



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: May 13, 2022

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 981848: Partial demolition, comprehensive rehabilitation, building alterations, new addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the May 4, 2022 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Daniel Ferenczy (Sigi Koko, Agent)
Address: 9220 Damascus Hills Lane, Damascus

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



- Although not specified in the previous submission, there were concerns about the proposed number of lites for the replacement windows on the house. 2-over-2 double-hung windows to match the existing/original windows were noted as the appropriate option.
- There were concerns regarding the proposed straw and lime plaster treatment on the original house, with some preferring in-kind replacement of the existing wood clapboard siding.
 - Several commented that the most significant character-defining feature of the historic house is its form and massing (including the traditional L-shaped configuration and the center cross gable on the front elevation), and they supported the proposed straw and lime plaster treatment throughout.
 - Alternative suggestions included retaining the wood clapboard siding on original house and only using the straw and lime plaster treatment on the addition, or applying wood clapboard siding to match the existing over the proposed lime plaster on the original house, if practicable.

The applicant has returned with a HAWP application for the following work items house:

- Extend the foundation of the existing rear addition 5' x 6' to accommodate a proposed new mudroom entrance.
- Replace the existing sheathing and wooden clapboard siding with lime plaster.
- Remove the existing rear addition roof and alter the rear addition, creating a two-story rear addition.
 - Materials for the proposed addition include a living (moss and succulent covered) roof, wood casement windows, wood trim, and lime plaster siding.
- Comprehensive rehabilitation of the historic house, including repair of the existing attic windows, installation of new two-over-two double hung TDL wood windows, installation of new wood paneled doors, and in-kind repair of the existing standing seam metal roof,

Staff notes that the proposed new deck noted in the application is not part of this proposal, and the applicant intends to submit a separate HAWP application for that work.

Staff supports applicant's proposal. As noted in the *Amendment*, the house "...has had many alterations, [and] additional changes should be reviewed with leniency by the Historic Preservation Commission." Regarding the proposed siding replacement, several Commissioners remarked that the most significant character-defining feature of the house is its form and massing (which will not be altered), and they supported the proposed straw and lime plaster treatment. Additionally, there is some evidence that the existing clapboard siding is not original. Namely, there is foam insulation installed over the studs on the outside of the house, with the clapboard siding installed over it. This foam insulation is stamped with the date 1979. The clapboard siding is also unfinished, with no evidence or having ever been painted. With this, staff concludes that the proposed siding replacement will not remove original materials.

Staff finds that the proposed work items, including the new addition, siding replacement, and use of alternative materials, will not alter or remove original and/or significant character-defining materials, features, or spaces of the subject property, in accordance with *Standards #2 and #9*. Further, these alterations could be removed in the future, leaving the essence of the property intact and its environment unimpaired, per *Standard #10*.

REVIEWED consideration of the applicant's submission with the Criteria for Issuance in Chapter 24A-8(b), (1), and (2).
By Michael Kyne at 11:58 am, May 13, 2022

APPROVED
Montgomery County
Historic Preservation Commission





APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name: Daniel Ferenczy
Address: 636 River Road
Daytime Phone: 907-750-8306

E-mail: daniel.ferenczy@gmail.com
City: Coxsackie, NY Zip: 12192
Tax Account No.: 03815944

AGENT/CONTACT (if applicable):

Name: Sigi Koko
Address: 1376 W. Woodbine Road
Daytime Phone: 202-302-3055

E-mail: sigikoko@buildnaturally.com
City: Fawn Grove, PA Zip: 17321
Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 11/021-000A

Is the Property Located within an Historic District? Yes/District Name No/Individual Site Name Rezin Bowman Farm

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 9220 Street: Damascus Hills Lane
Town/City: Damascus Nearest Cross Street: Route 108 / Damascus Hills Lane
Lot: 119 Block: Subdivision: Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscaping, Roof

REVIEWED By Michael Kyne at 11:58 am, May 13, 2022

I hereby certify that I have the authority to make the foregoing and accurate and that the construction will comply with all applicable laws, codes, and regulations of the County and State of Maryland and hereby acknowledge and accept this to be a true and correct copy of the original.
Daniel P Ferenczy

Signature of owner or authorized agent

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Montgomery County
Historic Preservation Commission
[Signature]

Adjacent and Confronting Properties:

Gaithersburg, MD 20882

9105 Bonny Brook Court

9109 Bonny Brook Court

9108 Bonny Brook Court

9215 Damascus Hills Lane

9203 Damascus Hills Lane

9214 Damascus Hills Lane

Seneca Ridge Development, LLC 5313 Lee Highway 2nd Floor Arlington, VA 22207

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By Michael Kyne at 11:58 am, May 13, 2022

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Robert H. Patton

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

The 9.8 acre "Rezin Bowman Farm" property is one mile southeast of Damascus and adjoins the Great Seneca Stream Valley Park. The property is down a long driveway and encircled by forest land.

The terrain consists of gently sloping lawns and tree-lines to a large pond. The buildings include a 20th C dwelling, a 19th C bank barn and corn crib, and a 1930s dairy barn with milk house and silos.

The dwelling is an early 20th C vernacular farmhouse. It is a two story home with a cross-gable metal roof and wrap around porch. The foundation is in three parts: a small stone basement, larger stone crawlspace, and a newer cement block crawlspace.

