

### HISTORIC PRESERVATION COMMISSION

Marc Elrich *County Executive*  **Robert K. Sutton** 

*Chairman* Date: September 19, 2023

### **MEMORANDUM**

TO:	Rabbiah Sabbakahn
	Department of Permitting Services
FROM:	Dan Bruechert
	Historic Preservation Section
	Maryland-National Capital Park & Planning Commission
SUBJECT:	Historic Area Work Permit #991177 - Partial Demolition & Building Addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was <u>Approved</u> At the July 12, 2023 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant:	Cary Burnell & Devki Virk
Address:	7318 Willow Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Winnie Cargill at 301.495.2108 or winnie.cargill@montgomeryplanning.org to schedule a follow-up site visit.



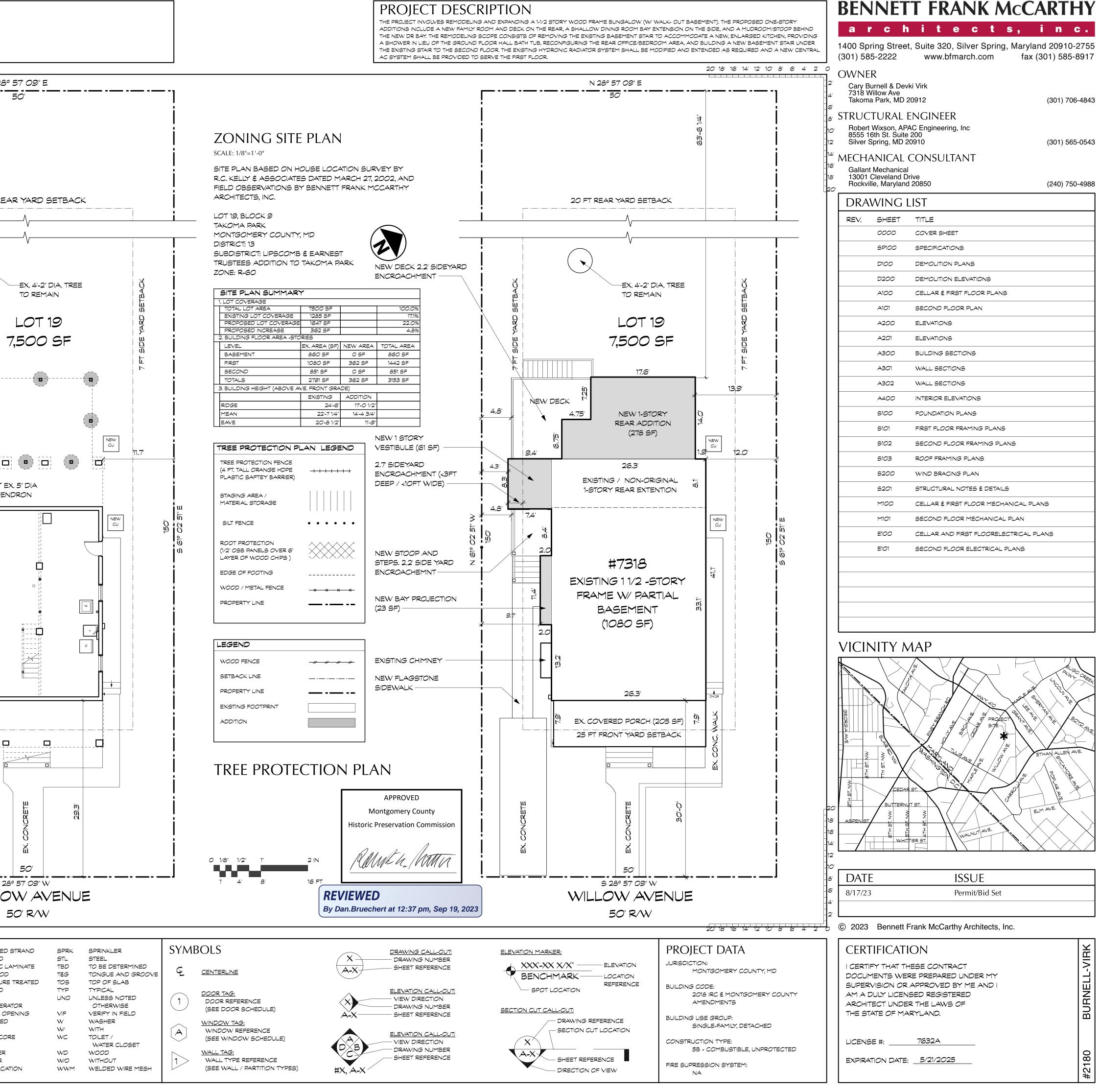
# **BURNELL-VIRK ADDITION**

7318 Willow Ave, Takoma Park, MD, 20912 Project # 2180

51	PECIFICATIONS	
<b>DIVISI</b> 1.1.1	ON 1: GENERAL REQUIREMENTS General Conditions: The general conditions of the Agreement Between the Owner and Contractor if not addressed here, shall be AIA Document A201 (most current edition).	
1.1.2	Lien Waivers: At the time of final payment by the Owner, the Contractor shall provide lien waivers from his company as well as all major subcontractors (plumbing, electrical, mechanical, mason, roofer, etc.) and suppliers exceeding \$10,000 in value.	
1.2.1	Contractor's Liability Insurance: The Contractor shall purchase and maintain such insurance as will protect the Contractor from claims which may arise out of or result from the Contractor's or Subcontractors' operations under the Contract. The Architect shall be named as an additional insured on the General Contractor's policy.	
1.2.2	Owner's Liability Insurance: The Owner shall be responsible for purchasing and maintaining the Owner's usual liability insurance.	
1.2.3	Property Insurance: The Owner shall purchase and maintain property insurance in the amount of the initial Contract Sum (as well as subsequent modifications) on a replacement cost basis. The policy shall be on an all-risk policy form and shall insure against the perils of fire and extended coverage and loss or damage including theft, vandalism, malicious mischief, collapse and falsework. The Contractor shall be responsible for paying the deductible for losses attributable to an unsecured job-site.	0 ETBACK
1.3	Licensure: The Contractor and all Subcontractors shall be licensed and/or registered to perform their respective trades in the jurisdiction of the project property.	
1.4	Permits: Owner shall obtain general building permit. General Contractor shall be responsible for all other permits including, but not limited to trade permits, right-of-way / public space permits, parking and dumpster permits, etc.	L L SD E SD E C L L L L L L L L L L L L L L L L L L
1.5	Warranty: All workmanship and materials shall be guaranteed for a minimum period of one year from the date of Substantial Completion.	
1.6	Owners Manuals and Instructions: The General Contractor shall collect, consolidate and convey to the Owner all Owners Manuals, Instructions, Warranty registrations and all other pertinent information for new equipment and fixtures. The General Contractor or designated subcontractor(s) shall review with the Owner the proper operation and maintenance schedule as appropriate for all equipment and controls.	
1.7	Interpretation: The Architect shall be the interpreter of the requirements of the Contract Documents. If the builder or subcontractor has any question about the meaning of the drawings or specifications for the Work, or should he find any discrepancy or omission therein, the Builder/subcontractor shall immediately so notify the Architect.	
1.8	Dimensions: Verify all dimensions. All dimensions are to framing, except to existing construction or where otherwise noted. Dimensions on interior elevations are to finishes, not framing. Window opening dimensions are to rough openings; add 2 1/2" to swinging interior door sizes for rough openings. Do <u>NOT</u> scale drawings.	
1.9	Building Protection: All precautions shall be taken by subcontractors to protect existing hardwood floors, tile and other finishes to remain for the period of construction. Any damage shall be rectified by the responsible subcontractor(s) or general contractor prior to completion of work. See also section 2.2.	Z Z
1.10	Debris: All subcontractors shall, at regular intervals, remove all their respective construction debris from site and shall not allow such debris to drift, be blown or otherwise transported onto adjacent property. Subcontractors shall place barricades or take such other precautions as necessary to prevent injury to the public.	
1.11	Codes: All construction to be in accordance with International Residential Code 2018 edition, and in accordance with all applicable Montgomery Co., State and Federal rules and regulations (including local amendments to model code).	
1.12	Quality: All work will be performed in a workmanlike fashion in conformance with rules of accepted good practice. All materials contemplated in these drawings shall be new and of good quality and shall be protected from weather when stored on the building site.	
1.13	Changes in Work: The Owner without invalidating the Contract, may order extra work or make changes by altering, adding or deducting from the work, the contract sum being adjusted accordingly by a change order. All such work shall be executed under the conditions of the original contract except for claims for extension of time caused hereby which shall be adjusted at time of change order execution.	
1.14	Claims for Extra Work: If a subcontractor claims that any instructions by drawings or other requests for changes in the work involve extra cost under the contract he shall give the Owner written notice thereof within a reasonable time after receipt of such instructions and in any event before proceeding to execute the work.	
1.15	Allowances: All allowances and unit prices apply to materials, taxes and third party delivery fees only unless otherwise noted. The costs associated with ordering, installation, overhead and profit shall be included in the base bid, <u>not</u> in the allowance cost, unless noted otherwise in Allowance Summary. The Contractor shall be responsible for maintaining a running tally of allowance expenses for the purposes of reconciling the total expenses relative to the total allowances for the project to determine if a credit or add is due.	EX. CONCRETE
1.16	Punchlist: At the time of making the final contract payment, the owner may hold back 200% of the value of all Punch List work. The Architect and Contractor will place a fair and reasonable value on each Punch List item. This 200% hold back for Punch List work is intended to assure the Owner that all Punch List work will be completed in a timely manner. CONTNUED ON SPECIFICATIONS SHEET	!!

ABB	REVIATIONS	COND	CONDITION	ELEC	ELECTRICAL	LBW	LOAD BEARING WALL	OSB	ORIENTED ST
		CONC	CONCRETE	EXP	EXPANSION	LVL	LAMINATED VENEER		BOARD
£	AND	CONT	CONTINUOUS	EQ	EQUAL		LUMBER	PLAM	PLASTIC LAM
0	AT	D	DRYER	ETR	EXISTING TO REMAIN	MARB	MARBLE	PLYWD	PLYWOOD
AFF	ABOVE	DH	DOUBLE HUNG	ΕX	EXISTING	MATL	MATERIAL	PT	PRESSURE TR
	FINISHED FLOOR	DIA	DIAMETER	FF	FINISH FLOOR	MAX	MAXIMUM	PTD	PAINTED
APT	APARTMENT	DIM	DIMENSION	FIN	FINISH	MDO	MEDIUM DENSITY	R	RISER
BLDG	BUILDING	DN	DOWN	FLR	FLOOR		OVERLAY	REF	REFRIGERATO
BSMT	BASEMENT	DR	DOOR	GA	GAUGE	MIN	MINIMUM	RO	ROUGH OPEN
CJ	CONTROL JOINT	DS	DOWNSPOUT	GWB	GYPSUM WALL BOARD	MANU	MANUFACTURER	RQD	REQUIRED
CAB	CABINET	DTL	DETAIL	HB	HOSE BIB	MTL	METAL	RM	ROOM
CL	CENTER LINE	DW	DISHWASHER	HC	HOLLOW CORE	MECH	MECHANICAL	SC	SOLID CORE
CLG	CEILING	DWG	DRAWING	ΗT	HEIGHT	NIC	NOT IN CONTRACT	SHT	SHEET
CLR	CLEAR	EIFS	EXTERIOR INSULATION	HDWR	HARDWARE	NTS	NOT TO SCALE	SHWR	SHOWER
CMU	CONCRETE		FINISHING SYSTEM	JB	JUNCTION BOX	00	ON CENTER	SIM	SIMILAR
	MASONRY UNIT	EL	ELEVATION	LB	POUND	ОН	OPPOSITE HAND	SPEC	SPECIFICATIO

# **PROJECT DESCRIPTION**



1 17	PECIFICATIONS	6.2	All existing conditions shall be checked and verified in the field bef construction is begun. Field measurements shall be made of adjoir construction relative to the proper installation of new work. All disc shall be reported to the Architect prior to the start of construction.
.17	MISS UTILITY: Prior to any excavation at the site the Contractor shall contact Miss Utility, 1-800-257-7777 to ascertain the location of all underground utilities. Avoid unnecessary disturbance, conflict or interruption of services with underground utilities to the fullest extent possible.	6.3.1	All wood construction including lumber, connections, and details s accordance with the requirements of the local building code and th "National Design Specification" by the National Forest Products As
.18	Definitions: The Contractor shall understand that the word "provide", as used in these documents, includes the purchase of the item specified, including	6.3.2	Use IRC 2018 tables R602.3(1) and R602.3(2) for nailing schedule, noted otherwise.
	taxes and any associated shipping and handling charges. Also included shall be the procurement and provision of all materials, equipment and labor associated with the complete installation of the item(s) specified in good working order.	6.3.3	Roof sheathing shall be standard CDX 16/32 (span rating) plywood exterior glue (min. thickness 19/32") on addition. Install sheathing o inverted 11/32" thick plybead at eaves and rakes per details, and co
.19	Construction by Owner or By Separate Contractors: The Owner reserves the right to perform construction or operations related to the Project with the Owner's own forces. The Contractor shall provide the Owner and separate contractors reasonable opportunity for placement and storage of materials and equipment in the performance and completion of other activities. The Contractor shall cooperate and coordinate activities as provided within the agreement between the Owner and the Contractor.		thick furring strips upslope from the eaves. Install grooves perpending rafters. The plybeam panels are relatively thin and flexible so they refully adhered to the underside of the main roof sheathing with const adhesive. Exposed eave edges should be clamped tight until the asets. Nail roof plywood to rafters and/or trusses with 8d nails @ 6" sheet edges and 8d nails @ 12" o.c. at all intermediate rafters and Install clips between rafters as required. Floor sheathing shall be to groove CD 16/32 (span rating) plywood (min. thickness 23/32"). Gi
20	Temporary Utilities (unoccupied): During the period the house is unoccupied and under construction, the General Contractor shall reimburse the Owner for gas, electricity and water usage in excess of historical monthly averages. The intent is not to be punitive, merely to ensure utilities are used responsibly (i.e. heat not run with house wide open, etc.) Contractor shall turn the water service off at the main shut-off whenever the house is unoccupied and no work is underway (overnight, weekends, holidays, etc.). As a precaution in anticipation		screw floor plywood to joists with 2 inch deck screws @ 6" o.c. at a and @ 10" o.c. at all intermediate joists. Plywood shall be identified APA grade trademark and shall be installed in accordance to code requirements as well as APA's recommendations. Wall sheathing a standard CDX plywood with exterior glue (min. thickness 15/32") U plywood to wall studs with 8d nails @ 6" o.c. at sheet edges and 8 12" o.c. at all intermediate studs.
21	of temperatures below freezing, the Contractor shall thoroughly drain any idle components holding or conveying water (hot water heater, boiler, radiators, distribution system, etc.). Coordination between Drawings and Specifications: Should a conflict exist between the drawings and specifications, the more restrictive or costly shall	6.3.4	Unless indicated otherwise, all lintels shall have one king stud and stud at each end. All jacks and posts are to be continuous, or incr shown, down to the foundation or beam support. In other words, p be added below higher posts even when posts are not required by framing.
	apply for pricing. The Owner and Architect shall be consulted to determine proper design alternative. If the less restrictive or costly item is selected the	C Q F	
22	<ul> <li>Contractor shall apply appropriate credit to the Owner under the contract.</li> <li>Shop Drawings: Shop Drawings are required for, but not limited to, the following items: <ul> <li>Windows and exterior doors</li> <li>Kitchen cabinets</li> <li>Prefabricated stairs</li> <li>Prefabricated floor or roof trusses</li> </ul> </li> </ul>	6.3.5	Use TECO or Simpson Strong Tie structural wood connectors unle otherwise noted. Only specialty connectors are typically shown in structural drawings but additional metal connectors shall be provid follows (or as required to meet code). Joists and rafters shall be con flush beams with hangers. Joists and rafters shall be connected to with hurricane ties. Wood beams and headers shall be connected posts with column connectors and bases of isolated posts shall be to their supports with metal connectors. All fasteners and connect pressure treated lumber shall have triple G-185 galvanized coating
23	<ul> <li>Samples: Provide samples for the following items:</li> <li>Flagstone- walkway to mudroom.</li> <li>Roof shingles</li> </ul>	6.3.6	exception of bolts one-half-inch or larger in diameter). All common lumber shall be clearly stamped with the lumber inspe association seal indicating the lumber species and grade.
	<ul> <li>Hardwood floor stain and finish options</li> <li>Paint colors, per Division 9</li> <li>Gutter and downspout colors</li> <li>Exterior flocking colors</li> </ul>	6.3.7	Joists shall have a minimum 3 1/2" bearing. Joists running parallel shall be anchored with 3/16" x 2" steel straps (or solid wood block
24	Exterior flashing colors     Owner Supplied Items: See individual specification divisions for further	629	o.c., extended to engage 3 joists.
VISIO	<ul> <li>information. Install the following Owner provided:</li> <li>Bath accessories – see Division 10</li> <li>Items salvaged for reuse as noted in Division 2 or on demolition drawings</li> <li>N 2: SITEWORK AND DEMOLITION</li> </ul>	6.3.8	Stud bearing walls shall be 2x6 (minimum) with studs at 16" on cer shown otherwise in framing plans, and shall have 2 continuous top which are to be spliced at stud locations only. Splices shall be sta least 4'-0". At least one side of each bearing wall and exterior wall sheathed with a minimum of 1/2" gypsum board fastened accordin manufacturer's recommendations or building code requirements, v
1	Utilities: Water, sewer, gas, electric, telephone and CATV utilities on site are to remain and be extended as required. Verify size and condition and remove, replace, upgrade as necessary. Locate all underground utilities. See note above regarding contact with Miss Utility.	6.3.9	stricter. All exposed, exterior framing members shall be pressure-treated S Pine # 2 (19% max. moisture content). Pressure-treated wood sha whenever wood joists are closer than 18 inches (or wood beams/g
2	Protection of Existing Landscaping: Protect from physical damage all paved / hardscaped surfaces, existing trees, and vegetation that are to remain. Consult with Owner prior to removing any trees, vegetation or obstructions as indicated or which would interfere with new construction. Feeder root zones below all tree canopies shall be respected such that no heavy equipment storage/parking or regrading shall occur without the permission of the Owner. See also section 1.9. Damaged elements shall be replaced or restored as appropriate.		closer than 12 inches) to exposed ground in crawl spaces or unexo area located within the periphery of the building foundation. All str wood members and sheathing exposed to weather or located near wood in contact with concrete and/or masonry, shall be treated to decay and insect infestation. Furthermore, wood located within 8" ground, or in the ground, shall be rated for Ground Contact Genera UC4A. Treated plates shall meet American Wood Preservers Institu Standard U-1.
	Contractor shall coordinate with Owner, Architect and Takoma Park Arborist (Urban Forest Manager) to develop a Tree Protection Plan (TPP) and will comply with this plan during construction. Any fines for failure to comply with the TPP shall be paid by the Contractor. The Takoma Park Arborist can be reached at (301) 891-7612.	6.3.10 6.4	Multiple LVLs shall be fastened together with a minimum of 2 rows nails at 12" o.c. Nails shall be spaced 3 " from the top and bottom beams. LVL beams designated on plans shall be as sized. Framing Sizes: Wood building components are as follows (Hem Fi
3	Landscape: Landscape work shall be limited to finish grading and seeding of disturbed areas. Redistribute available topsoil. Provide finish grade that slopes approximately 1/4" per foot away from perimeter of the building.	0.4	<ul> <li>or Spruce-Pine-Fir, #2 or Better):</li> <li>Exterior walls: 2x6 @ 16" o.c. stud walls, or as necessary to ma existing.</li> <li>Interior load bearing walls: 2x4 @16" o.c. stud walls</li> </ul>
1	Erosion Control: Provide staked hay bales and/or siltation fence, or other means as necessary to provide erosion control in accordance with requirements of the local jurisdiction.		<ul> <li>Interior partitions: 2x4 @ 16" o.c. stud walls</li> <li>Floor and Roof Framing: See framing plans.</li> <li>Subfloors: 3/4" tongue and groove CDX plywood, glued and so</li> <li>Roof sheathing: 5/8" APA span rated CDX plywood. Provide c</li> </ul>
5	Demolition: Protect all adjacent finishes to remain. Protect sensitive equipment and surfaces from dust and debris. Provide and secure plastic sheeting to isolate the area of work from occupied portions of the residence. Provide adequate shoring and bracing as necessary before removing any load		<ul><li>req'd. Provide inverted plybead under roof sheathing at all exp and rakes.</li><li>Wall sheathing: 1/2" CDX plywood</li></ul>
	bearing components. Cap/block HVAC registers in affected areas to avoid the conveyance of dust into any central systems.	6.5 6.6	Flooring: See Division 9. Stairs: shall be shop fabricated. Provide shop drawings for review
6	Lead Abatement: Lead based paint is potentially present on any painted elements incorporated before 1978. Any disturbance or removal of materials containing lead-based paint shall be in compliance with all federal and state regulations prior to, during, and after such disturbance, and the Contractor	6.7	pine treads and risers U.N.O. with 1" nominal bullnose nosing. Strin be paint grade. Handrail shall be stain grade pine. All wood fasten concealed. Interior trim: unless otherwise noted, all interior trim shall be paint g
7	shall clean all areas after such disturbance and dispose of all lead-based paint materials in compliance with federal and state regulations. Salvage:		<ul> <li>poplar.</li> <li>Head trim (U.N.O.): rake mold WM-287 over 1x6 (ripped to 4-3/ beaded collar trim to approximate existing.</li> <li>Jamb casing: WM-432 sanitary 1x4 (or wider as mullions between the second seco</li></ul>
	<ul> <li>Kitchen appliances (save for donation)</li> <li>Interior doors and hardware (save for re-use)</li> <li>Ceiling fans and light fixtures as noted on demo plans</li> </ul>		<ul> <li>windows require) jambs, head and apron.</li> <li>Provide 9 inch tall 5/4x 4 (actual width) at base of door casing.</li> <li>Window sills: bullnosed WM-1160 or equal (depth as necessar)</li> </ul>
3	Foundation Drainage: NA	6.8	<ul> <li>Baseboard: 1x6 with ogee cap WM-163 (or as needed to matched a construction of the second construction of the second</li></ul>
9	Roof Leader Drainage: Connect new downspouts to PVC downspout boots connected to empty into new, buried, 4" corrugated plastic drain piping run around building perimeter. Slope to provide positive drainage. Drain to daylight, coordinate outfall location with Owner.	0.0	<ul> <li>All custom casework shall be medium density fiberboard (MDF) cal Tops to be of same material and quality unless noted otherwise.</li> <li>All casework shall conform to AWI Custom standards of quality craftsmanship.</li> </ul>
10	Site access: Via street and driveway. Contractor shall protect existing driveway during construction and repair or replace if necessary.		<ul> <li>All casework slides and concealed hardware and all exposed, other exposed hardware shall be provided by Contractor unles noted. Samples of exposed, pulls and other exposed hardware</li> </ul>
IVISIO	<ul> <li>N 3: CONCRETE (See Structural sheets for additional notes)</li> <li>Concrete footings shall project at least 1'-0" into undisturbed natural soil or compacted fill having a bearing value at least equal to that specified above.</li> <li>Bottoms of all exterior footings shall be at least 2'-6" below finished grade.</li> </ul>	6.9	provided to the Architect for approval if submittals deviate from items. Exterior trim: Unless otherwise noted, all standing and running trim painted Boral TruExterior Trim, or finger joint grade cedar pre-prim
	N 4: UNIT MASONRY (See Structural sheets for additional notes)		painted. Exterior solid panels shall be hardi-board, painted. All joi concealed. Factory prime or field backprime all exterior woodwork cut joints. See Painting requirements in Division 9 below.
1	Hardscape Walk: Provide and install flagstone in randomized, orthogonal pattern set in a sand or stone dust bed over a compacted 4" gravel base.		<ul> <li>Side Stoop:</li> <li>Railings: Painted fir of standard rail / guard parts by Smoo equivalent to approximate front porch railing. Post shall be</li> </ul>
IVISIO	<b>N 5: METALS</b> (See Structural sheets for additional notes) See drawings for all structural steel lintels, beams and columns.		<ul> <li>wrapped with Boral 1 x material and painted.</li> <li>Flooring: floor and stair treads shall be solid extruded PVC 5/4x6 plank flooring.</li> </ul>
.1			Deck
.1 <b>DIVISIO</b> .1	N 6: WOOD/CARPENTRY (See Structural sheets for additional notes) Design Live Loads: Loads greater than design live loads shall not be placed		<ul> <li>Deck:         <ul> <li>Railings: PVC system by Trex Transcend or equal.</li> <li>Flooring: floor and stair treads shall be solid extruded PVC 5/4x6 plank flooring.</li> </ul> </li> </ul>

