



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: May 13, 2022

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 989960: Fenestration alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the May 4, 2022 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: James and Emily Petrila (Patricia Mendoza, Agent)
Address: 2 East Melrose Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.





APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

For Staff only: HAWP# 989960 Date assigned

APPLICANT:

Name: James Petрила & Emily Petрила Address: 2 E Melrose St Daytime Phone: 2025500739

E-mail: jpetрила@gmail.com City: Chevy Chase Zip: 20815 Tax Account No.:

AGENT/CONTACT (if applicable):

Name: Patricia F Mendoza Address: 9044 Templeton dr Daytime Phone: 2405957953

E-mail: pferrufino.m@gmail.com City: Frederick Zip: 21704 Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name X No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street: Town/City: Lot: Nearest Cross S Block: Subdivision:

REVIEWED By Michael Kyne at 12:44 pm, May 13, 2022

APPROVED Montgomery County Historic Preservation Commission [Signature]

TYPE OF WORK PROPOSED: See the checklist on Page for proposed work are submitted with this application to be accepted for review. Check all that apply:

- Checkboxes for: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Solar, Tree removal/planting, Window/Door, Other: Alteration

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature: Patricia Ferrufino Mendoza Date: 4/12/22

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

This is a Historic house
Basement /1st floor /2nd floor/ Attic

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Description of Work Proposed: Please give an overview of the work to be undertaken:

The work to be performed is at basement of the property and it will be mainly interior

Underpinning will be performed under the certification of a structural engineer

The goal is to achieve a higher ceiling height

Currently 6'-6" the plan is to have 9' ceiling height

There will be some interior demolition including existing columns (as per structural solution) to open up the space and accommodate new layout

Enlargement of a few inches of main door into basement

At west side elevation/basement: proposed new window at new office **as per proposed new work **

At east side elevation/1st Level: The existing library door will be converted into a window

Material/Colors/Style will remain as original

* **Work Item 1:** BASEMENT/UNDERPINNING INTERIOR LAYOUT

Description of Current Condition:

BASEMENT IS A UNFINISHED SPACE.
EXISTING HEIGHT 6'-6"
OPEN SPACE

Proposed Work:

- UNDERPINNING UNDER THE CERTIFICATION OF STRUCTURAL ENGINEER.
 - THE GOAL IS TO CREATE A NEW HEIGHT OF 9' CLEAR FROM FLOOR TO CEILING.
 - SOME DEMO INVOLVED COLUMNS.
 - NEW INTERIOR LAYOUT.
- ↓
NEW COLUMNS WILL BE REPLACING old ones

* **Work Item 2:** PROPOSED 48" x 36" WINDOW / BASEMENT

Description of Current Condition:

CURRENT CONDITION IS FOUNDATION WALL AT WEST SIDE OF THE HOUSE.

Proposed Work:

OPEN TO ACCOMMODATE NEW 48" x 36" WINDOW THIS WILL BE CERTIFIED BY STRUCTURAL ENGINEER. IT WILL BRING LIGHT TO (N) OFFICE

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* **Work Item 3:** DOOR AT LIBRARY / 1st FLOOR

Description of Current Condition:

THE EXISTING DOOR IS NOT BEING UTILIZED AS MUCH.

Proposed Work:

CONVERT EXISTING DOOR INTO A WINDOW UTILIZING SAME OPENING AND KEEPING EXISTING FRAMING AS MUCH AS POSSIBLE. NO CHANGING COLOR. SEE ELEVATION

* **Work Item 4:** enlarge MAIN DOOR

DOOR CURRENTLY 32"

PROPOSED WORK: OPEN A LITTLE BIT TO FIT 36" DOOR

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HAWP APPLICATION: MAILING ADDRESS
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address James Petril 2 E Melrose st Chevy Chase MD 20815	Owner's Agent's mailing address Patricia Ferrufino Mendoza 9044 Templeton dr Frederick , Md 21704
Adjacent and confronting Property Owners mailing addresses	
Norman & Jeanne Asher 1 E Melrose St Chevy Chase MD 20815	Patrick & Lindsay Conway 5 E Melrose St Chevy Chase MD 20815
Britt & Keeley Snider 6 E Melrose St Chevy Chase MD 20815	Manuel & Jamie Bramao 1 E Lenox St Chevy Chase MD 20815
James Spiegelman & Elizabeth Kannan 3 E Lenox St Chevy Chase MD 20815	2 West Melrose Street Chevy Chase, MD 20815

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

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HOUSE ADDITION

2 E MELROSE ST CHEVY CHASE MD 20815

SCOPE OF WORK

THE PROPOSED WORK IS TO UNDERPIN EXISTING FOUNDATION TO CREATE 9 FT HIGH CEILING IN BASEMENT.
 DEMOLITION IN SOME PARTS INCLUDING (E)COLUMNS TO ACCOMMODATE NEW ONES AS PER STRUCTURAL.
 SMALL ENLARGEMENT OF EXISTING DOOR
 NEW INTERIOR LAYOUT
 PROPOSED NEW 48"x36" WINDOW AT BASEMENT WEST SIDE
 CONVERSION OF EXISTING DOOR
 INTO NEW 48"x48" WINDOW AT 1ST FLOOR EAST SIDE

