



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: March 25, 2022

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #985142 - Window Replacement and Hardscape Alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the March 23, 2021 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Jens Dakin & Katherine Nesbitt
Address: 7818 Hampden Ln., Bethesda

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



GENERAL NOTES

The following notes shall apply to all drawings made as part of the Contract for construction for this project, including those drawings listed in the INDEX of this sheet:

- Contractor must not scale drawings for dimensions. Any questions regarding dimensions must be directed to the architect.
- Contractor must verify all dimensions in the field prior to the start of construction and contact architect with any questions or discrepancies.
- Dimensions shown are to face of structure (i.e. face of stud, masonry, or existing construction) unless noted otherwise on drawings.
- The details in the drawings and specifications cover the installation of all materials and work as called for on the drawings and specifications. It is the responsibility of the contractor to check the documents prior to the start of work. Any discrepancies shall be brought to the architect's attention with a notification for clarification. Any work installed in conflict with the architectural drawings and specifications shall be corrected by the contractor at their own expense. Items to be furnished by owner are noted and agreed to in the contract between owner and contractor.
- Questions due to any apparent conflicts within the documents should be brought to the architect's attention in time to be clarified by addendum. If the contractor's responsibility for the work that is in question cannot be clarified by reference to the contract, then a mutually agreeable good faith option shall be adopted.
- All construction resulting from execution of this work shall conform to the International Residential Code (IRC) and International Energy Conservation Code (IECC), 2018 edition, as amended by Montgomery County Executive Regulation no. 8-12.
- Throughout the plans there are abbreviations which are in common use. The list of abbreviations is not intended to be complete, and any questions about abbreviations should be addressed with the architect.
- The residence will be occupied for the duration of the project. Care should be taken to keep the premises clean and safe for the occupants at the close of each day's work. Interruptions in the utility services shall be kept at a minimum. All utilities shall be operable for the Owner's continued use during the times of continued residence. Coordinate with Owner any breaks in service well in advance of anticipated break.
- The construction work described in these drawings is applicable only to this project. The Architect accepts no liability whatsoever for any construction work performed on the basis of these drawings if such work is not executed under a general Contract.
- Contractor shall comply with current requirements for random mitigation.

PROJECT INFORMATION

ADDRESS: 7818 Hampden Lane
Bethesda, Maryland 20814

OWNERS: Jens Dakin
Katie Nesbitt

OWNERS' ADDRESS: 7818 Hampden Lane
Bethesda, Maryland 20814

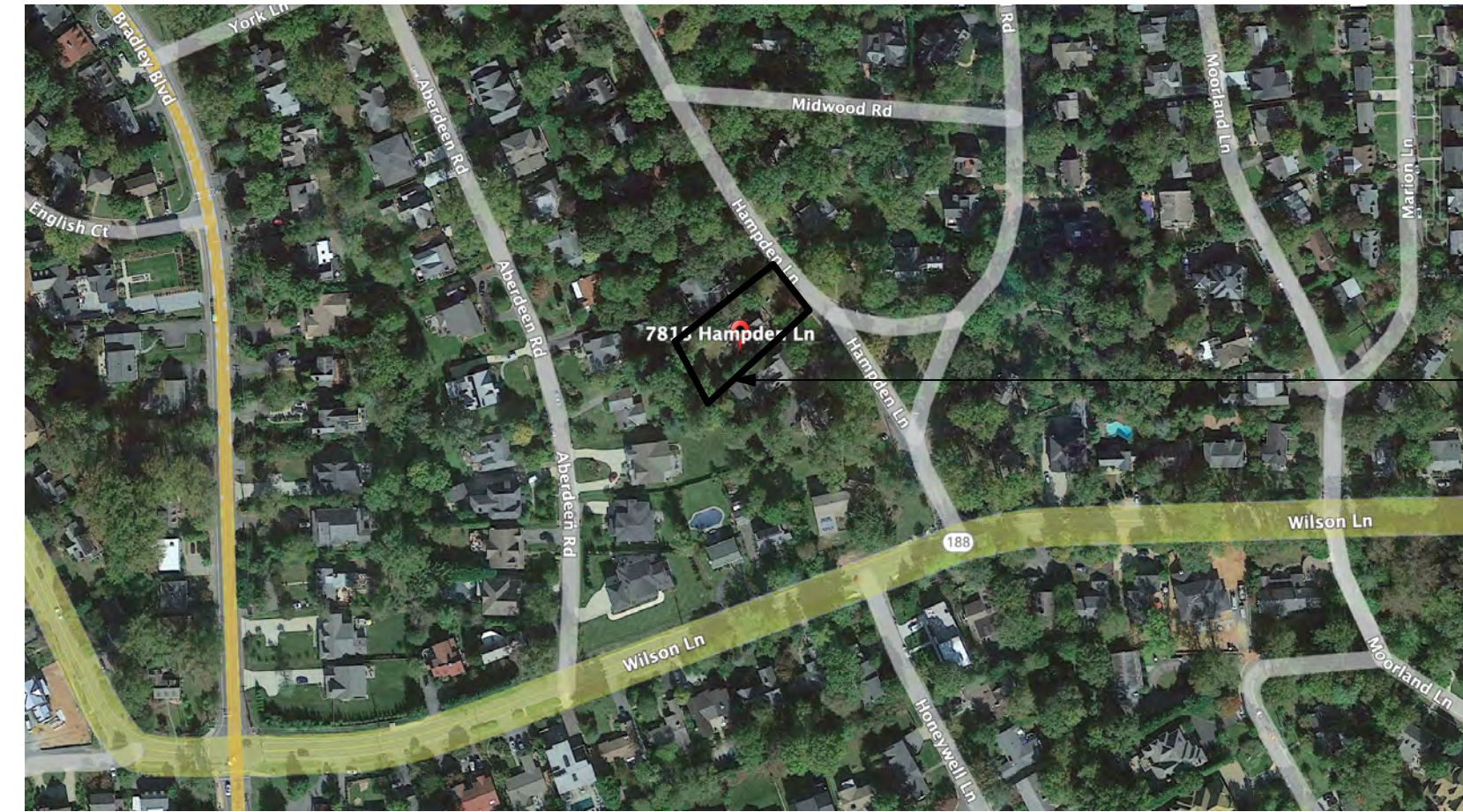
DESIGN CRITERIA

RESIDENTIAL CONSTRUCTION DESIGN PARAMETERS:

GROUND SNOW LOAD	30 PSF
WIND SPEED	115 MPH
SEISMIC DESIGN CATEGORY	B
SUBJECT TO DAMAGE FROM:	
WEATHERING	SEVERE
TERMITE	MODERATE TO HEAVY
DECAY	SLIGHT TO MODERATE
FROST LINE DEPTH	30"
WINTER DESIGN TEMP.	13 DEGREE F.
ICE SHEILD UNDERLAYMENT	REQUIRED
AIR FREEZING INDEX	300
MEAN ANNUAL TEMP.	55 DEGREE F.

PROJECT NARRATIVE

- Replace existing pipe railing on rear yard stone terrace with a new wrought-iron railing (not visible from public right of way)
- Remove two French doors at rear yard terrace and replace one with new French doors with casement window sidelites, and one with a new wider French Door. Replace half-glass door (not original) with new painted wood mudroom door at garage side of house. Replace aluminum storm door at front entry door with a new painted wood storm door. (front doors visible from public right of way)
- Add two windows to the rear (southwest) elevation of the house, and replace/raise headers on two windows on the side (northwest) of the house (not visible from right of way)
- Add/replace exterior sconces at all locations with new selected sconce. (front visible from public right of way)
- Replace bay door with window matching the others. Extend the brick base and siding around the entire bay.