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ore ning crepancies			8.1.1	Interior Doors: Interior doors shall be solid core, 1 3/8" thick, two panel doors (U.N.O). Hollow core Masonite type doors are not an acceptable substitution. All doors shall be primed and painted. Door undercuts shall be $\frac{3}{4}$ " above the finished floor, U.N.O. Refer to drawings for size, type and locations.	9.
hall be in ne current ssociation.			8.1.2	Interior hardware: All doors shall have Schlage spring latch cylinder hardware or approved equivalent. Contractor shall provide and install all hardware. Provide "Accent" F-series (finish TBD) lever design by Schlage. Operation shall be per door schedule. Hinges shall be solid brass, plain bearing, Hager, 800 Series, 4 x 4, 1 1/2 pairs per leaf for doors up to 6'-8" and 2 pairs for taller	•
unless with over omparably icular to must be struction dhesive o.c. at trusses. ongue and lue and sheet edges d with the and project shall be JNO. Nail d nails @ one jack reased as	<b>DIVISIO</b> 7.1 7.2 7.3	<ul> <li>ON 7: THERMAL/MOISTURE PROTECTION</li> <li>Insulation: All insulation shall be installed per manufacturer's requirements.</li> <li>Floors over unconditioned space: Seal new floor cavities with spray applied open celled, 0.5 lb. icynene insulation (min. R value of 30) installed with full contact on underside of subfloor.</li> <li>Addition walls: Seal new 2x6 wall cavities with spray applied open celled, 0.5 lb. icynene insulation (min. R value of 20).</li> <li>Addition ceiling/attic: install spray applied open celled, 0.5 lb icynene insulation on the underside of roof sheathing, between rafters and/or truss chords. Provide uniform thickness/coverage as necessary for min R-38.</li> <li>Crawlspaces and Attics: NA</li> <li>Air Barrier: Install all components per manufacturer requirements. Coordinate joints and seams between different materials and between existing and new construction to maintain a continuous air and thermal barrier that allows for differential expansion and contraction per IECC 402.4.</li> </ul>	8.1.3	<ul> <li>doors.</li> <li>Exterior doors: General notes (unless noted otherwise): <ul> <li>Contractor to supply and install.</li> <li>See drawings for size and configuration.</li> <li>Provide shop drawings for approval.</li> <li>Provide tempered, low-E insulated glazing unless otherwise noted.</li> <li>Where a deadbolt is noted, use a lock with a 1-inch-long deadbolt and a reinforced metal box strike. Use 3-inch-long mounting screws so they lodge in the framing beyond the door jamb.</li> <li>All exterior doors shall be operable from the interior without the use of a key.</li> <li>Exterior doors, excluding those opening onto screen porches, shall be provided with pre-finished screen doors from same manufacturer, U.N.O.</li> <li>Exterior in-swing doors shall be installed to allow doors to open 180 degrees. For walls greater than 2x4 framing depth provide <u>exterior</u> extension jamb and sill.</li> </ul> </li> <li>Full light exterior doors: All exterior full light doors shall be as shown on drawings, manufactured by Weathershield Windows (Signature Series).</li> <li>Provide insulated, tempered, Low E glazing with simulated divided lites with false spacer bar as indicated in the drawings (some custom patterns may be required); muntin bars shall be 7/8" in width.</li> <li>Cladding color: TBD</li> </ul>	
ess the floor the floor the ded as onnected to o top plates d to isolated	7.3.1 or 7.3.1	House Wrap/Infiltration Barrier: House wrap shall be provided to act as an air infiltration barrier, a moisture barrier and a drainage plane. The wrap shall also permit water vapor to pass through from either side (min. perm rating > 20). Wrap shall be tear-resistant and UV stable. Wrap shall be Tyvek (or equal) and shall cover over all exterior sheathing, prior to the installation of exterior doors and windows. Lap and tape joints and penetrations per manufacturers recommendations.	8.2 8.2.1 8.2.2	<ul> <li>Interior finish: white</li> <li>Factory hardware, finish TBD</li> <li>Windows:</li> <li>Existing Window Restoration: by others.</li> <li>New Windows: Windows shall be manufactured by Weathershield (Signature Series) Windows.</li> <li>Provide low-E coated, argon filled insulated glazing with simulated divided lites with spacer bars as indicated in the drawings (custom patterns may</li> </ul>	9.
e fastened tors to (with the ection		and wall sheathing and air / moisture barrier. Install per manufacturers requirements with all associated tapes and flashings to ensure continuous vapor barrier. Zip panel joints must be gapped 1/8 inch to accommodate expansion and contraction and all tape must be installed over clean surfaces and rolled for full adhesion. Coordinate joints and seams between different materials and between existing and new construction to maintain a continuous air and thermal barrier per IECC 402.4.		<ul> <li>be required); muntin bars shall be 7/8" in width.</li> <li>U-Factor ≤ 0.30. SHGC (Solar Heat Gain Coefficient) ≤ 0.40, or as noted on window schedule. All U-Factors and SHGC values are determined in accordance w/ NFRC.</li> <li>Exterior color: TBD</li> <li>Interior finish: white</li> <li>Factory mulled units shall be trimmed in the field for continuity. Factory mullion trim should only be applied when units are directly connected to</li> </ul>	
to a wall ing) at 4'-0" nter, unless	7.4.1	Roofing Installation/Performance: All pitched roofs to be installed in accordance with manufacturers recommendations and NRCA HARK and Steep Roofing Manuals. Metal roofs shall be installed in accordance with SMACNA. Synthetic Roofing Underlayment: Titanium-UDL (coordinate underlayment		<ul> <li>each other, i.e. with no mullion spacing/thickness.</li> <li>Hardware: finish TBD</li> <li>Provide jamb extensions as required by framing depths.</li> <li>Provide white vinyl jamb liners on double hung units, typically.</li> <li>All operable windows, excluding those opening onto a screen porch, shall</li> </ul>	
o plates ggered at shall be ng to drywall whichever is	7.4.3	<ul> <li>warranty to mirror roof warranty) or equal. See 7.8 for underlayment requirements on low slope roofs.</li> <li>Laminated Fiberglass Composition Shingle Roof: Fiberglass composition "asphalt" shingles to match existing over roofing underlayment. Provide sample boards for Owner/Architect to make color selection. See 7.5 through 7.7 below. Provide a prefinished aluminum drip edge at all eaves and rakes.</li> </ul>	8.2.3	<ul> <li>be provided with screens and screen hardware.</li> <li>Provide shop drawings for approval.</li> <li>Window installation shall be in accordance with all manufacturer's guidelines.</li> <li>Provide preformed or membrane formed sill drain pans with integral backdam (or sloped to drain). Pans shall return up jambs min. 6 inches. Integrate the pan and window into the drainage plane of the wall using high quality flashing</li> </ul>	
outhern all be used irders are cavated ructural r grade, or resist from the		<ul> <li>Shingles shall have a minimum material warrantee of 40 years. Shall be UL.</li> <li>Class A fire rated. "Woven", "California weave" and "closed cut" valleys will</li> <li>NOT be accepted unless matching existing. Acceptable manufacturers include:</li> <li>CertainTeed Landmark</li> <li>GAF Timberline Ultra</li> <li>Tamko Heritage</li> </ul>	8.2.4	and sealing materials. Provide tempered/safety glass in windows adjacent to a door (within 24"), staircase/landing (where glazing is <36" above plane of adjacent walking surface, and within 60" of bottom tread) or shower/tub (where bottom of glazing is <60" above floor and within 60" horizontally of waters edge), or as required by section R308 of the IRC.	9.
from the al Use ute s of 16d n of the	7.5	Ice Dam: Provide and install Ice Dam Membrane material at all rakes, eaves, valleys, and perimeter in areas to receive new roofing. Ice dam at eaves shall extend min. 24 inches (measured horizontally) upslope of interior face of exterior walls. Provide Ice Dam Membrane as a continuous barrier under all roofing installed on roof pitches less than 3.5 in 12. Ice dam shall be Winterguard, manufactured by Certainteed, or equivalent.	8.2.5	Basements, habitable attics and every sleeping room shall have at least one operable egress window. The minimum net clear opening shall be 5.7 square feet (some localities may allow 5.0 sq. ft where openings are at grade). The minimum net clear height shall be 24 inches. The minimum net clear width shall be 20 inches. The maximum clear opening height shall be 44 inches above the floor. Egress openings with a finished sill height below grade shall be an	<b>D</b>   10
0.000	7.6	Ridge Vent: NA	8 0 G	be provide with a window well in accordance with code.	10
r, Grade #2 atch	7.7	Flashing: 0.025" Thick (22 gauge) aluminum flashing, where exposed and concealed, unless noted otherwise. Provide 16 oz. copper flashing where in contact with AQC pressure treated lumber (aluminum is incompatible). Exposed flashings shall be color coordinated (with factory finish) to blend with wall and/or roofing material. Provide aluminum drip edge at the eaves and gable ends of the roof. Color(s) to match existing.	8.2.6 <b>DIVISIO</b> 9.1.1	Provide window opening control devices for all windows where the clear opening is less than 24" above the finished floor when windows are 6 feet above grade, in accordance with section R312 of the IRC. <b>IN 9: FINISHES</b> Drywall: 1/2" GWB throughout, glued and screwed. Nails should <u>not</u> be used.	10
crewed. slips as oosed evaes	7.8	Through Wall & Head Flashings at Stud Frame / Siding: Provide white aluminum flashings for through wall flashings at base of doors, head flashings at door heads and head flashing at window heads in sheathing to siding locations throughout building. Provide flashing wherever exterior cladding material abuts, or is interrupted by, roof slopes, horizontal trim, openings and other penetrations. Flashing shall tuck behind cladding and be formed to		<ul> <li>Provide moisture resistant Greenboard at the following locations: <ul> <li>all bathroom walls (except as noted below), floor to ceiling.</li> <li>kitchen walls within 4 ft of sink centerline.</li> <li>behind and adjacent to laundry equipment and utility sink(s).</li> <li>all other potentially wet locations.</li> </ul> </li> <li>Tile backerboard (Durock/Wonderboard/DensGlass) shall be used behind all wall tile finishes at showers and around tubs.</li> </ul>	1(
v. Provide ngers shall lers shall be	7.9	conduct water clear of interruptions. Flashing locations on drawings are typical <u>only</u> , not inclusive. Flashing shall be placed and installed in accordance with ASHRAE standards. See section 8.2.2 regarding sill pans. Gutters & Downspouts: Provide and install 0.025" thick aluminum K style gutters and rectangular downspouts (to match existing in size and profile) to	9.1.2	Drywall Level of Finish: Unless noted otherwise, drywall surfaces to receive flat sheen paint shall be finished consistent with Level 4 of Recommended Levels of Gypsum Board Finish (GA-214-10e). Drywall surfaces designated to receive eggshell or semi-gloss sheen paint shall be finished consistent with Level 5. Substrates to receive tile, and garages, may be finished to level 2.	10 D
rade pine or /4" tall) over een	7.10.1	<ul> <li>PVC boot to PVC subgrade pipe to drain to daylight, unless noted otherwise on drawings.</li> <li>Siding #1 - Fiber-Cement Siding: HardiePlank Lap Siding as manufactured by James Hardie (1-800-9-HARDIE) or equivalent. Exposure to match existing.</li> <li>Plank width shall minimum 1-1/4" wider than desired exposure.</li> </ul>	9.1.3	Plaster Repair: cracks shall be repaired in rooms noted on Finish Schedule. Repair shall involve scoring cracks w/ a carbide tipped utility knife in a V shaped trough down to the level of the wood lathe. Trough shall be filled with appropriate joint/setting material and sanded flush with remaining plaster, primed and painted.	11 11
y). h existing)		<ul> <li>For siding, provide smooth face texture.</li> <li>Install in accordance with manufacturer recommendations.</li> <li>Install flashing in accordance with section 7.8.</li> <li>The first course of any wall should be installed over a 1-1/4" wide</li> </ul>	9.2	<ul> <li>Paint – General notes:</li> <li>Existing surfaces should be thoroughly prepped, free of loose material and dust, clean and dry.</li> <li>Paint on casework/trim should be brushed or sprayed, not rolled.</li> </ul>	11 11
binets. y and pulls, and ss otherwise re shall be n specified		<ul> <li>starter strip to ensure consistent plank angle.</li> <li>Siding shall be installed to provide a minimum of 2 inches clearance to horizontal surfaces such as decks, porches and balconies that may retain moisture.</li> <li>Cut edges adjacent to roof slopes shall be primed/painted prior to installation.</li> <li>Use "blind nailing" application technique. Nails shall be 6d (or alternatives as approved by manufacturer), corrosion resistant (galvanized or stainless steel).</li> </ul>	9.2.1	Interior Paint: Latex paint by Sherwin Williams or Benjamin Moore (or approved equal), premium grade, no or low VOC. Provide one prime coat and two finish coats throughout new or substantially renovated areas on all surfaces, including walls, ceilings and features such as windows and millwork (coordinate with Finish Schedule if applicable). Existing walls and ceilings that have been patched/repaired should be painted in their entirety. Anticipate four wall colors, one ceiling, and one trim color.	
n shall be led and ints shall be k, including ot or	7.10.2	<ul> <li>Butt joints shall be installed loosely touching. Butt joints shall NOT be caulked. Install flashing behind all butt joints to shed water out and onto the siding course below. Suitable flashing materials include strips of house wrap material or application specific materials like "Bear Skin". Comparable flashing shall be installed behind siding butt &amp; weave corners to shed water over the siding course below.</li> <li>Siding #2 - Cedar or Redwood Clapboard: to match existing. Install at new</li> </ul>	9.2.2	<ul> <li>Exterior Paint: Vinyl acrylic latex paint. Apply one coat primer / backprimer on all surfaces of all wood fascia, soffit, casing, siding and trim boards. Apply two finish coats to exposed surfaces. Paint should only be applied when the weather is projected to be dry and above 40 degrees for 48 hours.</li> <li>Acceptable manufacturers/lines include: <ul> <li>Sherwin Williams Duration</li> <li>Benjamin Moore Aura</li> <li>Behr Premium Plus / Plus Ultra with mildew resistance.</li> </ul> </li> </ul>	11 11 11
e built out /	7.11	dining room bay. Exterior Sealant Compound for all exterior joints shall be general purpose polyether sealant that meets or exceeds FS TT-S 00230. Shall be VOC-free, solvent-free, paintable after 24 hours. Sealant shall be Great Seal PE-150, Dural ink or equal		Provide satin finish on new siding, panels and battens. Semi-gloss finish on new trim, columns and railings, unless noted otherwise. Exterior paint scope to include all new exterior surfaces to match existing.	D SI
Aeratis	<b>DIVISIO</b> 8.1	DuraLink or equal. <b>DN 8: DOORS AND WINDOWS</b> Doors	9.3 9.3.1	Flooring: Hardwood: width and species to match existing, U.N.O. See Finish Schedule for locations.	
anized or					

