



## HISTORIC PRESERVATION COMMISSION

HAWP #: \_\_\_\_\_ at: \_\_\_\_\_

submitted on: \_\_\_\_\_

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by Tom Brueckert on \_\_\_\_\_. The approval memo and stamped drawings follow.

APPROVED

Montgomery County

Historic Preservation Commission

*[Handwritten Signature]*

**REVIEWED**

By Dan.Bruechert at 12:03 pm, Apr 15, 2022

Compliance with the Code, Electrical Energy Report  
will be as noted on the **PERMITS #152**  
Montgomery County Energy Workshop  
NEC/Code Compliance Report  
SAB-NEC Compliance Report  
Chad

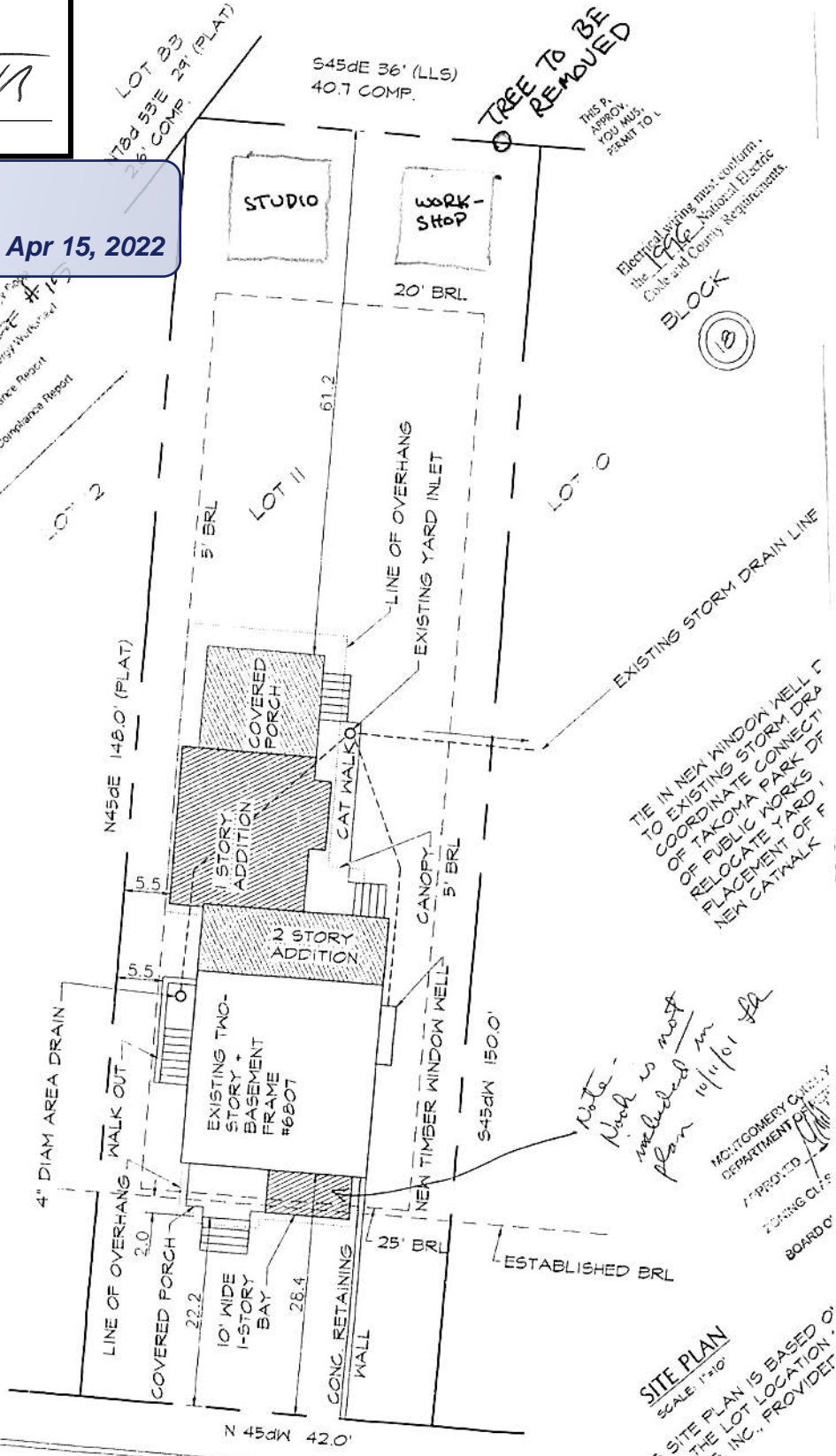
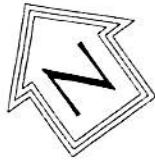
LOT 83  
178' 59" E 29' (PLAT)

S45dE 36' (LLS)  
40.7 COMP.