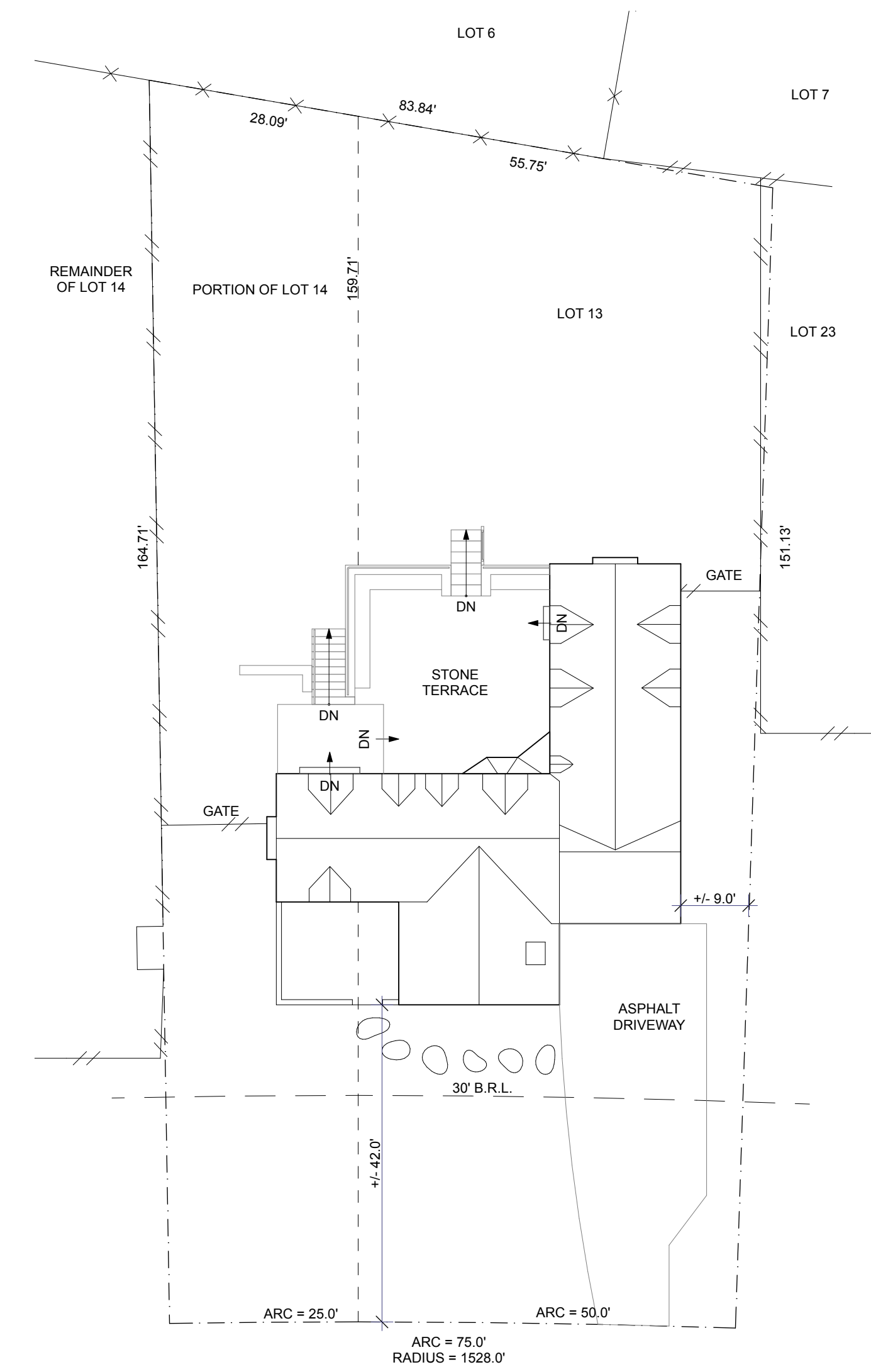
VICINITY MAP



ZONING MAP

PROJECT SITE

PROJECT SITE



EXISTING AND PROPOSED SITE PLAN (NO CHANGE)

SCALE: 1/16" = 1'-0"



KEY TO MATERIALS AND SYMBOLS

	WOOD FRAMING-CONTINUOUS		WOOD FRAMED WALL		CONCRETE MASONRY UNIT		RIGID INSULATION		ELEVATION
	WOOD BLOCKING		METAL		BATT INSULATION		WINDOW TYPE		REVISION NUMBER
	FINISH WOOD		GRAVEL		SPRAY FOAM INSULATION		DOOR TYPE		ENLARGED DETAIL
	BRICK		CONCRETE		STONE		PLUMBING		WALL SECTION
	PLYWOOD		GYPSUM WALL BOARD		INTERIOR FIXTURE TYPE		BUILDING SECTION		SMOKE DETECTOR

LIST OF ABBREVIATIONS

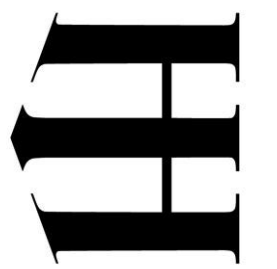
Abbreviation	Item	Abbreviation	Item
@	At	JST.	Joist
A.F.F.	Above Finish Floor	JT.	Joint
ABV.	Above	M. MAS.	Masonry
A.H.U.	Air Handling Unit	MDO	Medium Density Overlay
APPROX.	Approximate	MDF	Medium Density Fiberboard
BD.	Board	MEM.	Membrane
Bldg.	Building	M.O.	Masonry Opening
BLKG.	Blocking	MECH.	Mechanical
C.	Concrete	Mil.	1/1000 inch
CL	Center Line	MIN.	Minimum
CLG.	Ceiling	O.C.	On Center
C.J.	Ceiling Joist	O.W.T.	Open Web Truss
CMU	Concrete Masonry Unit	PLY., PLYWD	Plywood
COL	Column	P.T.	Pressure Treated
CONC.	Concrete	PTD.	Painted
CONT.	Continuous	R.	Riser(s)
CPR.	Copper	R.O.	Rough Opening
DWG.	Drawing	REINF.	Reinforcing
EQ	Equal	SHTG.	Sheathing
EX.	Existing	SIM.	Similar
EXT.	Exterior	STD.	Standard
F.D.	Floor Drain	STL.	Steel
FIN.	Finish	ST. STL.	Stainless Steel
FLASH'G	Flashing	STOR.	Storage
FLR.	Floor	STRUC.	Structure
F.O.	Face of	SW.	Switch
F.O.S.	Face of Stud	T	Tread(s)
F.O.M.	Face of Masonry	T&G	Tongue and Groove
FRMG.	Framing	TJ	Truss Joists
FT.	Foot	T.O.	Top of
FTG.	Footing	T.O.ARCH	Top of Arch
GALV.	Galvanized	T.O.W.	Top of Wall
GWB.	Gypsum Wall Board	U.N.O.	Unless Noted Otherwise
HB	Hose Bib	W/	With
HT.	Height/Heat	WD.	Wood
H.W.	Hot Water	WIN., WDW.	Window
IN.	Inch	WPFG	Waterproofing

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A110	EXISTING PHOTOS
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A112	MARVIN WINDOW AND DOOR DETAILS
A113	NEW SCONCE SPECIFICATIONS



REVIEWED
By Dan.Bruechert at 2:04 pm, Mar 25, 2022



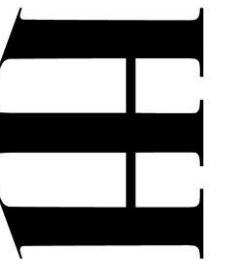
HILL & HURTT ARCHITECTS
335 CONNECTICUT AVE NW
SUITE 101
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202.854.1495

Dakin/Nesbitt
7818 Hampden Lane
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COVER SHEET