- 8.1.3 Exterior doors: General notes (unless noted otherwise):
  - Contractor to supply and install. • See drawings for size and configuration.
  - Provide shop drawings for approval.
  - Provide tempered, low-E insulated glazing unless otherwise noted. • Where a deadbolt is noted, use a lock with a 1-inch-long deadbolt and a reinforced metal box strike. Use 3-inch-long mounting screws so they lodge in the framing beyond the door jamb.
  - All exterior doors shall be operable from the interior without the use of a
  - Exterior doors, excluding those opening onto screen porches, shall be provided with pre-finished screen doors from same manufacturer, U.N.O. • Exterior in-swing doors shall be installed to allow doors to open 180 degrees. For walls greater than 2x4 framing depth provide exterior

- drawings, manufactured by Weathershield Windows (Signature Series). • Provide insulated, tempered, Low E glazing with simulated divided lites with false spacer bar as indicated in the drawings (some custom patterns may be required); muntin bars shall be 7/8" in width.
- Cladding color: TBD

- 8.2.2 New Windows: Windows shall be manufactured by Weathershield (Signature
  - Series) Windows. Provide low-E coated, argon filled insulated glazing with simulated divided lites with spacer bars as indicated in the drawings (custom patterns may
  - be required); muntin bars shall be 7/8" in width. • U-Factor  $\leq$  0.30. SHGC (Solar Heat Gain Coefficient)  $\leq$  0.40, or as noted on window schedule. All U-Factors and SHGC values are determined in
  - accordance w/ NFRC. Exterior color: TBD
  - Interior finish: white
  - Factory mulled units shall be trimmed in the field for continuity. Factory mullion trim should only be applied when units are directly connected to each other, i.e. with no mullion spacing/thickness.
  - Hardware: finish TBD
  - Provide jamb extensions as required by framing depths.
  - Provide white vinyl jamb liners on double hung units, typically.
  - All operable windows, excluding those opening onto a screen porch, shall be provided with screens and screen hardware.
  - Provide shop drawings for approval.

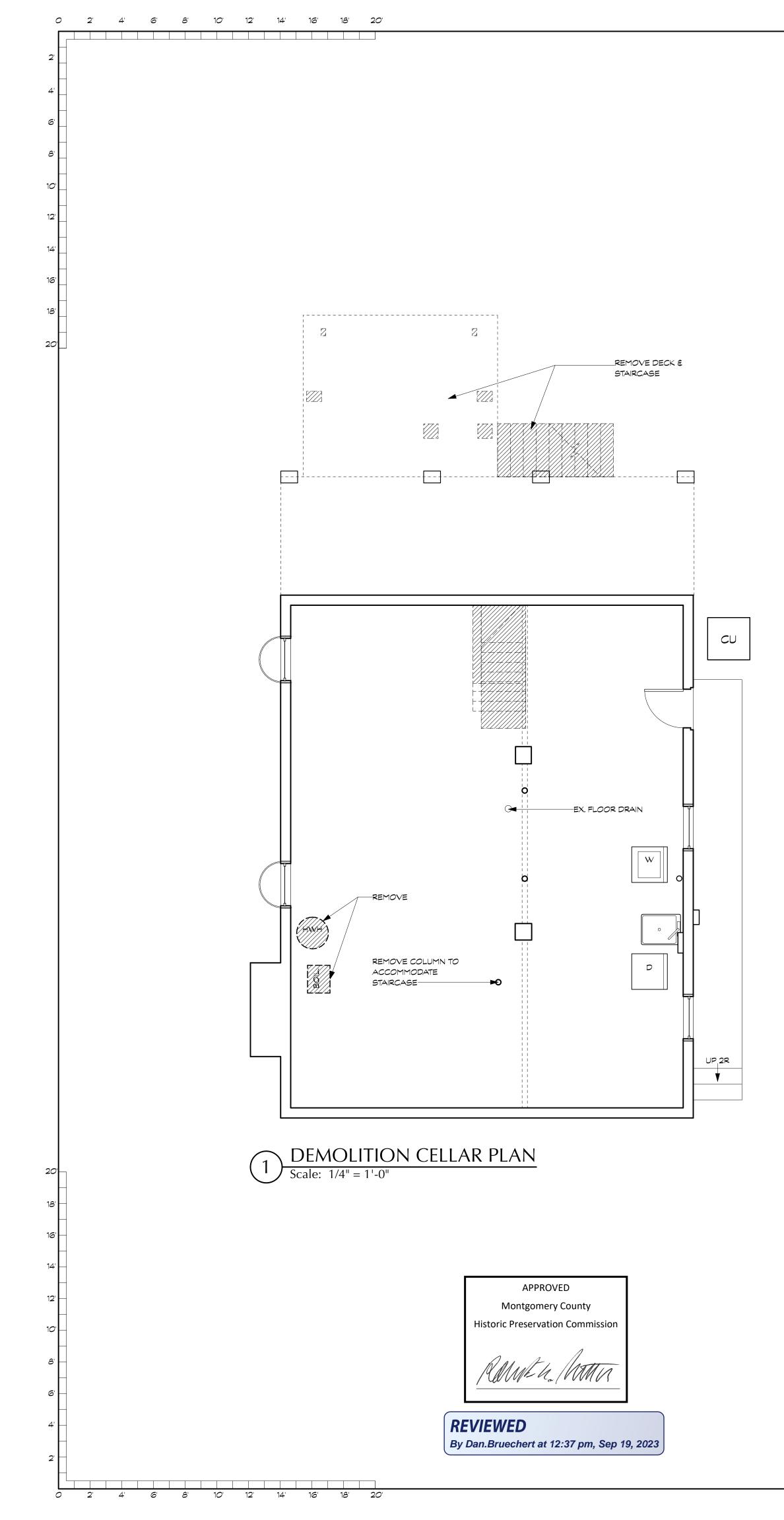
- 8.2.4 Provide tempered/safety glass in windows adjacent to a door (within 24"), staircase/landing (where glazing is <36" above plane of adjacent walking surface, and within 60" of bottom tread) or shower/tub (where bottom of glazing is <60" above floor and within 60" horizontally of waters edge), or as required by section R308 of the IRC.
- 8.2.5 Basements, habitable attics and every sleeping room shall have at least one operable egress window. The minimum net clear opening shall be 5.7 square feet (some localities may allow 5.0 sq. ft where openings are at grade). The minimum net clear height shall be 24 inches. The minimum net clear width shall be 20 inches. The maximum clear opening height shall be 44 inches above the floor. Egress openings with a finished sill height below grade shall be provide with a window well in accordance with code.

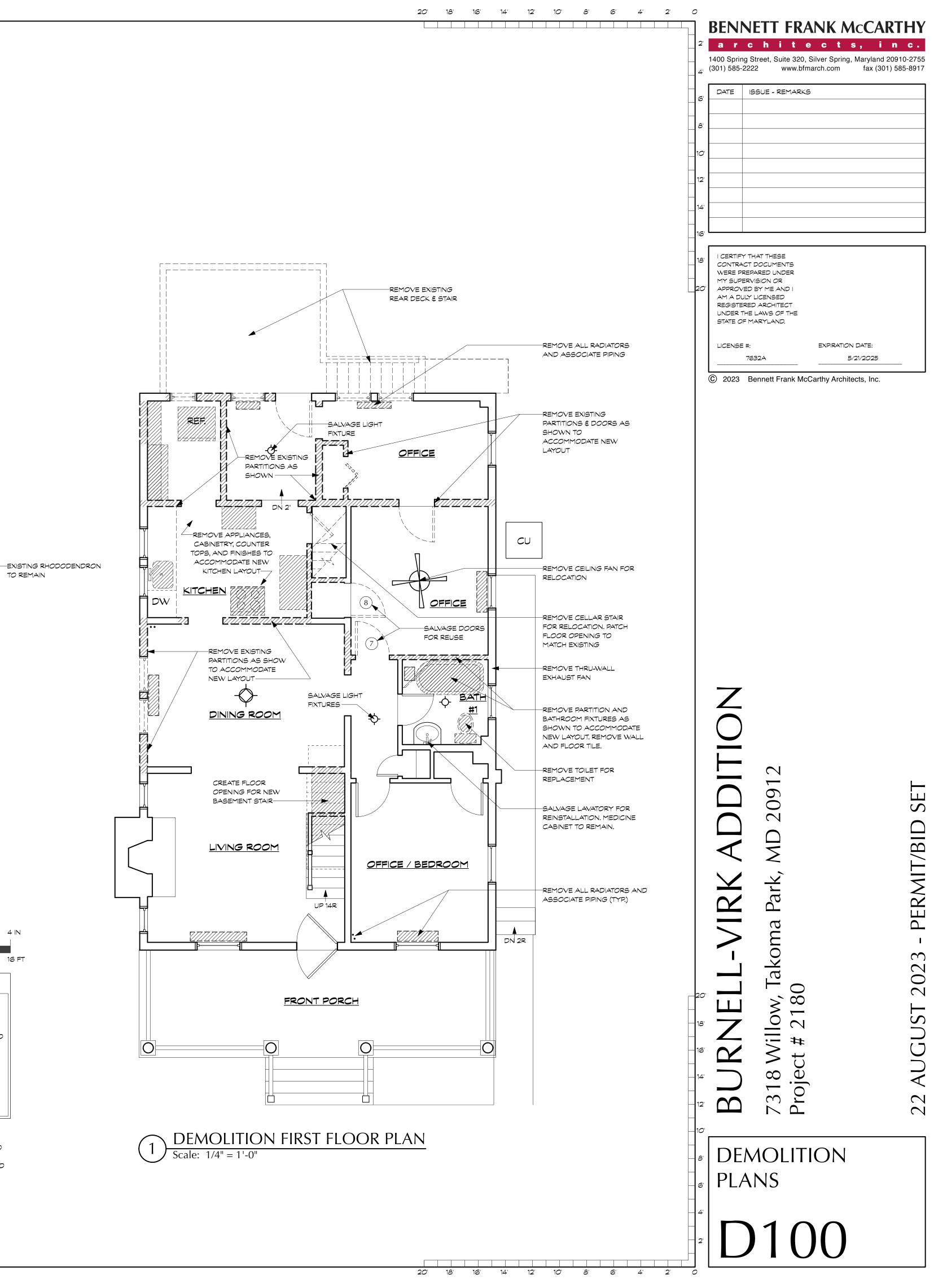
### **DIVISION 9: FINISHES**

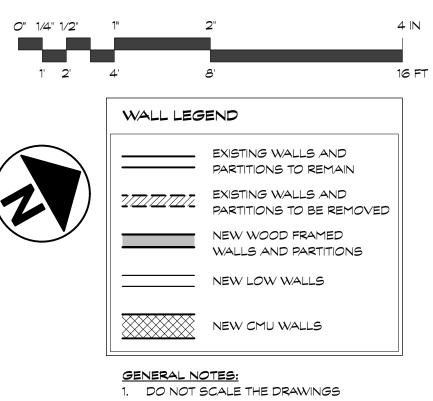
- 9.1.1 Drywall: 1/2" GWB throughout, glued and screwed. Nails should not be used. Provide moisture resistant Greenboard at the following locations: - all bathroom walls (except as noted below), floor to ceiling.
  - kitchen walls within 4 ft of sink centerline.
  - behind and adjacent to laundry equipment and utility sink(s).
- all other potentially wet locations. Tile backerboard (Durock/Wonderboard/DensGlass) shall be used behind all wall tile finishes at showers and around tubs.
- 9.1.2 Drywall Level of Finish: Unless noted otherwise, drywall surfaces to receive flat sheen paint shall be finished consistent with Level 4 of Recommended Levels of Gypsum Board Finish (GA-214-10e). Drywall surfaces designated to receive eggshell or semi-gloss sheen paint shall be finished consistent with Level 5. Substrates to receive tile, and garages, may be finished to level 2.
- 9.1.3 Plaster Repair: cracks shall be repaired in rooms noted on Finish Schedule. Repair shall involve scoring cracks w/ a carbide tipped utility knife in a V shaped trough down to the level of the wood lathe. Trough shall be filled with appropriate joint/setting material and sanded flush with remaining plaster, primed and painted.
- 9.2 Paint – General notes:
  - Existing surfaces should be thoroughly prepped, free of loose material and dust, clean and dry.
  - Paint on casework/trim should be brushed or sprayed, not rolled.

- Sherwin Williams Duration
- Benjamin Moore Aura
- Behr Premium Plus / Plus Ultra with mildew resistance.