Description of Work Proposed: Please give an overview of the work to be undertaken:

We intend to conduct a comprehensive rehabilitation of the entire site that returns the farm to proper order complete with restored barns, kitchen gardens, and pond.

For this HAWP we are proposing a complete farmhouse rehabilitation while retaining the original architectural features of the home. We will ensure the massing of the main block, front facade and historic windows are retained and clearly discernible. We will use a lime plaster exterior finish due to its hygroscopic nature that sucks moisture away from cellulosic materials (wood and straw) preventing rot.

Our architect is Sigi Koko, who has over 20 years experience in natural building. Our builder is Tim Stull, a local contractor with experience in natural building and working on historically preserved houses.

We are proposing the following:

1. Extend Rear Foundation by 30 sq ft for mudroom entrance, and re-attach a 12'x24' rear deck.
2. Remove deteriorated unpainted wood siding; Replace with traditional lime plaster.
3. Remove the patchy rear shed roof and rotted frame; replace with two-story frame / living roof.

Adjacent and Confronting properties:

Gaithersburg, MD 20882

9105 Bonny Brook Court

9109 Bonny Brook Court

9108 Bonny Brook Court

9215 Damascus Hills Lane

9203 Damascus Hills Lane

9214 Damascus Hills Lane

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| | |
|--|---|
| Work Item 1: <u>Rear Addition</u> | |
| <p>Description of Current Condition: The foundation is pretty good.</p> <p>A deck used to exist there, but has since been removed.</p> | <p>Proposed Work: Extend the rear kitchen foundation to accommodate an insulated mudroom entrance.</p> <p>Rebuild the former rear deck.</p> |

| | |
|--|--|
| Work Item 2: <u>Siding</u> | |
| <p>Description of Current Condition: The wood siding and Celotex foam sheathing is in disrepair.</p> | <p>Proposed Work: Replace the sheathing and wood siding with lime plaster. The lime plaster is an optimal exterior siding for natural building, as it is breathable and adheres excellently to organic structural and insulation material, such as wood, stone, and straw.</p> |

| | |
|--|--|
| Work Item 3: <u>Rear roof</u> | |
| <p>Description of Current Condition: Broken skylights and a hole from a removed chimney.</p> | <p>Proposed Work: Remove the rear roof and rotted frame and replace with a two-story structure and living roof.</p> |
| <p>REVIEWED By Michael Kyne at 11:58 am, May 13, 2022</p> <p>The supporting frame of the back half of the house is mostly rotten.</p> | <p>APPROVED</p> <p>Montgomery County Historic Preservation Commission</p>  |

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

| | Required Attachments | | | | | | |
|--------------------------------|------------------------|--------------|---------------------|----------------------------|----------------|----------------|-----------------------------|
| Proposed Work | I. Written Description | 2. Site Plan | 3. Plans/Elevations | 4. Material Specifications | 5. Photographs | 6. Tree Survey | 7. Property Owner Addresses |
| New Construction | * | * | * | * | * | * | * |
| Additions/Alterations | * | * | * | * | * | * | * |
| Demolition | * | * | * | | * | | * |
| Deck/Porch | * | * | * | * | * | * | * |
| Fence/Wall | * | * | * | * | * | * | * |
| Driveway/Parking Area | * | * | | * | * | * | * |
| Grading/Excavation/Landscaping | * | * | | * | * | * | * |
| Tree Removal | * | * | | * | * | * | * |
| Siding/ Roof Changes | * | * | * | * | * | | * |
| Window/Door Changes | * | * | * | * | * | | * |
| Masonry Repair/Repoint | * | * | * | * | * | | * |
| Signs | * | * | * | * | * | | * |