A101



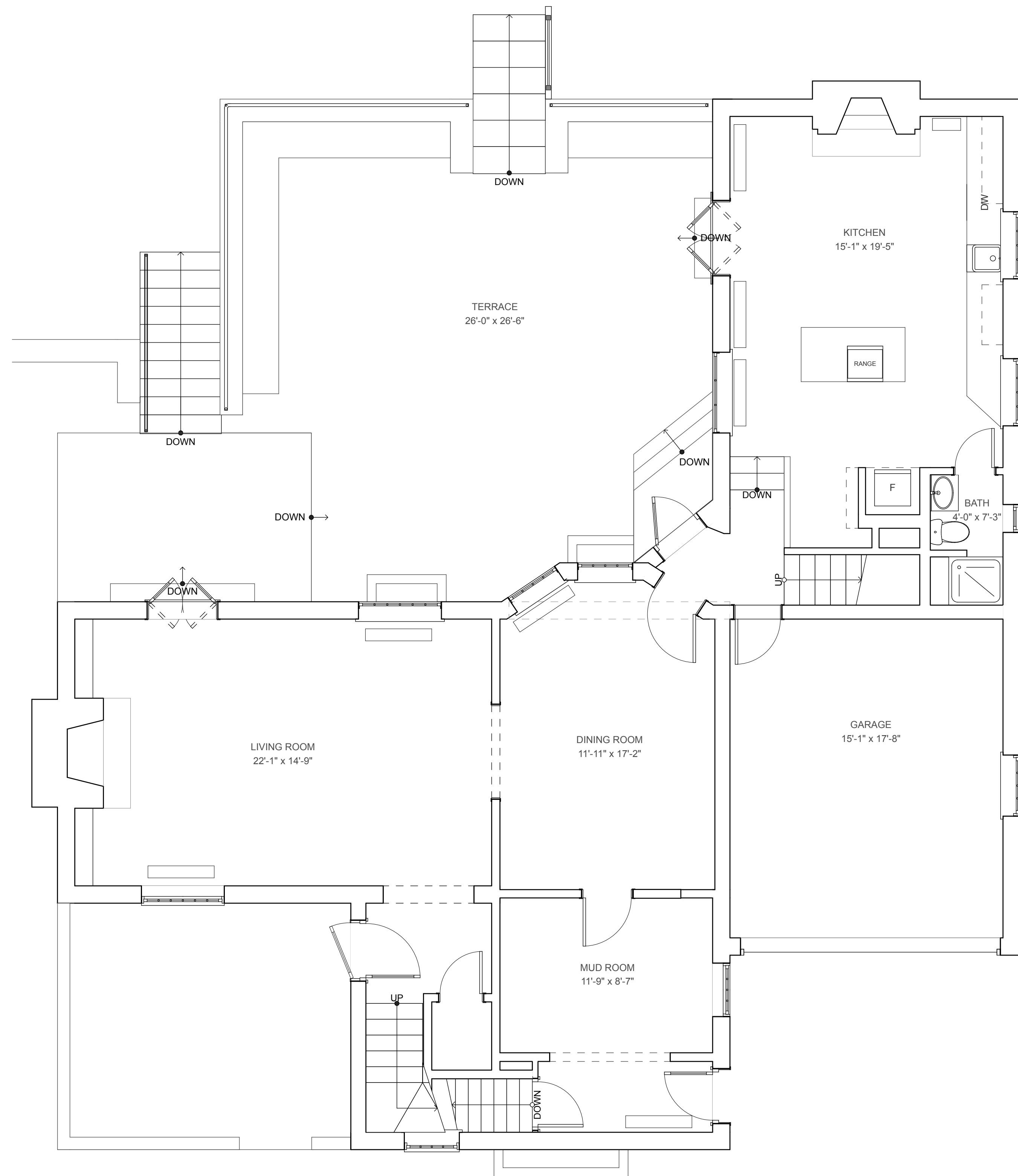
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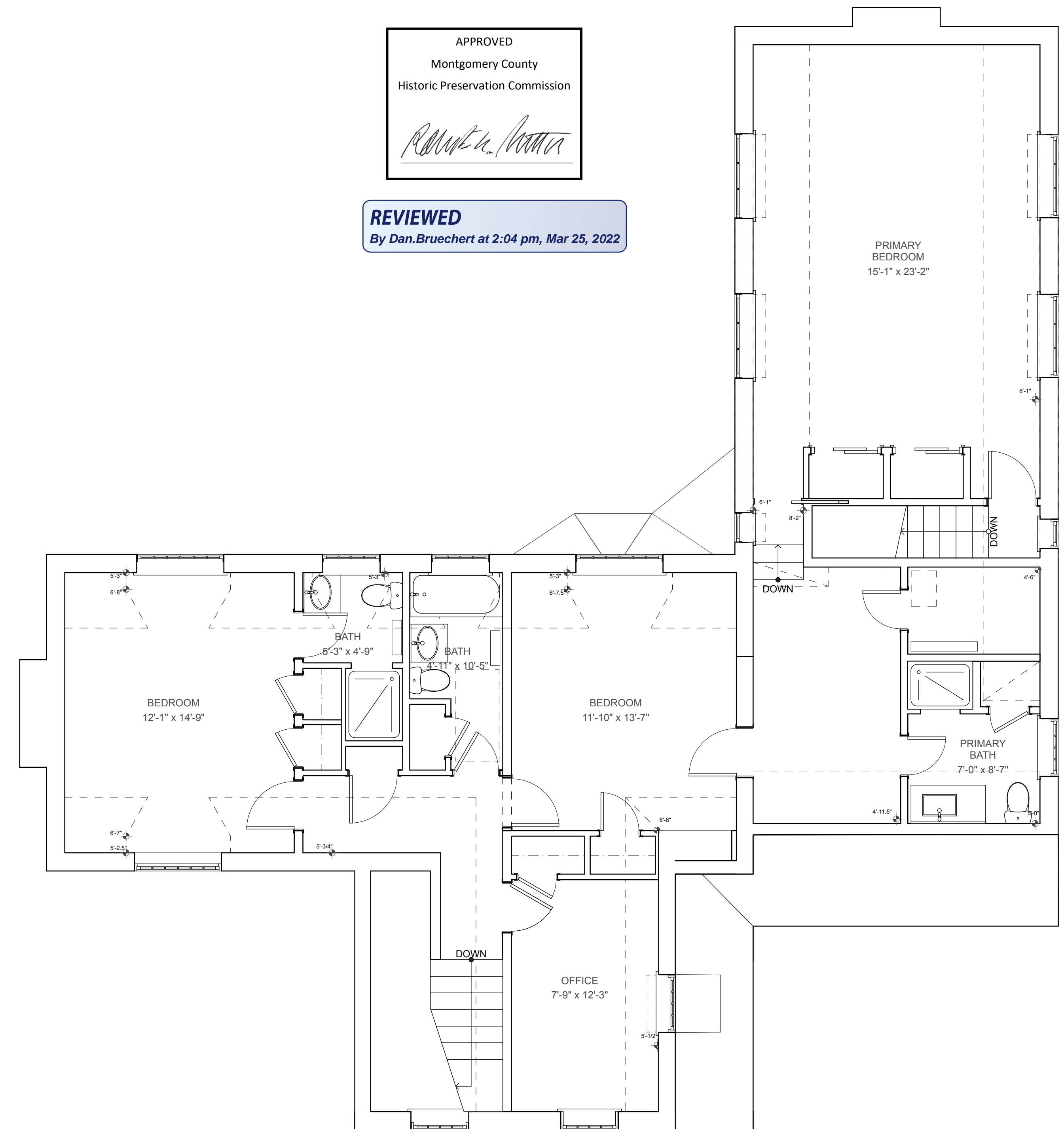
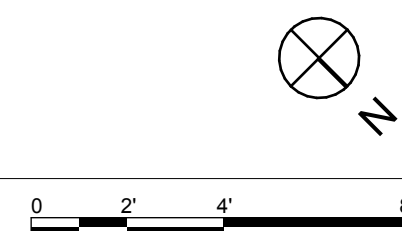
EXISTING PLANS

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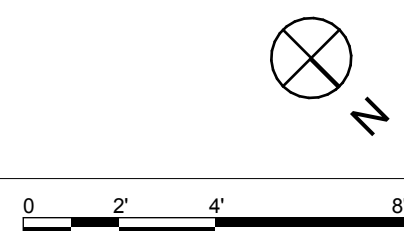
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 A102 EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"



2
 A102 EXISTING SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"



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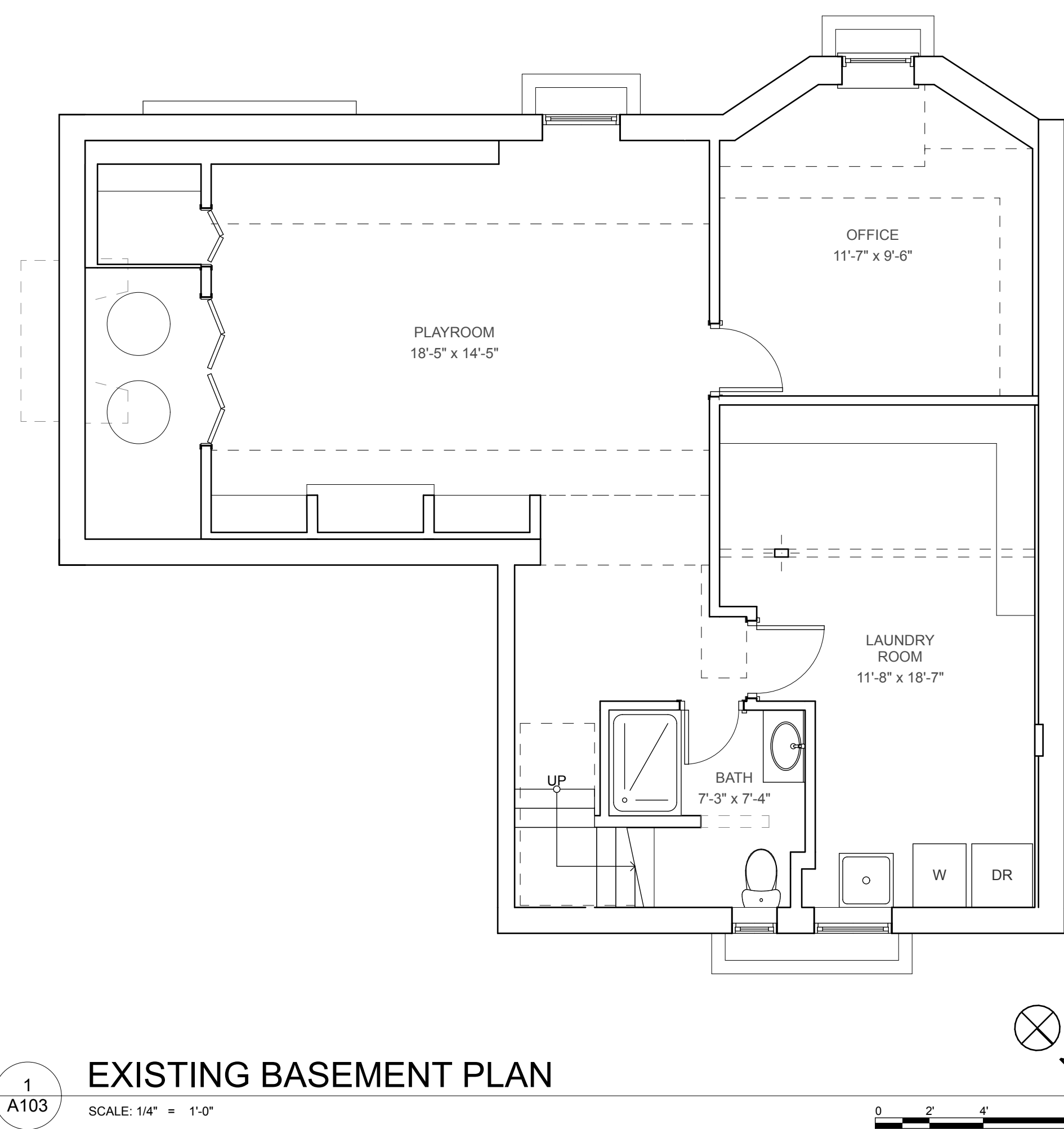
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EXISTING PLANS

