



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Robert K. Sutton  
*Chairman*

Date: April 14, 2022

### MEMORANDUM

TO: Mitra Pedoeem  
Department of Permitting Services

FROM: Michael Kyne  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 984279: New hardscape driveway, door replacement, wood repairs, other rehabilitation items

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the March 23, 2022 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Marwan Hishmeh (Richard J Vitullo, Architect)  
Address: 7200 Carroll Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.





**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:

HAWP# 984279

DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: Marwan Hishmeh  
Address: 904 Erie Avenue  
Daytime Phone: 301-448-0704

E-mail: aceconstruction127@gmail.com  
City: Takoma Park Zip: 20912  
Tax Account No.: \_\_\_\_\_

**AGENT/CONTACT (if applicable):**

Name: Richard J Vitullo AIA  
Address: 7016 Woodland Avenue  
Daytime Phone: 301-806-6447

E-mail: rjv@vitullostudio.com  
City: Takoma Park Zip: 20912  
Contractor Registration No.: \_\_\_\_\_

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District? Yes Takoma Park  
Is there an Historic Preservation/Land Trust/Environmental map of the easement, and documentation from the East? No  
Are other Planning and/or Hearing Examiner Approvals (Conditional Use, Variance, Record Plat, etc.) in application? No  
supplemental information.

Building Number: 7200 Street: Carroll  
Town/City: Takoma Park Nearest Cross Street: Philadelphia Avenue  
Lot: Pt. of 1 Block: 3 Subdivision: Hillcrest Parcel: \_\_\_\_\_

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Richard J. Vitullo*

**REVIEWED**  
By Michael Kyne at 1:38 pm, Apr 14, 2022

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |   |   |  |
|---|---|--|
| <input type="checkbox"/> New Construction   | <input checked="" type="checkbox"/> Deck/Porch          | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition           | <input type="checkbox"/> Fence                          | <input type="checkbox"/> Solar                           |
| <input type="checkbox"/> Demolition         | <input checked="" type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting           |
| <input type="checkbox"/> Grading/Excavation | <input checked="" type="checkbox"/> Roof                | <input checked="" type="checkbox"/> Window/Door          |
|   |   | <input type="checkbox"/> Other: _____                    |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Richard J. Vitullo AIA 2/23/2022

Signature of owner or authorized agent

Date

**OWNERS:**

**Ace Construction**  
7200 Carroll Ave.  
Takoma Park, MD 20912

**AGENT FOR OWNER:**

**Richard J. Vitullo AIA**  
**Vitullo Architecture Studio, PC**  
7016 Woodland Ave.  
Takoma Park, MD 20912

**Adjoining Property Owners**

---

**Kirsten Wyss & Matthew Preiss**  
7140 Carroll Ave.  
Takoma Park, MD 20912

**Estela Hevia**  
7133 Carroll Ave.  
Takoma Park, MD 20912

**Janice Ososky**  
6 Philadelphia Ave.  
Takoma Park, MD 20912

**REVIEWED**

By Michael Kyne at 1:38 pm, Apr 14, 2022

7142 Carroll Avenue  
Takoma Park, MD 20912

7137 Carroll Avenue  
Takoma Park, MD 20912

7211 Carroll Avenue  
Takoma Park, MD 20912



Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

See attached

Description of Work Proposed: Please give an overview of the work to be undertaken:

See attached

**REVIEWED**

*By Michael Kyne at 1:38 pm, Apr 14, 2022*

APPROVED  
Montgomery County  
Historic Preservation Commission



---

Work Item 1: \_\_\_\_\_

Description of Current Condition:

Proposed Work:

Work Item 2: \_\_\_\_\_

Description of Current Condition:

Proposed Work:

**REVIEWED**  
By Michael Kyne at 1:38 pm, Apr 14, 2022

APPROVED  
Montgomery County  
Historic Preservation Commission  


Work Item 3: \_\_\_\_\_

Description of Current Condition:

Proposed Work:

**HISTORIC AREA WORK PERMIT  
CHECKLIST OF  
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

**REVIEWED**  
By Michael Kyne at 1:38 pm, Apr 14, 2022

APPROVED  
Montgomery County  
Historic Preservation Commission

  
\_\_\_\_\_

**DESCRIPTION OF EXISTING STRUCTURE,  
ENVIRONMENTAL SETTING AND HISTORICAL FEATURES  
AT:  
7200 Carroll Ave. Takoma Park, MD 20912**

