



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: April 8, 2022

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission Historic

SUBJECT: Area Work Permit # 984559 - Rear Deck Construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the April 6, 2022 HPC meeting.

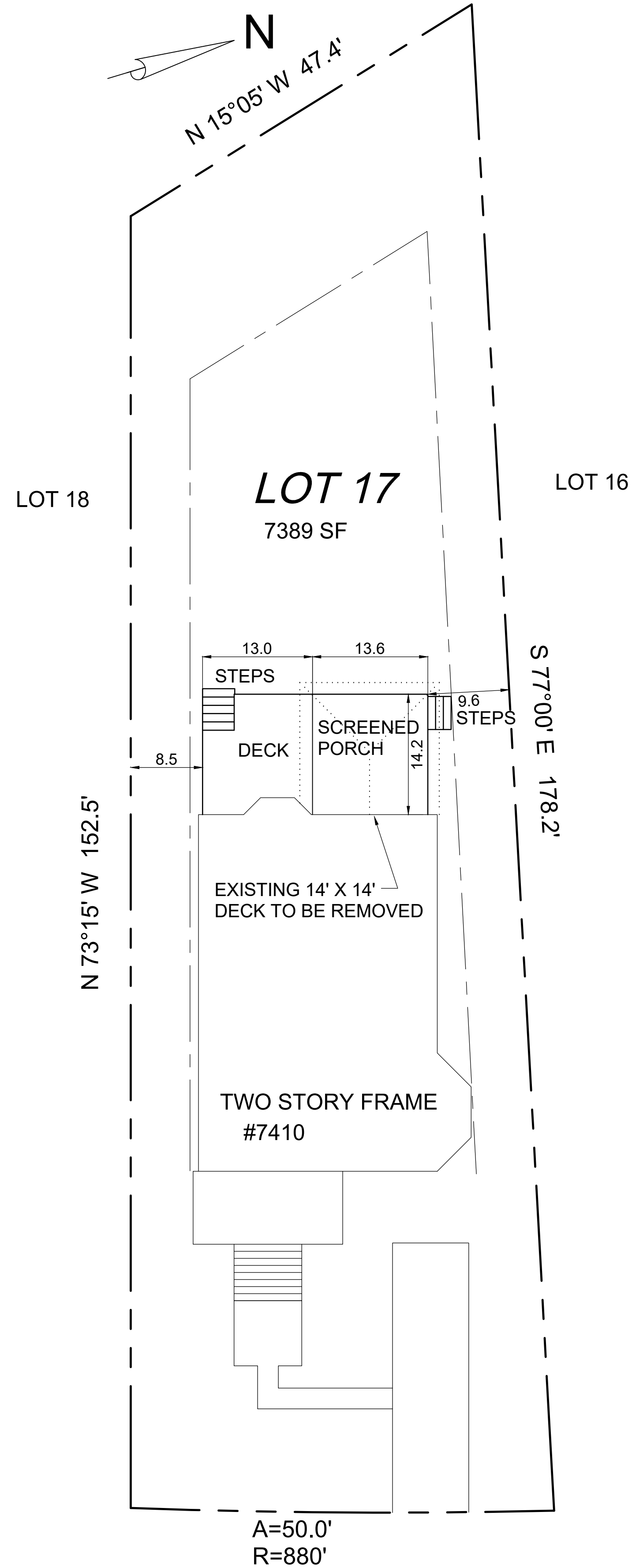
The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Melissa Tooley & Daniel Mazmanian
Address: 7410 Baltimore Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.





BUILDING CODE

INTERNATIONAL BUILDING CODE IRC 2018

DESIGN LOADS

DESIGN LIVE LOADS ARE AS FOLLOWS:

SNOW ON ROOFS 30 LBS. /SQ. FT.

DESIGN SUPER IMPOSED DEAD LOADS ARE AS FOLLOWS

ROOF RAFTERS 17 LBS. /SQ. FT.
(INCLUDING SELF WEIGHT OF RAFTERS & SHEETING)

FOOTINGS

1-A GEOTECHNICAL ENGINEERING REPORT HAS NOT BEEN PREPARED ALLOWABLE SOIL BEARING CAPACITY UTILIZED FOR FOOTINGS IS 1500 PSF, ON NATURAL SOIL.

2-ALL FOUNDATION SUB GRADES SHALL BE INSPECTED AND APPROVED UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER PRIOR TO BEING CONCRETED. FOOTINGS MAY BE LOWERED TO ACHIEVE BEARING CAPACITY, IF REQUIRED, SUBJECT TO REVIEW AND APPROVAL OF THE STRUCTURAL ENGINEER.

3- BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE MINIMUM 30" BELOW FINISH GRADE

LUMBER

1-LUMBER SHALL COMPLY WITH THE REQUIREMENTS OF AMERICAN INSTITUTE OF TIMBER CONSTRUCTION AND THE NATIONAL FOREST PRODUCTS ASSOCIATION'S NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION.

2- LUMBER GRADE AND DESIGN VALUES SHALL BE AS FOLLOWS:

LUMBER GRADE DESIGN VALUES					
LUMBER GRADE	FB	FC (PERPENDICULAR)	FC (PARALLEL)	FV	E
	PSI	PSI	PSI	PSI	PSI
SPF #2 (STUDS, PLATES, ETC)	875	425	1150	135	1,400,000
6"X6" POSTS SP #2	850	375	525	-	1,200,000
8"X8" POSTS DFL (N) #2	725	625	700	-	1,300,000
SP P.T. (BALCONY, EXT.)	1100 FOR 2X4	565	-	175	1,400,000

SP (NON PT, ROOF, PLATE)	1000 FOR 2X6 925 FOR 2X8 800 FOR 2X10 750 FOR 2X12	565	-	175	1,400,000
LVL	3000 FOR 12" MULTIPLY BY (12/D)^0.136 FOR OTHERS	750	-	285	2,000,000
PSL	2900 FOR 12" MULTIPLY BY (12/D)^0.111 FOR OTHERS	750	-	290	2,000,000
PSL PLUS (WOLMANIZED) USE SERVICE LEVEL 2	1827 FOR 12" MULTIPLY BY (12/D)^0.111 FOR OTHERS	368	-	197	1,460,000

3-PLYWOOD SHALL BE 5/8" THICK FOR ROOF IDENTIFIED WITH THE DFPA GRADE TRADEMARK OF THE AMERICAN PLYWOOD ASSOCIATION, AND SHALL BE INSTALLED IN ACCORDANCE WITH THE PROJECT SPECIFICATIONS.

5- ALL STUDS SHALL BE INSTALLED IN ACCORDANCE WITH NFPA (NATIONAL FOREST PRODUCTS ASSOCIATION) REQUIREMENTS. MEMBERS ARE NOT TO DRILLED IN EXCESS OF NDS OR LOCAL CODE REQUIREMENTS. ALL POSTS AND STUDS SHALL STACK CONTINUOUSLY TO SOLID BEARING ON FOUNDATION WALLS OR BEAMS; PROVIDE SOLID BLOCKING OR CRIPPLES BETWEEN FLOORS.

6-STUD BEARING WALLS AND EXTERIOR STUD WALLS SHALL BE CONTINUOUSLY BRIDGED WITH WOOD BLOCKING AT MIDHEIGHT BETWEEN FLOOR (AND ROOF) LEVELS. STUDS AND POSTS SHALL BE ONEPIECE CONTINUOUS BETWEEN FLOOR LEVELS AND BETWEEN FLOOR LEVEL AND ROOF DIAPHRAGMS. ALL DOUBLE STUDS SHALL BE NAILED TO EACH OTHER AT 8 INCH MAXIMUM SPACING FULLHEIGHT.

7-ALL DOUBLE (OR MORE) RAFTERS, JOISTS, PLYWOOD BEAMS, AND FLOOR TRUSSES MUST BE MECHANICALLY FASTENED OR NAILED TO EACH OTHER TO ACT AS A SINGLE UNIT WHEN LOADED.

8-WOOD COLUMNS AND POSTS SHALL BE FRAMED TO TRUE END BEARINGS, AND SHALL BE POSITIVELY ANCHORED TO FOUNDATION WITH APPROVED POST BASES. FREE STANDING POSTS SHALL BE CONNECTED TO BEAMS, HEADERS OR GIRDER TRUSSES WITH APPROVED POST CAPS. SUPPORT COLUMN AND POST SECURELY IN POSITION AND PROTECT BASE FROM DETERIORATION. COLUMNS AND POSTS OF TREATED WOOD MAY BE PLACED DIRECTLY ON CONCRETE OR MASONRY. USE TREATED WOOD FOR ALL FLOOR JOISTS AND BEAMS WHICH ARE EXPOSED OR WITHIN 18" OF THE GROUND, OR IN PERMANENT CONTACT WITH EARTH.

9-WHEN MULTIPLE 2X(-) MEMBERS USED AS POSTS THEY SHALL BE CONNECTED TO EACH OTHER AS FOLLOWS:

2 MEMBERS: 10 D NAILS @ 12" ON CENTER BOTH SIDES
 3 MEMBERS: 10 D NAILS @ 8" ON CENTER BOTH SIDES
 4 MEMBERS MIDDLE 2 MEMBERS CONNECTED TO EACH OTHER AS ABOVE OUTER MEMBERS CONNECTED TO MIDDLE MEMBERS WITH 10 D NAILS @ 12" ON CENTER

10-BEAR BEAMS AND GIRDERS AT LEAST 4" ON MASONRY OR CONCRETE. BEAR BEAMS, GIRDERS, JOISTS, RAFTERS AND TRUSSES ON CONTINUOUS WOOD PLATE WITH 5/8" DIAMETER BOLTS @ 48" O.C. X 18" LONG, UNLESS OTHERWISE NOTED. FLOOR JOISTS, CEILING JOISTS AND ROOF RAFTERS SHALL HAVE 4" NOMINAL BEARING ON WOOD OR WOOD PLATES ON METAL OR MASONRY.