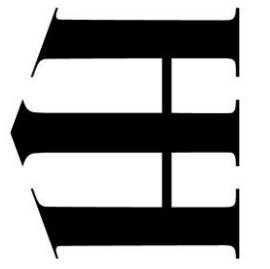
A103



1
 A103
 SCALE: 1/4" = 1'-0"
EXISTING BASEMENT PLAN

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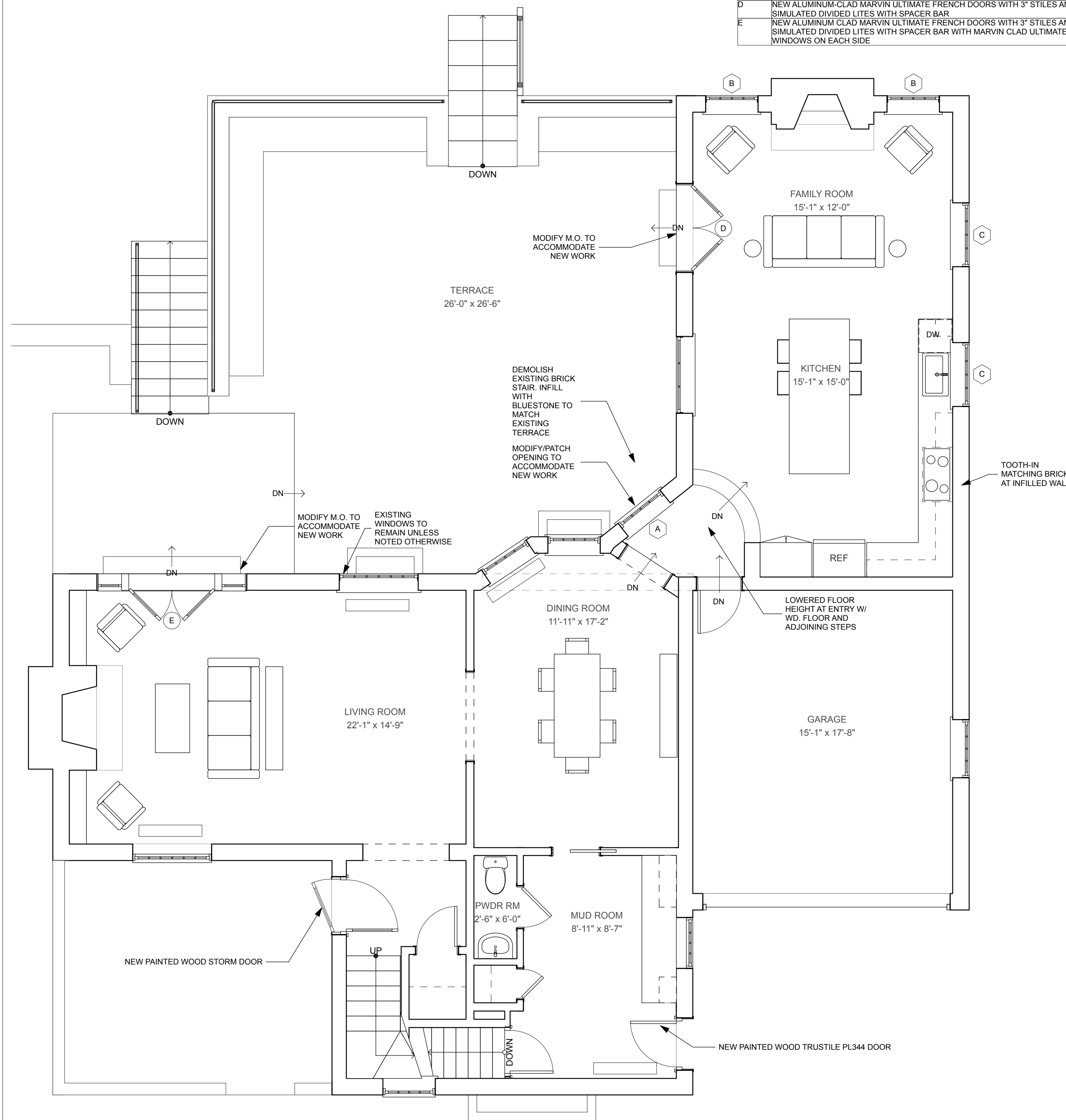
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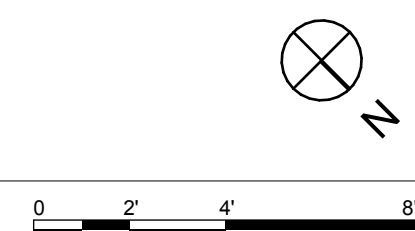
PROPOSED PLANS

A104

NEW WINDOW SCHEDULE	
A	RECLAIMED & REFURBISHED STEEL CASEMENT WINDOW TO MATCH EXISTING IN MODIFIED OPENING TO MATCH EXISTING
B	NEW ALUMINUM-CLAD MARVIN SIMULATED DIVIDED LITE PICTURE WINDOW IN NEW MASONRY OPENING TO MATCH EXISTING
C	NEW ALUMINUM-CLAD MARVIN SIMULATED DIVIDED LITE CASEMENT WINDOWS IN MODIFIED MASONRY OPENING TO MATCH EXISTING
D	NEW ALUMINUM-CLAD MARVIN ULTIMATE FRENCH DOORS WITH 3" STILES AND RAILS AND SIMULATED DIVIDED LITES WITH SPACER BAR
E	NEW ALUMINUM CLAD MARVIN ULTIMATE FRENCH DOORS WITH 3" STILES AND RAILS AND SIMULATED DIVIDED LITES WITH SPACER BAR WITH MARVIN CLAD ULTIMATE CASEMENT WINDOWS ON EACH SIDE



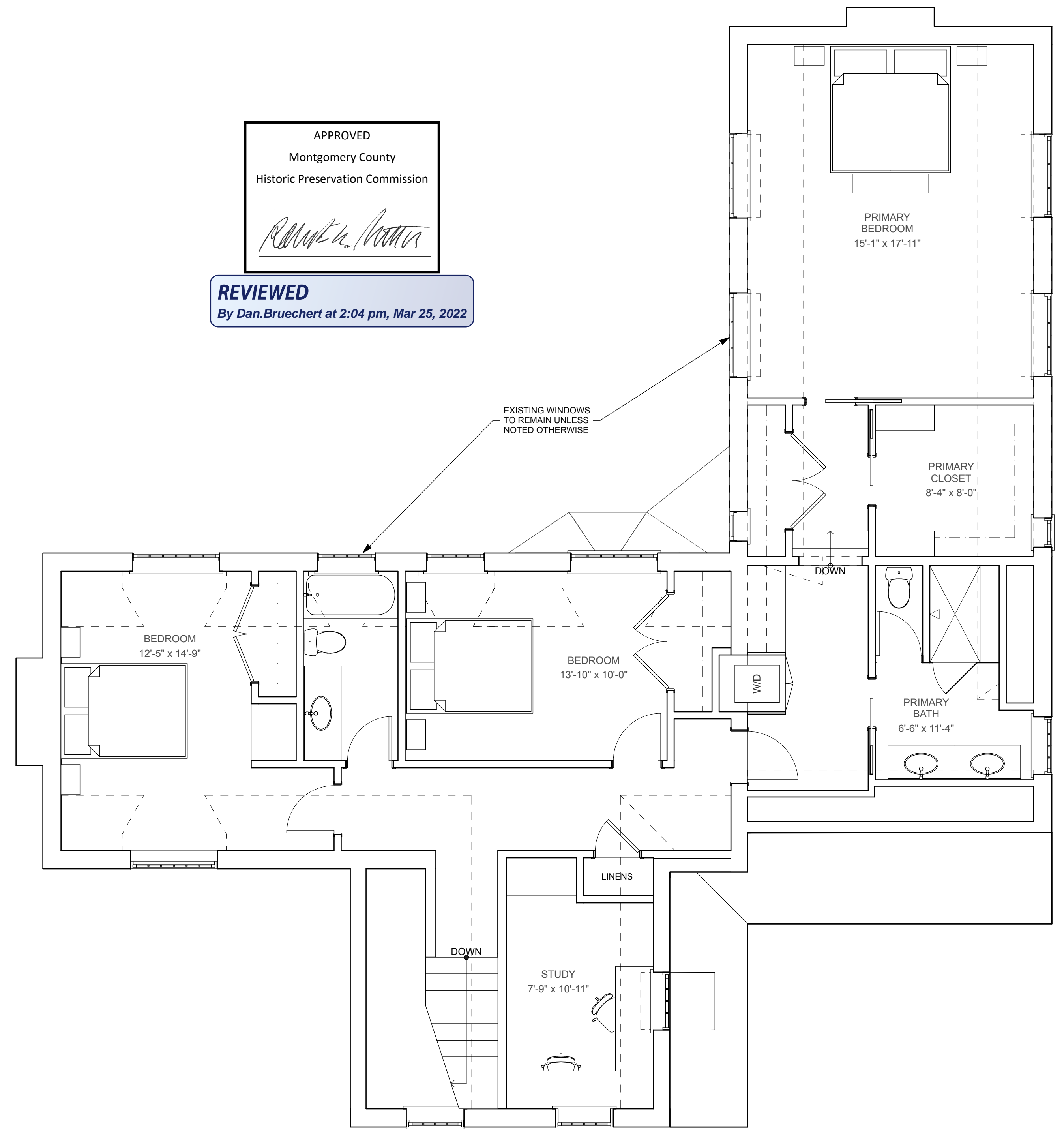
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 PROPOSED FIRST FLOOR PLAN
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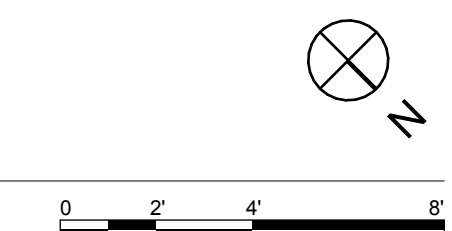
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2
 A104
 PROPOSED SECOND FLOOR PLAN
 SCALE: 1/4" = 1'-0"