BUILDING DATA

INTERNATIONAL RESIDENTIAL CODE 2018 EDITION
 NATIONAL ELECTRICAL CODE 2018 EDITION
 PLUMBING CODES 2018 EDITION

	EXISTING	PROPOSED	NEW AREA	ALLOW
ZONE	R-60			
BASEMENT	1,215.9 SF	----- SF		
FIRST FLOOR	13,330.0 SF	0 SF		
SECOND FLOOR	13,330.0 SF	0 SF		
ATTIC	13,330.0 SF	0 SF		
Construct Type				
Total New Const.				
SETBACKS	Front 250 Ft	Side 250 Ft	Rear 250 Ft	Max High 250 Ft

GENERAL DATA

- All construction shall be in compliance with the International Residential Code 2015 IRC.
- The contractor shall verify all dimensions, grades, boundaries and construction before proceeding with the work.
- Wood stud bearing walls to be 2x6, 2x4 at 16 O.C. unless otherwise noted, SPF #2 grade or better.
- All wood less than 8" from grade shall be presure-treated. All wood plated on slab to be pressure treated.
- Provide minimum of R-49 Roof Insulation with vapor barrier and insulation baffles at each roof bay eave.
- Provide R-20 batt insulation with vapor on all finished frame walls unless otherwise noted.
- All exterior wood to be pressure treated or painted minimum of two coats of paint. All exterior metal-Louvers/steel lintel angel, flashing shall be galvanized and painted.
- Provide 3/4" T&G rated plywood subfloor.
- Provide 2x2x4 post at each end of double joists unless noted otherwise.
- Floor joist layout shown is only for guidance. floor joist supplier shall provide joist layout & and ensure not to obstruct plumbing & HVAC openings.
- Any walks and stops with two risers and over shall be provided with handrail 3'-0" high.
- Smoke detectors to be installed in accordance with local codes and requirements and to be integrated with the electrical system.
- All electrical work shall be installed in accordance with NEC and local codes.
- All mechanical work shall be installed in accordance with mechanical codes.
- Bottom of footing shall be a minimum of 30" below grade.
- Dimensions given on floor plans are face to face of finished wall.
- General contractor and manufacturers to coordinate all dimensions concerning doors, panels, windows, trusses and their openings prior to fabrication and construction.
- Typical interior partitions 2x4 wood studs with one layer 5/8" gypsum board both sides unless otherwise noted.
- Provide sheathing at all exterior frame walls as shown on drawings. Install in accordance with manufacturer's recommendations.
- Provide continuous footing drain tile along the building basement perimeter. Drain to positive outfall.

- Provide splash block at all downspouts to direct water way from building or run downspout into sleeve connected to below-grade pipe directing water away from building.
- Provide a minimum of one light fixture in roof trusses attic access.
- Soil bearing capacity shall be minimum of 2000 PSF.
- Concrete: 3000 psi minimum.
- Minimum design loads shall be: 30 PSF habitable attics
10 PSF non storage attic, 30 PSF roof, 40 PSF stairs and decks, 40 PSF ext balconies, 40 PSF sleeping rooms.
- 40 PSF stairs, 40 PSF non bedroom habitable space.
- Minimum design wind speed shall be 115 MPH.
- Each bedroom shall have at least one window with clear opening of 5.7' of the minimum clear width shall be 20 inches and the minimum clear height shall be 24 inches. The sill height shall not be more than 44 inches above F.F.

INDEX
IN PROGRESS...

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(240) 5957953

CONTRACTORS TO VERIFY DIMENSIONS AND CONDITIONS TO BRING ANY DISCREPANCY TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING WITH WORK. ALL WORK MUST FOLLOW THE CURRENT CITY ORDINANCES AND PASS THE APPROPRIATED CITY INSPECTIONS.

Revisions:

GENERAL DATA

	EXISTING	PROPOSED	NEW AREA	ALLOW
Zone	R-60			
Lot Sq	56			
Ld Area	13,330.0 SF			
Ld Coverage %	13,330.0 SF			
Construct Type				
Basement Area				
Total New Const.				
SETBACKS	Front 250 Ft	Side 250 Ft	Rear 250 Ft	Max High 250 Ft

ZONING SUMMARY

	EXISTING	PROPOSED	NEW AREA	ALLOW
Zone	R-60			
Lot Sq	56			
Ld Area	13,330.0 SF			
Ld Coverage %	13,330.0 SF			
Construct Type				
Basement Area				
Total New Const.				
SETBACKS	Front 250 Ft	Side 250 Ft	Rear 250 Ft	Max High 250 Ft

SYMBOL KEY

Size: 36x24
Scale: UNLATED
Project #: 046
Drawn by: FVJ

Project: BASEMENT UNDERPINNING
Owner: PETRILA RESIDENCE

Sheet Title: COVER SHEET
2 E MELROSE ST, 20815
CHEVY CHASE MD

Version: PERMIT
Date: 4/13/2022
Sheet No: CS

REVIEWED

By Michael Kyne at 12:46 pm, May 13, 2022

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ALL WORK MUST FOLLOW THE CURRENT
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CITY INSPECTIONS.