11-PROVIDE 2" NOMINAL THICKNESS FULL DEPTH SOLID BLOCKING FOR JOISTS AND RAFTERS AT ENDS AND AT SUPPORTS. OMIT SOLID BLOCKING WHEN JOISTS ARE NAILED TO A CONTINUOUS HEADER. LAP JOISTS FRAMING FROM OPPOSITE SIDES OF A BEAM, GIRDER OR PARTITION AT LEAST 6". SECURE JOISTS FRAMED END TO END WITH METAL STRAPS. USE APPROVED FRAMING ANCHORS TO SUPPORT JOISTS FRAMING INTO THE SIDES OF WOOD OR STEEL BEAMS. FASTEN SOLID WOOD BLOCKING TO STEEL BEAM WEB WITH 2 ROWS OF 1/2" DIAMETER THROUGH BOLTS @ 16" O.C PRIOR TO INSTALLING JOIST HANGERS. PROVIDE DOUBLED (OR EQUIVALENT CROSSSECTION) TRIMMER AND HEADER JOISTS AROUND OPENINGS UNLESS NOTED OTHERWISE. SUPPORT HEADER JOISTS FROM FRAMING ANCHORS OR JOIST HANGERS UNLESS BEARING ON A BEAM, PARTITION OR A WALL. JOISTS CARRYING PARTITIONS PERPENDICULAR TO JOISTS SHALL NOT BE OFFSET FROM SUPPORTING GIRDERS, WALLS OR PARTITIONS MORE THAN THE JOIST DEPTH. JOISTS CARRYING PARTITIONS PARALLEL TO JOISTS SHALL BE DOUBLED.

CONCRETE (CAST IN PLACE)

1- CONCRETE DESIGN AND DETAILING SHALL CONFORM TO THE REQUIREMENTS OF LATEST 318.

2- MINIMUM ULTIMATE COMPRESSIVE STRENGTH OF CONCRETE AT 28 DAYS SHALL BE AS FOLLOWS, UNLESS NOTED OTHERWISE.

SLABS ON GRADE 3500 PSI

3-ALL EXTERIOR CONCRETE AND CONCRETE EXPOSED TO WEATHER SHALL BE AIR ENTRAINED.

4-SLABS POURED ON GRADE SHALL BE MINIMUM 5 INCHES THICK, PLACED OVER VAPOR BARRIER AND 5 INCHES OF WASHED GRAVEL UNLESS NOTED OTHERWISE. SLABS ON GRADE SHALL BE REINFORCED WITH TWO LAYER 6x6-W1.4xW1.4 WELDED WIRE FABRIC PLACED AT THE MID DEPTH OF THE SLAB. LAP WELDED WIRE FABRIC ONE FULL MESH AT ENDS AND SIDES.

5-ALL CONCRETE WORK, REINFORCING PLACEMENT, SHALL BE INSPECTED UNDER THE SUPERVISION OF A REGISTERED PROFESSIONAL ENGINEER.

LEGAL DESCRIPTION

OWNERS: MELISSA TOOLEY AND DANIEL MAZMANIAN
 DISTRICT 13 ACCOUNT NO. 01068777
 MAP JN42 SUBDIVISION 0025 BLOCK 75 LOT 17

AREA CALCULATIONS

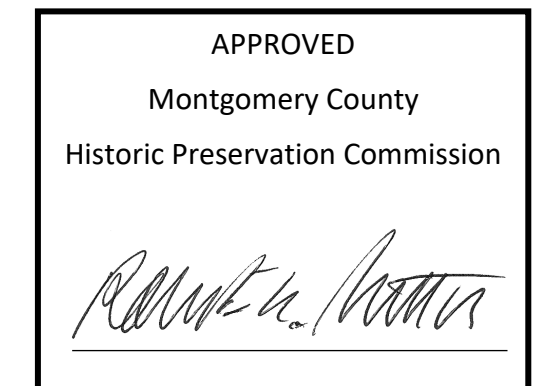
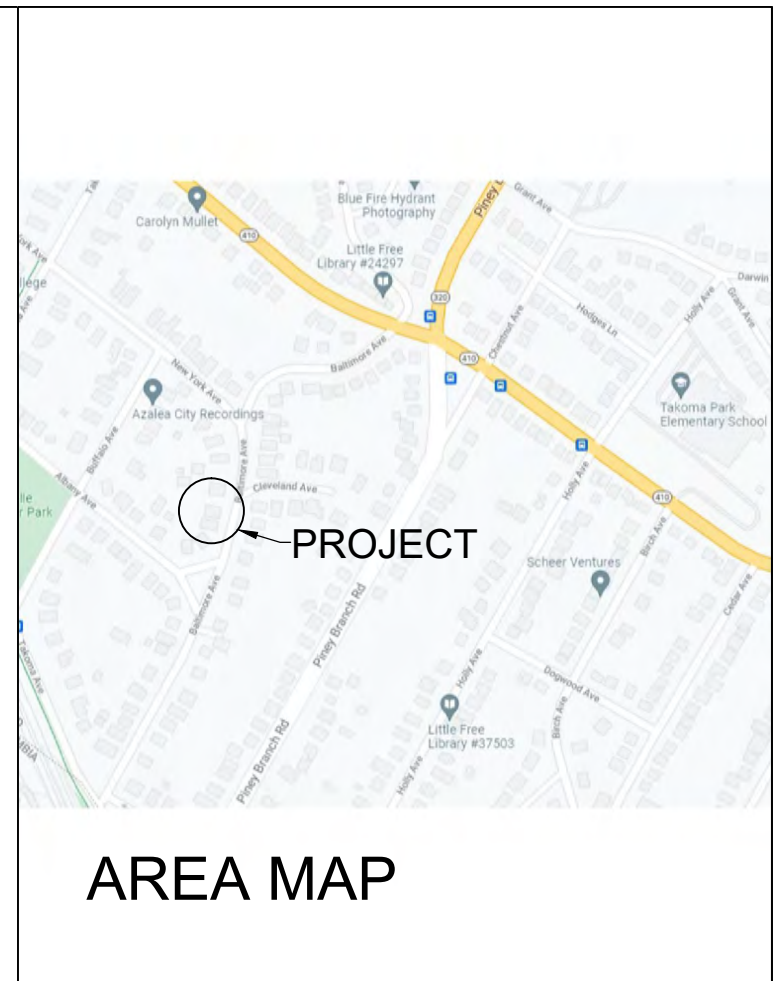
	EXISTING	PROPOSED
LOT AREA	7389 SF	7389 SF
PAVED AREA	393 SF	411 SF
HOUSE FOOTPRINT	1239 SF	1239 SF
NEW DECK & PORCH		379.6 SF
DECKS AND PORCHES	573 SF	962.6 SF
AREA DEMOLISHED		-196 SF
TOTAL LOT COVERAGE	2205 SF	2388.6 SF
PERCENTAGE OF COVERAGE	30%	32.5%
NEW IMPERVIOUS AREA*		196.6 SF

*INCLUDES NEW AREA THAT IS NOT UNDER EXISTING ROOF OVERHANGS, MINUS AREA DEMOLISHED

INDEX OF DRAWINGS

- 001 COVER SHEET-SITE PLAN-SCTRUCTURAL NOTES
- A001 SECTIONS AND DETAILS
- A002 SECTIONS AND DETAILS
- A003 EXISTING EAST AND NORTH ELEVATIONS
- A004 EXISTING WEST AND SOUTH ELEVATIONS

**deck & screened porch
 addition for the
 Mazmanian-Tooley residence**



REVIEWED
 By Dan.Bruechert at 3:13 pm, Apr 08, 2022

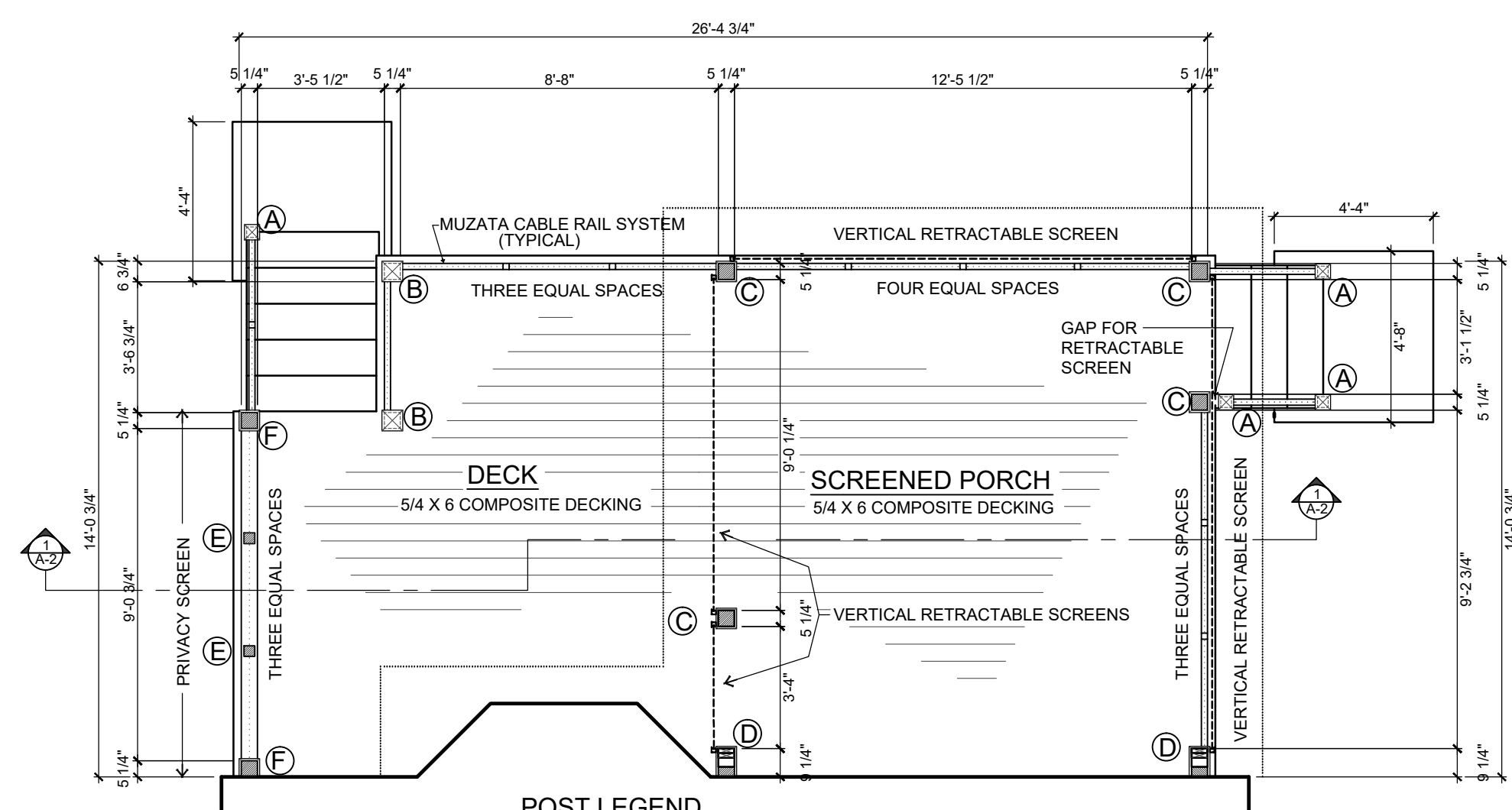
SITE PLAN
 STRUCTURAL NOTES
 ZONING NOTES
 SCALE: 1"=10'