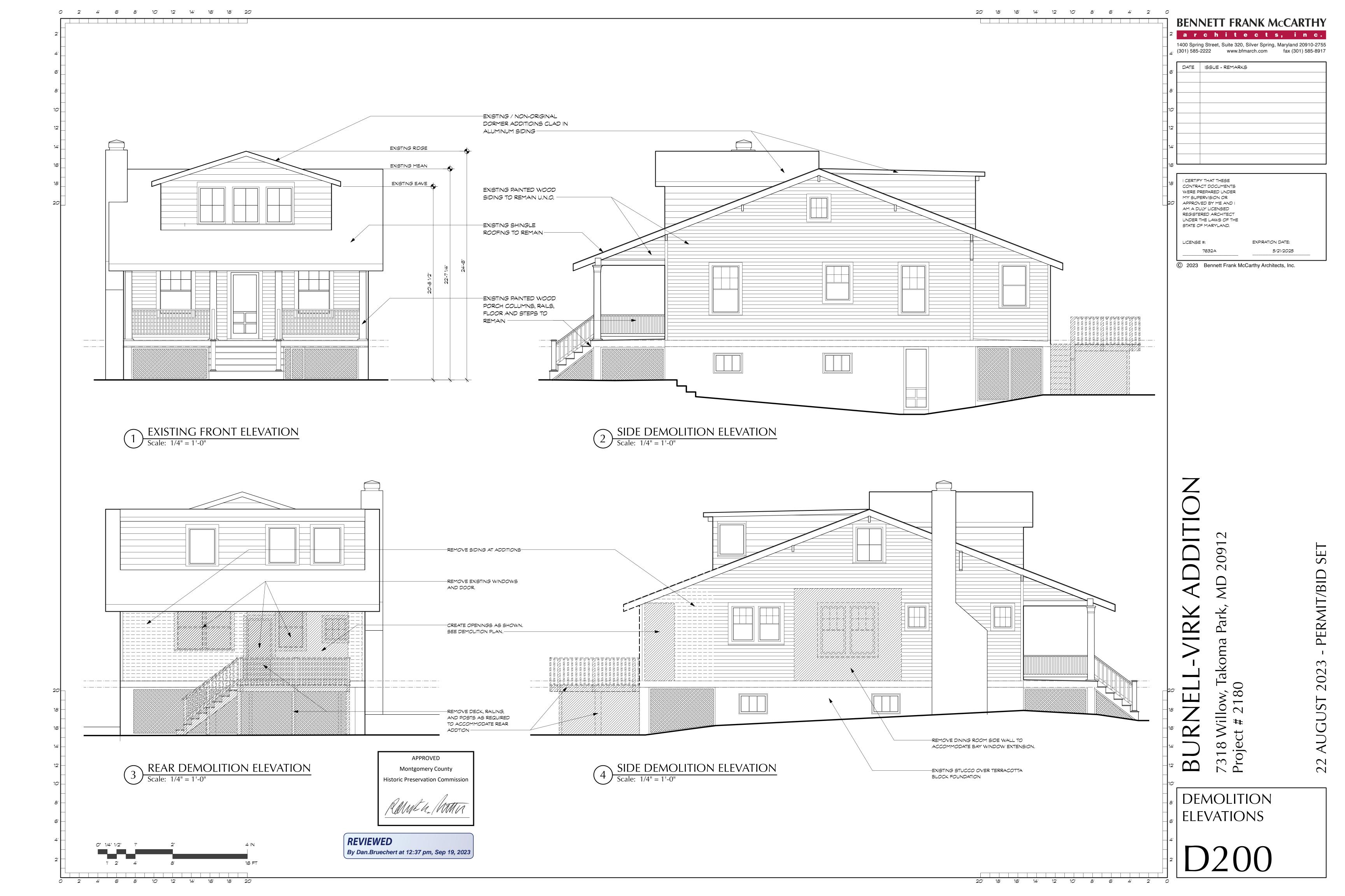
9.3.2	Wood flooring shall be tongue and groove oak of 3/4" nominal thickness x 2- 1/4" wide plank flooring, or as required to match existing. Finish to be		NETT FRANK McCARTHY	
	selected by Owner & Architect. Finish sheen shall be satin (to hide wear) U.N.O. Machine and surface wood flooring smooth, using (progressively finer) coarse, medium, and fine sandpaper.		ng Street, Suite 320, Silver Spring, Maryland 20910-2755	5
•	Installation shall be in accordance with The Wood Flooring Manufacturer's Association (NOFMA) recommendations. A summary of Basic Rules of installation is a s follows:	DATE	ISSUE - REMARKS	]
	<ul> <li>The building should be closed in with windows and doors in place.</li> <li>All concrete, masonry, sheetrock and framing, etc. should be thoroughly dry before flooring is delivered. The average moisture content of framing members and subflooring should be below 12-14%.</li> </ul>			
	<ul> <li>In warm months the building must be well ventilated.</li> <li>During winter months heating should be maintained near occupancy</li> </ul>			
	<ul> <li>levels at least 5 days before the flooring is delivered and until sanding and finishing are complete.</li> <li>Relative humidity at the jobsite should be maintained consistently</li> </ul>			-
	within the range of 30-50%. - When job site conditions are satisfactory, have the flooring delivered			
	<ul><li>and broken into small lots and stored in the rooms where it is to be installed.</li><li>Allow 4 to 5 days or more, for the flooring material to become</li></ul>			-
	acclimated to job site conditions. Flooring should be installed over a layer of #15 building felt U.N.O. and lapped 4-6 inches. When			J
	installing over a crawlspace, felt joints should be sealed with mastic.	CONTR	FY THAT THESE ACT DOCUMENTS PREPARED UNDER	
	<ul> <li>Flooring installed on p.t. wood sleepers/screeds over a concrete slab on grade should be installed over a 6 mil polyethylene film vapor retarder.</li> </ul>	MY SUR APPRO	PERVISION OR VED BY ME AND I	
	<ul> <li>Basements (installation on slabs below grade is not recommended) and crawlspaces must be dry and well ventilated.</li> <li>Finish floor boards should be installed perpendicular to framing</li> </ul>	REGIST UNDER	DULY LICENSED ERED ARCHITECT THE LAWS OF THE DF MARYLAND.	
	<ul> <li>members U.N.O.</li> <li>The subfloor must be sound and tight to yield a squeak-free installation.</li> </ul>	LICENS		
9.3.3	Tile and Grout: Owner to select, Contractor to furnish and install tile floors and tub/shower surrounds in the following locations:	© 2023	7632A     5/21/2025       Bennett Frank McCarthy Architects, Inc.	]
	<ul> <li>Kitchen backsplash (see interior elevations).</li> <li>Bathroom #1 shower pan and surround (see interior elevations).</li> <li>See Div. 17 for Allowance Summary</li> </ul>			
	Review tile layout, spacing, and grout joint widths w/ Owner or Architect prior to proceeding with installation. Follow manufacturer's recommendations for			
	installation and curing, and in accordance with the Tile Council of North America (TCNA) Handbook. Alternative setting beds to those noted below			
	<ul> <li>shall be reviewed with Architect for approval prior to installation.</li> <li>Ceramic Tile Floors: All tiled floors shall include a tile base up from tile floor, UNO. Provide a marble threshold in doorways.</li> </ul>			
	<ul> <li>Tile Walls and Tub/Shower Surrounds: Tile to be selected by Owner.</li> <li>General Contractor to provide and install. Tile surrounds at showers and</li> </ul>			
	tubs shall extend to ceilings U.N.O. Tiled shower pans shall be installed over waterproof membranes. Tile setter shall coordinate alignment, width and height of niches, openings and ledges with tile proportions and grout			
	<ul><li>joints.</li><li>Owners wishing to use large format floor tiles in wet locations shall be</li></ul>		APPROVED	
	<ul> <li>mindful of slip-resistance. Any tiles considered should have a Dynamic Coefficient of Friction (DCOF) greater than 0.42.</li> <li>Setting: Install tile in thin-set mortar bed conforming to ANSI standards as</li> </ul>		Montgomery County	
	follows: - Ceramic and stone: ANSI 118.1		Historic Preservation Commission	
	<ul> <li>Porcelain: ANSI 118.4 (with latex binding additive)</li> <li>Glass: Exceeding ANSI 118.4 and 118.11</li> <li>Badiant applications: Exceeding ANSI 118 11</li> </ul>		RAMEL MATTIC	
	<ul> <li>Radiant applications: Exceeding ANSI 118.11</li> <li>Grout: Presealed, high tech cement grout with stain resistance, mold &amp; mildew resistance. Grout color TBD.</li> </ul>		$\frac{1}{200000000000000000000000000000000000$	
9.3.4	Marmoleum: sheet material, to be selected by Owner. General Contractor to provide and install. Install per manufacturer's guidelines. Provide welded seams.		/IEWED	
	N 10: SPECIALTIES	Ву D	an.Bruechert at 12:37 pm, Sep 19, 2023	
10.1	Bathroom accessories: Owner shall provide all bathroom accessories including hung mirrors, medicine cabinets, curtain rods, towel bars, toilet paper holders, hooks, etc. Contractor shall install. Coordinate and install blocking for all wall hung accessories.			
10.2	Glass shower enclosure: Owner to select, Contractor to provide and install. See Div. 17 for Allowance Summary.			
10.3	Closets interiors: Provide 3/4" thick (actual) plastic laminate shelves with perimeter wood 1x3 cleats and intermediate shelf supports as necessary for			•
	<ul> <li>span. Coordinate layout with Owner and as noted below.</li> <li>Clothes closets: Provide with chrome rod @60" AFF. (with intermediate bracket supports max. 32" o.c.), one 12" deep shelf @ 63" AFF and</li> </ul>			)
	second shelf @ 78" AFF. Provide additional shelves as ceiling height permits.			)
	<ul> <li>Linen/pantry closets: Provide 16" deep shelving (or shallower as necessitated by closet depth) at 14" increments vertically, or as shown.</li> </ul>		MI MI	)
10.4 10.5	Ridge Vent: NA Access Panels: Provide paint grade, hinged, metal access panels to all		Y Y	
	concealed mechanical, plumbing and electrical devices to include (but not limited to) dampers, valves, shut-offs, disconnects, transformers, etc.		a Park, MI PFRMIT/BI	
	N 11: EQUIPMENT		PF PF	 -
11.1 11.1.1	Kitchen Cabinets, Hardware and Shelving: Owner to select, Contractor to provide and install. See Div. 17 for Allowance Summary. Submit shop drawings to the			)
11.1.2	Architect for review/coordination. Cabinet(s) shall be 24" deep U.N.O. Countertops: Owner to select, Contractor to provide and install. See Div. 17		Tal Tal	 > 
11.1.3	for Allowance Summary. Appliances: Owner to select, Contractor to provide and install. See Div. 17		$\tilde{I} \geq \tilde{R}$	•
	<ul> <li>for Allowance Summary.</li> <li>Slide-in refrigerator with icemaker/dispenser. Provide connection for ice- maker</li> </ul>		US US	)
	<ul> <li>Gas range top / cooktop</li> <li>Exhaust hood and blower. Duct to exterior</li> </ul>			)
	<ul><li>Dishwasher</li><li>Disposal</li></ul>		ALU AL	)
11.2	Other cabinetry/built-ins			1
11.2.1	Mudroom cabinets/cubbies and top: Contractor to provide and install. See interior elevations.			l
11.2.2	Banquette benches: Contractor to provide and install. See interior elevations and section.	CD	ECIFICATIONS	]
	N 15: PLUMBING / MECHANICAL (See Sheet MP-100)			
	N 16: ELECTRICAL (See Sheet E-100) Cations Contnued on A101			
			P1()()	
		$    \cup$		1

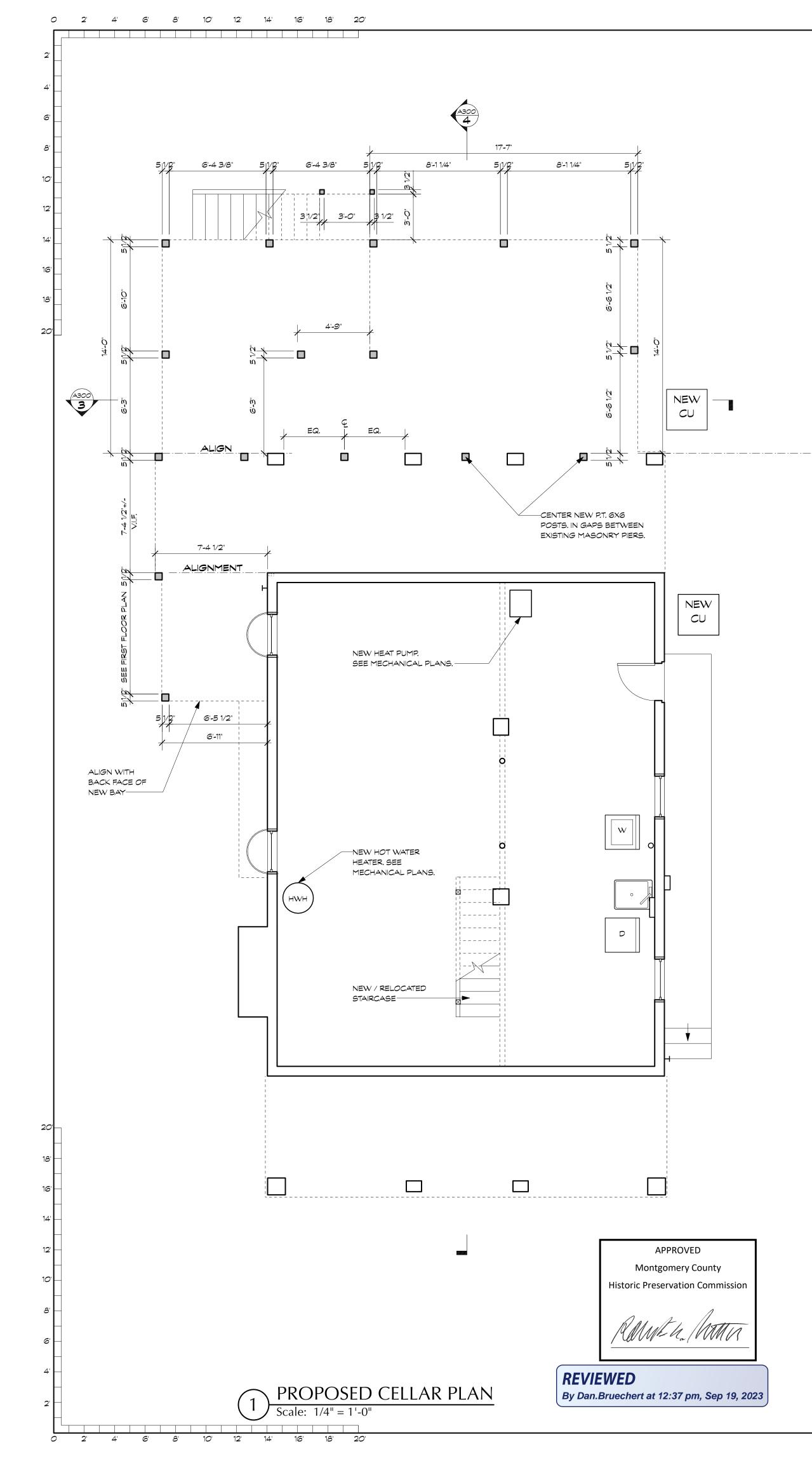


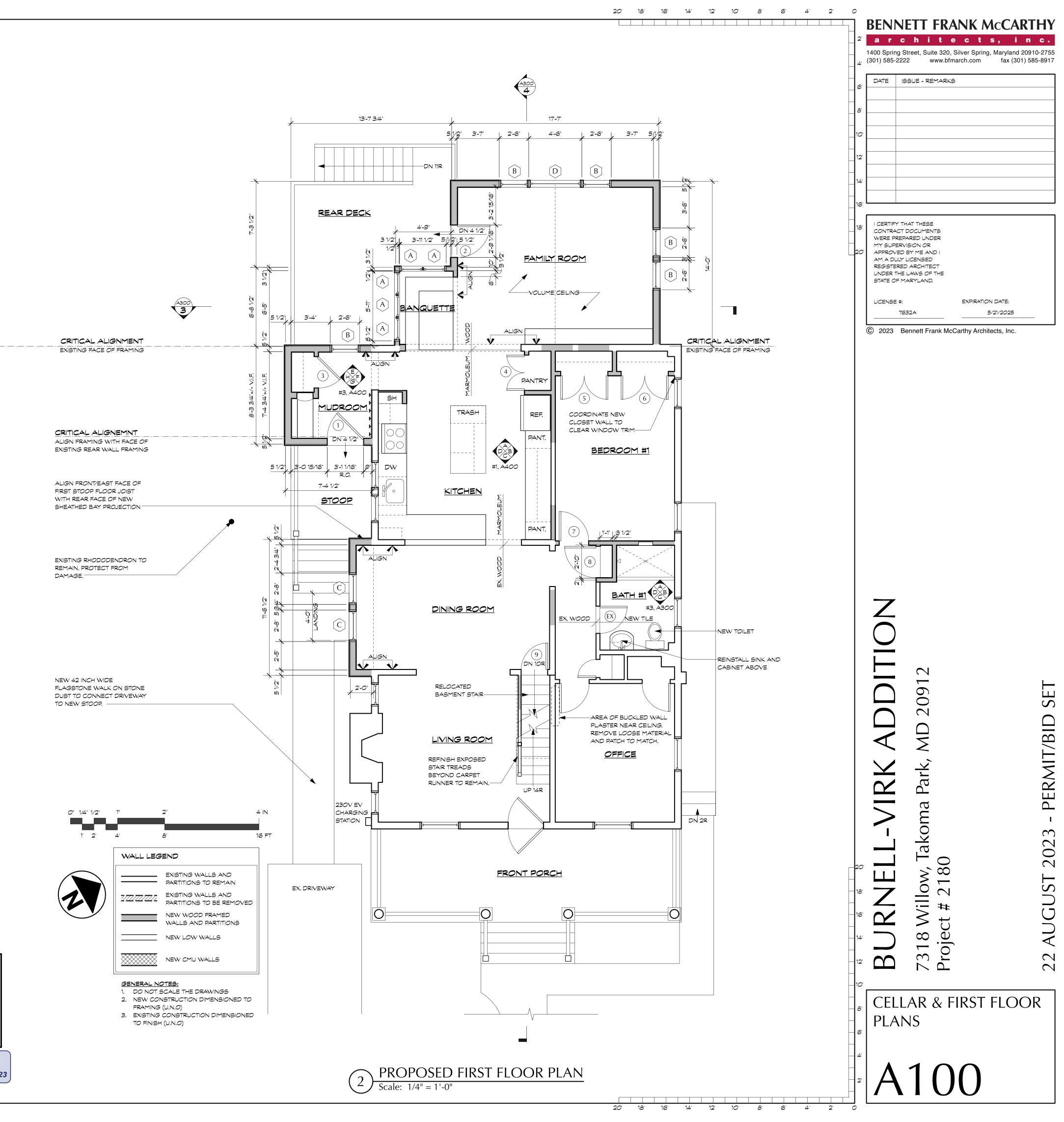


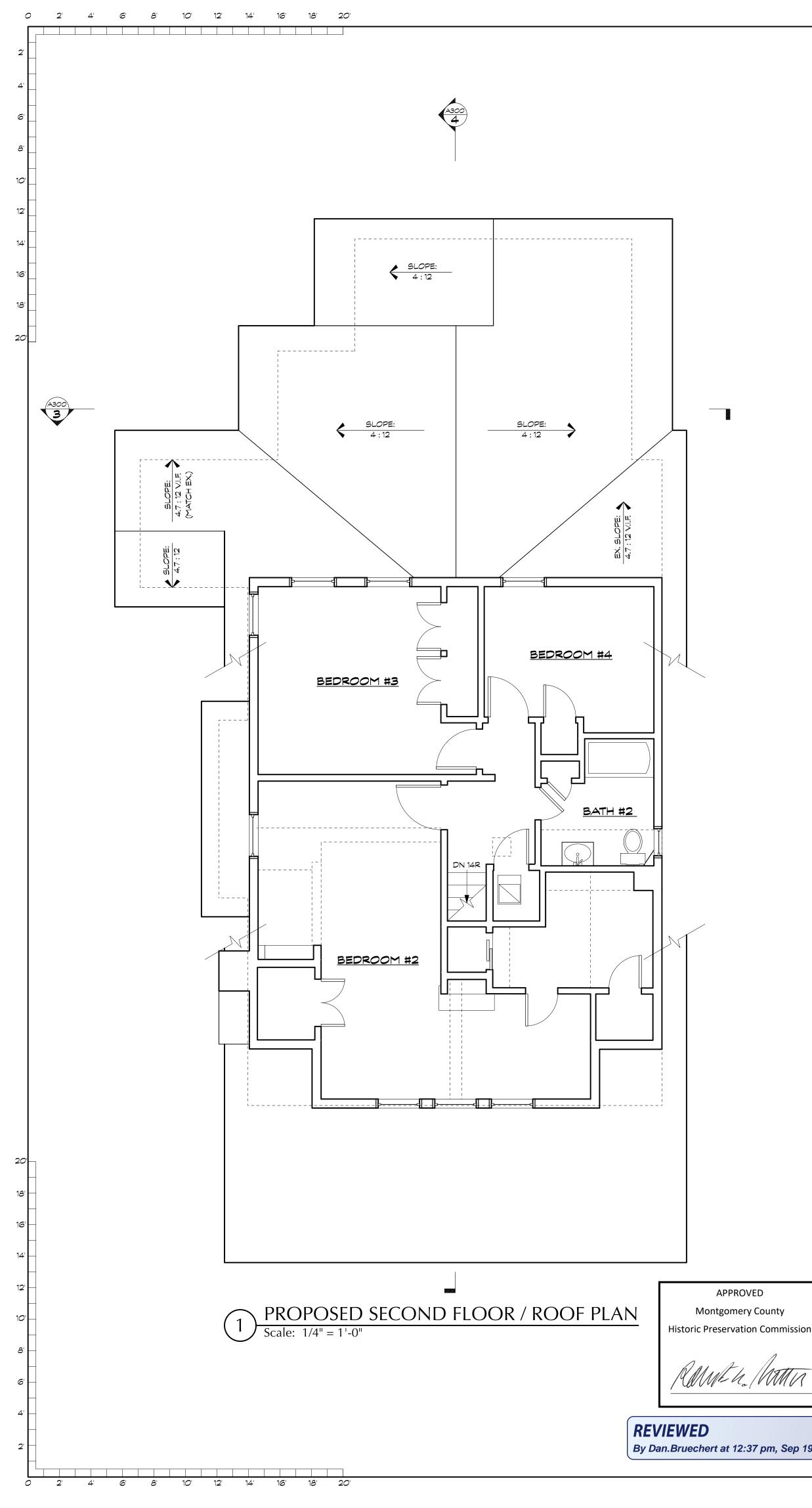


- DO NOT SCALE THE DRAWINGS
   NEW CONSTRUCTION DIMENSIONED TO
- FRAMING (U.N.O) 3. EXISTING CONSTRUCTION DIMENSIONED
- TO FINISH (U.N.O)