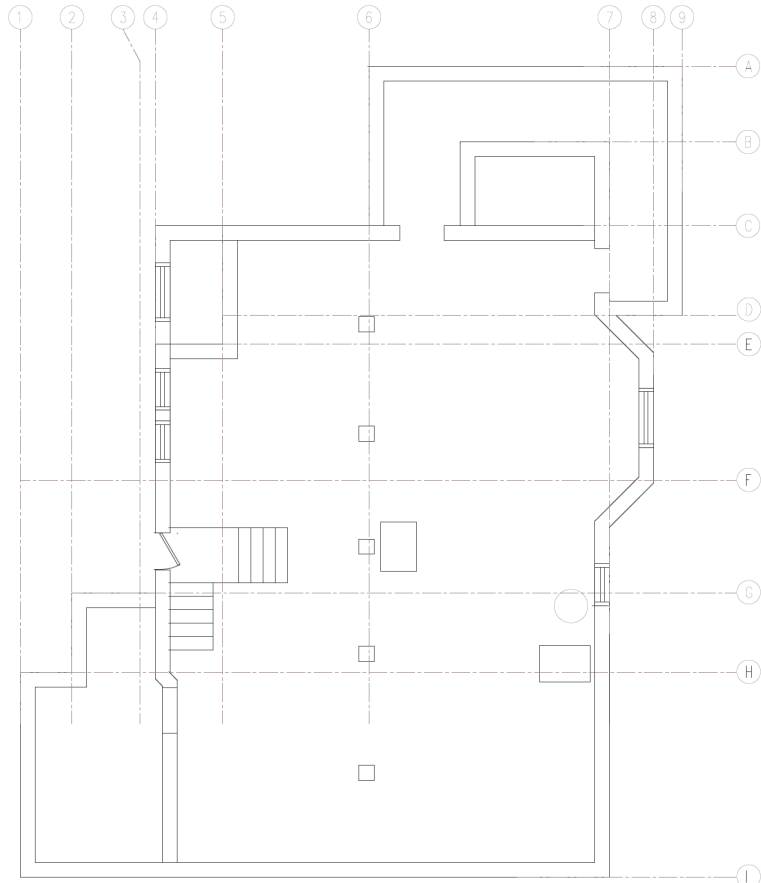
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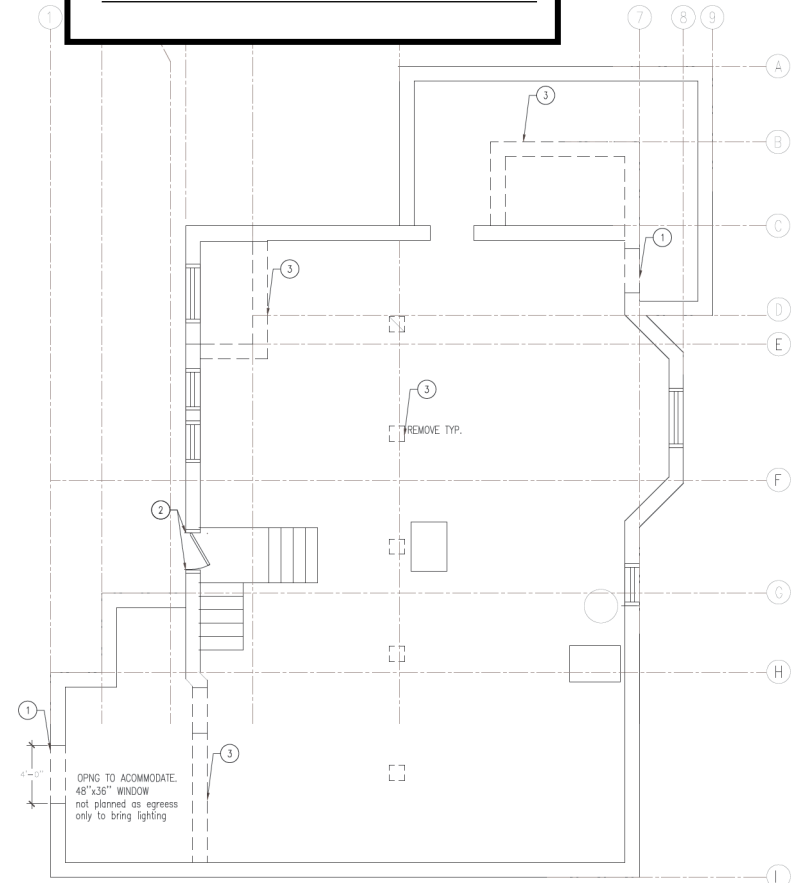
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UNDERPINNING
Owner: PETRILA RESIDENCE

Sheet Title:
EXISTING
CONDITIONS
P E R M I T
S E R I A L N O . 20819
S H E E T N O . 01

Version: PERMIT
Date: 4/13/2022
Sheet No:
A100



Basement Existing Layout
Scale 1/4" = 1'-0"