*This is an "Contributing Resource" Bungalow style house, built in 1923 +/-, and it is located in the Takoma Park Historic District. It is a 2-story house, rectangular in shape, 25'-4" across the front at Carroll Ave. and 38'-6" along the side with a full basement.*

- 1) **Main Structure:** *It is a wood-framed structure house with a gable roof.*
- 2) **Windows/Doors:** *The windows are mostly vinyl-replacement double hung with painted wood exterior trim. Front entry door is fiberglass.*
- 3) **Finishes:** *The exterior finish is a pebble-dash stucco.*
- 4) **Foundation:** *The foundation is unpainted brick.*
- 5) **Porches/Decks:** *The front porch is covered by the roof of the main house, with 3 stucco-clad wood columns and a wood railing. The porch steps are wood. The porch flooring is open-joint wood 1 x 6.*
- 6) **Roof:** *The roofing is composed of asphalt shingles.*
- 7) **Driveway:** *Gravel and grass.*

**REVIEWED**

*By Michael Kyne at 1:38 pm, Apr 14, 2022*



DESCRIPTION OF THE **PROPOSED PROJECT** AND ITS  
EFFECT ON THE HISTORIC RESOURCE:  
7200 Carroll Ave. Takoma Park, MD 20912

**Existing Front Porch:**

- 1) **Porch floor:** Replace the dilapidated wood flooring with new pressure-treated 1 x 6.
- 2) **Wood railings:** Repair/repaint wood railing as necessary.
- 3) **Wood stairs:** repair/replace with new pressure-treated wood.

**Main House:**

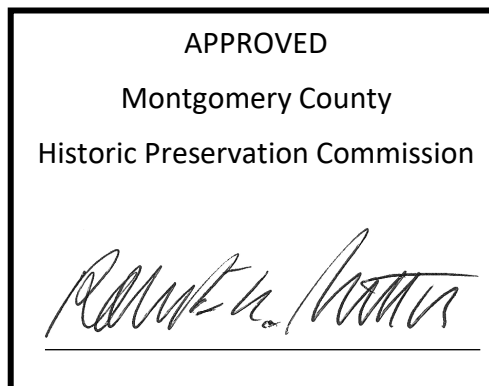
1. **Front Entry:** Replace existing fiberglass door with new painted wood door, with glass lites.
2. **Roofing:** Replace with new asphalt roofing.

**Yard:**

1. **Driveway:** Replace gravel driveway with new light-gray colored concrete.