TREE TO BE REMOVED  
THIS IS APPROVED. YOU MUST PERMIT TO L

Electrical wiring must conform to the **NEC** National Electric Code and County Requirements.

Smoke detectors shall be in accordance with Section 905 of the Building Code



TIE IN NEW WINDOW WELL TO EXISTING STORM DRAIN TO COORDINATE CONNECT OF PUBLIC WORKS DR. RELOCATE YARD PLACEMENT OF NEW CATWALK

Note - Work is not included in plan 10/11/01 JH

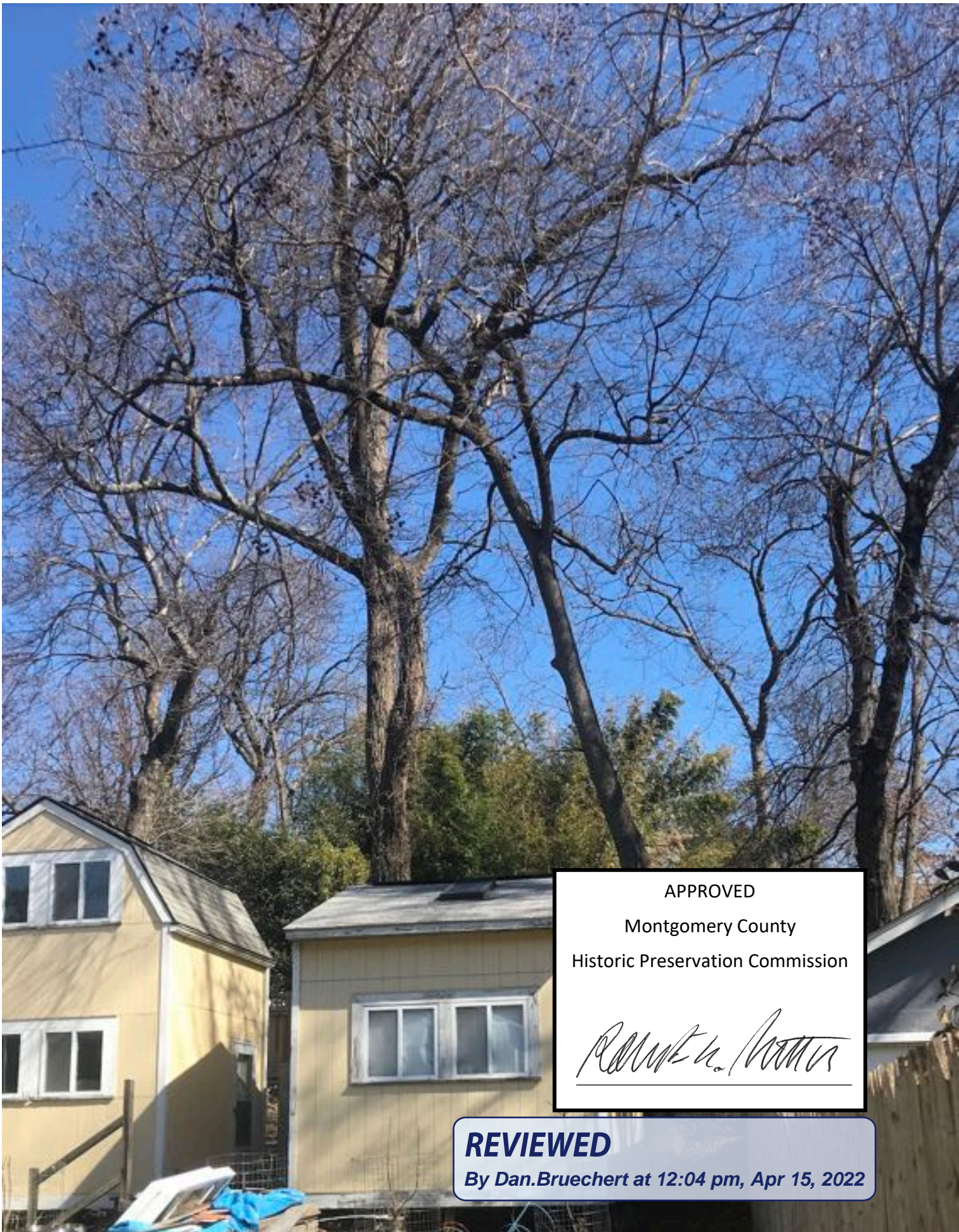
MONTGOMERY COUNTY DEPARTMENT OF HISTORIC PRESERVATION  
APPROVED  
BOARD OF

**SITE PLAN**  
SCALE 1"=10'  
THIS SITE PLAN IS BASED ON FROM THE LOT LOCATION OF SURVEYS, INC., PROVIDER

WESTMORELAND AVENUE

A North Arrow





APPROVED  
Montgomery County  
Historic Preservation Commission

*Ronald A. ...*

**REVIEWED**  
By Dan.Bruechert at 12:04 pm, Apr 15, 2022