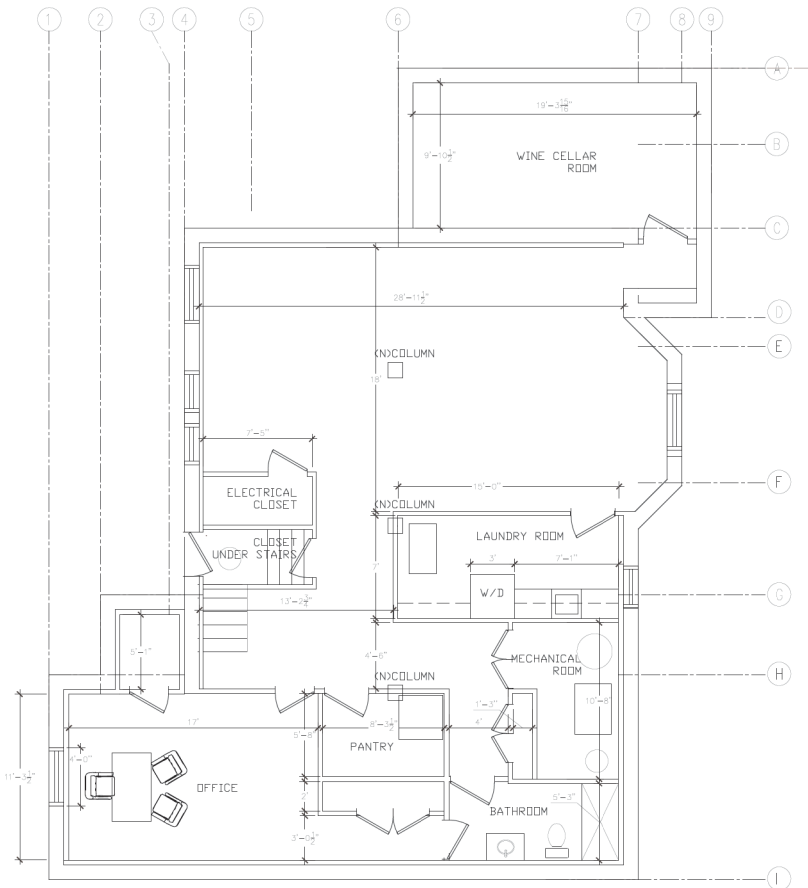


Basement Demolition Layout
Scale 1/4" = 1'-0"

- 1 CREATE AN OPENING .
- 2 INCREASE OPENING WIDTH FROM 32" TO 36"
- 3 TO BE DEMOLISHED

4'-0"
OPING TO ACCOMMODATE
48"x36" WINDOW
not planned as egress
only to bring lighting

REMOVE TYP.



Basement Proposed Layout
Scale 1/4" = 1'-0"

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Revisions:

Size:	36x24
Scale:	INDICATED
Project#:	1046
Drawn by:	FKH

Project: BASEMENT UNDERPINNING
Owner: PETRILA RESIDENCE

Sheet Title:
NEW WORK
P E R M I T
C H E N G E M E N T 2019

Version: PERMIT
Date: 4/13/2022
Sheet No: CS

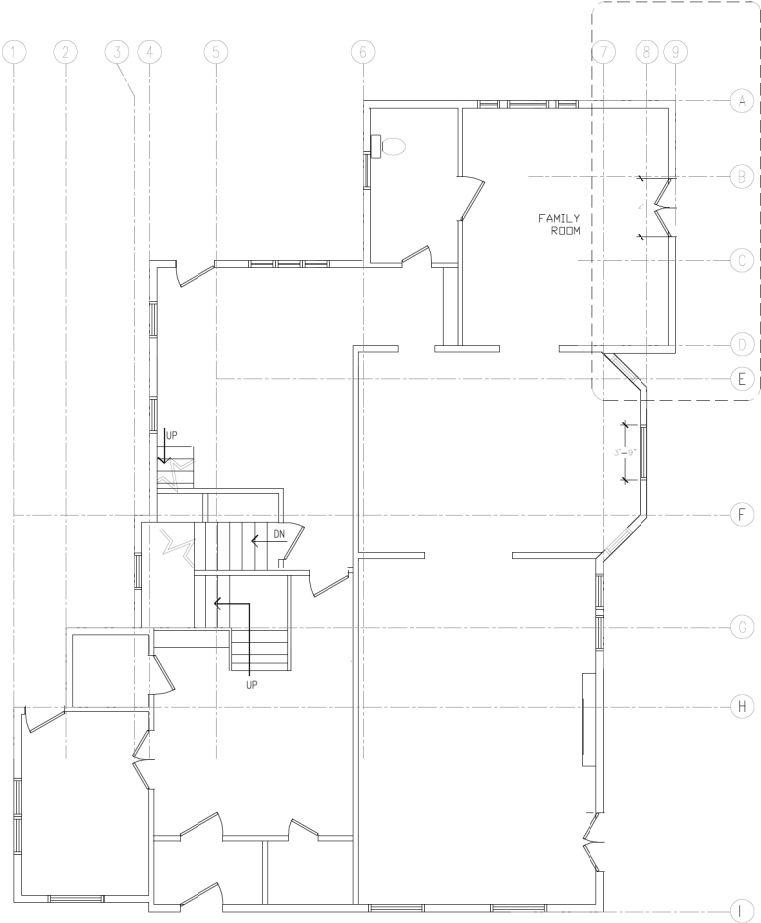
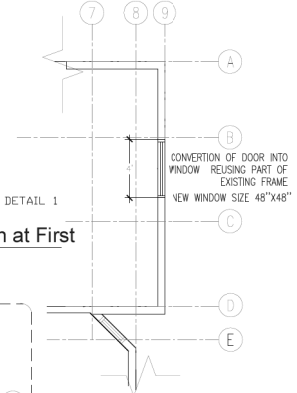
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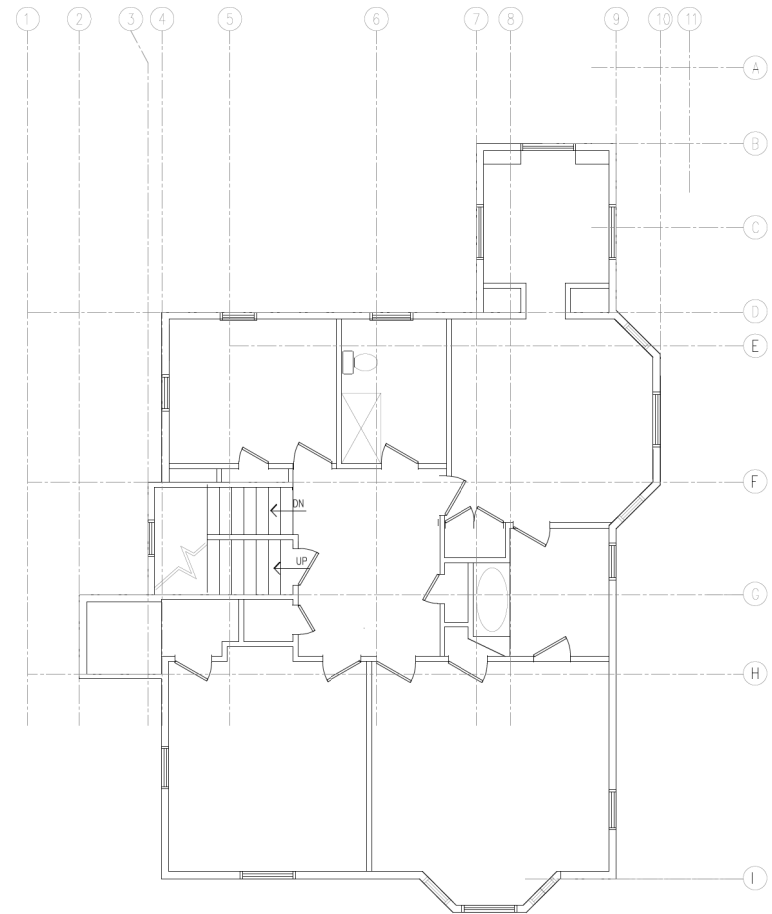