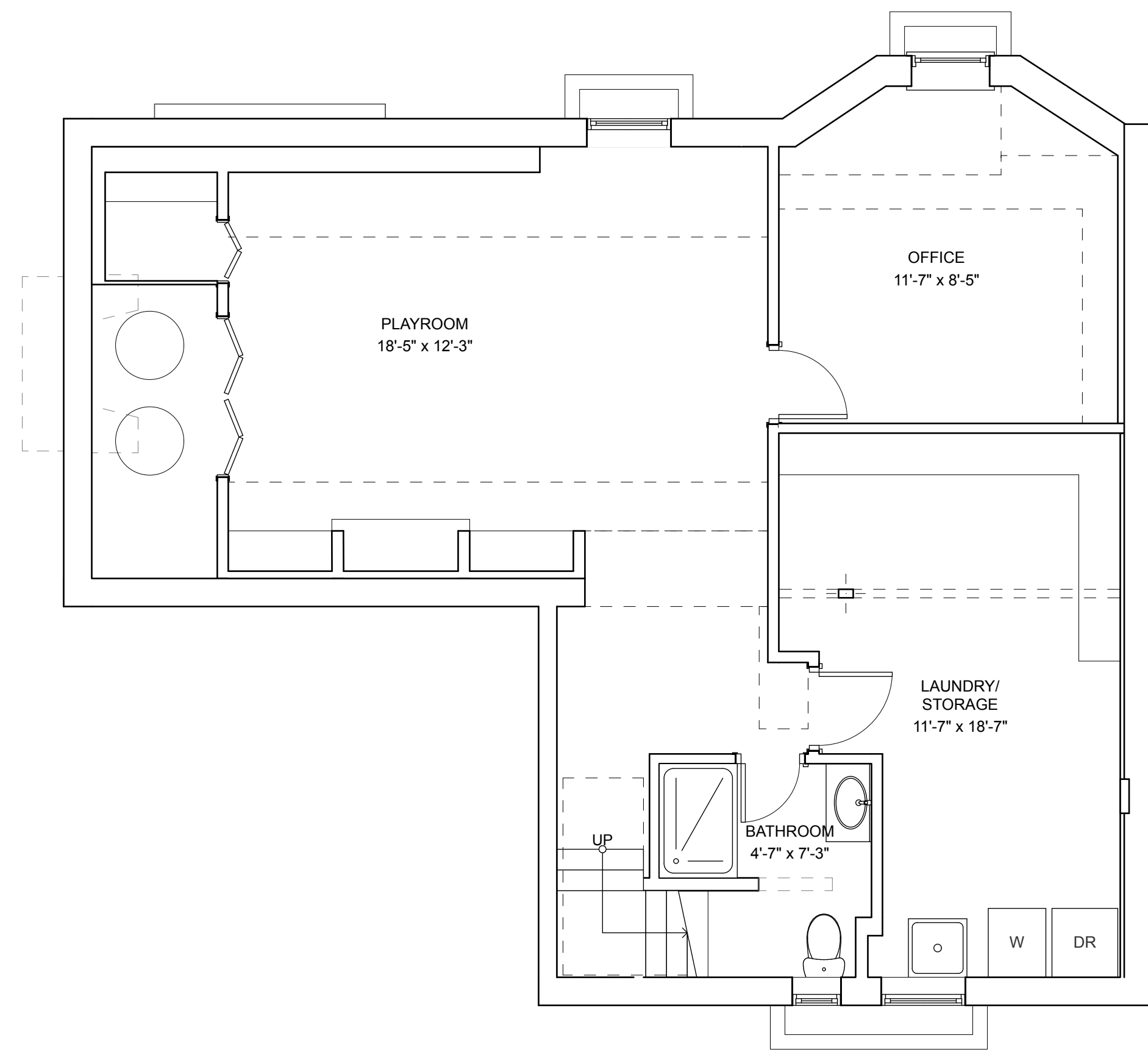
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PROPOSED PLANS

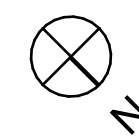
A105



1
A105

PROPOSED BASEMENT PLAN (NO CHANGE)

SCALE: 1/4" = 1'-0"



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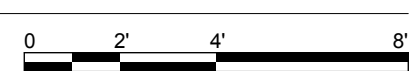
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1
A106 EXISTING NORTHEAST ELEVATION (HAMPDEN LANE ELEVATION)
SCALE: 1/4" = 1'-0"



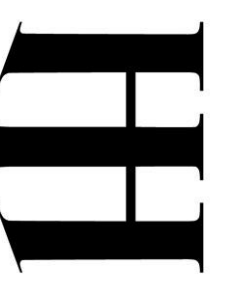
2
A106 EXISTING NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



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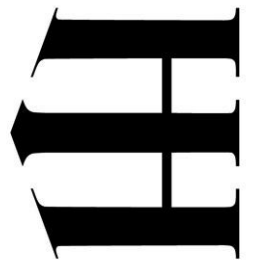


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EXISTING ELEVATIONS



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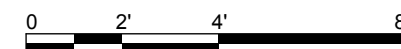
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EXISTING ELEVATIONS

A107



1
A107
EXISTING SOUTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



2
A107
EXISTING SOUTHEAST ELEVATION
SCALE: 1/4" = 1'-0"

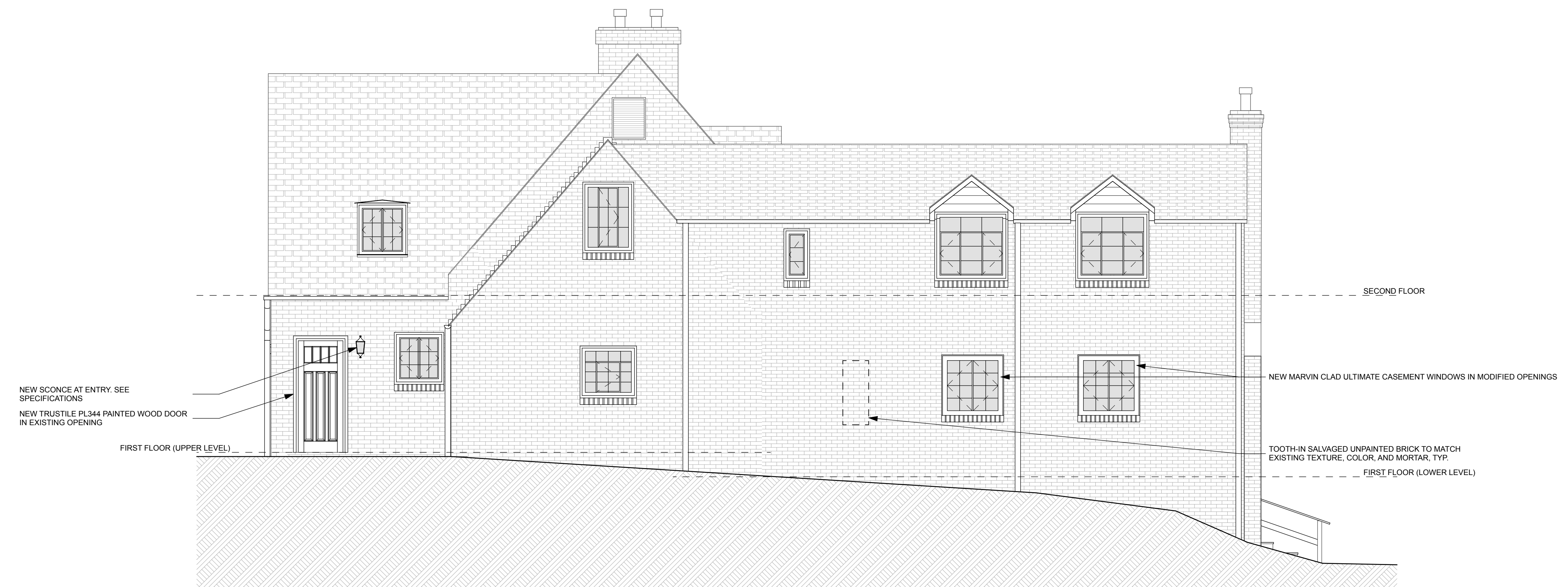


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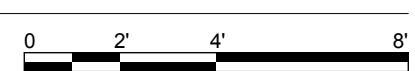
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1
A108 PROPOSED NORTHEAST ELEVATION (HAMPDEN LANE ELEVATION) (NO CHANGE)
SCALE: 1/4" = 1'-0"