REVIEWED
By Michael Kyne at 11:58 am, May 13, 2022

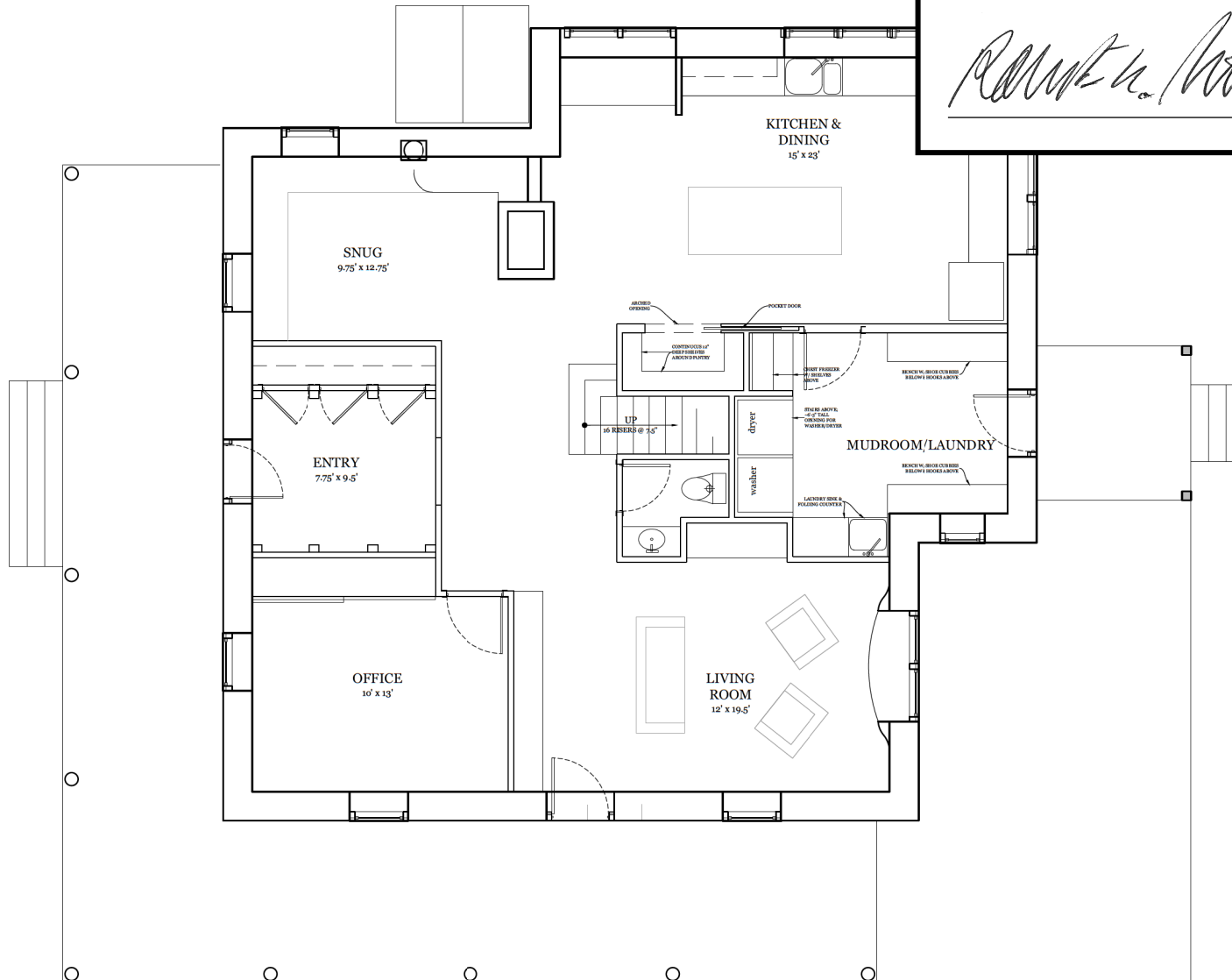
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REVIEWED

By Michael Kyne at 11:59 am, May 13, 2022

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A LEVEL ONE PLAN
1/4"=1'-0"

DOWN TO EARTH DESIGN
natural building design + workshops
environmental consulting

Sigi Koko
202/302-3055 DC
215/540-2694 PA
sigkokoko@builddnaturally.com
www.builddnaturally.com
1376 W. Woodbine Road | Fawn Grove, PA 17321

NOTES

1. Typical interior wall construction: 2x4 studs @ 16" O.C. with lath & clay plaster.
2. Typical exterior wall construction:
 - 2.1. Strawbale infill around framing elements (see detail sheets)
 - 2.2. Apply three coats clay plaster on interior (see specifications); slip coat to just coat straw in clay; thick base coat with high straw content to shape walls, allow to dry completely, apply finish plaster
 - 2.3. Apply three coats lime plaster on exterior (see specifications); each coat applied between 1/4" and 3/8" maximum; allow 10 days curing time above 40°F between coats; pigment finish coat as desired
3. Typical ceiling finish:
 - 3.1. exposed floor framing
 - 3.2. exposed underside of 2x subfloor
- 4.

DESIGN DEVELOPMENT

FERENCZY HOME
9220 Damascus Hills Lane | Damascus, MD 20882

100% DESIGN DEVELOPMENT
© Sigi Koko / Down to Earth Design, Inc.

SHEET TITLE

BUILDING PLANS:
FIRST FLOOR

DRAWN BY: SK

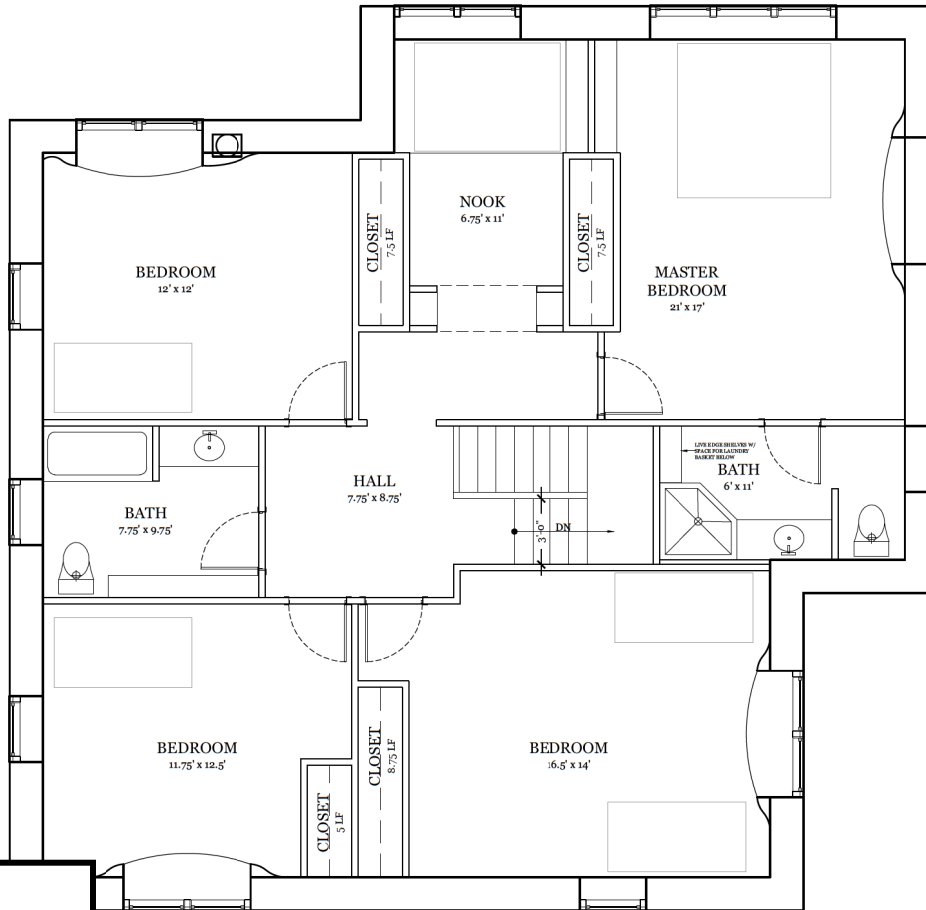
SCALE: 1/4"=1'-0"