MINIMAL WORK IN FIRST FLOOR
 Converting existing door at family
 room into a window

Proposed Door Alteration at First



First Floor Existing Layout
 Scale 1/4" = 1'-0"



Second Floor Existing Layout For
 Reference only Scale 1/4" = 1'-0"

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CONTRACTORS TO VERIFY CONDITIONS
 AND CONDITIONS TO DURING ANY
 DISCREPANCY TO THE ATTENTION OF THE
 ARCHITECT BEFORE PRECEEDING WITH WORK.
 ALL WORK MUST FOLLOW THE CHAIRMAN'S
 BOARD DECISIONS AND PASS THE APPROPRIATE
 CITY INSPECTIONS.

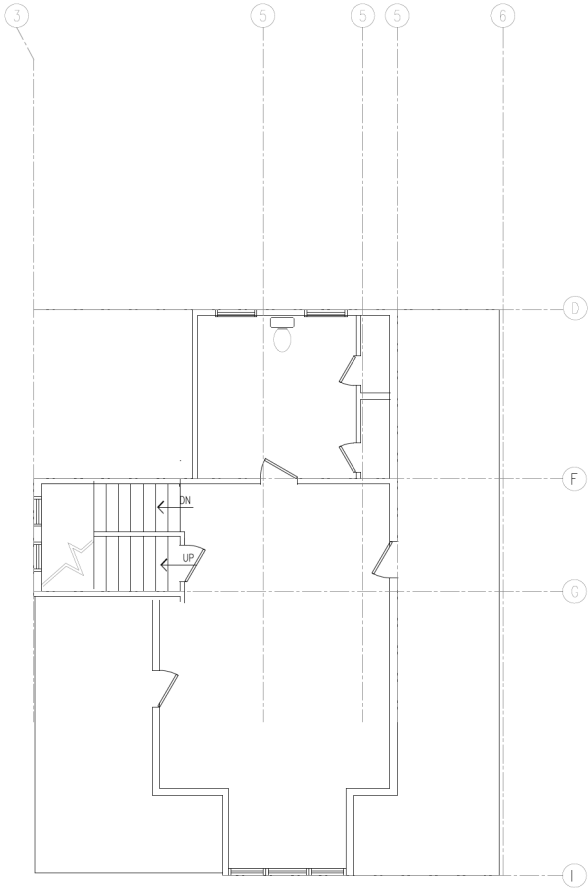
Revisions:

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Project#:	046
Drawn by:	FFH

Project: BASEMENT UNDERPINNING
 Owner: PETRILA RESIDENCE

Sheet Title:
 UPPER LEVELS
 2 E. COLLEGE BLVD. #101
 CHEVY CHASE, MD 20815

Version:	REVIT
Date:	4/25/2022
Sheet No:	CS



Attic Floor Existing Layout
For Reference only Scale 1/4" = 1'-0"

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By Michael Kyne at 12:46 pm, May 13, 2022

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Revisions:

Size: 36x24
Scale: INDICATED
Project#: 1046
Drawn by: FFW

Project: BASEMENT UNDERPINNING
Owner: PETILA RESIDENCE

Sheet Title: UPPER LEVELS
2 F. LEVELS (IT)
(REVISIONS) (IT) 2019

Version: F001T
Date: 4/13/2022
Sheet No: CS

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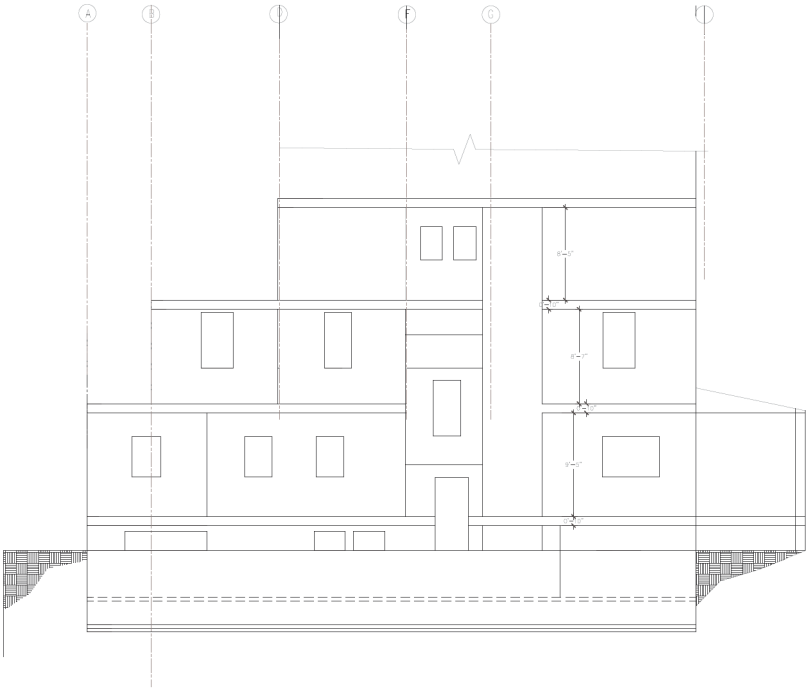
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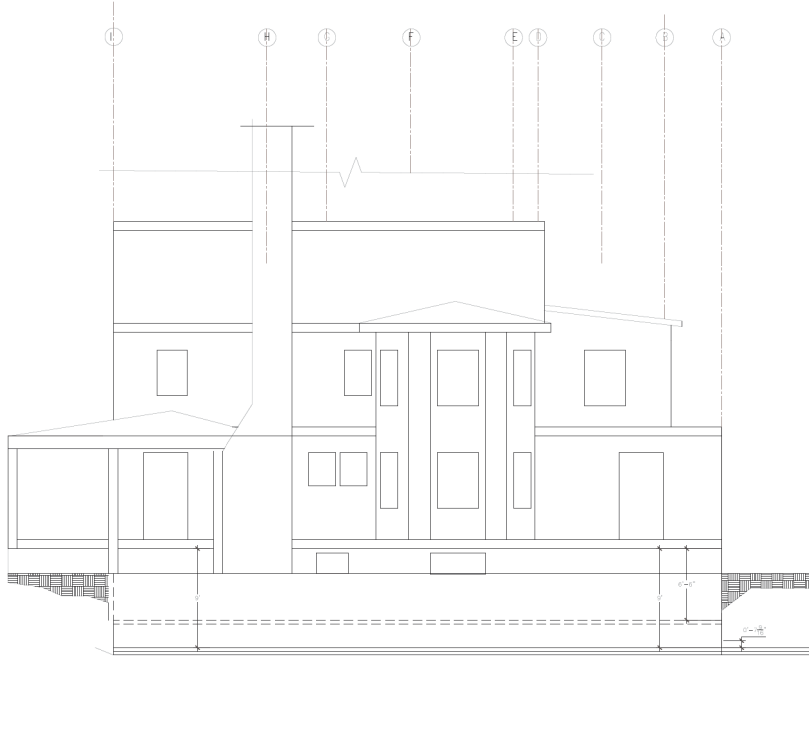
Project: BASEMENT UNDERPINNING
 Owner: PETRILA RESIDENCE

Sheet Title:
 COVER SHEET
 2 E. COLLEGE ST.
 CHESTER, MD 20815

Version: PERMIT
 Date: 4/26/2022
 Sheet No:
 CS



Existing East Elevation
 Scale 3/16" = 1'-0"



Existing West Elevation
 Scale 3/16" = 1'-0"

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 By Michael Kyne at 12:46 pm, May 13, 2022