ALL ECO DESIGN CENTER
 26662 UNIVERSITY BLVD, WHEATON, MD 20902
 301-949-4326 <https://allecocenter.com/>

SCREENED PORCH AND DECK ADDITION TO
 THE MAZMANIAN AND TOOLEY RESIDENCE
 7410 BALTIMORE AVENUE
 TAKOMA PARK, MD 20912

FEB. 24, 2022

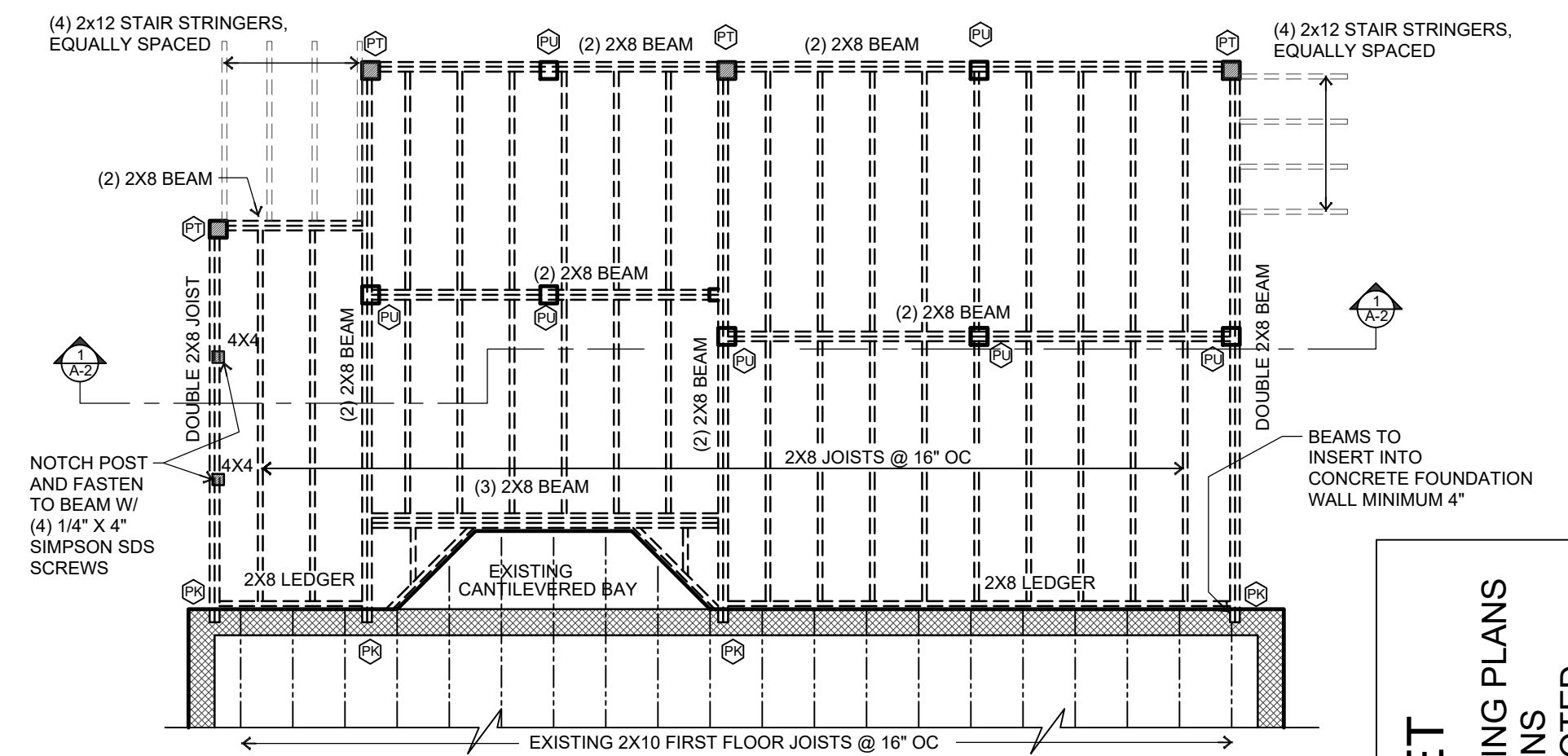
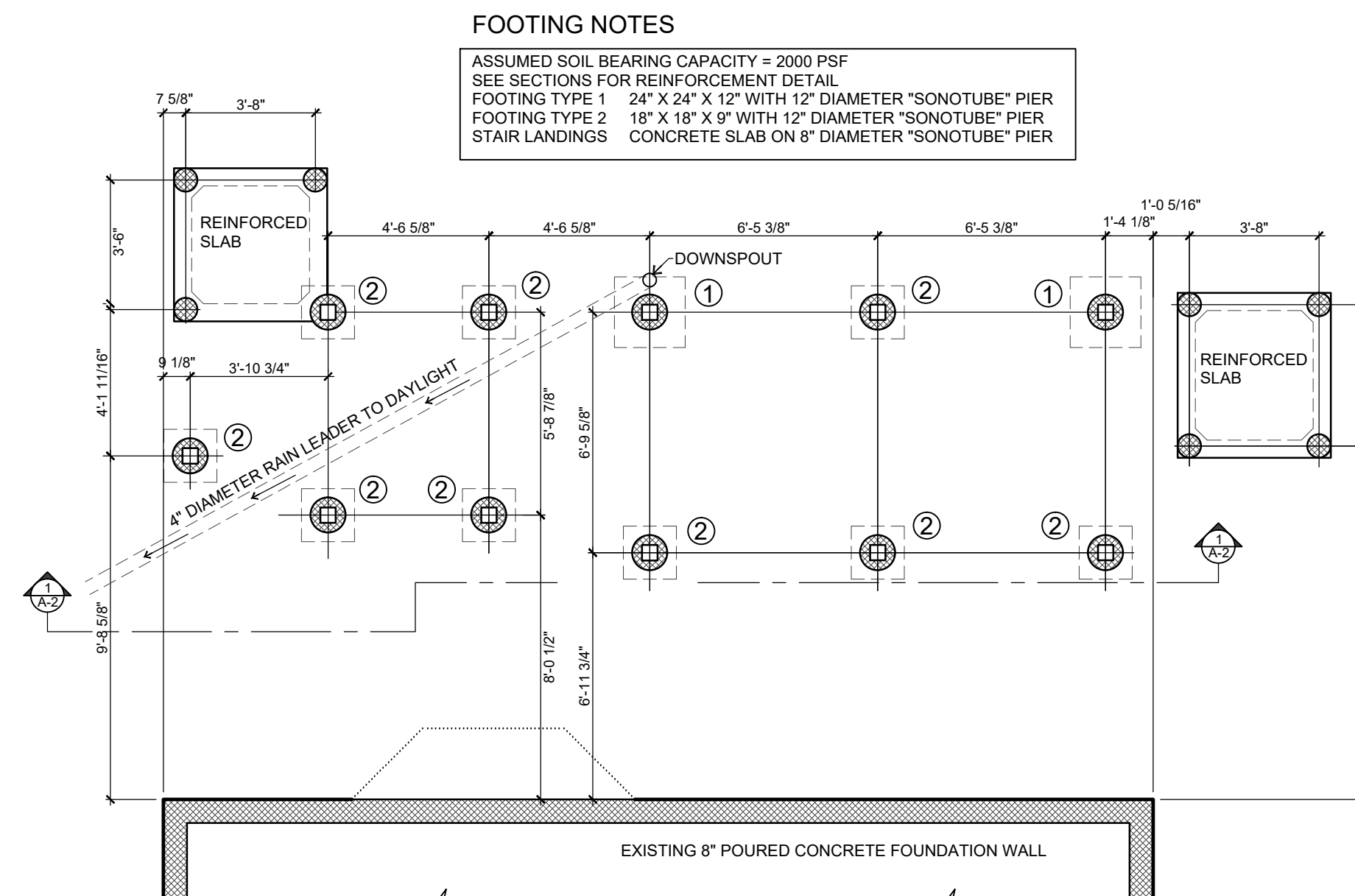
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POST LEGEND