DATE:

A-1.1

REVIEWED

By Michael Kyne at 11:59 am, May 13, 2022



A LEVEL TWO PLAN
1/4"=1'-0"

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NOTES

DESIGN DEVELOPMENT

FERENCZY HOME
9220 Dunsmasctus Hills Lane | Dunsmasctus, MD 20688z

100% DESIGN DEVELOPMENT

© Sigi Koko / Dawn to Earth Design, Inc.

SHEET TITLE

BUILDING PLANS:
2ND FLOOR & ROOF

DRAWN BY: SK

SCALE: 1/4"=1'-0"

DATE:

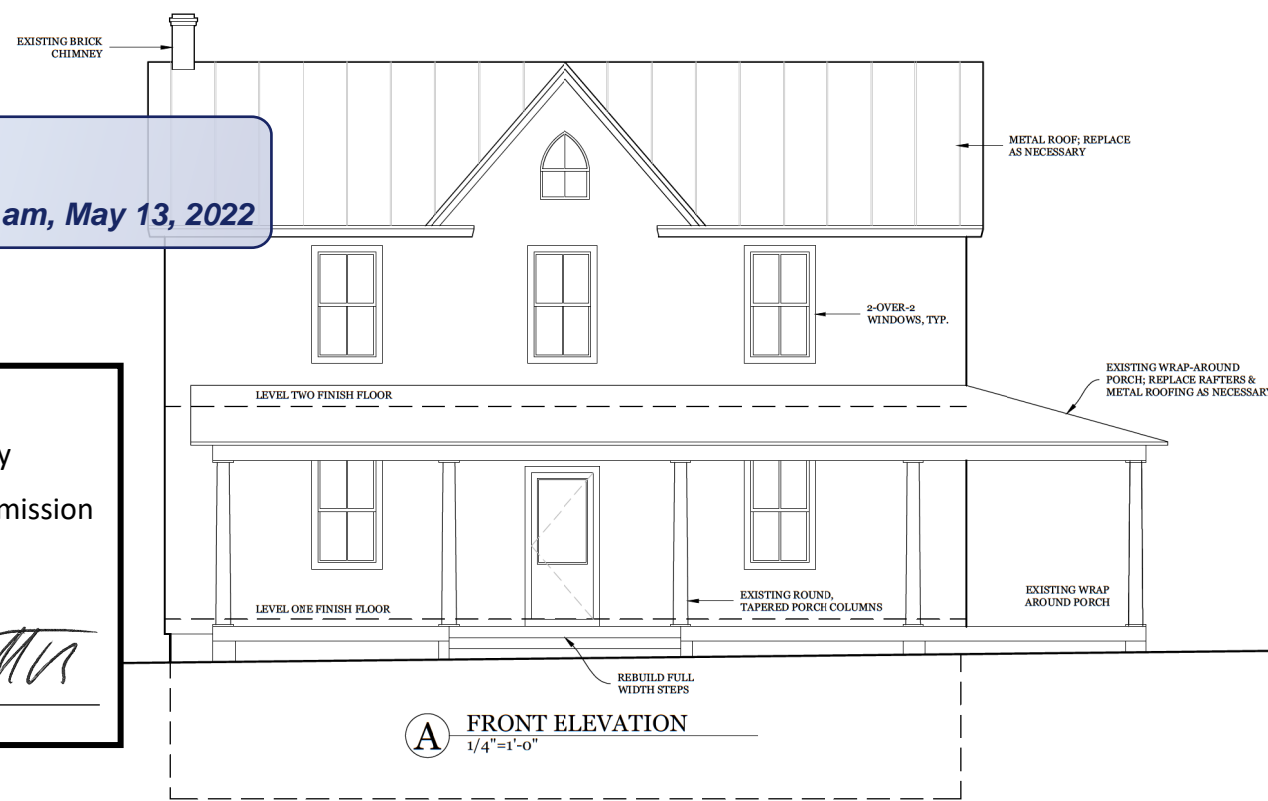
A-1.2



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 1376 W. Woodbine Road | Fawn Grove, PA 17321

- NOTES**
1. Typical exterior wall finish: (3) layers lime plaster, w/ pigment in final coat. Continue lime plaster over block crawl space walls; applied per written specifications.
 2. Rot-resistant wood trim, typical at all doors and windows; owner to confirm painted or clear finish.
 3. Replace existing metal roof & flashing as necessary.
 4. Install living roof at rear addition as noted.
 5. Porch ceilings: exposed rafters or stained beadboard.
 6. Deck & porch to use naturally rot-resistant wood for railings and decking, such as black locust or sassafras.