**REVIEWED**

By Michael Kyne at 1:38 pm, Apr 14, 2022

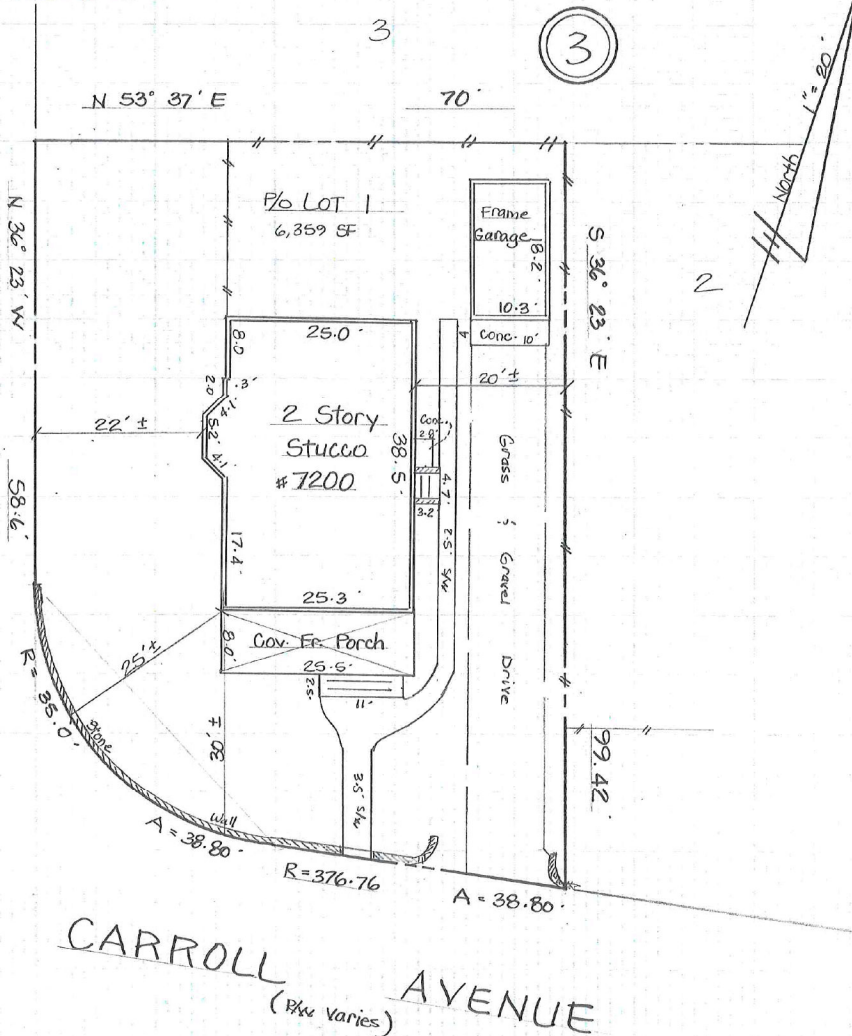




**NOTES:**

1. This plat is not intended for use in the establishment of property lines, but prepared for the exclusive use of the present property owners of record and/or those who purchase, mortgage or guarantee the title within six months from the date hereof and as to them i warrant this house location plat.
2. For title purposes only.
3. No title reports furnished at this time, subject to all easements and rights of ways of record.
4. Property corners have not been set with this survey. Property information was taken from the best available records.
5. This location plat is not to be used for the construction of fences or other improvements. A boundary Survey and lot stakeout would have to be performed to determine the location of all property lines as shown.
6. The Property shown hereon is located within Zone X as shown on F.E.M.A. Lood Insurance Rate Map Community Panel No. \_\_\_\_\_ of Montgomery County, Maryland.
7. This plat is valid within 6 months of date of signature.

PHILADELPHIA (40'±) AVENUE



CARROLL AVENUE  
(R/W Varies)

**REVIEWED**  
By Michael Kyne at 1:38 pm, Apr 14, 2022

**SURVEYOR'S CERTIFICATE**  
I certify that the position of all the existing improvements on the above described property has been carefully surveyed by me or directly under my supervision and that they are located as shown. THIS IS NOT A GUARANTEE OF ACCURACY.

Date: 2-11-2022  
 Gregory C. Benefiel  
 Registered Professional  
 Land Surveyor, MD. No. 10994

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*Robert A. [Signature]*

**SURVEYS, INC.**  
 SURVEYORS \* ENGINEERS \* LAND PLANNERS  
 PERMIT SERVICES  
 350 MAIN STREET  
 LAUREL, MARYLAND, 20707  
 PHONE 301-716-0561 E-MAIL SURVEYS@COMVERIZON.NET

(13<sup>TH</sup>) Wheaton Election District  
 Montgomery County, Maryland

Plat Book 2 Plat No. 140  
 Liber 64750 Folio 163 **S-5804**



**REVIEWED**  
By Michael Kyne at 1:38 pm, Apr 14, 2022

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Ronald H. [Signature]*

**REVIEWED**

*By Michael Kyne at 1:39 pm, Apr 14, 2022*

APPROVED

Montgomery County

Historic Preservation Commission

*Ronald A. Patton*

7200

**REVIEWED**

*By Michael Kyne at 1:39 pm, Apr 14, 2022*

APPROVED

Montgomery County

Historic Preservation Commission

*Robert A. Adams*

1200

**REVIEWED**

*By Michael Kyne at 1:38 pm, Apr 14, 2022*

APPROVED

Montgomery County

Historic Preservation Commission



Robert H. Adams

**REVIEWED**

*By Michael Kyne at 1:38 pm, Apr 14, 2022*

APPROVED

Montgomery County

Historic Preservation Commission



**REVIEWED**

*By Michael Kyne at 1:39 pm, Apr 14, 2022*

APPROVED

Montgomery County  
Historic Preservation Commission

*Rachel A. [Signature]*

**REVIEWED**

*By Michael Kyne at 1:39 pm, Apr 14, 2022*

APPROVED

Montgomery County  
Historic Preservation Commission

*Ronald A. Patton*



**REVIEWED**

*By Michael Kyne at 1:38 pm, Apr 14, 2022*

APPROVED

Montgomery County

Historic Preservation Commission



---