				MATERIA	L						
NO.	LOCATION	SIZE	THICKNESS	DR	FR	TYPE/STYLE	CONFIG	OPER.	HARDWARE	REMARKS	NO.
1	MUDROOM ENTRANCE	3'-1 1/16" X 7'-2 1/2" R.O.	1 3/4"	WD/GL	WD	FULL-LITE	SINGLE	SWING	LOCKSET & DEADBOLT	WEATHERSHIELD #3172	1
2	FAMILY ROOM DECK	2'-9 1/16" X 7'-2 1/2" R.O.	1 3/4"	WD/GL	WD	FULL-LITE	SINGLE	SWING	LOCKSET & DEADBOLT	WEATHERSHIELD #2972	2
З	MUDROOM CLOSET	2'-8" × 7'-0"	13/8"	WD	WD	TWO PANEL	SINGLE	SWING	PASSAGE		3
4	KITCHEN PANTRY	3'-0" X 6'-8"	13/8"	WD	WD	TWO PANEL	PAIR	SWING	DUMMY PULLS & MAGNETIC CATCH		4
5	BEDROOM CLOSET 1	4'-0" X 6'-8"	13/8"	WD	WD	TWO PANEL	PAIR	SWING	DUMMY PULLS & MAGNETIC CATCH		5
6	BEDROOM CLOSET 2	4'-0" X 6'-8"	13/8"	WD	WD	TWO PANEL	PAIR	SWING	DUMMY PULLS & MAGNETIC CATCH		6
7	BEDROOM	2'-6" X 6'-8"	13/8"	WD	WD	FRENCH	SINGLE	SWING	REUSE EXISTING	SALVAGE EXISTING DOOR	7
8	LINEN CLOSET	2'-6" X 6'-8" (V.I.F.)	13/8"	WD	WD	TWO PANEL	SINGLE	SWING	PASSAGE - REUSE EXISTING	SALVAGE EXISTING DOOR	8
9	BASEMENT STAIR	2'-0" X 6'-8"	13/8"	WD	WD	TWO PANEL	SINGLE	SWING	PASSAGE	VERIFY HEAD HEIGHT	9
10											10

### WINDOW SCHEDULE

				UNIT SIZE	M.O. / R.O.							
MARK	MANUFACTURER	MODEL NO.	TYPE	$(W \times H)$	$(W \times H)$	OPER.	EGRESS	GLAZING	U-VALUE	SHGC	REMARKS	MARK
A	WEATHERSHIELD	2046 (8122)	DOUBLE HUNG	1'-11 1/2" X 4'-5 1/2"	2'-0" X 4'-6"	Y	N				ALUMINUM CLAD WOOD EXT.	A
В	WEATHERSHIELD	2650 (8122)	DOUBLE HUNG	2'-5 1/2" X 4'-11 1/2"	2'-6" × 5'-0"	Y	Ν				ALUMINUM CLAD WOOD EXT.	В
С	WEATHERSHIELD	2850 (8122)	DOUBLE HUNG	2'-7 1/2" X 4'-11 1/2"	2'-8" X 5'-0"	Y	N				WOOD EXTERIOR	С
D	WEATHERSHIELD	4650(8219)	CSMT PICTURE	4'-5 1/2" X 4'-11 1/2"	4'-6" X 5'-0"	N	Ν				ALUMINUM CLAD WOOD EXT.	D
E												Е
F												F

NOTES:

1. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE THE SILLS ARE LESS THAN 18" ABOVE THE FINISH FLOOR.

2. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS WITHIN 24" OF A DOOR OPENING.

3. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS ADJACENT TO BATHTUB & SHOWER ENCLOSURES. 4. PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD.

5. BASEMENTS, HABITABLE ATTICS & EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EGRESS WINDOW. THE MINIMUM NET CLEAR OPENING SHALL BE 5.7 SQUARE FEET.

THE MINIMUM NET CLEAR HEIGHT SHALL BE 24 INCHES.

THE MINIMUM NET CLEAR WIDTH SHALL BE 20 INCHES.

THE MAXIMUM SILL HEIGHT SHALL BE 44 INCHES ABOVE THE FINISH FLOOR.

6. PROVIDE LIMITERS ON ALL WINDOWS WITH SILL HEIGHT BELOW 36" TO PREVENT PASSAGE OF A 4" SPHERE THROUGH FULLY OPENED WINDOW. 7. ALL FENESTRATION PRODUCTS SHALL BE NFRC CERTIFIED AND SHALL MEET THE PERFORMANCE CRITERIA LABELED ON THE UNIT INCLUDING U-VALUE, SHGC, AND AIR LEAKAGE RATING.

8. ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC 2406.3 SHALL BE LABELED PER IBC 2406.

		AREA	FLOORING	BASE	WALLS	PAINT	CEILING	PAINT	TRIM	REMARKS
~	MECH / STORAGE	462 SF	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.		
ţ	LAUNDRY / MECH.	323 SF	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.		
	STAIRS	26 SF	PINE							
0										
	REAR DECK	185 SF	P.T. WOOD							
	STOOP	55 SF	P.T. WOOD							
	LIVING ROOM	181 SF	EX. WOOD / NOTE 1	E.T.R.	NOTE 4 & 8	FLAT	SEE REMARKS	FLAT		SKIM COAT EXISTING DRYWALL CEILING
	DINING ROOM	173 SF	EX. WOOD / NOTE 1	MATCH EXISTING	GWB / NOTE 4	FLAT	NOTE 6	FLAT		
И О	KITCHEN	235 SF	NEW MARMOLEUM	MATCH EXISTING	GWB / NOTE 3	SEMIGLOSS	GWB	SEMIGLOSS		
9	MUDROOM	46 SF	NEW MARMOLEUM	1X6	GWB	EGGSHELL	GWB	FLAT		
	BEDROOM 1	142 SF	EX. WOOD / NOTE 1	MATCH EXISTING	GWB/NOTE 5	FLAT	E.T.R.	FLAT		
2	FAMILY ROOM/BANQUETTE	252 SF	NEW WOOD	1X6	GWB	FLAT	GWB	FLAT		
u.	BATH #1	52 SF	TILE	TILE	GWB / NOTE 2	SEMIGLOSS	E.T.R. / NOTE 4	SEMIGLOSS		REMOVE TILE FLOOR & WAINSCOT
	OFFICE	119 SF	EX. WOOD / NOTE 1	E.T.R.	NOTE 5, 7 & 8	FLAT	E.T.R.	E.T.R.		NOTE 7
	STAIRS	26 SF	EX. WOOD / NOTE 1	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.		REFINISH EXPOSED STAIR TREADS
N N	BEDROOM #2	100 SF	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.		
ğ	BEDROOM #3	166 SF	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.		
	BEDROOM #4	94 SF	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.		
Ž	BATH #2	53 SF	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.	E.T.R.		
ŭ	HALL	33 SF	E.T.R.	E.T.R.	E.T.R.	EGGSHELL	E.T.R.	FLAT		
n										

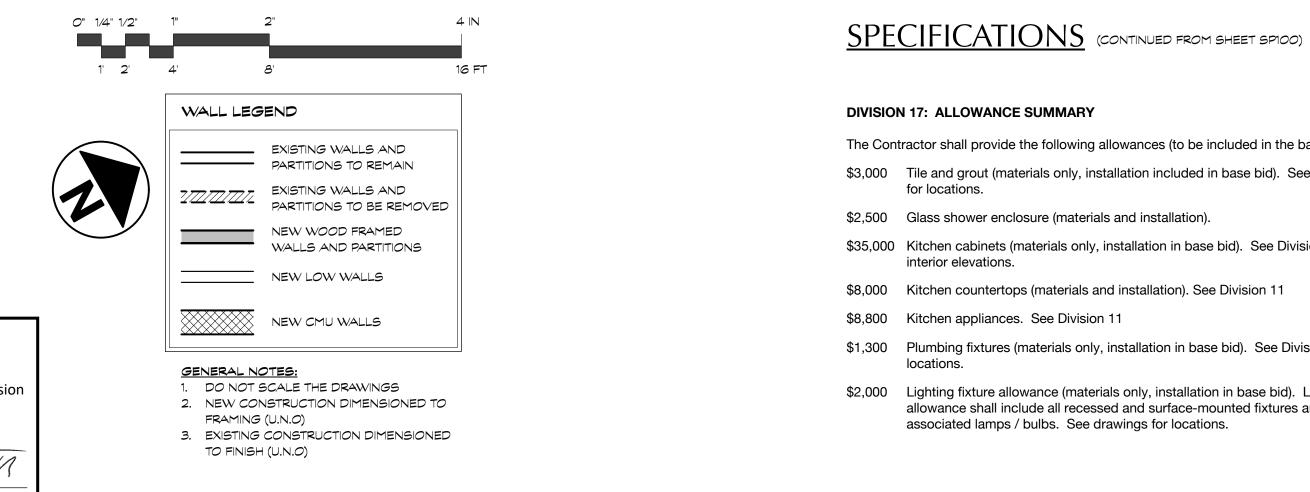
3. TILE BACKSPLASH

4. PATCH / RESTORE EXISTING WHERE DISTURBED BY NEW WORK

5. REMOVE WALLPAPER

6. LAMINATE GWB BELOW EXISTING CRACKED PLASTER CEILING 7. REMOVE / RESTORE BUCKLED PLASTER. SEE A100

8. REPAIR / RESTORE CRACKED PLASTER. SEE SPECIFICATION DIVISION  ${\mathcal 9}$ 



APPROVED Montgomery County

MMEL. MMI

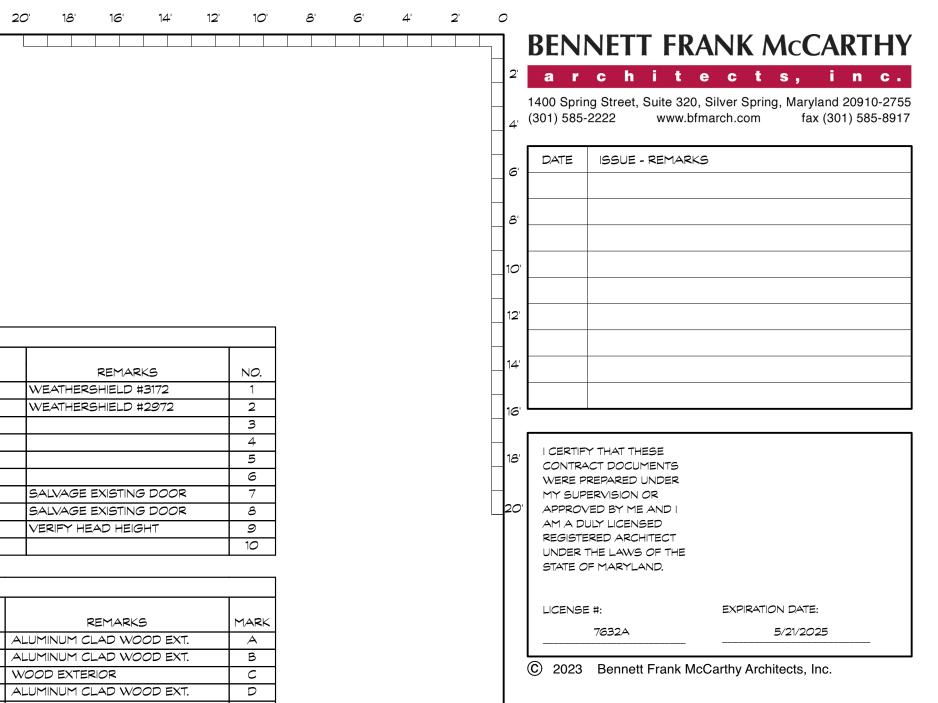
By Dan.Bruechert at 12:37 pm, Sep 19, 2023

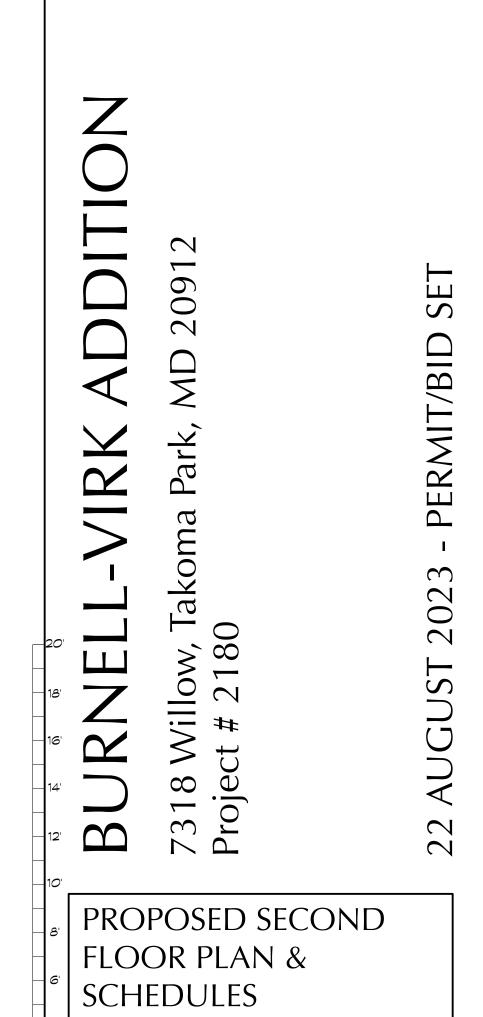
The Contractor shall provide the following allowances (to be included in the base scope): \$3,000 Tile and grout (materials only, installation included in base bid). See Division 9

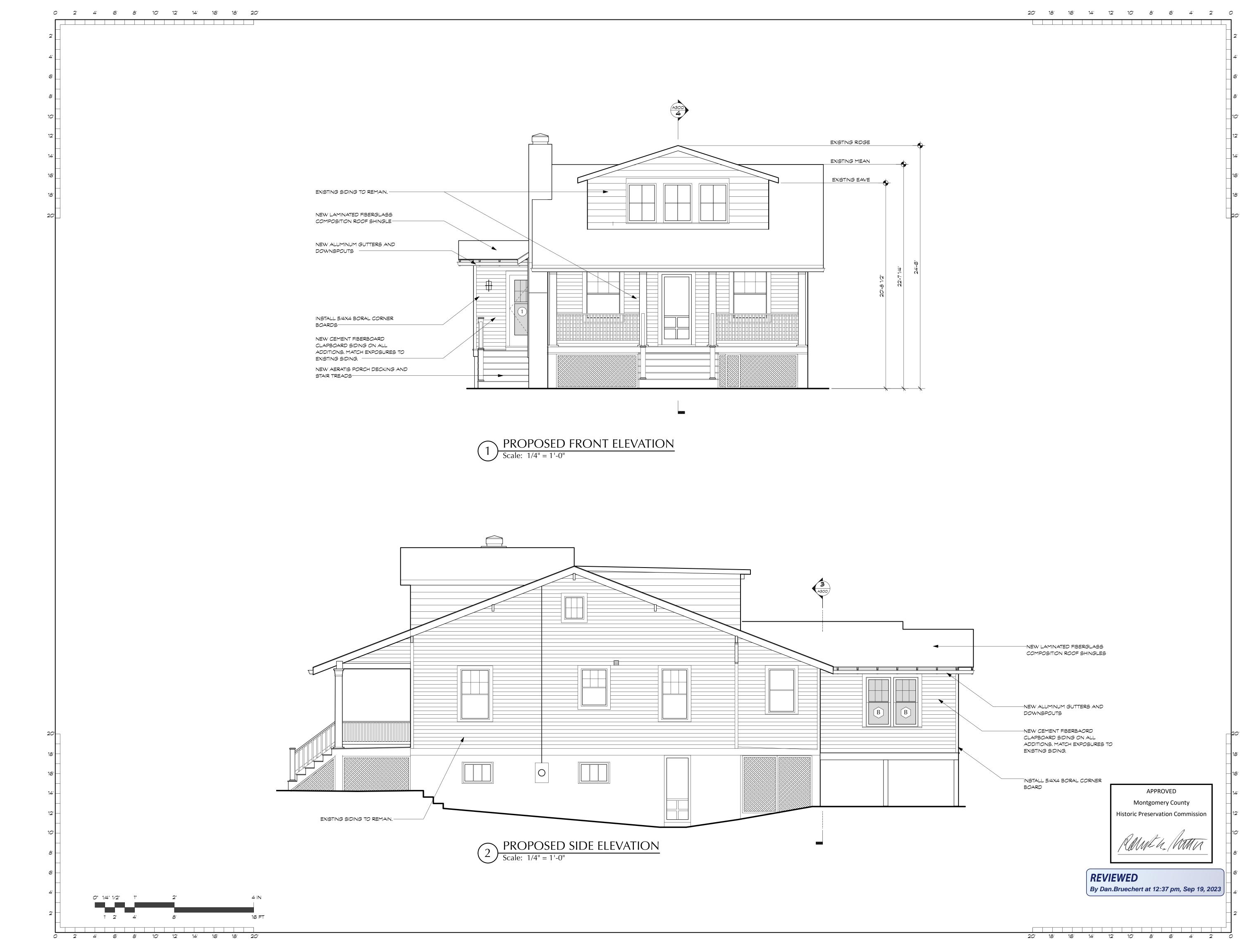
\$35,000 Kitchen cabinets (materials only, installation in base bid). See Division 11 and

\$1,300 Plumbing fixtures (materials only, installation in base bid). See Division 15 for

\$2,000 Lighting fixture allowance (materials only, installation in base bid). Lighting allowance shall include all recessed and surface-mounted fixtures and