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[Signature]

DESIGN DEVELOPMENT
FERENCZY HOME
 9226 Damascus Hills Lane | Damascus, MD 20882

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 SHEET TITLE
**BUILDING:
 ELEVATIONS**

DRAWN BY: SK
 SCALE: 1/4"=1'-0"
 DATE:
A-2.1



B SIDE ELEVATION
1/4"=1'-0"



A REAR ELEVATION
1/4"=1'-0"

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By Michael Kyne at 11:59 am, May 13, 2022

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Ronald H. [Signature]

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1376 W. Woodbine Road | Fawn Grove, PA 17321

NOTES
1. See A-2.1 for typical notes.

DESIGN DEVELOPMENT
FERENCZY HOME
9220 Damascus Hills Lane | Damascus, MD 20882

100% DESIGN DEVELOPMENT
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SHEET TITLE
BUILDING:
ELEVATIONS

DRAWN BY: SK
SCALE: 1/4"=1'-0"
DATE: **A-2.2**

Farmstead front view near top of driveway



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Farmstead rear view from below the pond



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Dwelling North Front



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Dwelling East Side



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Dwelling Southeast Side



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Dwelling Rear



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Dwelling Southwest Side



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Dwelling West Side



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Robert A. Adams

Interior Main Gable and Front Dormer



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Interior Rear Gable – removed chimney is where most of the rot in the rear gable propagated from



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A handwritten signature in black ink, appearing to read "Robert G. Adams". The signature is written in a cursive style and is positioned above a horizontal line.

Photos from 2002 MD Historical Trust
Inventory of Historic Properties



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By Michael Kyne at 11:59 am, May 13, 2022

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Photo from 1974. These surrounding fields are now dense 30+ year old forest



NAME REZIN BOWMAN HOUSE M: #11-21
LOCATION S OF RTE. 108, DAMASCO
FACADE NW

PHOTO TAKEN 1/16/74
M. BOWLER
REVIEWED

By Michael Kyne at 11:59 am, May 13, 2022

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Exhibit in support of Plaster siding: a neighboring home at 27214 Ridge Road, Damascus MD is a circa 1900 cross-gable home with the same roofline, roof material, windows, and porch as our house.



Exhibit in support of Plaster siding: Master Site [M 23-90 Riverton](#) in northern Montgomery County has Lime Stucco Pebbledash finish



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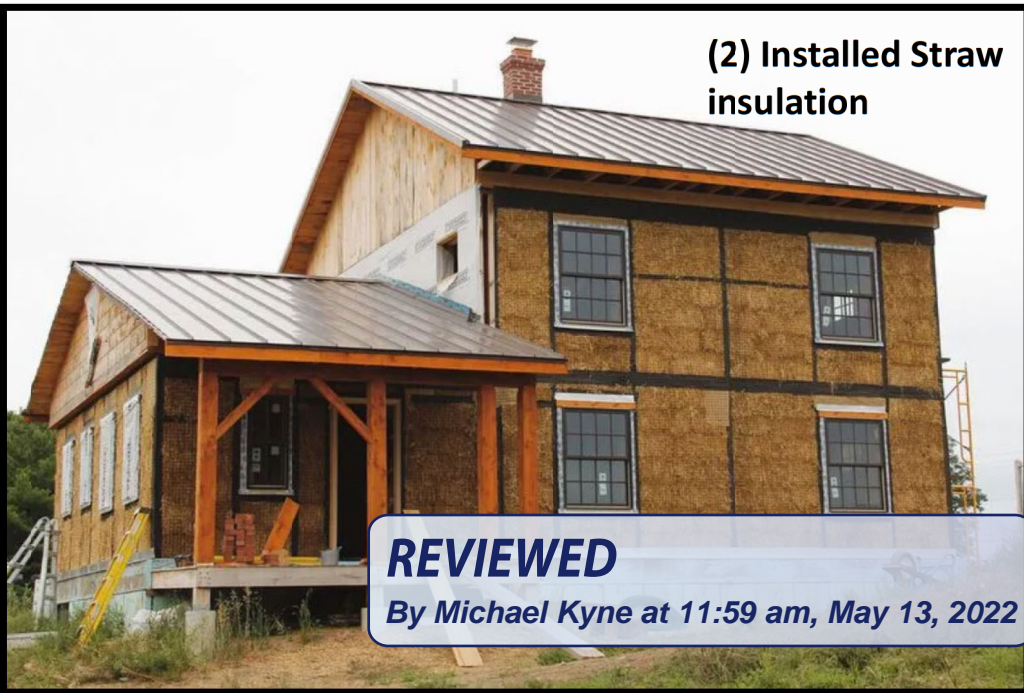


<https://mht.maryland.gov/secure/medusa/PDF/Montgomery/M;%202>

EXAMPLE Natural Built home of timber, straw bales, clay and lime plaster



(1) It starts with the Foundation and Framing



(2) Installed Straw insulation

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By Michael Kyne at 11:59 am, May 13, 2022



(3) Finished lime plaster siding

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A handwritten signature in black ink, reading "Robert G. Adams".

