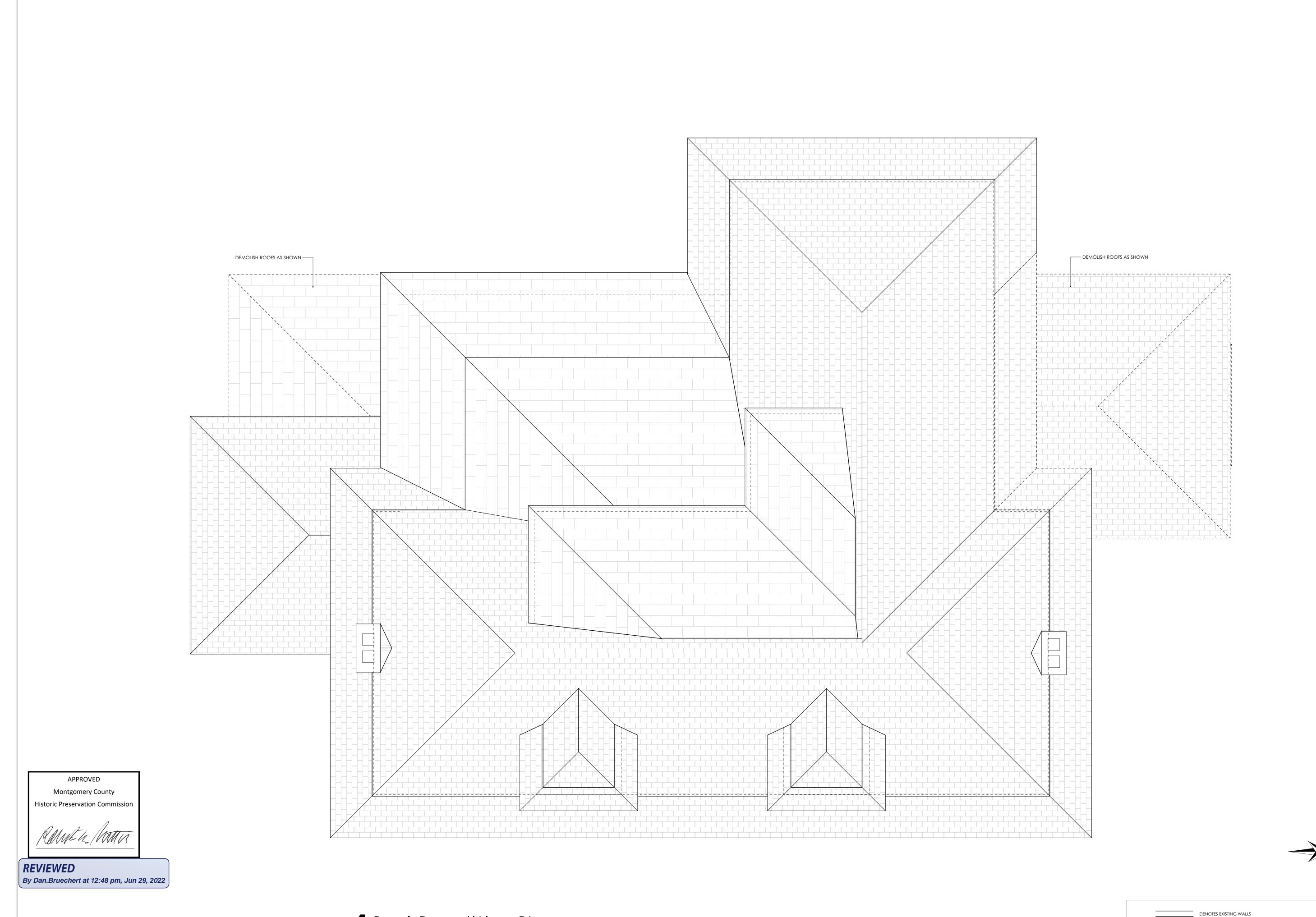
02-07-2022 04-25-2022

D003

Printed: 6/21/22

 $1 \frac{Attic Demolition Plan}{\frac{1}{4"} = \frac{1}{-0"}}$

DENOTES EXISTING WALLS DENOTES WALLS TO BE DEMOLISHED



West Lenox Street Chevy Chase MD 2

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License number 17073, expiration date 09-04-2022

Roof Demolition Plan

12-09-2021 Existing Conditions 01-13-2022 02-07-2022 SD 2 Meeting SD 3 Meeting 04-04-2022 Preliminary Pricing Set

04-25-2022 Permit Progress

D004

Printed: 6/21/22

DENOTES WALLS TO BE DEMOLISHED

 $\begin{array}{lll}
\mathbf{Roof Demolition Plan} \\
\frac{1}{4"} &= 1'-0"
\end{array}$



APPROVED Montgomery County **Historic Preservation Commission**

REVIEWED By Dan.Bruechert at 12:48 pm, Jun 29, 2022 S

West Lenox Street Chevy Chase MD 2

Professional Certification: I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, License number 17073, expiration date 09-04-2022

Building Envelope

12-09-2021 Existing Conditions 01-13-2022 SD 2 Meeting 02-07-2022 SD 3 Meeting 04-04-2022 Preliminary Pricing Set 04-25-2022 Permit Progress

EC001