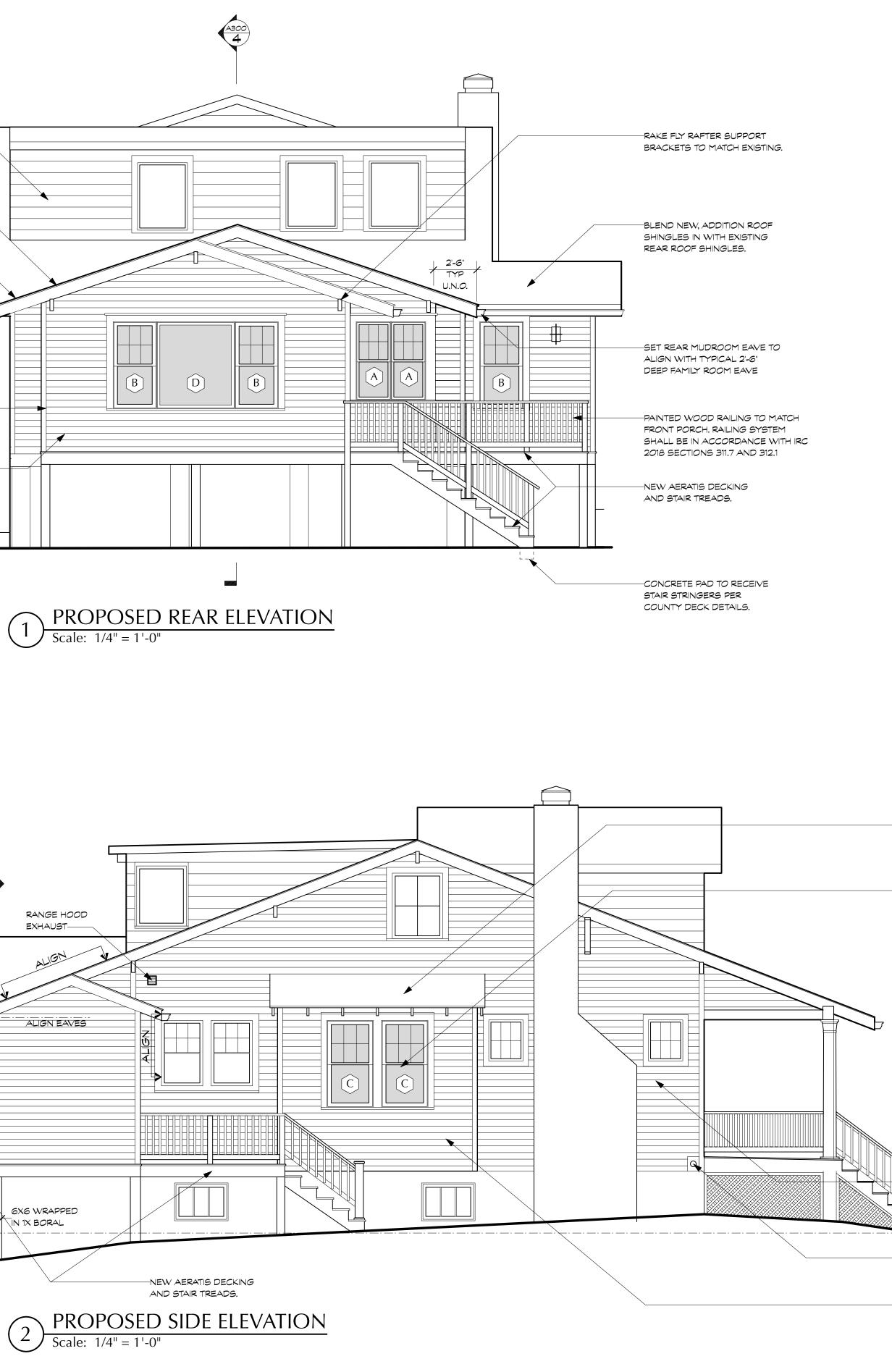






			<b>BENNETT FRANK M</b> C	CARTHY
		2`	architects,1400 Spring Street, Suite 320, Silver Spring, Ma (301) 585-2222www.bfmarch.com	
		6	DATE ISSUE - REMARKS	
		8'		
		10'		
		12'		
		14'  16'		
		18'		
		20	WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED	
			REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.	
			LICENSE #: EXPIRATION DA 	
			© 2023 Bennett Frank McCarthy Architects	, Inc.
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				<b>—</b>
			2091	SE
				3ID
—NEW LAMINATED FIBER				IT/E
COMPOSITION ROOF S			/IRK na Park,	PERMIT/BID
				PE
-NEW ALUMINUM GUTTE DOWNSPOUTS	RS AND		L-V Takoma	23 -
-NEW CEMENT FIBERBAC CLAPBOARD SIDING ON		_20	30 <sup>7</sup> Ta	202
ADDITIONS. MATCH EXP EXISTING SIDING.			2180 2180	JST
-INSTALL 5/4X4 BORAL C	ORNER	16'		כר
BOARD	APPROVED Montgomery County	14'	BUR 7318 W Project	22 AUG
	Historic Preservation Commissi	on12'	Prc 73	22
	Rame h. Matto	10'	PROPOSED	
		) 	ELEVATIONS	
	<b>REVIEWED</b> By Dan.Bruechert at 12:37 pm, Sep 1	( <b>9, 2023</b> ) - <sup>6</sup>		
			A200	

0 2' 4' 6' 8' 10' 12' 14' 16' 18' 20' EXISTING SIDING TO REMAIN.-VALLEY FLASHING -NEW LAMINATED FIBERGLASS COMPOSITION ROOF SHINGLES-NEW ALUMINUM GUTTERS AND DOWNSPOUTS -INSTALL 5/4X4 BORAL CORNER BOARDS — NEW CEMENT FIBERBOARD CLAPBOARD SIDING ON ALL ADDITIONS. MATCH EXPOSURE TO EXISTING WOOD SIDING.---APPROVED Montgomery County Historic Preservation Commission NE U. / V VIA V REVIEWED By Dan.Bruechert at 12:37 pm, Sep 19, 2023 NEW LAMINATED FIBERGLASS COMPOSITION ROOF SHINGLES **3** (A300) NEW RIDGE EXTEND RAKE ROOF NEW MEAN SHEATHING MIN. 2 INCHES BEYOND FACE OF FLY RAFTERS (TYPICAL)— NEW EAVE  $\oplus$ NEW ALUMINUM GUTTERS AND DOWNSPOUTS-NEW CEMENT FIBERBAORD CLAPBOARD SIDING ON ALL ADDITIONS. U.N.O. PROVIDE EXPOSURE TO MATCH EXISTING FLUSH HORIZONTAL TRIM BAND ALIGN 5/4XDRIP CAP WITH DECK PLANKS -AVERAGE FRONT GRADE 0" 1/4" 1/2" 1" 4 IN 2" 16 FT 1'2'4' 8' 2' 4' 6' 8' 10' 12' 14' 16' 18' 20'



2' a r c h i t e c t s, i n c 1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-27	20'	18'	16'	14'	12'	10'	8'	6	4'	2'		0	
1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-27 (301) 585-2222 www.bfmarch.com fax (301) 585-89 6 6 7 7 8 8 10 10 12 12 14 15 16 16 16 16 16 16 17 16 18 19 10 10 10 10 10 10 10 10 10 10													BENNETT FRANK McCARTHY
4       (301) 585-2222       www.bfmarch.com       fax (301) 585-89         6'       DATE       ISSUE - REMARKS         8'												2'	<sup>2</sup> architects, inc.
6												4'	1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755 4' (301) 585-2222 www.bfmarch.com fax (301) 585-8917
10'												6	
12'         14'         16'         16'         16'         17'         18'         19'         19'         10'         1												8'	B'
14:         16:         18:       I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.         LICENSE #:       EXPRATION DATE:												10'	O'
14:         16:         18:       I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.         LICENSE #:       EXPIRATION DATE:												12	
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REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE #: EXPIRATION DATE:													CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR
													REGISTERED ARCHITECT UNDER THE LAWS OF THE
7632A5/21/2025													LICENSE #: EXPIRATION DATE:
© 2023 Bennett Frank McCarthy Architects, Inc.													

-NEW LAMINATED FIBERGLASS COMPOSITION ROOF SHINGLES ON DINING ROOM BAY.

-NEW PAINTED WOOD EXTERIOR INSULATED DOUBLE HUNG WINDOWS. SET TO MATCH HEAD HEIGHT OF EXISTING WINDOWS.



-EXISTING SIDING TO REMAIN.

-NEW, WALL MOUNTED EV CHARGING STATION. COORDINATE LOCATION WITH OWNER

-PAINTED WOOD SIDING AND CORNER BOARDS ON NEW DINING ROOM BAY TO MATCH EXISTING

20' 18' 16' 14' 12' 10' 8' 6' 4' 2'