EXAMPLE "Straw Bale" insulated building

Straw Bale with lime plaster addition to brick / log building

← OLD BRICK

→ ADDITION

REVIEWED

By Michael Kyne at 11:59 am, May 13, 2022

Back view with living roof

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EXAMPLE Living Roof on straw bale homes. The living roof is eco-friendly



REVIEWED

By Michael Kyne at 11:59 am, May 13, 2022

Plant life such as succulents and moss are perfectly adapted for living roofs



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A handwritten signature in black ink, reading "Robert G. Adams".

Natural Building: plasters are traditional surface finish materials used with timber, stone, and straw. Some of the oldest buildings in the world were built this way.



REVIEWED

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Prepare straw insulation

Mix plaster

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Apply finish coat

Natural Building material: Straw insulation provides deep walls with exceptional insulation. The plaster provides thermal mass that reduces temperature swings, as well as a vapor permeable barrier that regulates humidity.



REVIEWED

By Michael Kyne at 11:59 am, May 13, 2022



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Montgomery County
Historic Preservation Commission



SURVEYOR'S CERTIFICATE

PLAT NO. 25407

I HEREBY CERTIFY THAT THE PLAT SHOWN HEREON IS TRUE TO THE BEST OF MY PROFESSIONAL KNOWLEDGE AND BELIEF, THAT IT IS A SUBDIVISION OF PART OF THE LAND CONVEYED BY ERIC A. ANDERSON, TRUSTEE, SUBSTITUTE TRUSTEE TO SENECA RIDGE DEVELOPMENT, LLC, A MARYLAND LIMITED LIABILITY COMPANY BY SUBSTITUTE TRUSTEE'S DEED DATED SEPTEMBER 23, 2010 AND RECORDED AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND IN LIBER 41869 AT FOLIO 368 AND ALSO A SUBDIVISION OF PART OF THE LAND CONVEYED BY ERIC A. ANDERSON TRUSTEE AND THOMAS E. HELF, TRUSTEE TO SENECA RIDGE DEVELOPMENT, LLC BY TRUSTEE'S DEED DATED SEPTEMBER 23, 2010 AND RECORDED AMONG THE AFORESAID LAND RECORDS IN LIBER 41869 AT FOLIO 378.

FURTHER CERTIFY THAT IF ENGAGED AS DESCRIBED IN THE OWNERS CERTIFICATE HEREON, ALL PROPERTY MARKERS AND OTHER BOUNDARY MARKERS SHOWN THUS—WILL BE SET IN ACCORDANCE WITH SECTION 50-24(c) OF THE MONTGOMERY COUNTY CODE. THE TOTAL AREA INCLUDED IN THIS PLAT OF SUBDIVISION IS 70974 SQUARE FEET OR 16.2236 ACRES OF WHICH NONE IS DEDICATED TO PUBLIC USE.