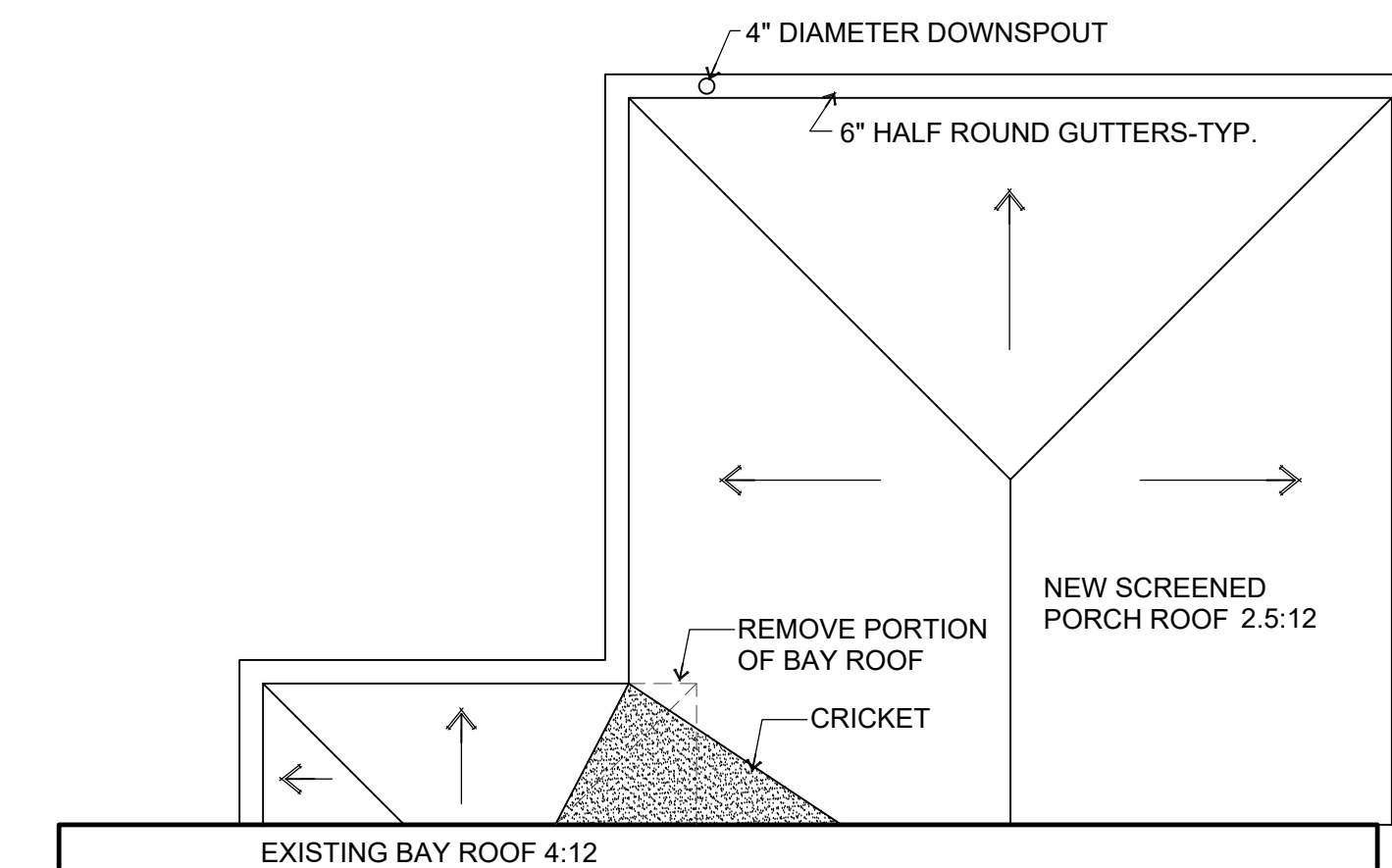
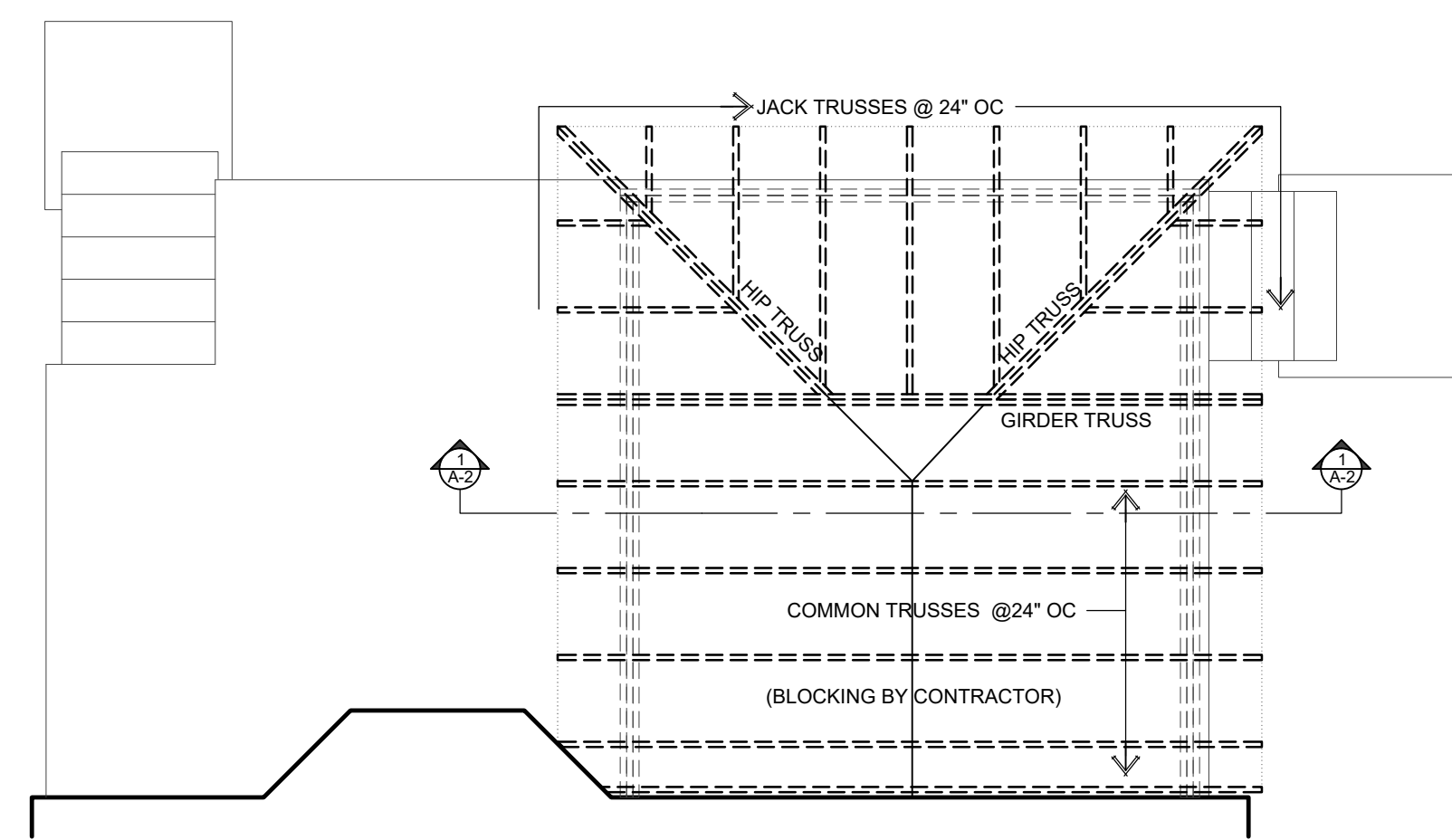
ALL PARALLAM POSTS WRAPPED WITH 1X STOCK

A LOWER NEWEL 3.25"x3.25" PT PARALLAM
 B UPPER NEWEL 5.25"x5.25" PT PARALLAM
 C FULL HEIGHT POST 5.25"x5.25" PT PARALLAM
 D FULL HEIGHT POST 3.25"x5.25" PT PARALLAM WITH WIRING CHASE & BLOCKING
 E APPEARANCE GRADE 4x4 POST
 F PRIV. SCREEN POST 5.25"x5.25" PT PARALLAM