PROPOSED ELEVATIONS

 $A20^{\circ}$ 

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7 

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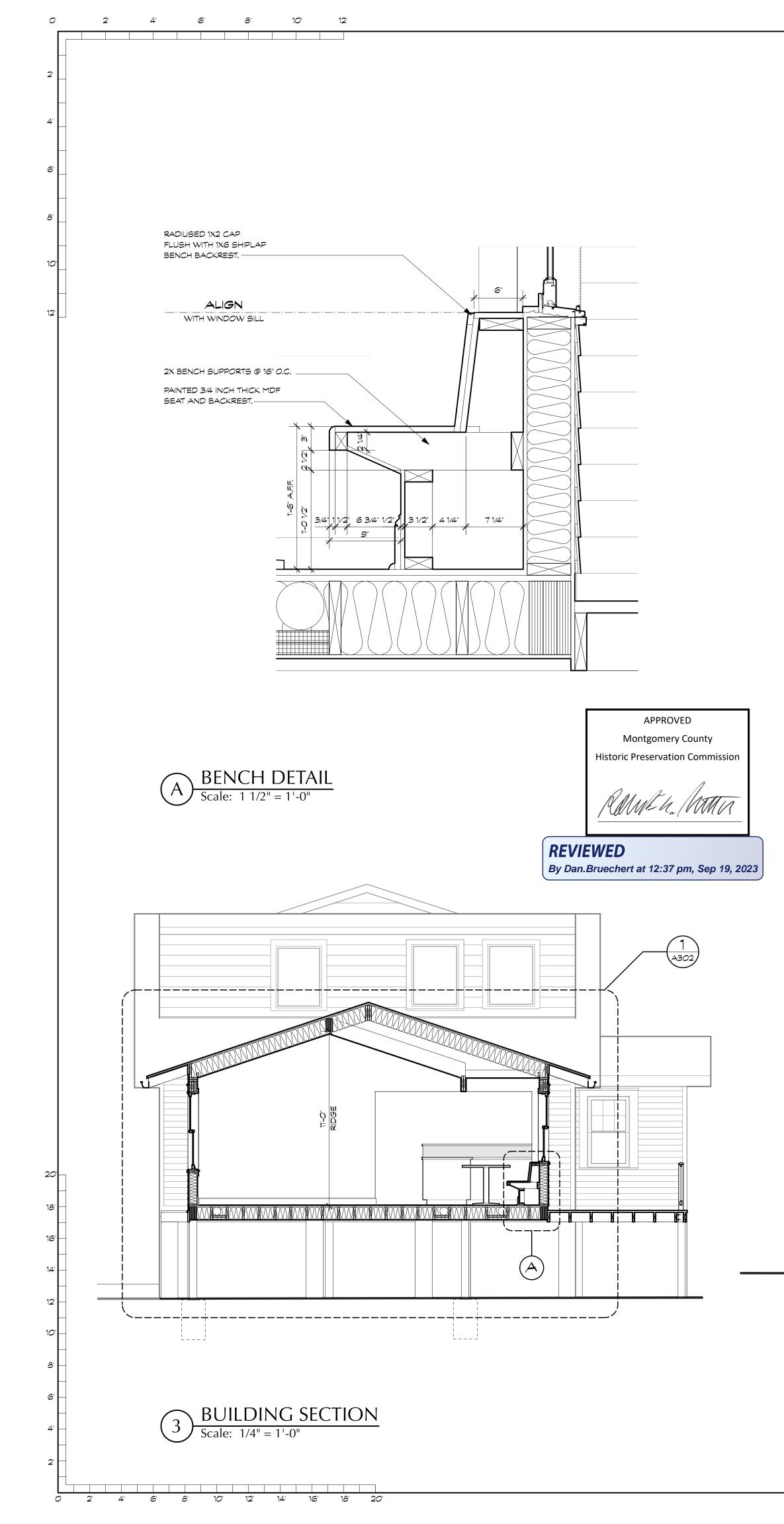
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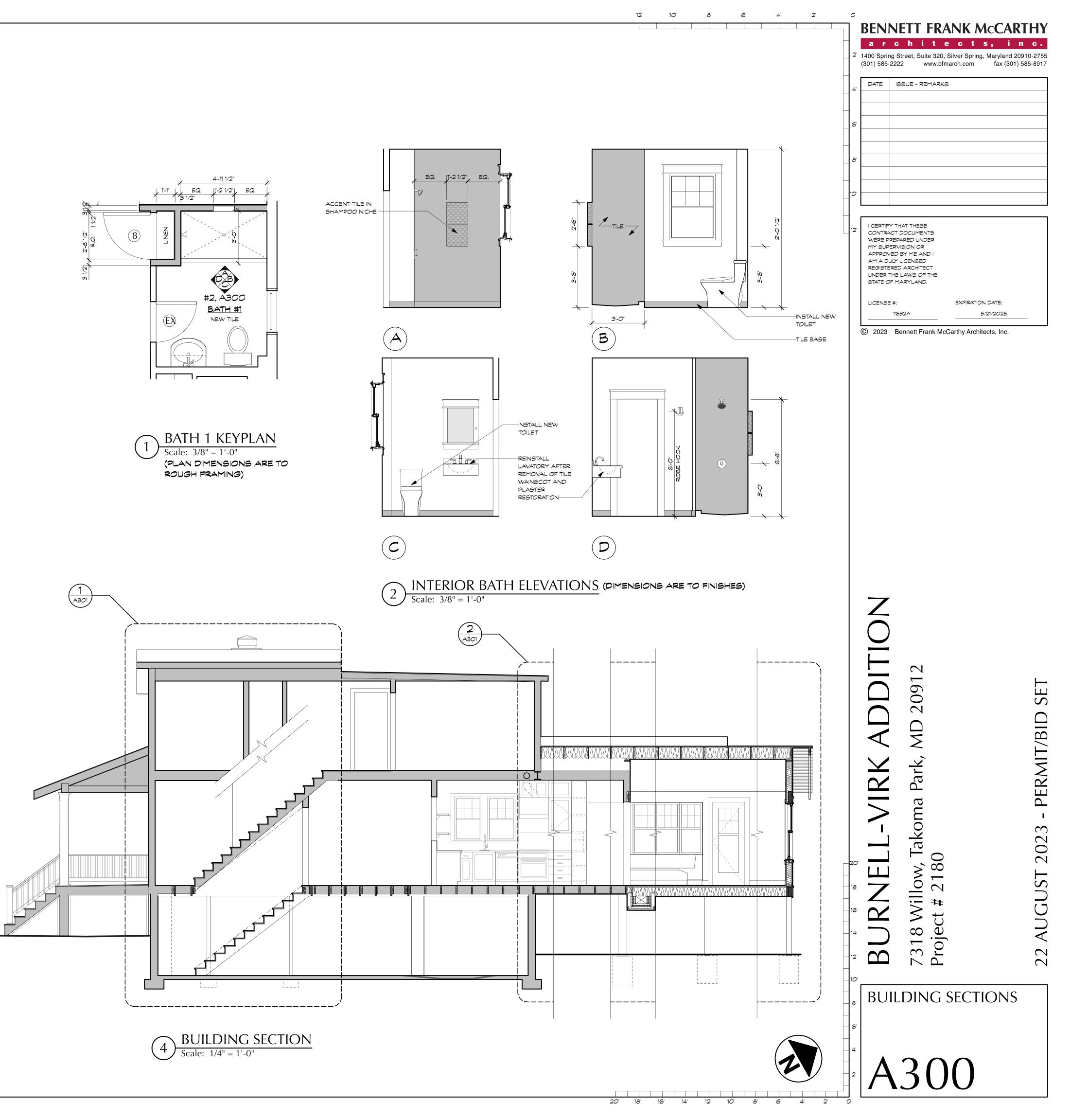
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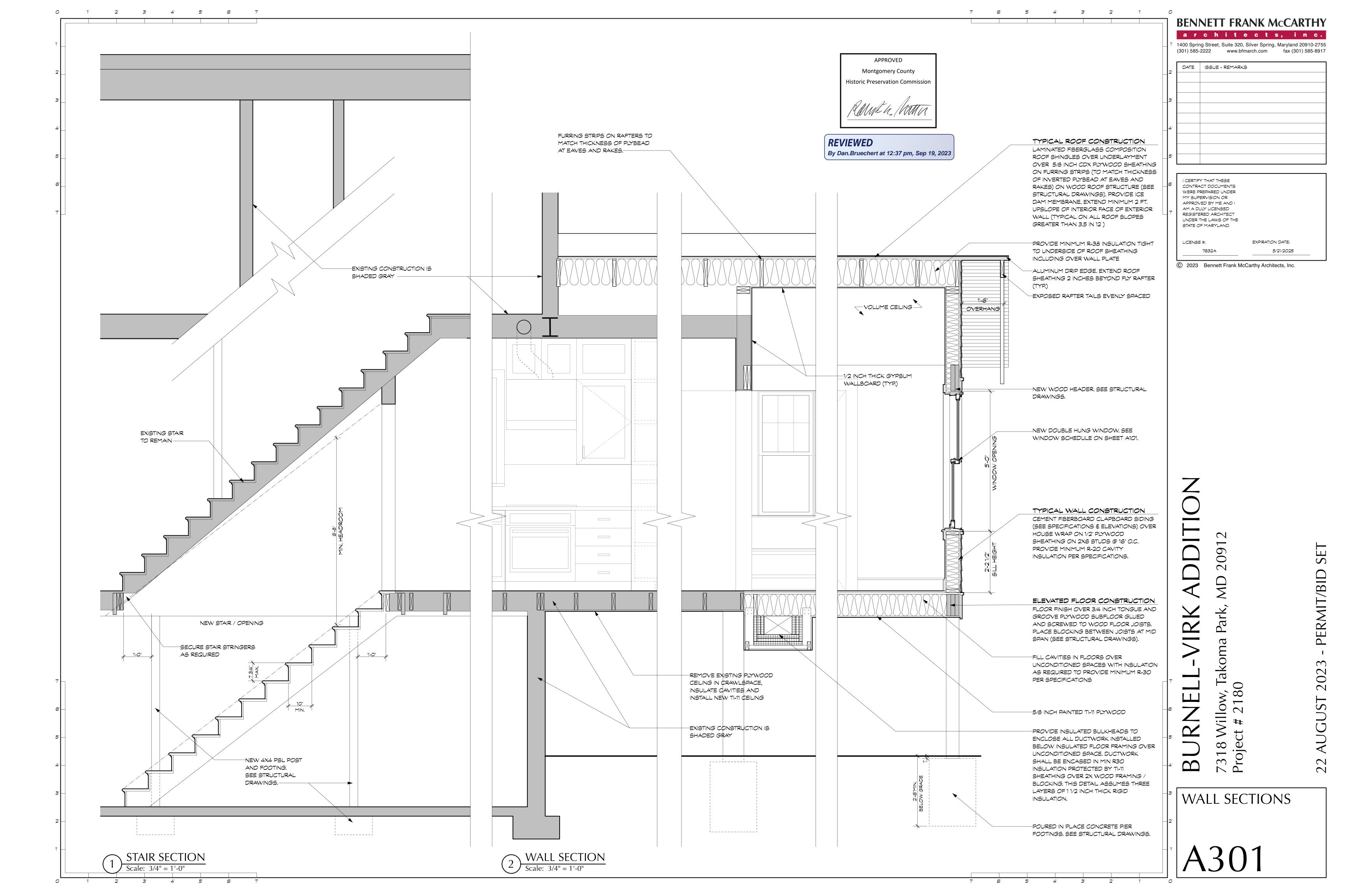
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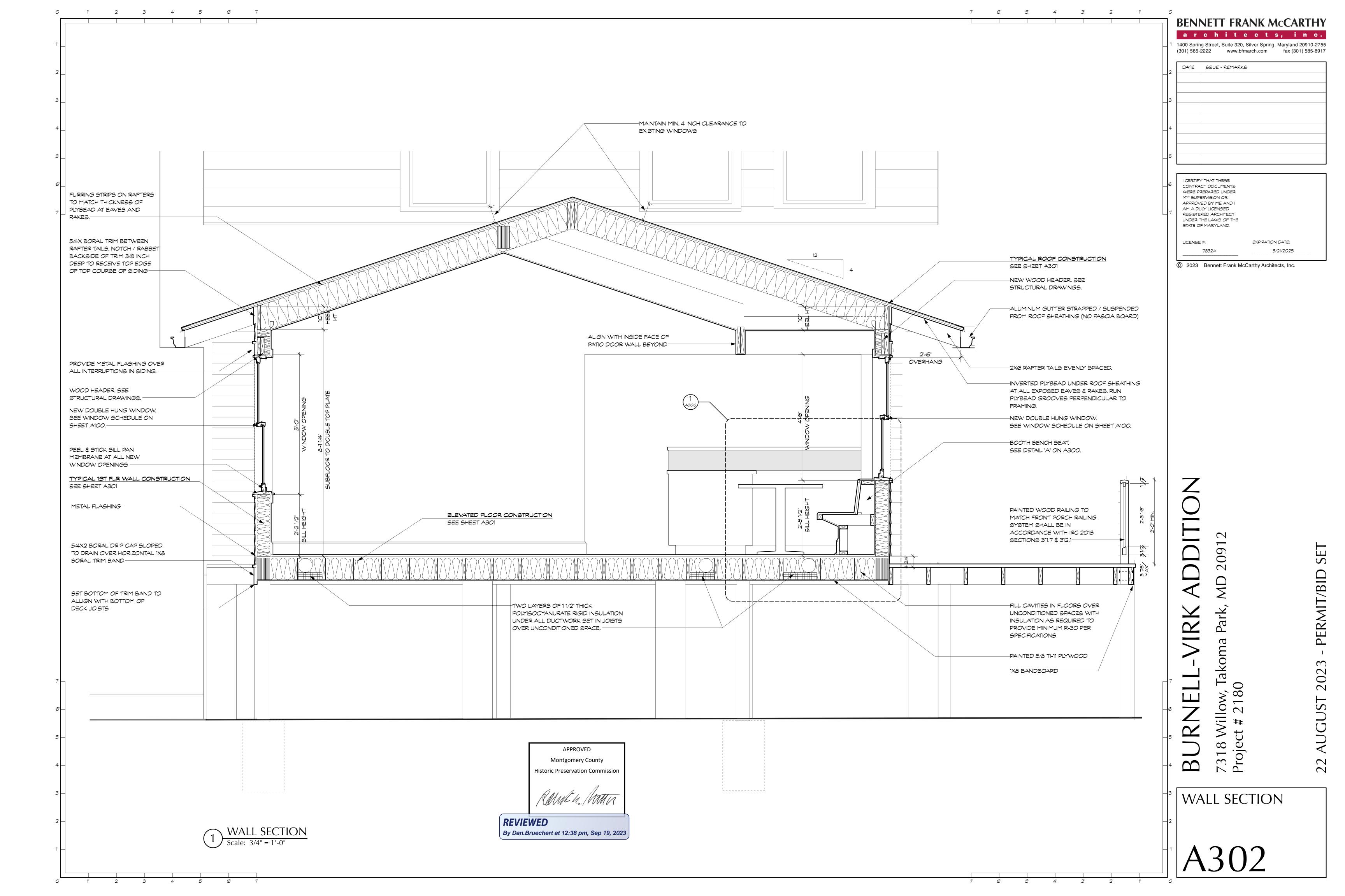
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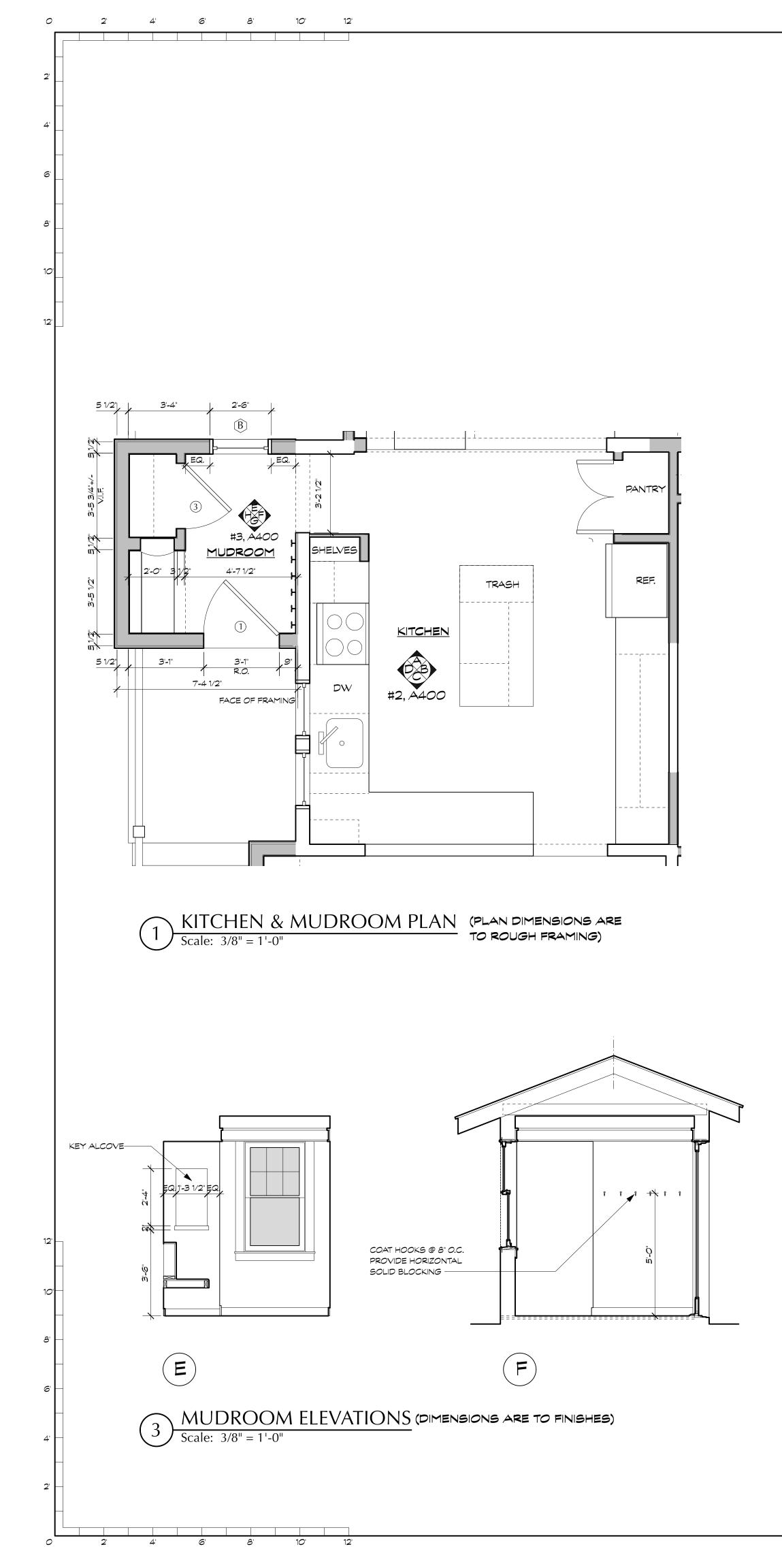
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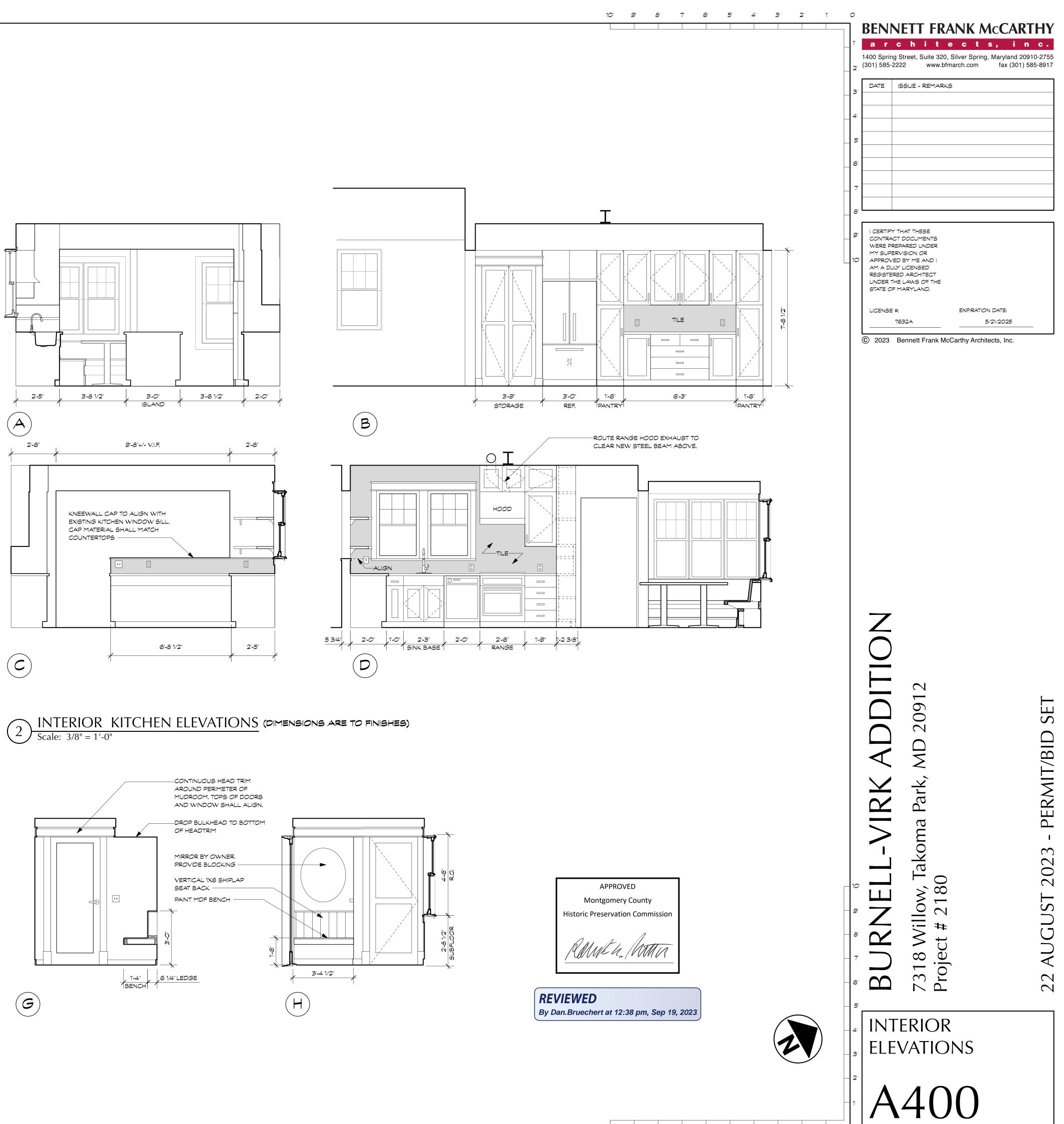


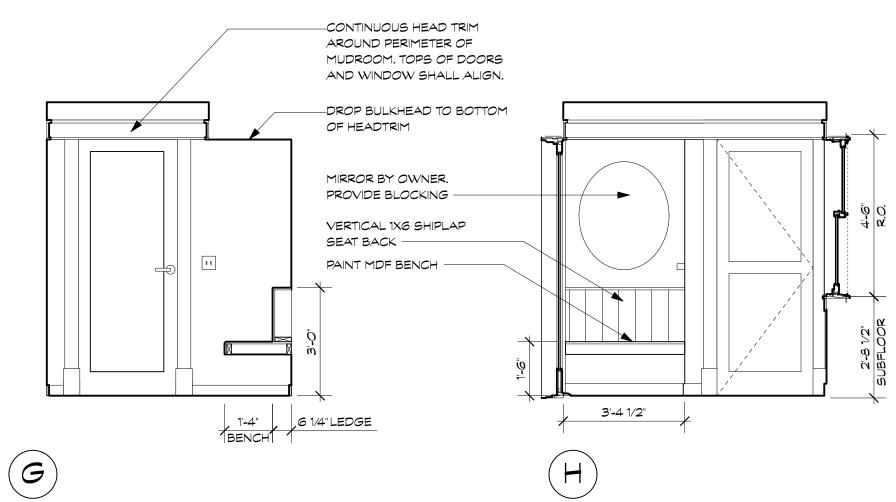






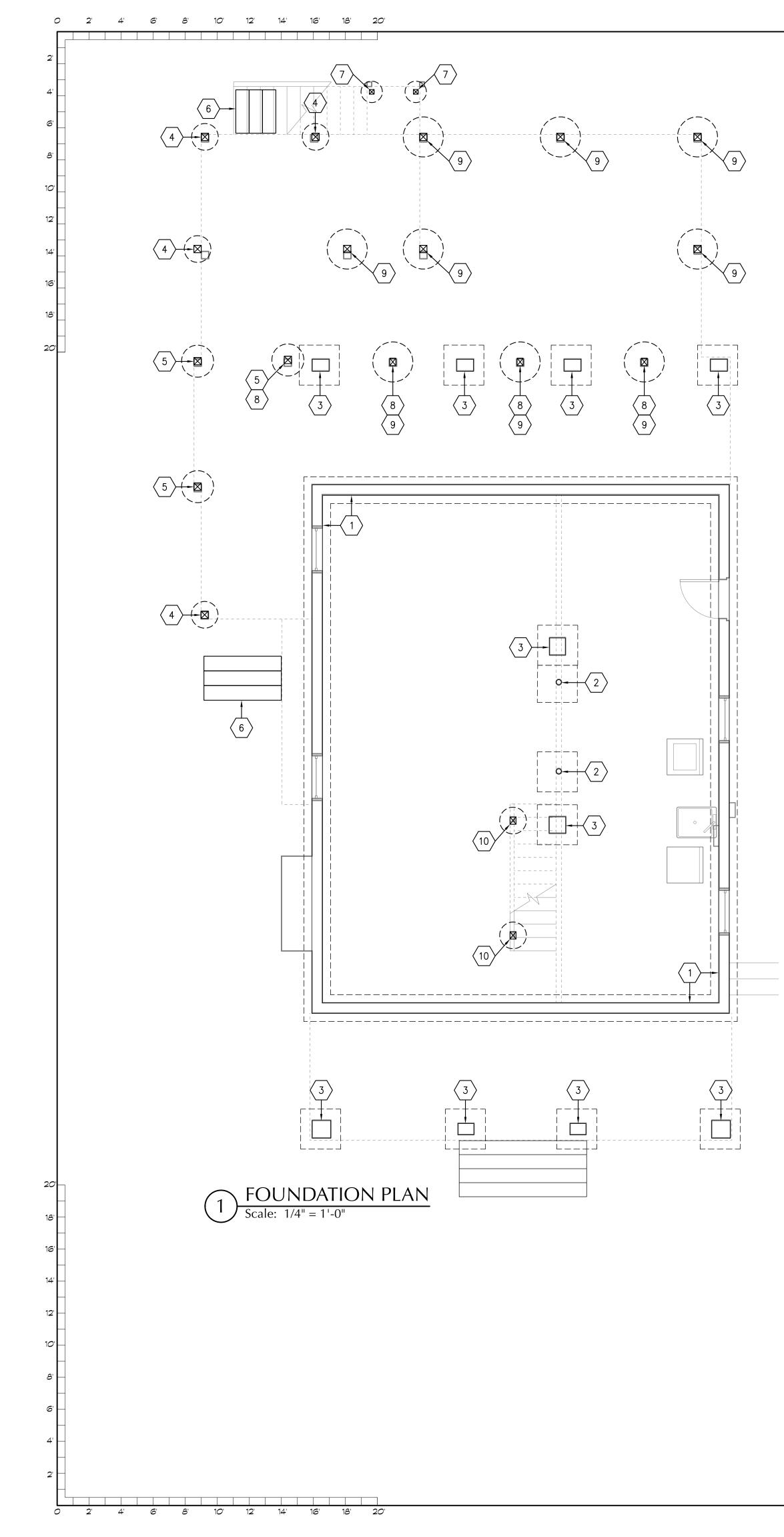




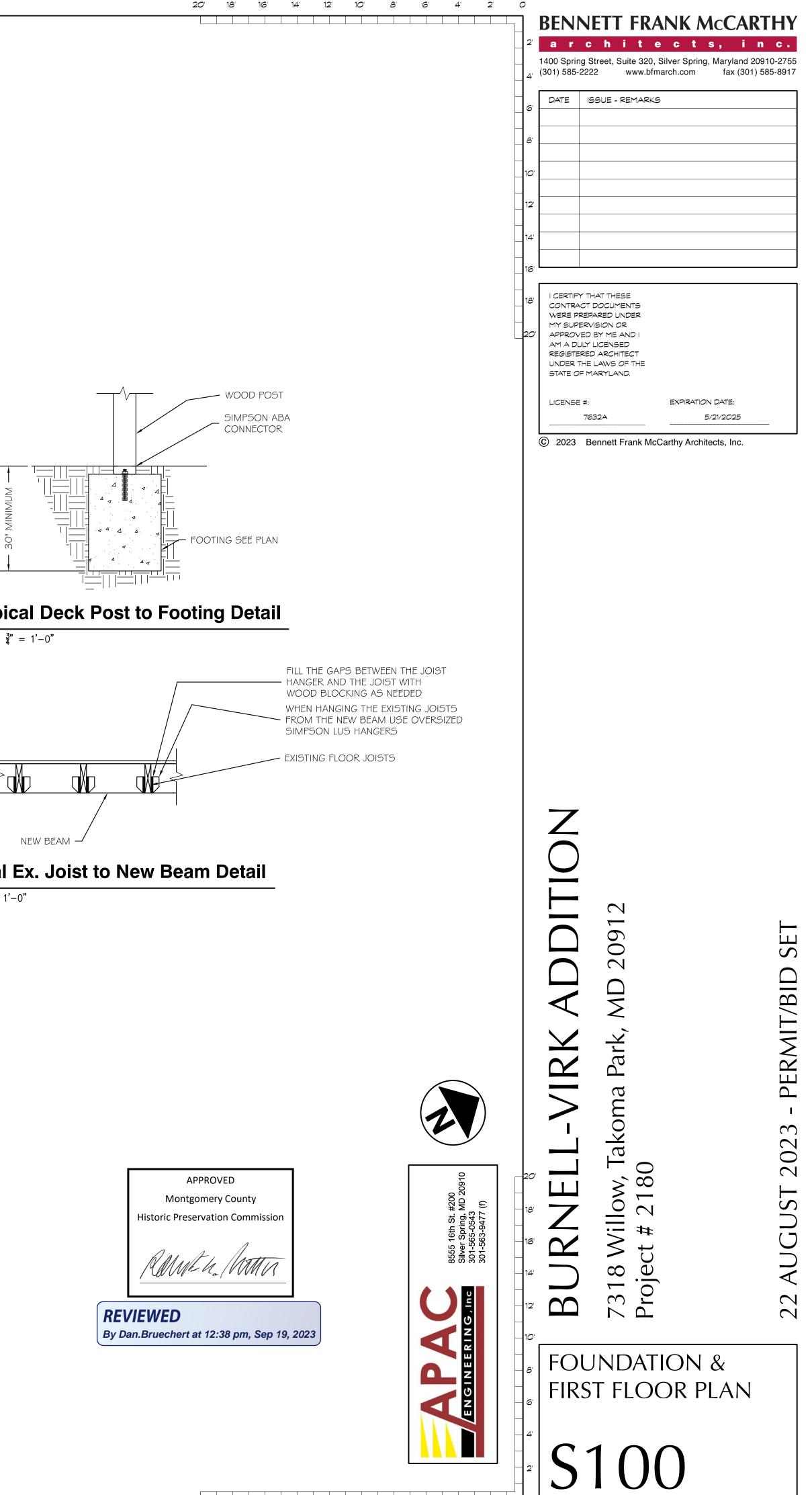


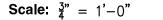
10' 9' 8' 7' 6' 5' 4' 3' 2'