6/12/18 DATE
MITCHELL E. GOODE
PROPERTY LINE SURVEYOR
MARYLAND REG. NO. 444
LICENSE EXPIRATION DATE: 12/10/2018

NOTES

- 1. PROPERTY ZONED REEC AT DATE OF RECORDEMENT ALL EXISTING AND PROPOSED DEVELOPMENT ON THIS PROPERTY IS SUBJECT TO THE STANDARDS UNDER MONTGOMERY COUNTY ZONING.
2. ALL LOTS ARE TO BE SERVED BY PUBLIC WATER AND PRIVATE SEPTIC SYSTEM SEWER AND WATER CATEGORIES: S-4, W-3.
3. THIS PLAT IS LIMITED TO THE USES AND CONDITIONS AS REQUIRED BY PRELIMINARY PLAN NO. 12006118A ENTITLED "SENECA SPRINGS" DATED 5-23-14 ANY PROPOSED CHANGES IN USE WILL REQUIRE FURTHER PLANNING BOARD REVIEW AND APPROVAL.
4. THE PROPERTY SHOWN HEREON IS SUBJECT TO THE REQUIREMENTS OF THE MONTGOMERY COUNTY FOREST CONSERVATION LAW OF 1992, INCLUDING APPROVAL OF A FINAL FOREST CONSERVATION PLAN AND APPROPRIATE AGREEMENTS PRIOR TO ISSUANCE OF SELEMENT CONTROL PERMIT.
5. ALL TERMS, CONDITIONS, AGREEMENTS, LIMITATIONS, AND REQUIREMENTS ASSOCIATED WITH ANY PRELIMINARY PLAN, SITE PLAN, PROJECT PLAN, OR OTHER PLAN ALLOWING DEVELOPMENT OF THIS PROPERTY, APPROVED BY THE MONTGOMERY COUNTY PLANNING BOARD ARE INTENDED TO SURVIVE AND NOT BE EXTINGUISHED BY THE RECORDEMENT OF THIS PLAT. THE OFFICIAL PUBLIC PILES FOR ANY SUCH PLAN ARE MAINTAINED BY THE PLANNING BOARD AND ARE AVAILABLE FOR PUBLIC VIEWING DURING NORMAL BUSINESS HOURS.
6. THIS PLAT IS NOT INTENDED TO SHOW EVERY MATTER AFFECTING OR RESTRICTING THE OWNERSHIP AND USE OF THE PROPERTY. THIS PLAT IS NOT INTENDED TO REPLACE AN EXAMINATION OF TITLE OR TO DEPICT OR NOTE ALL MATTERS AFFECTING TITLE.
7. THE PROPERTY SHOWN HEREON IS LOCATED ON MONTGOMERY COUNTY TAX MAP FG682 W.S.S.C. GRID 236N909.
8. SEPTIC FIELD BUILDING RESTRICTION LINE IS SUBJECT TO CHANGE UPON REAPPROVAL BY THE MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES WELD AND SEPTIC SECTION.
9. LOT 119 IS APPROVED FOR A 4 BEDROOM HOUSE.
10. PARCEL 1 TO BE CONVEYED TO THE H.O.A.
11. THE ENTIRETY OF LOT 119 SHOWN HEREON COMPRISES THE ENVIRONMENTAL SETTING BOUNDARY OF THE REZIN/BOWMAN FARM (HISTORIC RESOURCE #11/21). ANY NEW CONSTRUCTION OR SITE MODIFICATION WITHIN THE AFORESAID ENVIRONMENTAL SETTING BOUNDARY ARE SUBJECT TO REVIEW AND APPROVAL BY THE MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION.
12. PARCEL 1 AND LOT 119 HEREON COMPRISES THE ENVIRONMENTAL SETTING BOUNDARY OF THE REZIN/BOWMAN FARM (HISTORIC RESOURCE #11/21). ANY NEW CONSTRUCTION OR SITE MODIFICATION WITHIN THE AFORESAID ENVIRONMENTAL SETTING BOUNDARY ARE SUBJECT TO REVIEW AND APPROVAL BY THE MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION.
13. PARCEL 1 SHOWN HEREON IS SUBJECT TO A DECLARATION OF OPEN SPACE COVENANT RECORDED IN LIBER 20446 AT FOLIO 576 AND LIBER 44770 FOLIO 294 AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND.

PLAT TOTALS
NUMBER OF LOTS, PARCELS 2
AREA OF LOTS, PARCELS 16.2236 ACRES
AREA OF DEDICATION 0.0 ACRES
TOTAL AREA SHOWN ON PLAT 16.2236 ACRES