Ⓜ POST UNDER
 Ⓜ POST THROUGH
 Ⓜ POCKET-BEAR ON TOP OF CONCRETE WALL

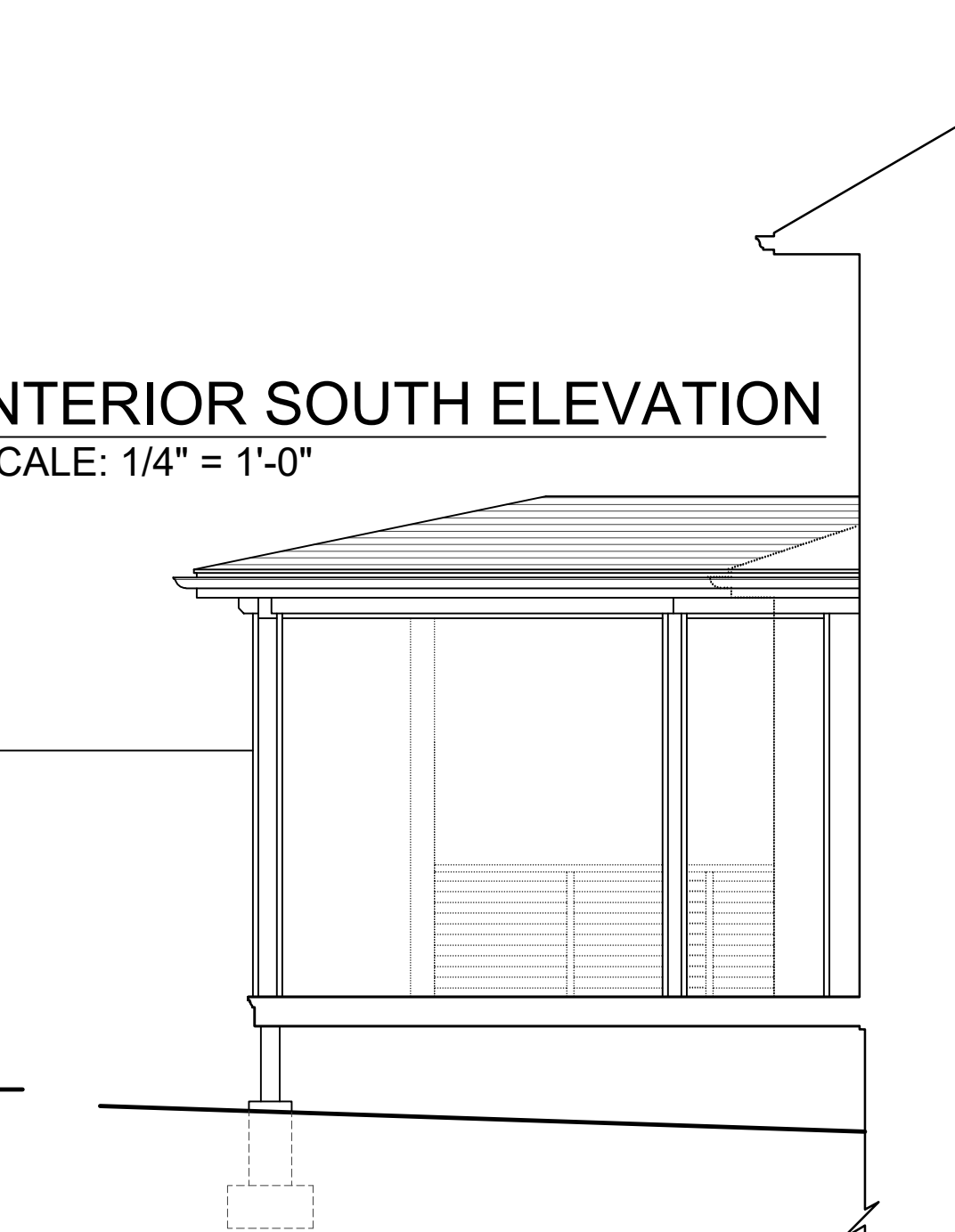
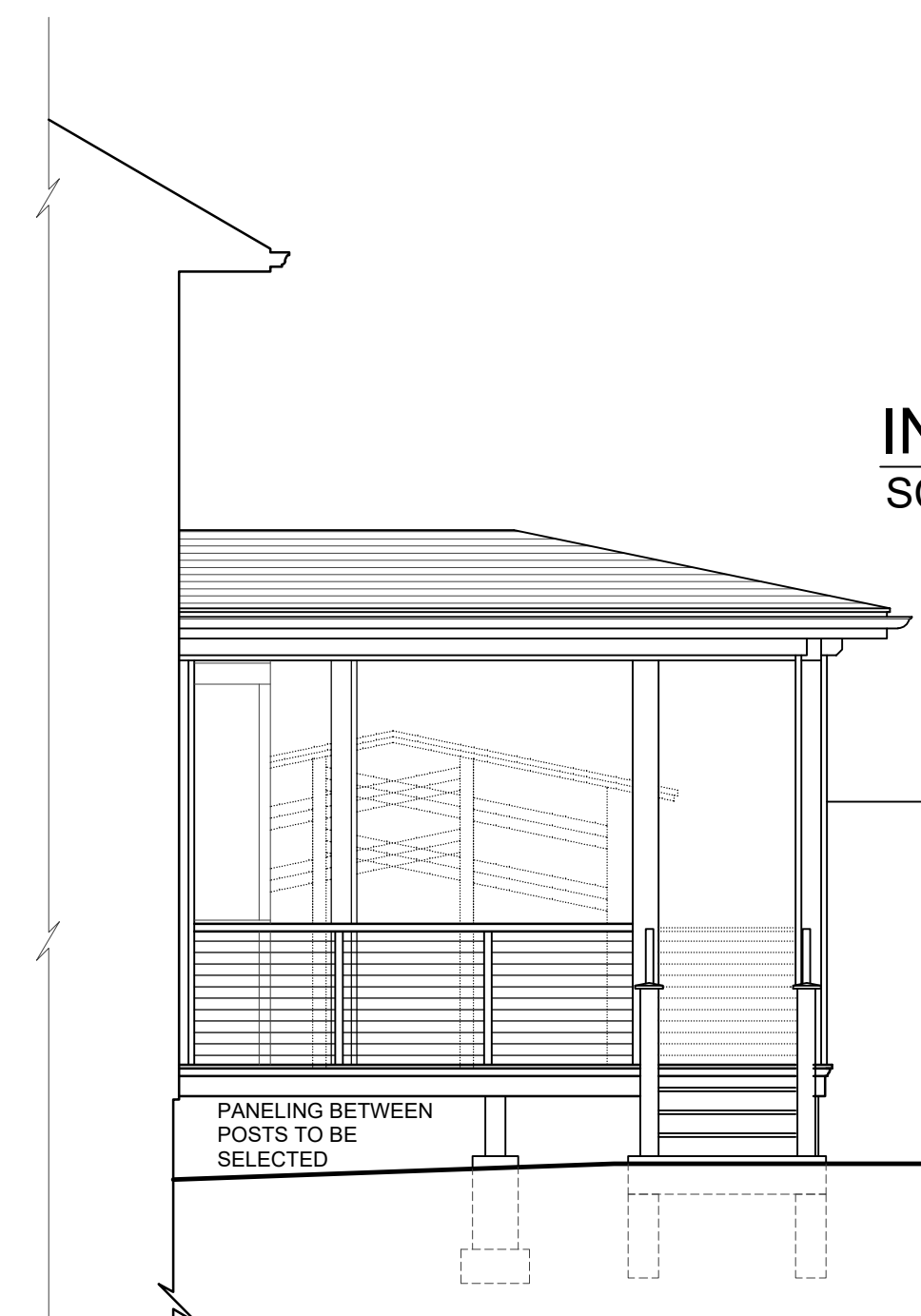
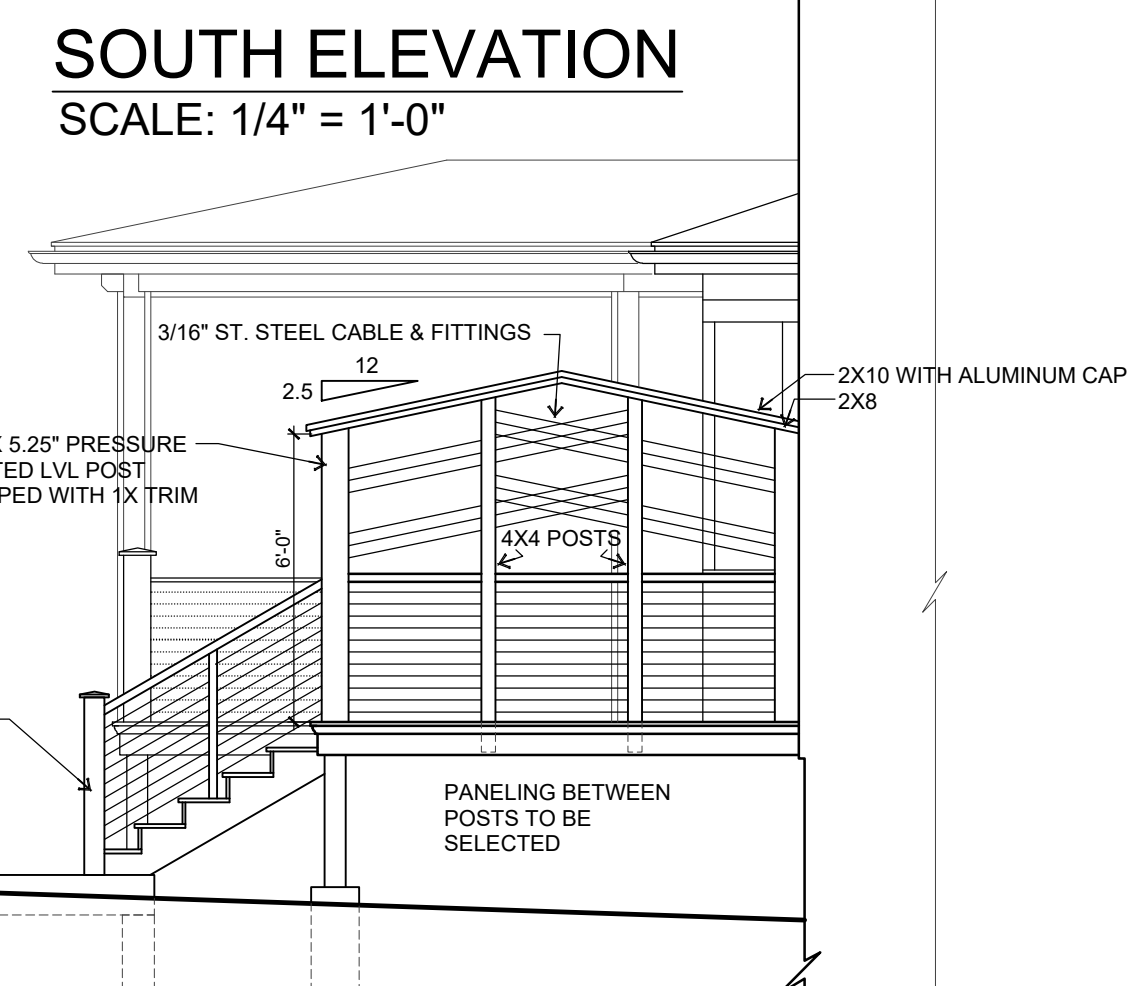
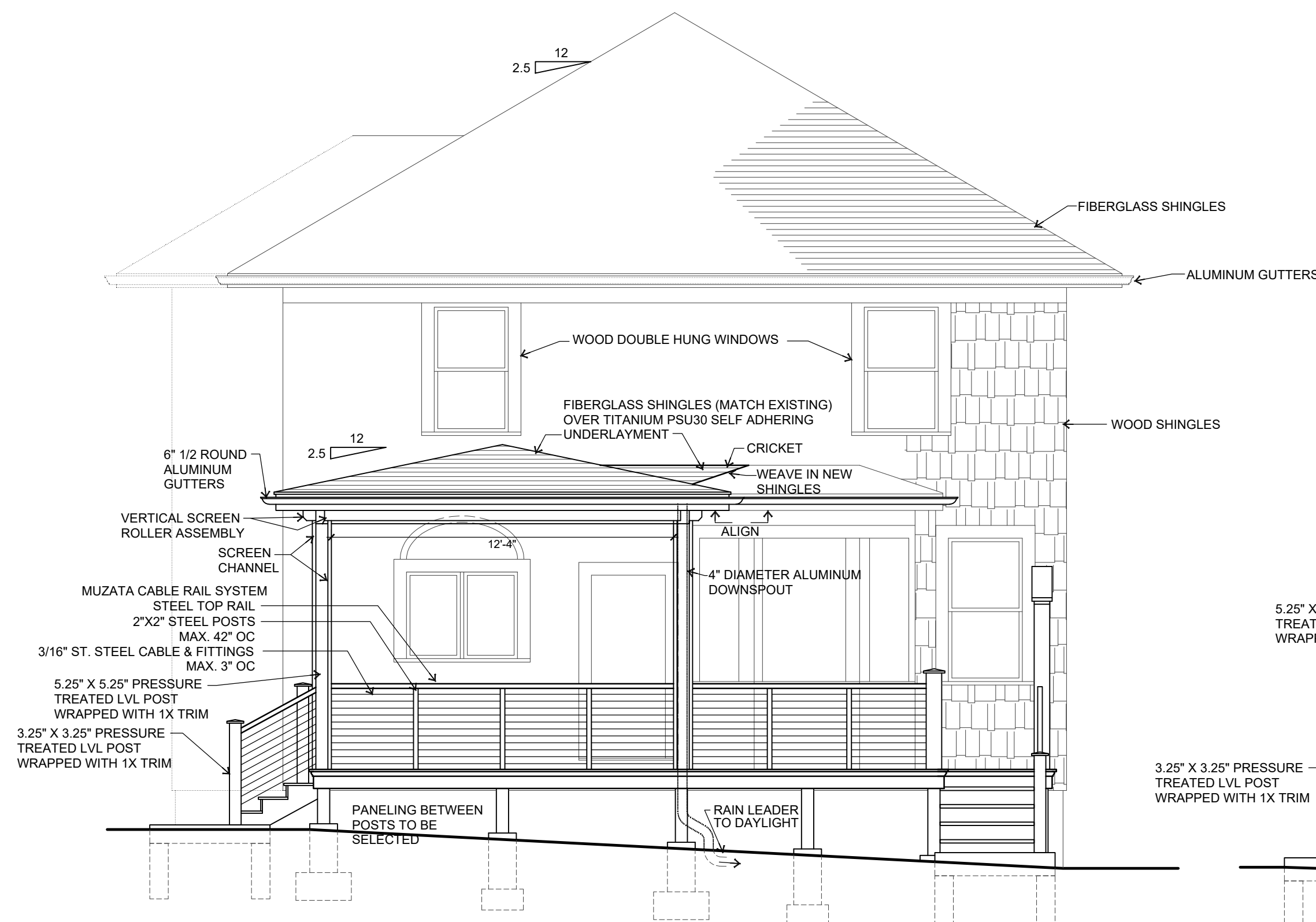
ALL FLOOR FRAMING LUMBER TO BE PRESSURE TREATED #2 SOUTHERN PINE



APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]

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 By Dan.Bruechert at 3:13 pm, Apr 08, 2022

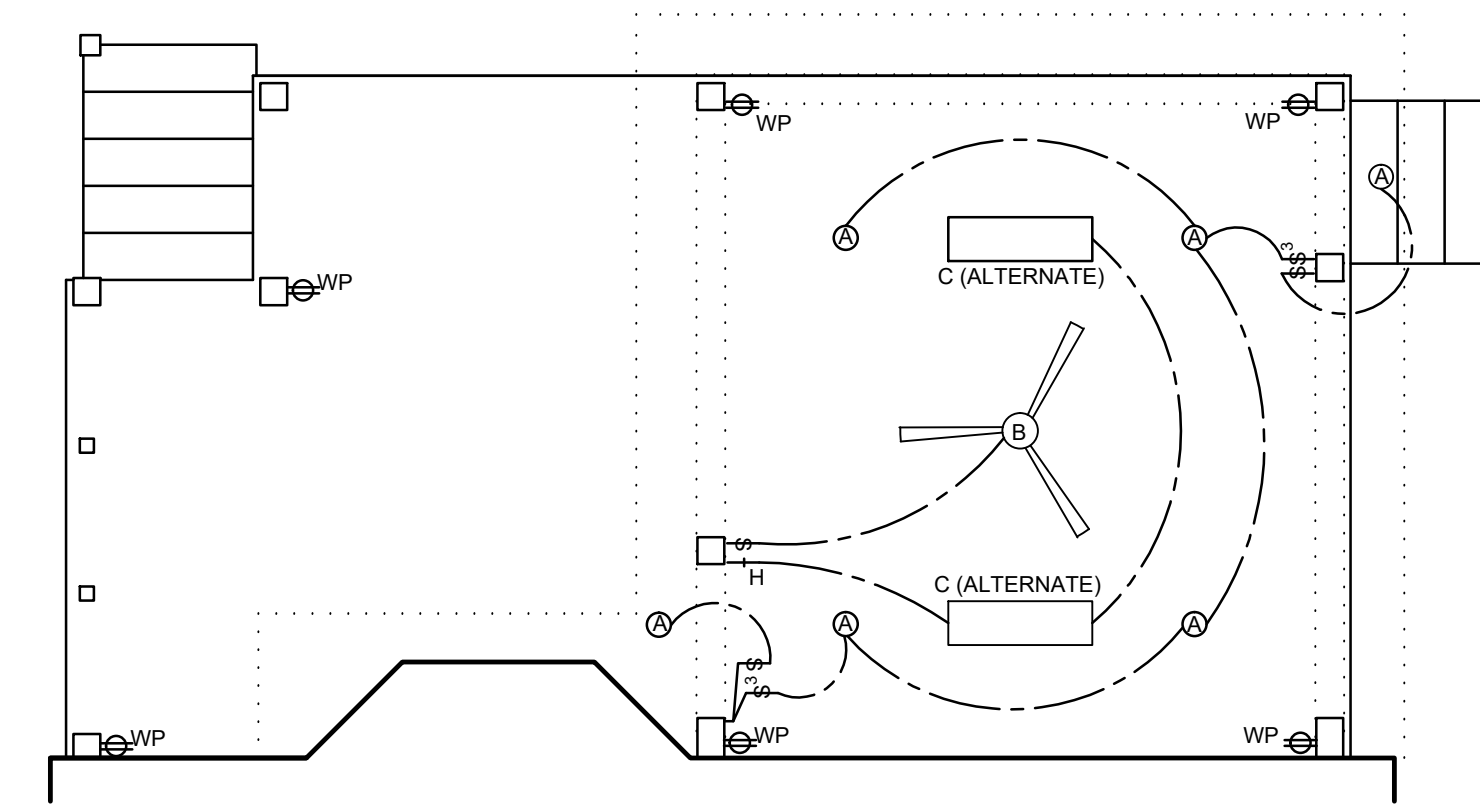