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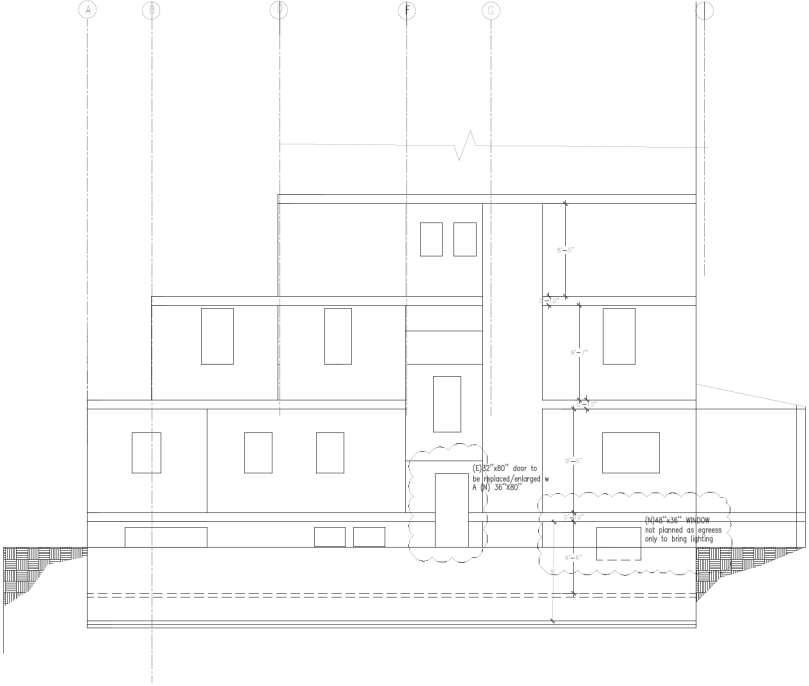
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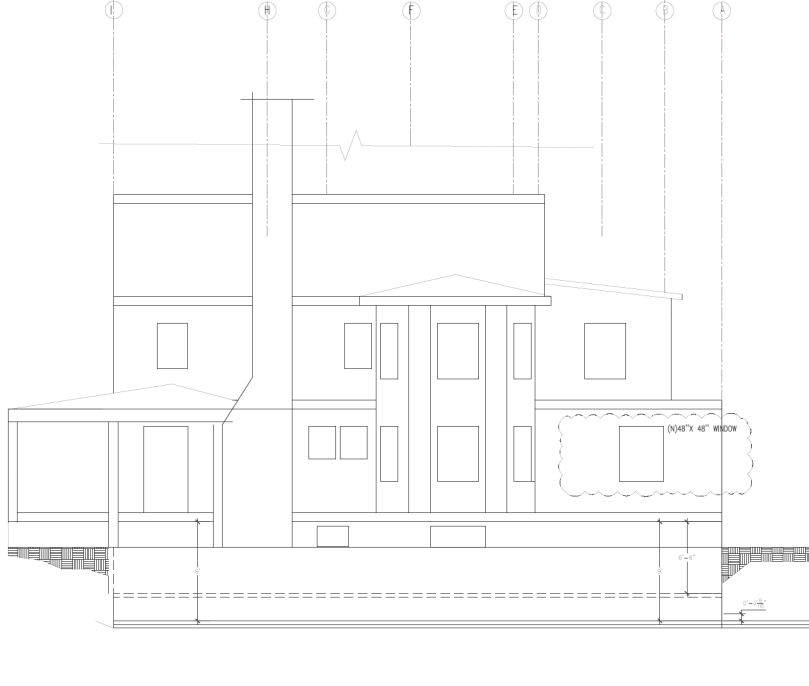
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 2 E RELEASE IT
 ONE CHANGE (01/20/19)

Version: PERMIT
 Date: 4/26/2022
 Sheet No: CS

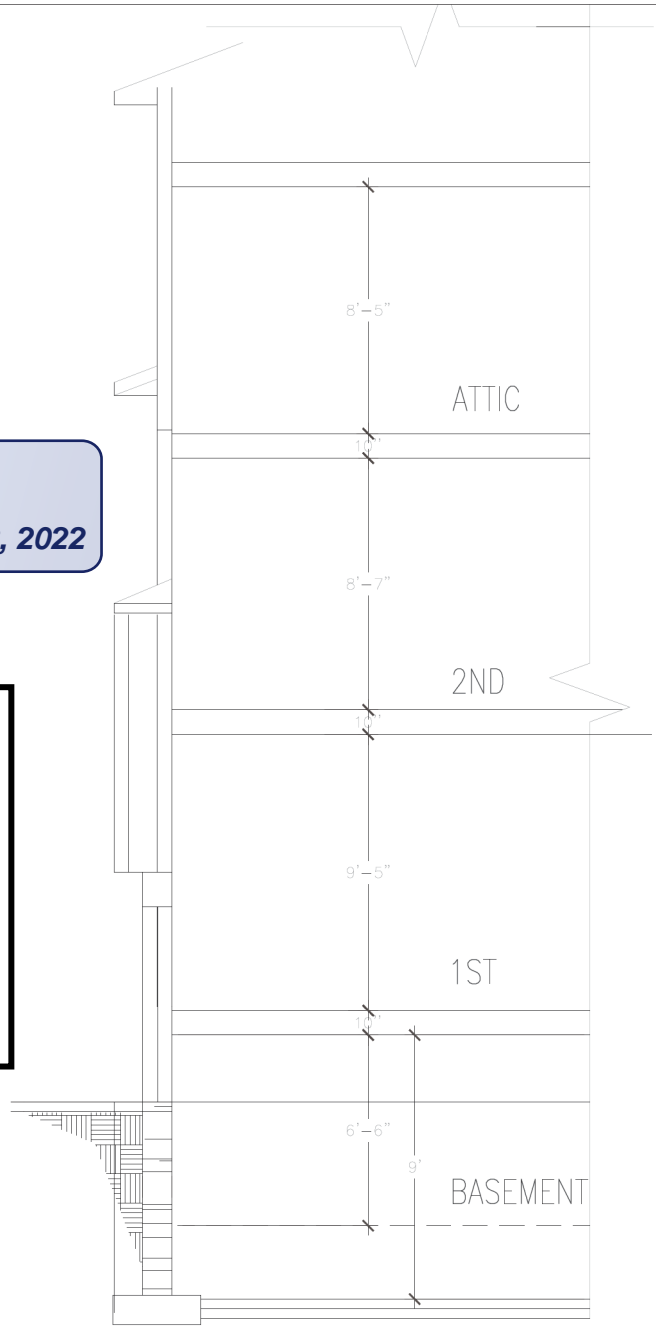


Proposed East Elevation
 Scale 3/16" = 1'-0"