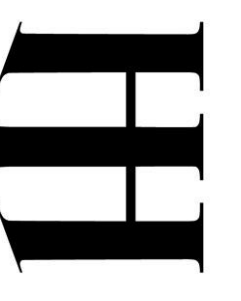
2
A108 PROPOSED NORTHWEST ELEVATION
SCALE: 1/4" = 1'-0"



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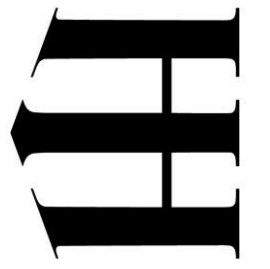
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PROPOSED ELEVATIONS

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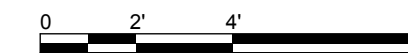
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PROPOSED ELEVATIONS

A109



1
 A109
PROPOSED SOUTHWEST ELEVATION
 SCALE: 1/4" = 1'-0"



2
 A109
PROPOSED SOUTHEAST ELEVATION
 SCALE: 1/4" = 1'-0"



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1 REAR ELEVATION (SOUTHWEST)
A110



2 COURTYARD ELEVATION (SOUTHEAST)
A110



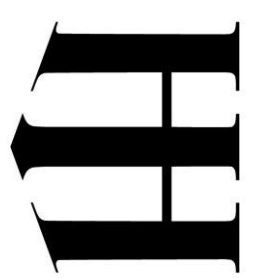
3 COURTYARD DETAIL (SOUTHWEST)
A110



4 COURTYARD DETAIL (SOUTHWEST)
A110

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EXISTING PHOTOS



1 FRONT ELEVATION (NORTHEAST)
A111



2 FRONT ENTRY DETAIL (SOUTHEAST)
A111



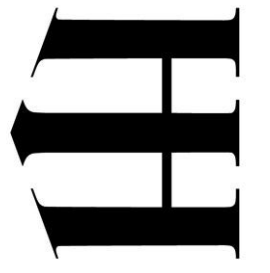
3 GARAGE DETAIL (NORTHWEST)
A111

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4 SIDE DETAIL (NORTHWEST)
A111



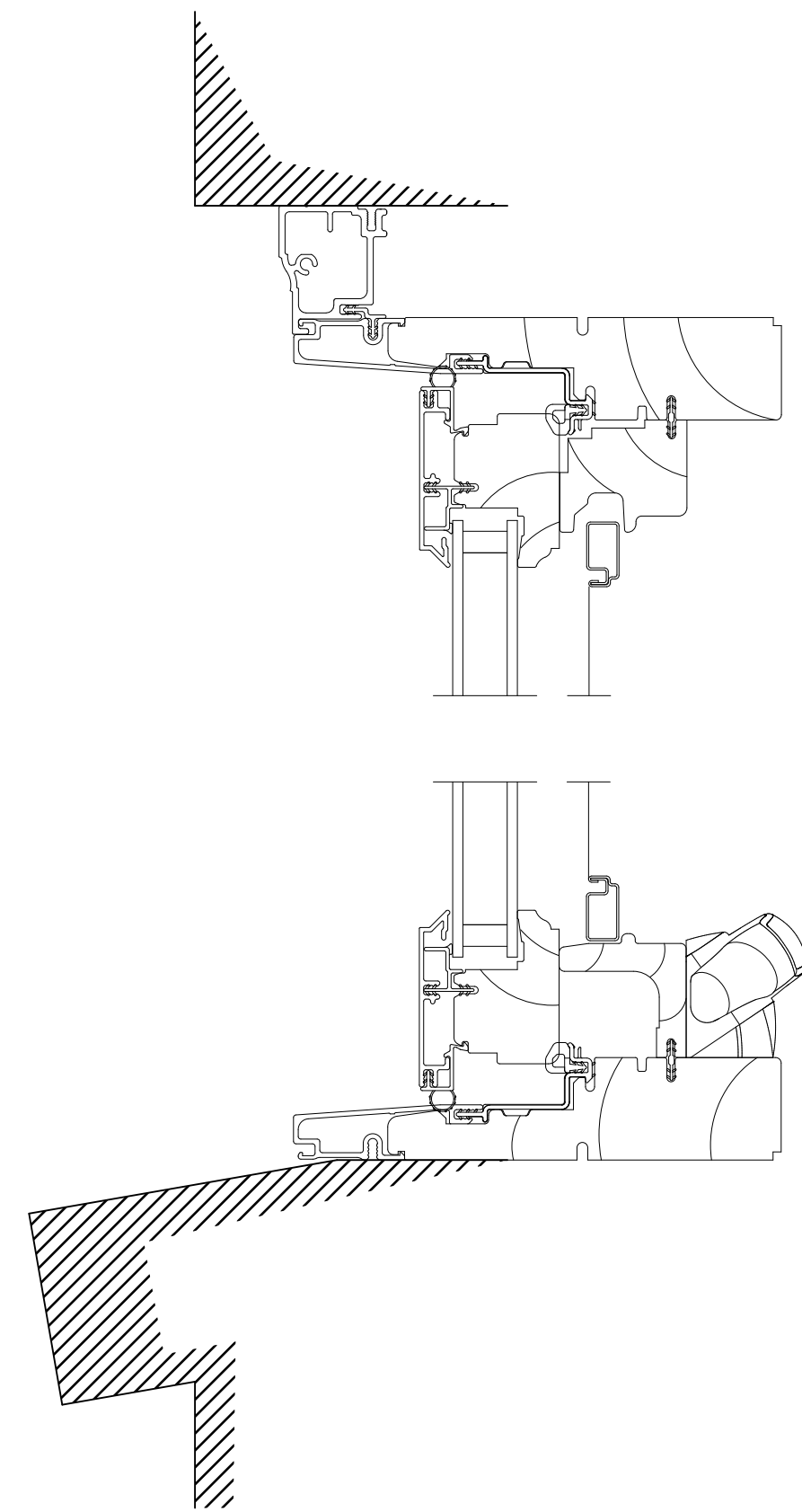
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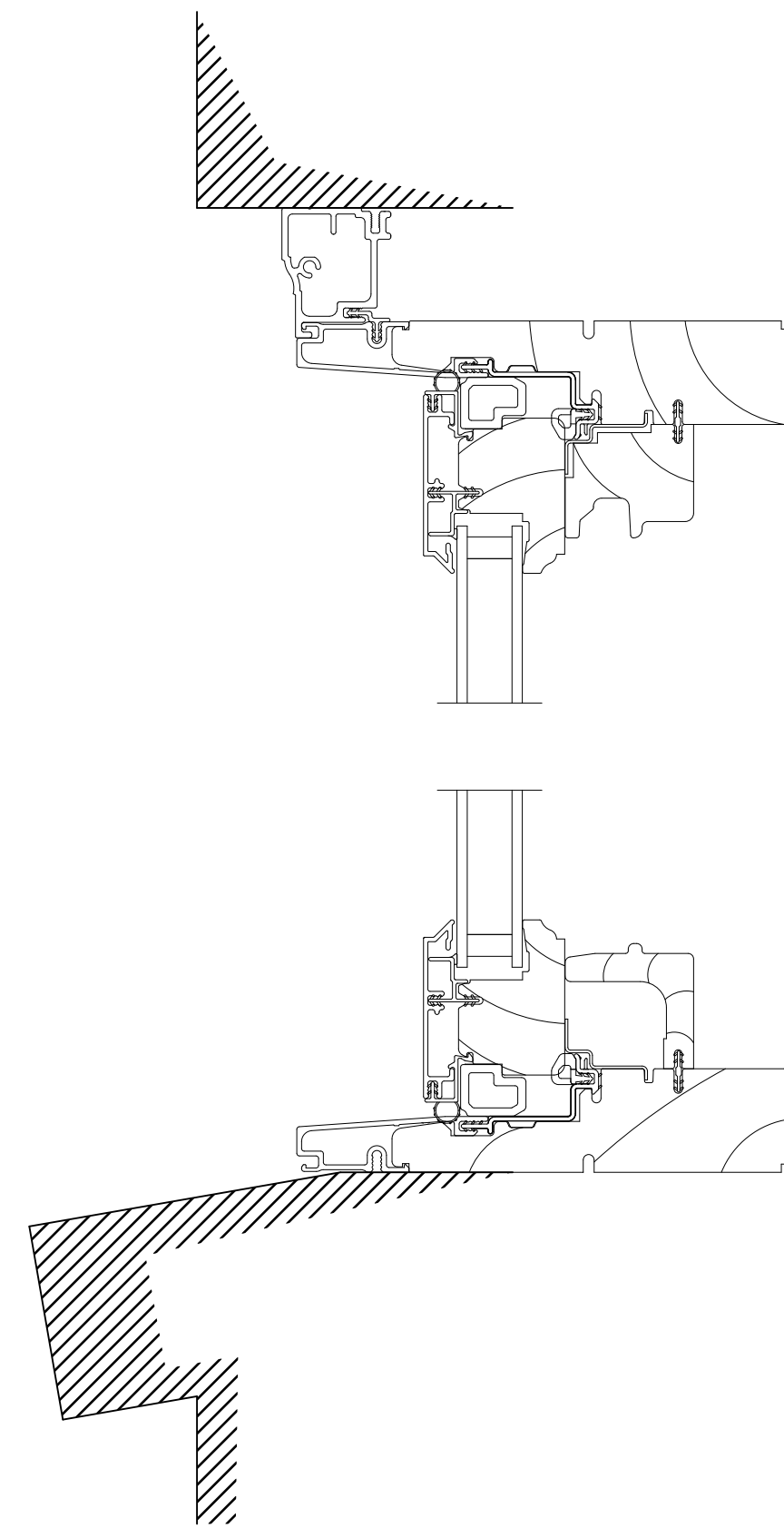
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EXISTING PHOTOS