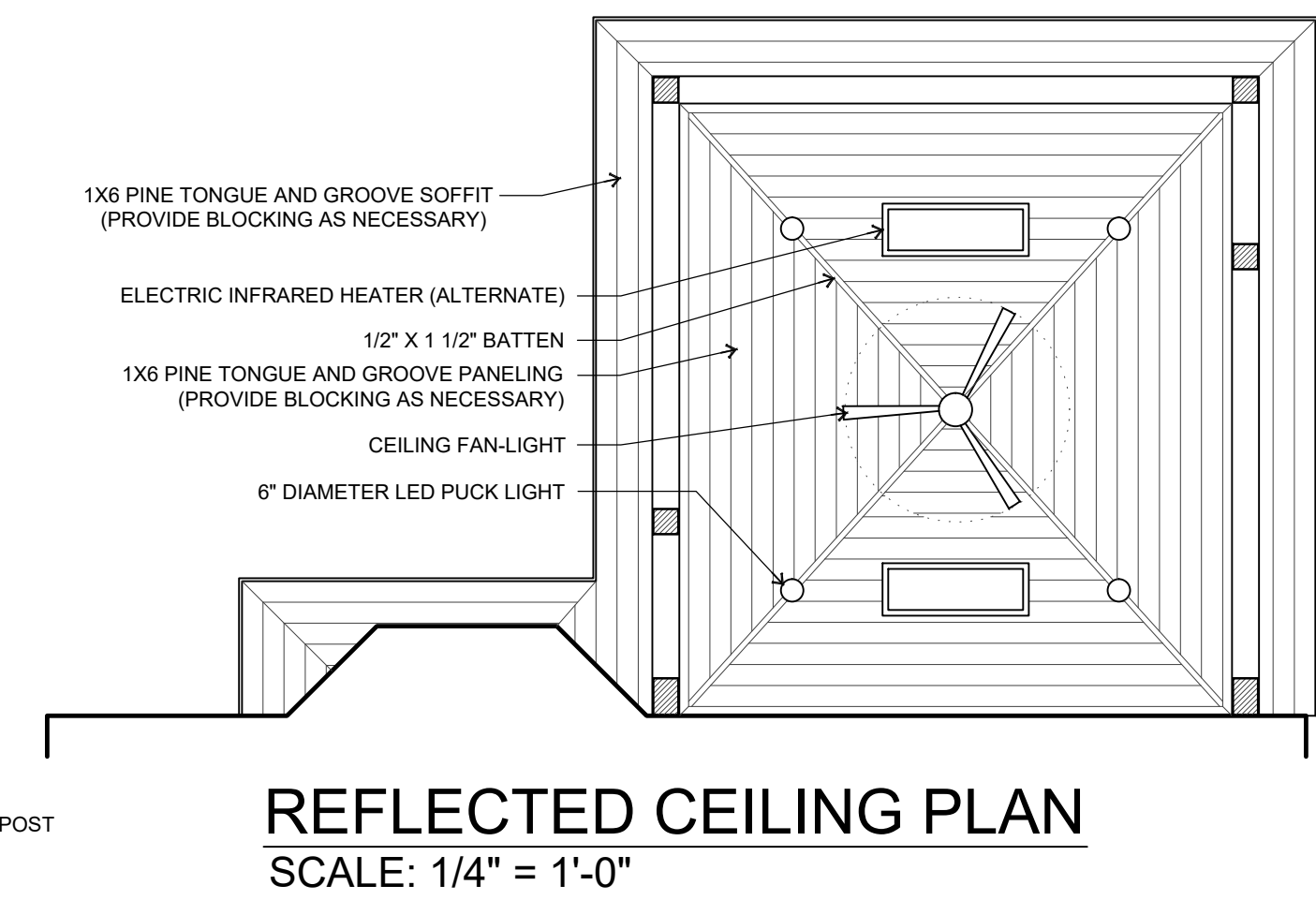
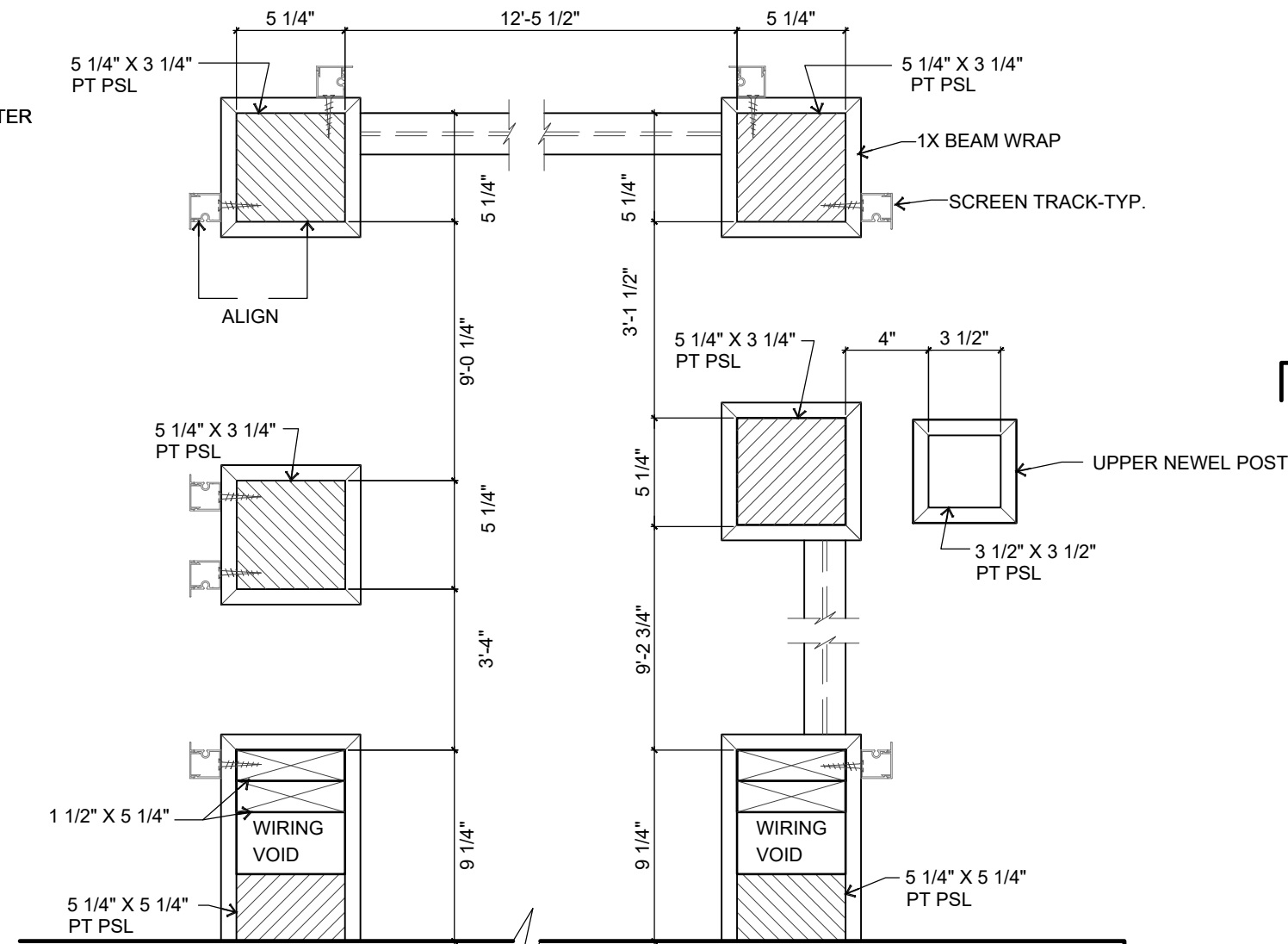
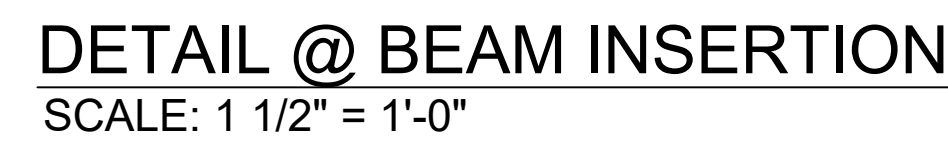
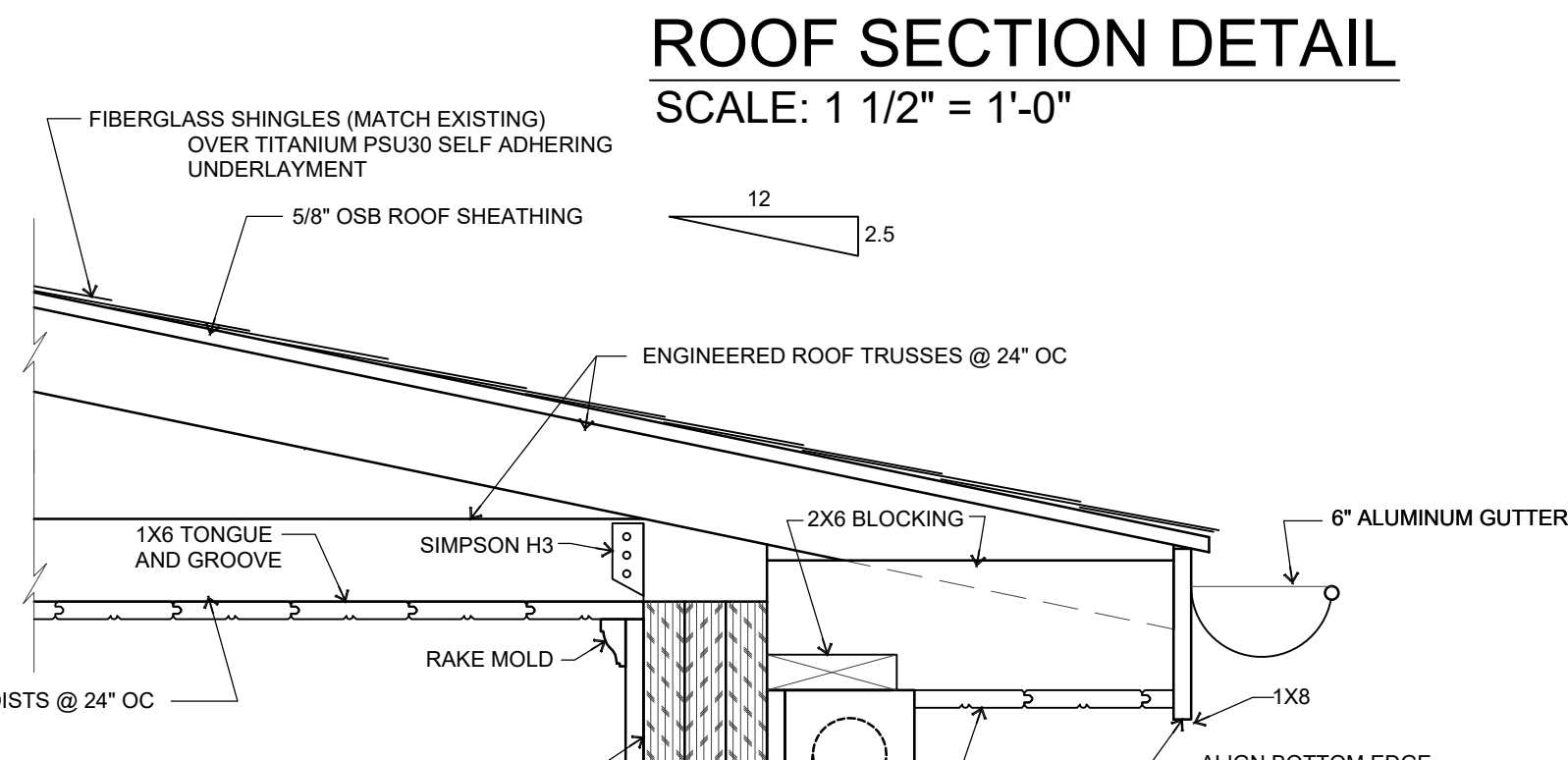
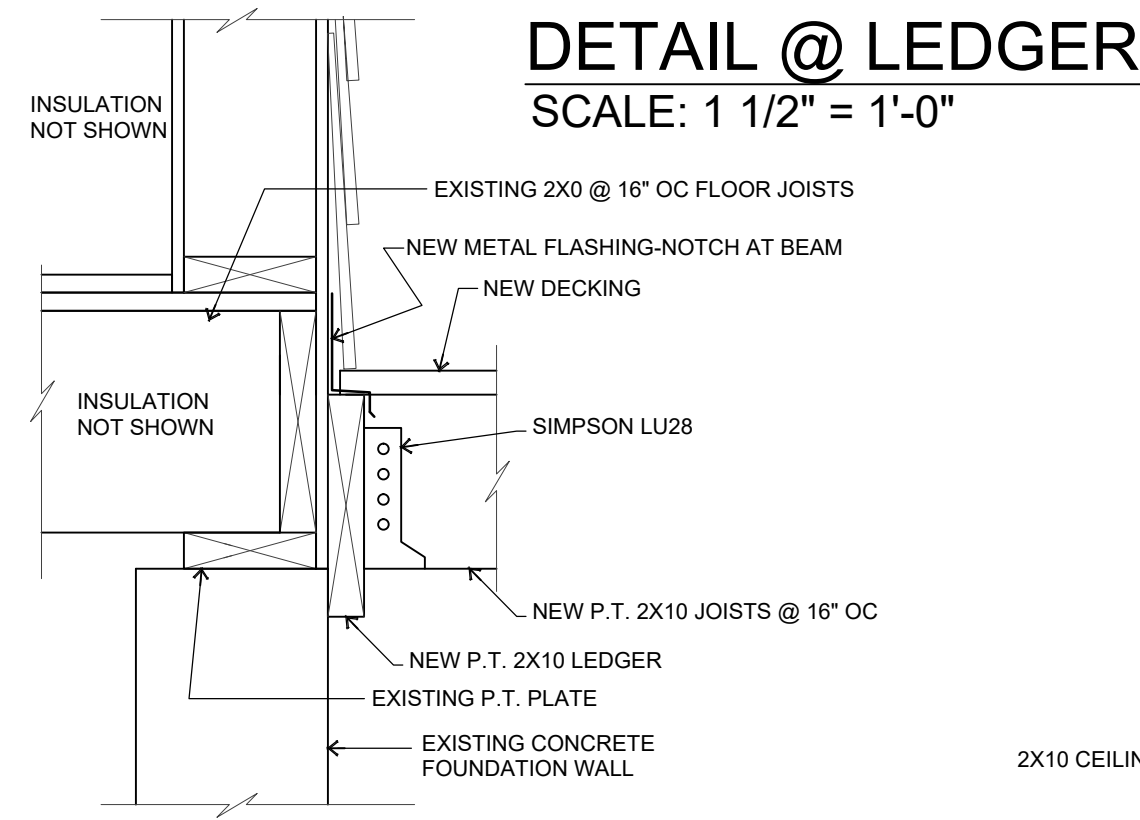