 SHOWS MODIFIED AREAS



Proposed West Elevation
 Scale 3/16" = 1'-0"



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Ronald A. Butler

Schematic Wall Section
 Scale 1/4" = 1'-0"

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Revisions:

Size: 36x24	Scale: UNLATED	Project#: 1046	Drawn by: FFI
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Project: BASEMENT UNDERPINNING
 Owner: PETRILA RESIDENCE

Sheet Title: COVER SHEET
 2 E. GEORGETOWN
 CHESTERFIELD, MD 20815

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Robert H. [Signature]

we will ~~Re-use~~
 Re-use the
 old door
 and transom
 into a window

on the
 inside we
 will put
 Drywall and
 a little bit of
 framing

→ this
 top section
 will come
 off we
 will replace
 with solid
 temper glass
 Both sides
 on the
 stor door only
 cut

→ Fill
 with plywood
 or wood
 on the
 outside





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UNMATCHED FREEDOM

Whether you're looking for traditional styling or a more contemporary look – if it's possible, it's possible with E-Series windows and patio doors. With custom colors, unlimited interior options and dynamic sizes and shapes, every E-Series product is made to your exact specifications. Giving you unmatched flexibility and design freedom.



- Virtually maintenance-free exteriors never need painting and won't peel, blister or flake*
- Extruded aluminum exteriors provide greater structural capabilities than thinner, roll-form aluminum
- Weather-resistant construction for greater comfort and energy efficiency
- Many E-Series windows and patio doors have options that make them ENERGY STAR® v. 6.0 certified throughout the U.S.
- 50 exterior colors, seven anodized finishes and custom colors
- Variety of wood species and interior finishes
- Extensive hardware selection, grilles, decorative glass options and more
- Available with Stormwatch® Protection for coastal areas



PRODUCT TYPES

- Casement windows
- French casement windows
- Push out casement windows
- Awning windows
- Push out awning windows
- Double-hung windows
- Double-hung insert windows
- Double-hung sash replacement kits
- Bay and Bow windows
- Gliding windows

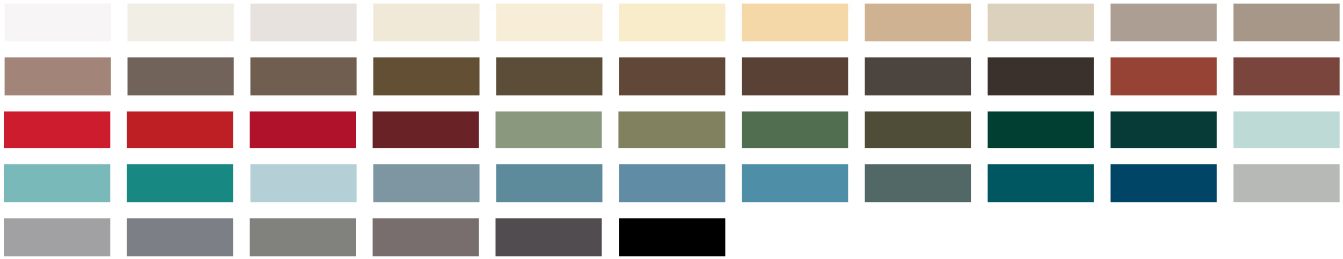


*Visit andersenwindows.com/warranty for details.

E-SERIES Windows

PRODUCT OPTIONS

EXTERIOR COLORS



Anodized Finishes



INTERIOR OPTIONS

Wood Species All interior finish options are shown on pine.



Factory-Finished Interiors



Naturally occurring variations in grain, color and texture of wood make each window one of a kind.

Painted Interiors Available on pine.



HARDWARE OPTIONS†

CASEMENT & AWNING††

Casement



Antique Brass | Polished Brass | Black
Bronze | **Oil Rubbed Bronze†**
Bright Chrome | Satin Chrome | Gold‡
Pewter‡ | White

‡Gold, Oil Rubbed Bronze and Pewter are available on Casement windows only.

Awning



Antique Brass
Polished Brass | Black
Oil Rubbed Bronze
Satin Chrome | White

DOUBLE-HUNG & GLIDING††

Standard Sash Locks



Antique Brass | Polished Brass | Black | Bronze
Oil Rubbed Bronze | **Bright Chrome** | Satin Chrome
Gold | Pewter | White

Optional Sash Lifts



Bold name denotes finish shown.

REVIEWED

By Michael Kyne at 12:44 pm, May 13, 2022



For

*Actual wood species is either Sapele or Sipo, both non-endangered species.

**Dark Bronze and black are also available on maple. †Anodized s

Printing limitations prevent exact replication of colors and finishes. See your Andersen supplier for actual color and finish samples.

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#1 Home Improvement Retailer



You're shopping Silver Spring

Delivering to 20904

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By Michael Kyne at 12:44 pm, May 13, 2022

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Internet #30830

APPROVED
 Montgomery County
 Historic Preservation Commission



04030331

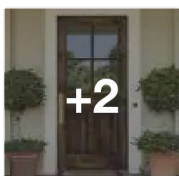


K.

Krosswood Doors

36 in. x 80 in. Rustic Knotty Alder 4-Lite Clear Glass 2-Panel Unfinished Wood Front Door Slab

★★★★★ (12) Questions & Answers (40)



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