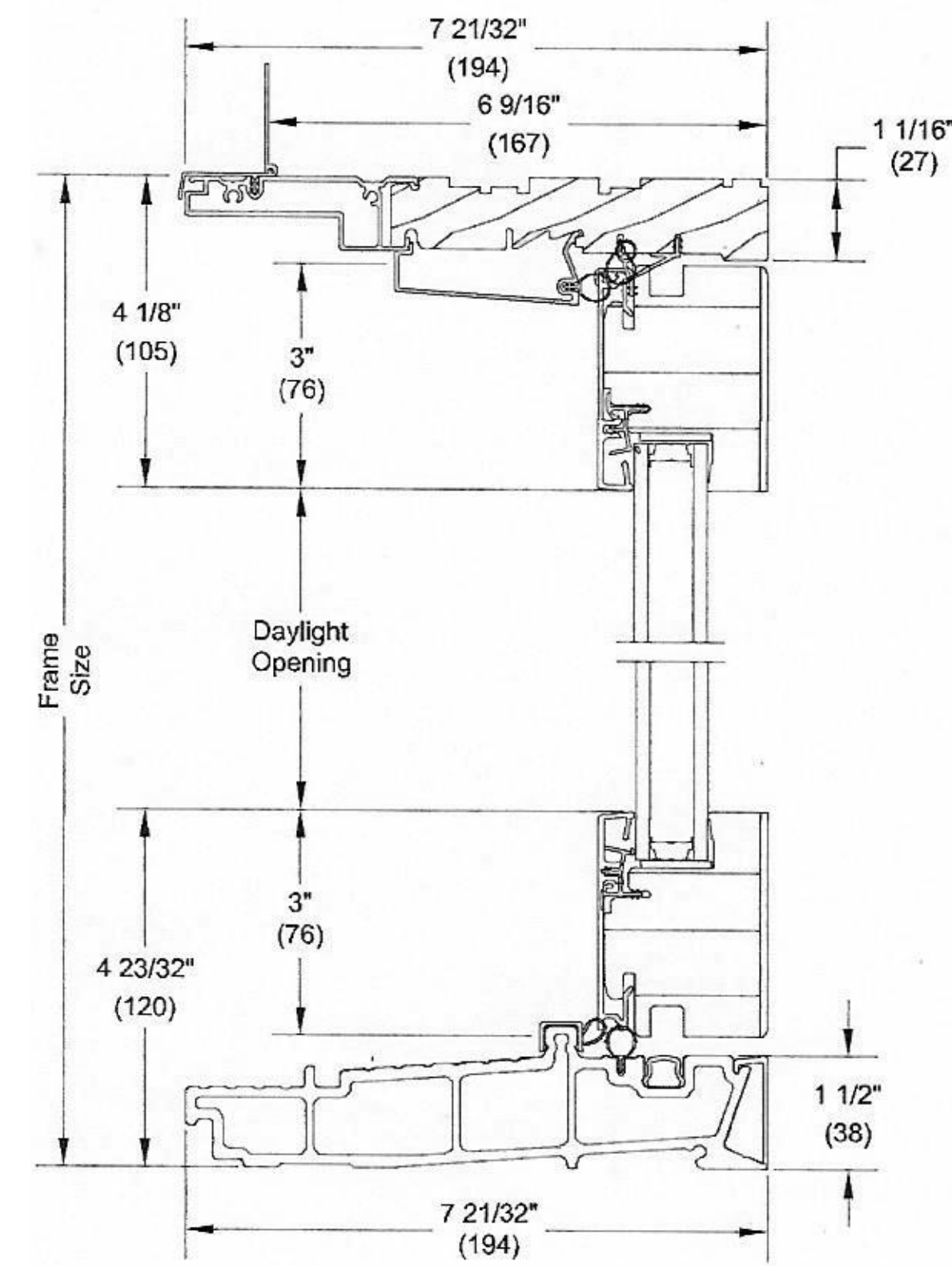
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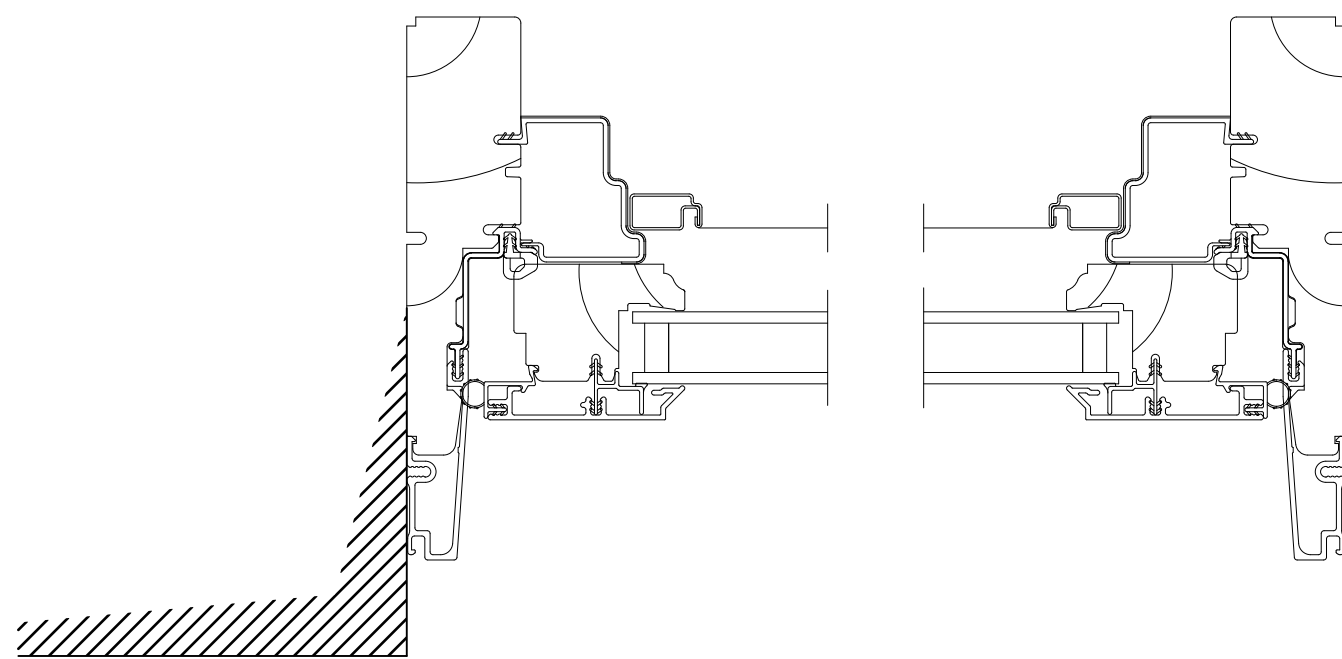
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A112 MARVIN CLAD ULTIMATE CASEMENT WINDOW HEAD AND SILL DETAIL