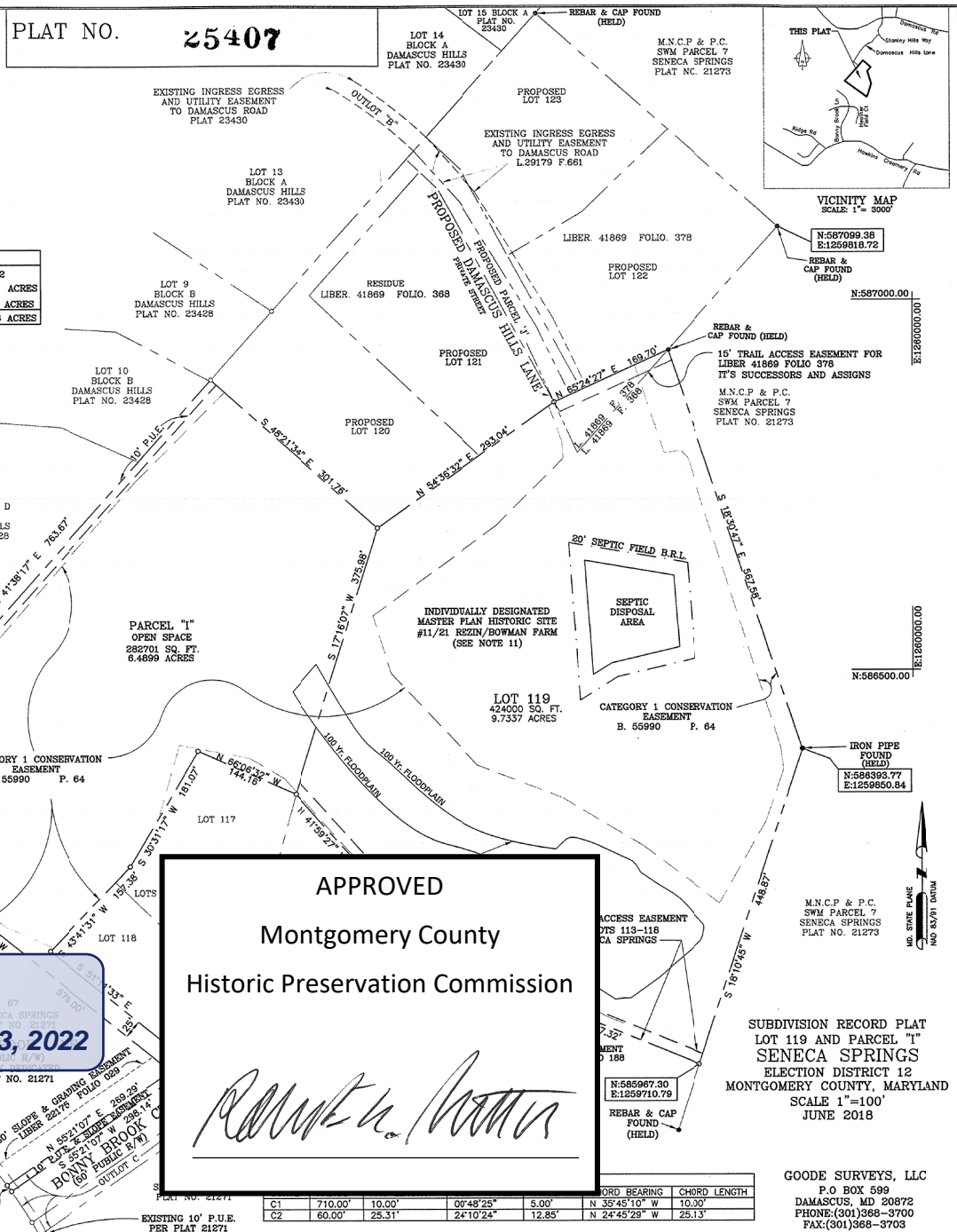
OWNER'S CERTIFICATE

WE, THE UNDERSIGNED, OWNERS OF THE PROPERTY SHOWN HEREON, HEREBY ADOPT THIS PLAT OF SUBDIVISION ESTABLISH MINIMUM BUILDING RESTRICTION LINES AS PRESCRIBED BY THE MONTGOMERY COUNTY ZONING CODE.
FURTHER WE GRANT TO MONTGOMERY COUNTY, MARYLAND SLOPE EASEMENTS 2' WIDE OR AS MAY BE OTHERWISE SHOWN HEREON, ADJACENT, PARALLEL, AND CONTIGUOUS TO THE STREET RIGHT-OF-WAY LINES. SLOPE EASEMENTS SHALL BE AUTOMATICALLY EXTINGUISHED AFTER ALL REQUIRED PUBLIC IMPROVEMENTS ABUTTING SAME HAVE BEEN LAID OUT, COMPLETED AND HAVE BEEN ACCEPTED FOR MAINTENANCE BY MONTGOMERY COUNTY OR OTHER APPROPRIATE PUBLIC AGENCY.
FURTHER WE GRANT TO THOSE PARTIES LISTED IN THAT CERTAIN DECLARATION RECORDED IN LIBER 3834 AT FOLIO 457 AMONG THE LAND RECORDS OF MONTGOMERY COUNTY, MARYLAND, PUBLIC UTILITY EASEMENTS, DESIGNATED HEREON AS "P.U.E.", SUBJECT TO THE TERMS AND PROVISIONS FOR THE PUBLIC UTILITY EASEMENTS INDICATED WITHIN SAID DECLARATION.
FURTHER WE GRANT THE 15' TRAIL ACCESS EASEMENT AS SHOWN HEREON FOR THE BENEFICIARIES INDICATED HEREON.
FURTHER, WE AS THE OWNERS OF THIS SUBDIVISION, OUR SUCCESSORS AND ASSIGNS, WILL CAUSE ALL PROPERTY CORNER MARKERS AND ANY OTHER REQUIRED MONUMENTATION TO BE SET BY ENGAGING A LICENSED MARYLAND LAND SURVEYOR IN ACCORDANCE WITH SECTION 50-24(c) OF THE MONTGOMERY COUNTY CODE.
THERE ARE NO SUITS, ACTIONS AT LAW, CLAIMS, LEASES, MORTGAGES OR TRUSTS AFFECTING THE PROPERTY INCLUDED IN THIS PLAT OF SUBDIVISION AMONG THE AFORESAID LAND RECORDS IN THERE TO HAVE HEREON INDICATE THEIR

REVIEWED By Michael Kyne at 11:59 am, May 13, 2022

WE HEREBY ASSENT TO THIS PLAN OF SUBDIVISION... PER PLAT NO. 21271

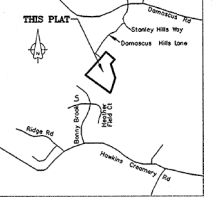
APPROVED: July 12, 2018... SECRETARY-TREASURER... M.N.C.P. & P.C. RECORD FILE NO. 640-47



APPROVED Montgomery County Historic Preservation Commission

Signature of Robert A. ...

Table with columns: CHORD BEARING, CHORD LENGTH. Rows: C1, C2.



VICINITY MAP SCALE: 1" = 3000'

M.N.C.P. & P.C. SWM PARCEL 7 SENECA SPRINGS PLAT NO. 21273

SENECA SPRINGS PLAT NO. 21271

IRON PIPE FOUND (HELD)

M.N.C.P. & P.C. SWM PARCEL 7 SENECA SPRINGS PLAT NO. 21273

SUBDIVISION RECORD PLAT LOT 119 AND PARCEL "1" SENECA SPRINGS ELECTION DISTRICT 12 MONTGOMERY COUNTY, MARYLAND SCALE 1"=100' JUNE 2018

GOODE SURVEYS, LLC P.O. BOX 599 DAMASCUS, MD 20872 PHONE:(301)368-3700 FAX:(301)368-3703