BID SET
 PLANS AND FRAMING PLANS
 ELEVATIONS
 SCALE: AS NOTED

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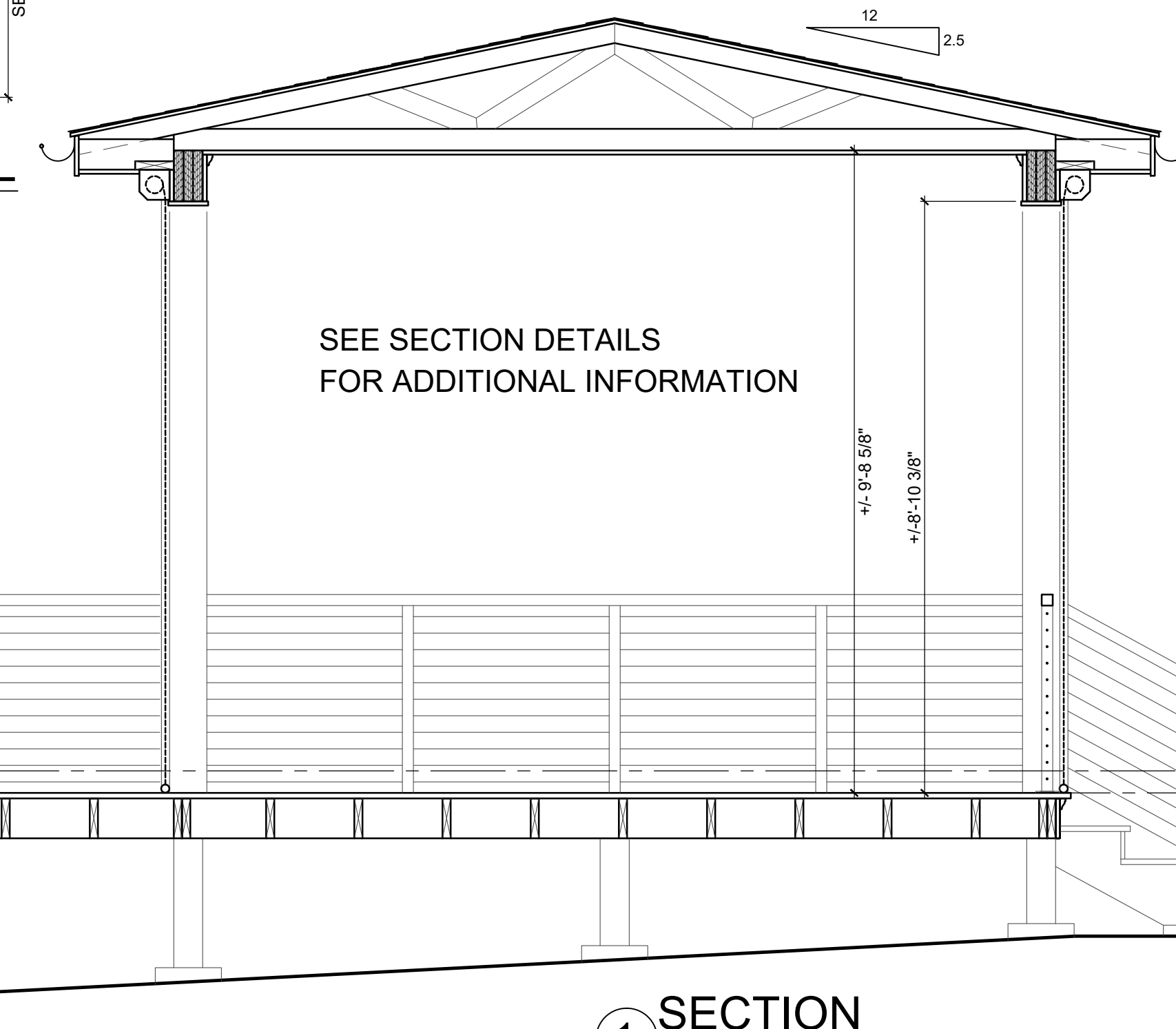
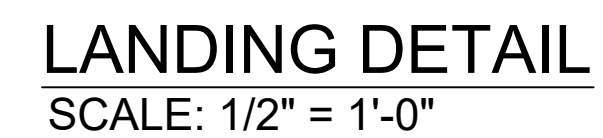
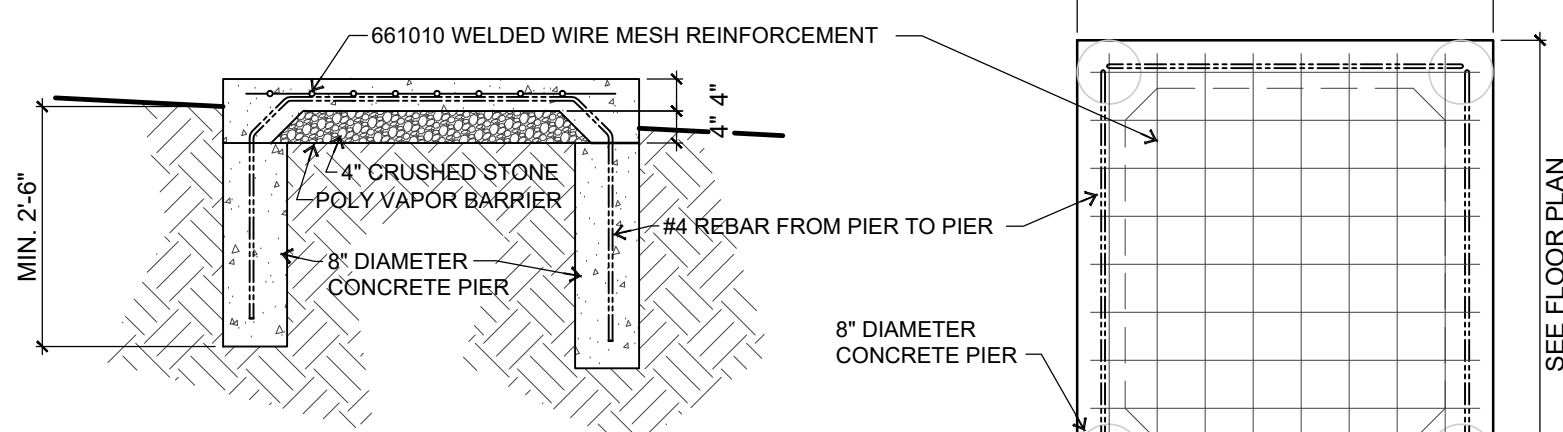
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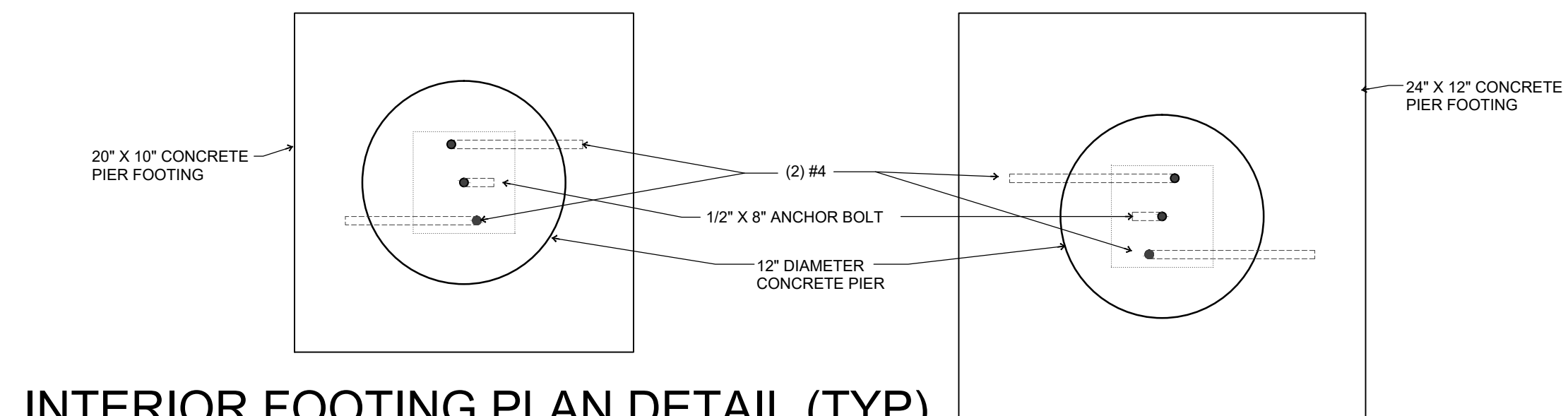
ELEC. LEGEND

- ⓐ 6" DIAMETER 120V PUCK LIGHT SATCO S29339 OR EQ
- ⓑ PADDLE FANLIGHT W/ REMOTE (TBS) (ALTERNATE) INFRA TECH C30 PATIO HEATER INCLUDING RECESSED FRAME AND DPDT SWITCHING
- ⓐ WEATHERPROOF DUPLEX OUTLET, GFI PROTECTED
- ⓑ THREE WAY SWITCH
- ⓐ SINGLE POLE SWITCH
- ⓑ HEATER CONTROLLER
- WIRING TO BE IN WATER RESISTANT RACEWAYS OR CONDUIT. SURFACE MOUNTED DEVICE BOXES TO BE WATER RESISTANT, SURFACE MOUNTED



APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 3:13 pm, Apr 08, 2022



BID SET
SECTIONS
DETAILS
SCALE: AS NOTED

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