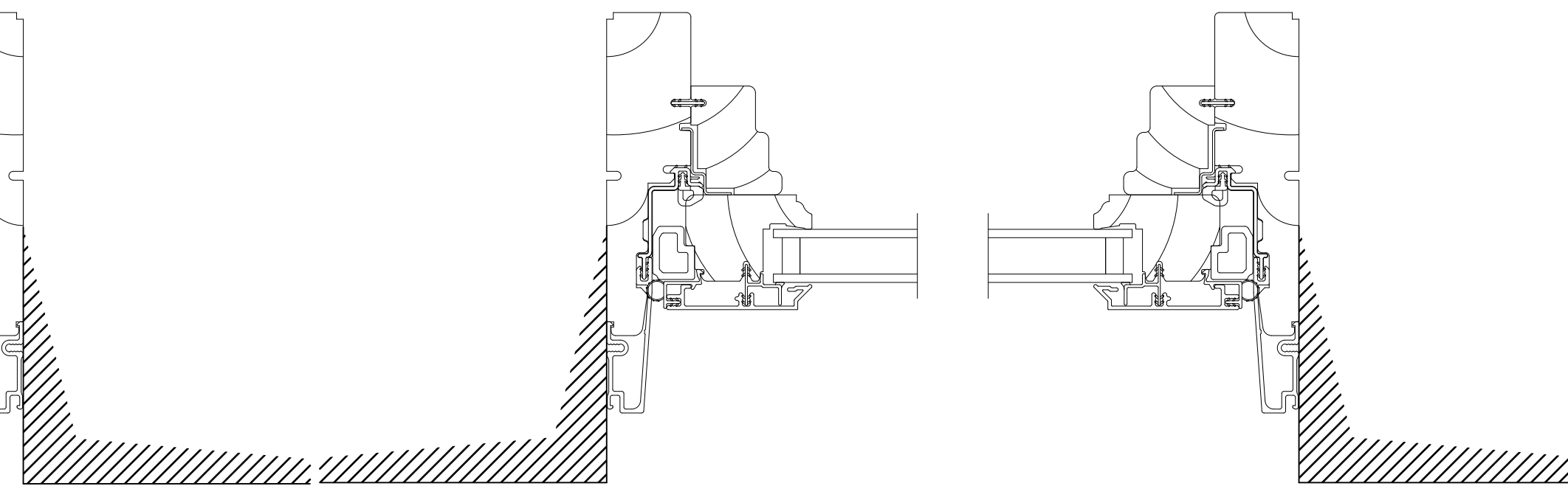
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A112 MARVIN CLAD ULTIMATE PICTURE WINDOW HEAD AND SILL DETAIL



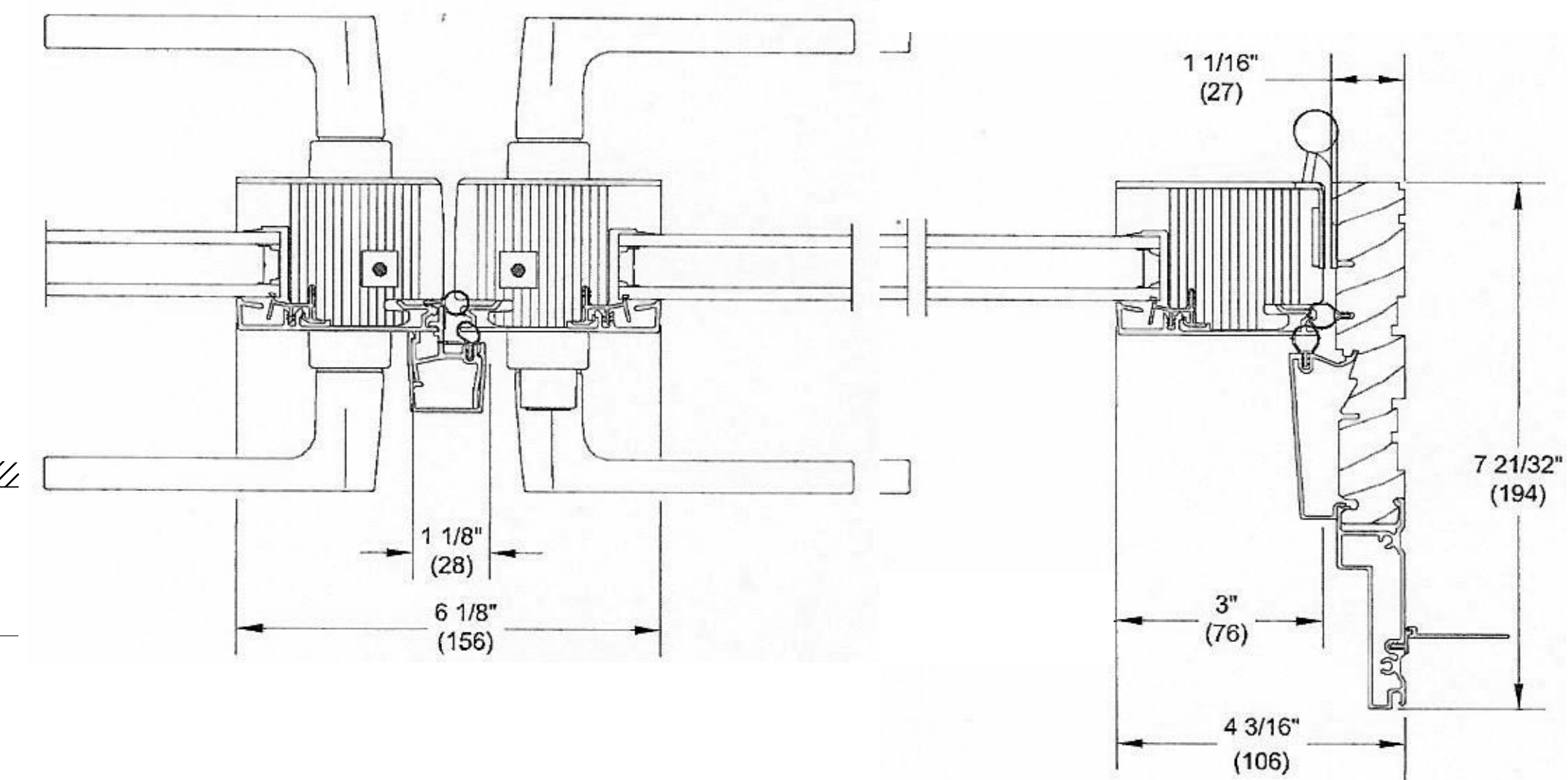
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A112 MARVIN CLAD ULTIMATE FRENCH INSWING DOOR HEAD AND SILL DETAIL



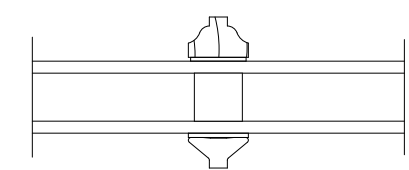
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A112 MARVIN CLAD ULTIMATE CASEMENT WINDOW JAMB DETAIL



5
A112 MARVIN CLAD ULTIMATE PICTURE WINDOW JAMB DETAIL



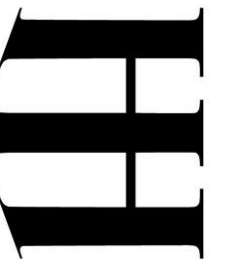
6
A112 MARVIN CLAD ULTIMATE FRENCH INSWING DOOR JAMB DETAIL



7
A112 MARVIN CLAD ULTIMATE SIMULATED DIVIDED LITE DETAIL



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MARVIN WINDOW AND DOOR DETAILS

Lightology

4075 Outdoor Wall Light
ITEM NUMBER

TRG421590

BRAND

Trans Globe

DESCRIPTION

4075 Outdoor Wall Light features Clear glass with a Black finish. Available in small and large sizes. One 60 watt, 120 volt Edison A-Shape Medium base incandescent bulb is required, but not included. Wet location rated. Small: 5 inch width x 12.5 inch height x 8 inch depth. Large: 6 inch width x 17.75 inch height x 9 inch depth.



Shown in: Black / Clear

SHADE COLOR	Clear
BODY FINISH	Black
WATTAGE	60W
DIMMER	Standard 120V
DIMENSIONS	6"W x 17.75"H x 9"D
LAMP	1 x Edison A-Shape/Medium (E26/60W/120V) Incandescent

ITEM NUMBER TRG421590

COMPANY PROJECT FIXTURE TYPE APPROVED BY DATE

LIGHTOLOGY.COM | QUOTES@LIGHTOLOGY.COM

Mar 01, 2022 | 1.866.954.4489

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REAR DOORS SCONCE SPECIFICATIONS

Lightology

Jaymes Outdoor Wall Light
ITEM NUMBER

HIN613626

BRAND

Hinkley Lighting

DESCRIPTION

The Jaymes Outdoor Wall Light features an updated traditional silhouette in an Oil Rubbed Bronze finish that is both modern and elegant. Constructed of die-cast aluminum, the rivet details, cast finials and sweeping roof signify a new classic in lantern design. Ideal for filament lamps for a timeless appearance. Available in three sizes.



Shown in: Oil Rubbed Bronze / Clear

SHADE COLOR	Clear
BODY FINISH	Oil Rubbed Bronze
WATTAGE	100W
DIMMER	Standard 120V
DIMENSIONS	6.5"W x 15.75"H x 8"D
LAMP	1 x Edison A-Shape/Medium (E26/100W/120V) Incandescent

ITEM NUMBER HIN613626

COMPANY PROJECT FIXTURE TYPE APPROVED BY DATE

LIGHTOLOGY.COM | QUOTES@LIGHTOLOGY.COM

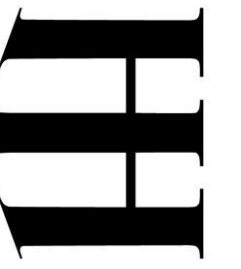
Mar 01, 2022 | 1.866.954.4489

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FRONT DOORS SCONCE SPECIFICATIONS

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

REVIEWED
By Dan.Bruechert at 2:05 pm, Mar 25, 2022



HILL & HURTT ARCHITECTS
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HISTORIC
SUBMISSION
3/2/22

NEW SCONCE SPECIFICATIONS

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