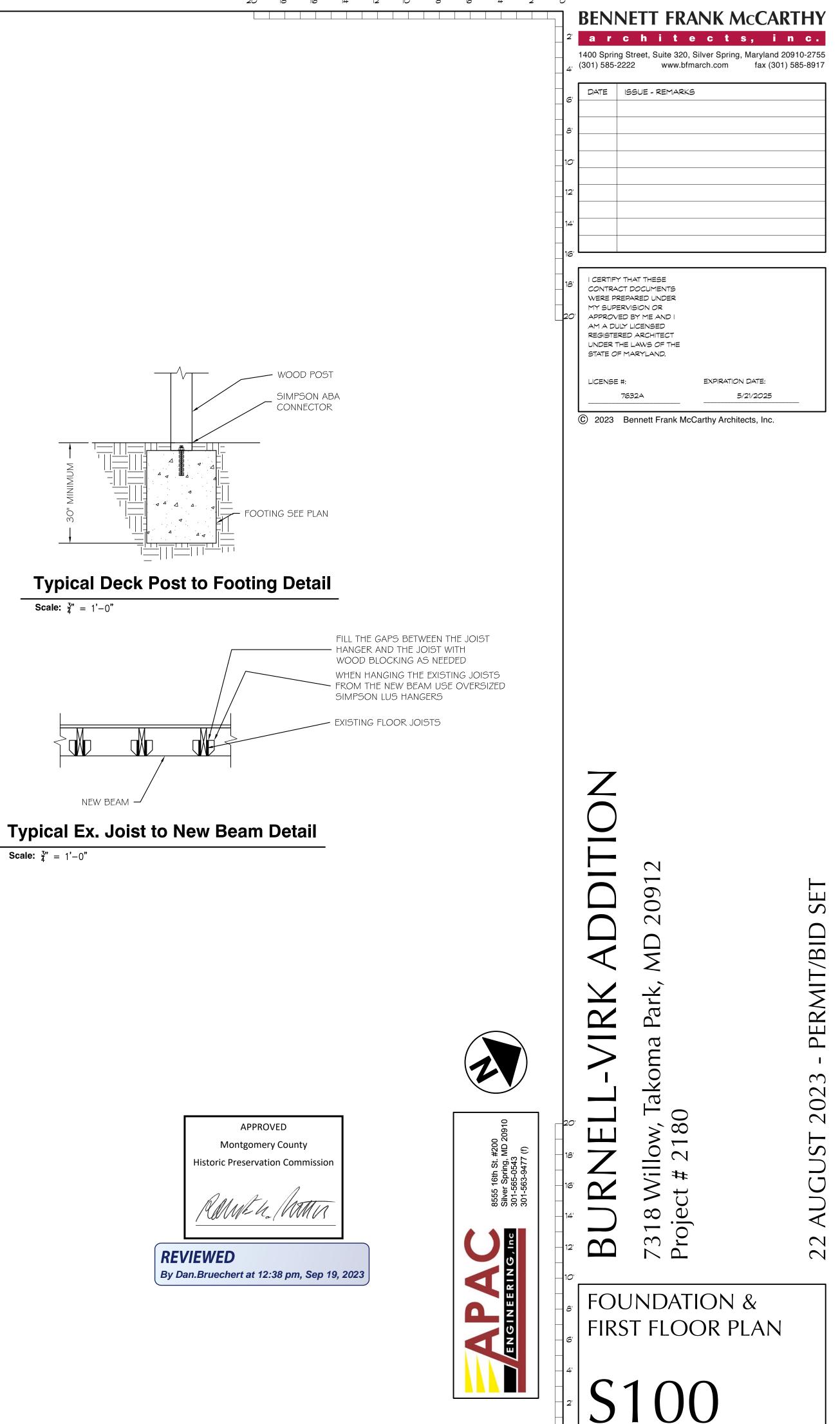
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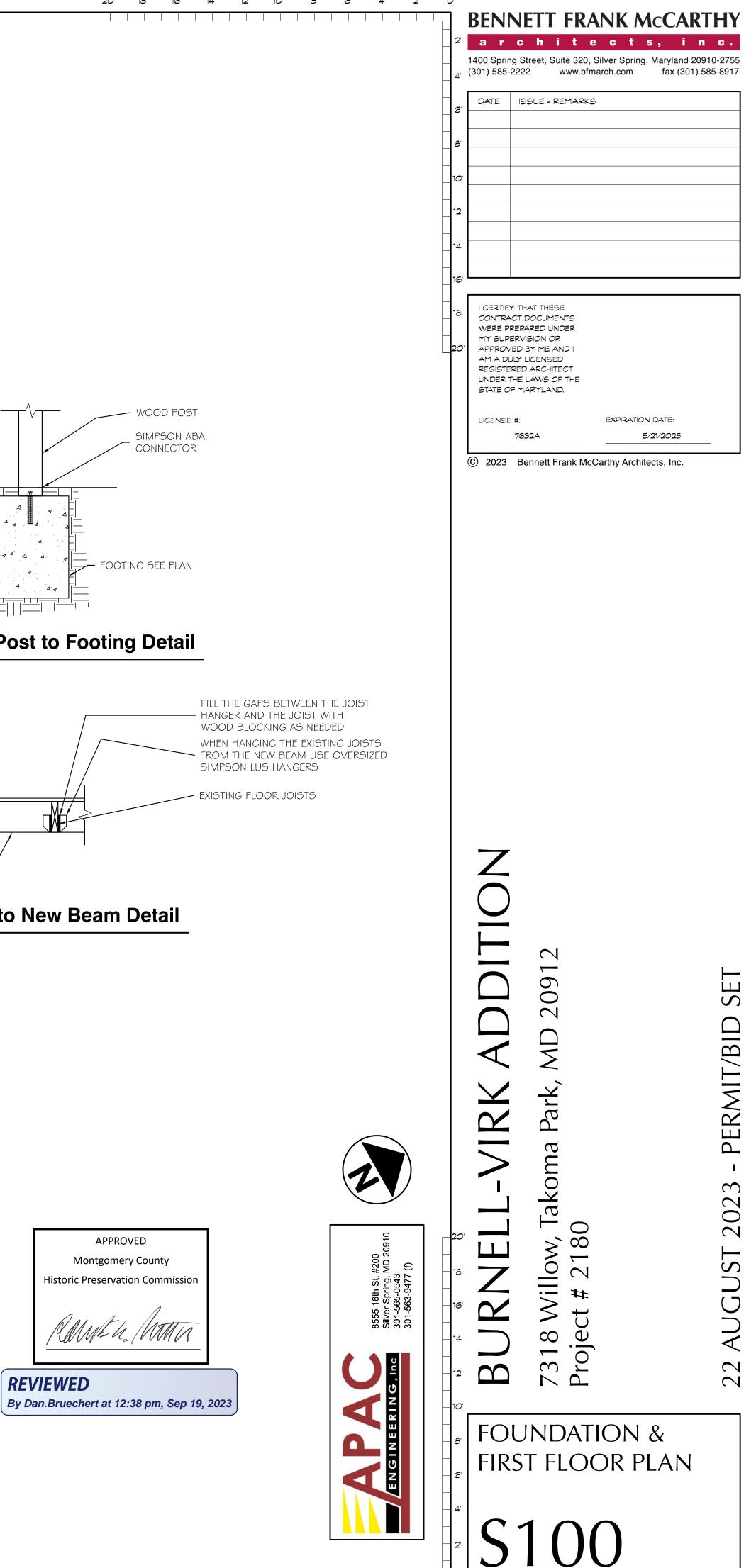
- 1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE. 2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK
- AND SINGLE KING STUD, UNLESS NOTED OTHERWISE. 3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
- 4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 10 BOLTS AT 16" O.C. STAGGERED.
- 5. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
- 6. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS. 7. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE
- EXTERIOR SHALL BE GALVANIZED.
- 8. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED
- SOUTHERN PINE #2. 9. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
- 10. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
- 11. TYPICAL JOIST HANGER SHALL BE A SIMPSON LUS HANGER.
- 12. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSU. 13. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
- 14. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
- 15. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
- 16. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
- 17. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS. 18. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS,
- LEDGER BOARD ATTACHMENTS ETC . . 19. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT RUN PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE ADJACENT JOISTS BELOW THE WALL AT 16" O.C.
- EXISTING FOUNDATION WALL AND FOOTING, IF THE EXISTING (1) FOUNDATION WALL IS FOUND TO BOW INWARD BY MORE THAN §" NOTIFY THE STRUCTURAL ENGINEER SO THAT REPAIR DETAILS CAN BE ISSUED.
- EXISTING COLUMN AND FOOTING.
- ´3` EXISTING PIER AND FOOTING.
- $\langle 4 \rangle$ PT6X6 POST ON A 20"Ø FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA66.
- $\langle 5 \rangle$ PT6X6 POST ON A 24"Ø FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA66.
- PLACE THE STAIRS ON FOOTINGS PER THE MONTGOMERY COUNTY DECK DETAILS.  $\langle 6 \rangle$
- $\langle 7 \rangle$ PT4X4 POST ON A 16"Ø FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA44.
- $\langle 8 \rangle$ THE BOTTOM OF THE NEW FOOTING SHALL MATCH THE BOTTOM OF THE ADJACENT WALL FOOTING OR PIER FOOTING. POUR THE NEW FOOTING ON AND NEXT TO THE EXISTING FOOTING.
- PT6X6 POST ON A 30"Ø FOOTING. THE TOP OF THE FOOTING SHALL ( g ) BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA66.
- $\langle 10 \rangle$ 4X4 PSL POST ON A 20"øX10" THICK FOOTING. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA44.

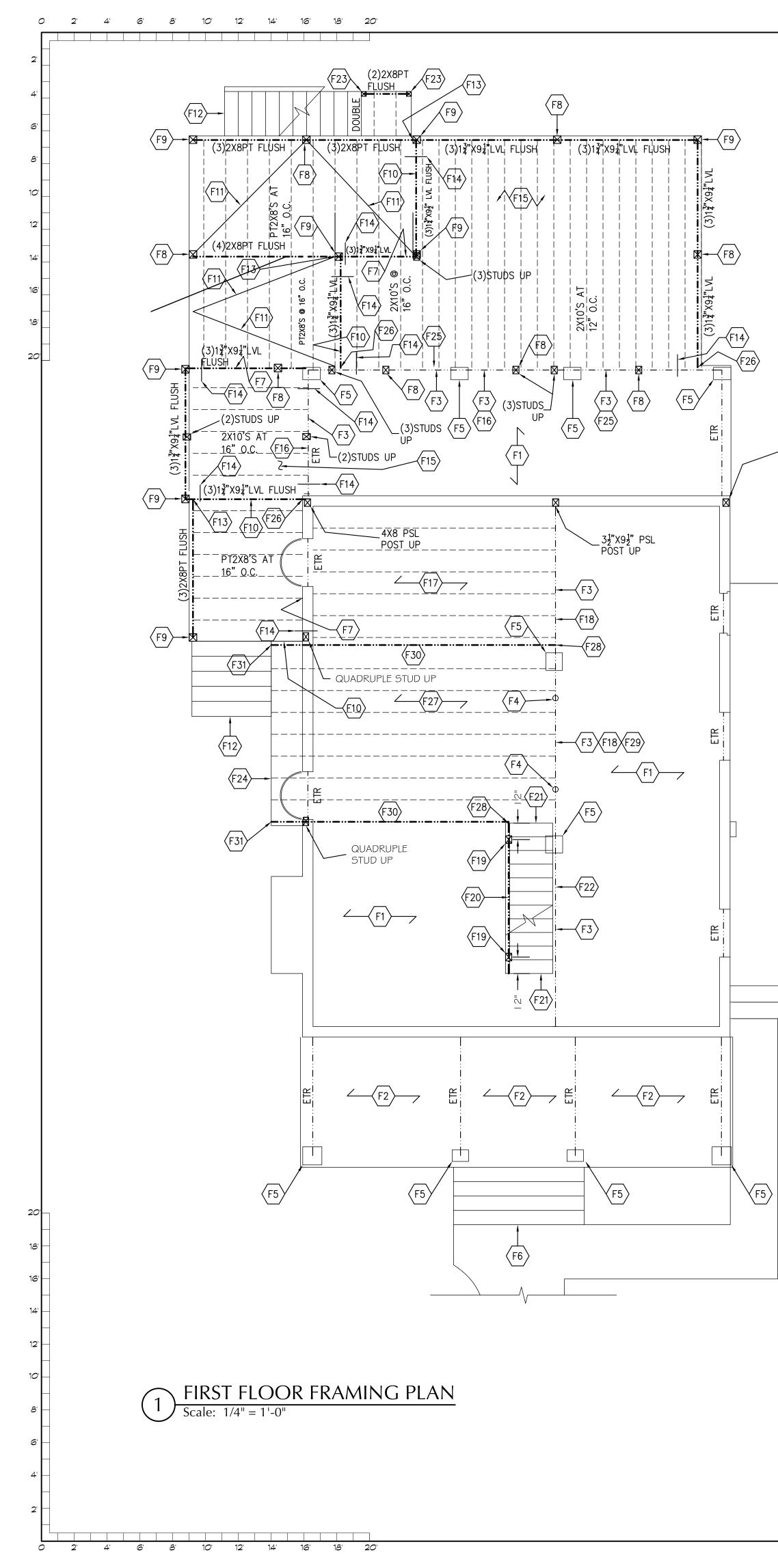






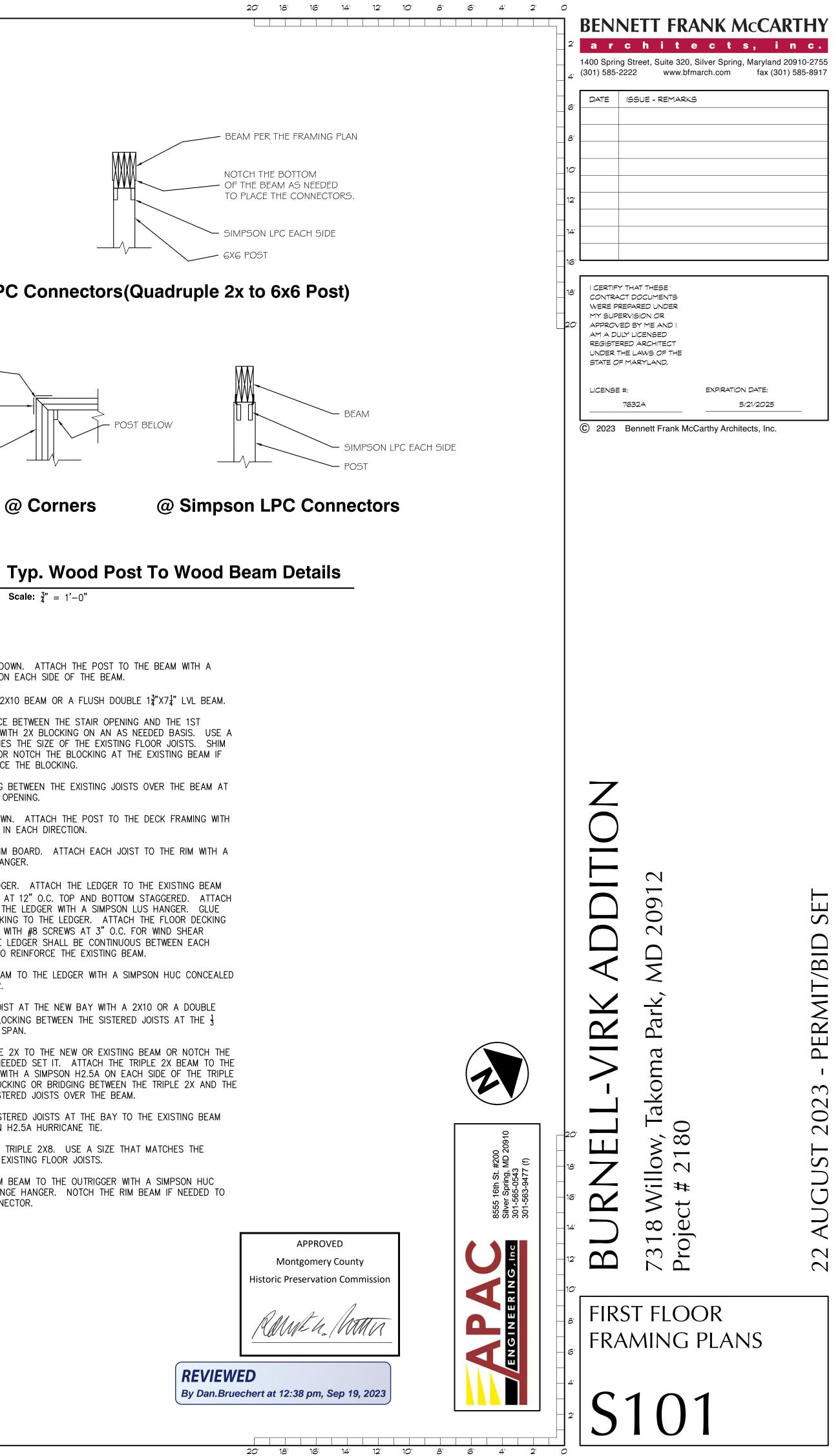
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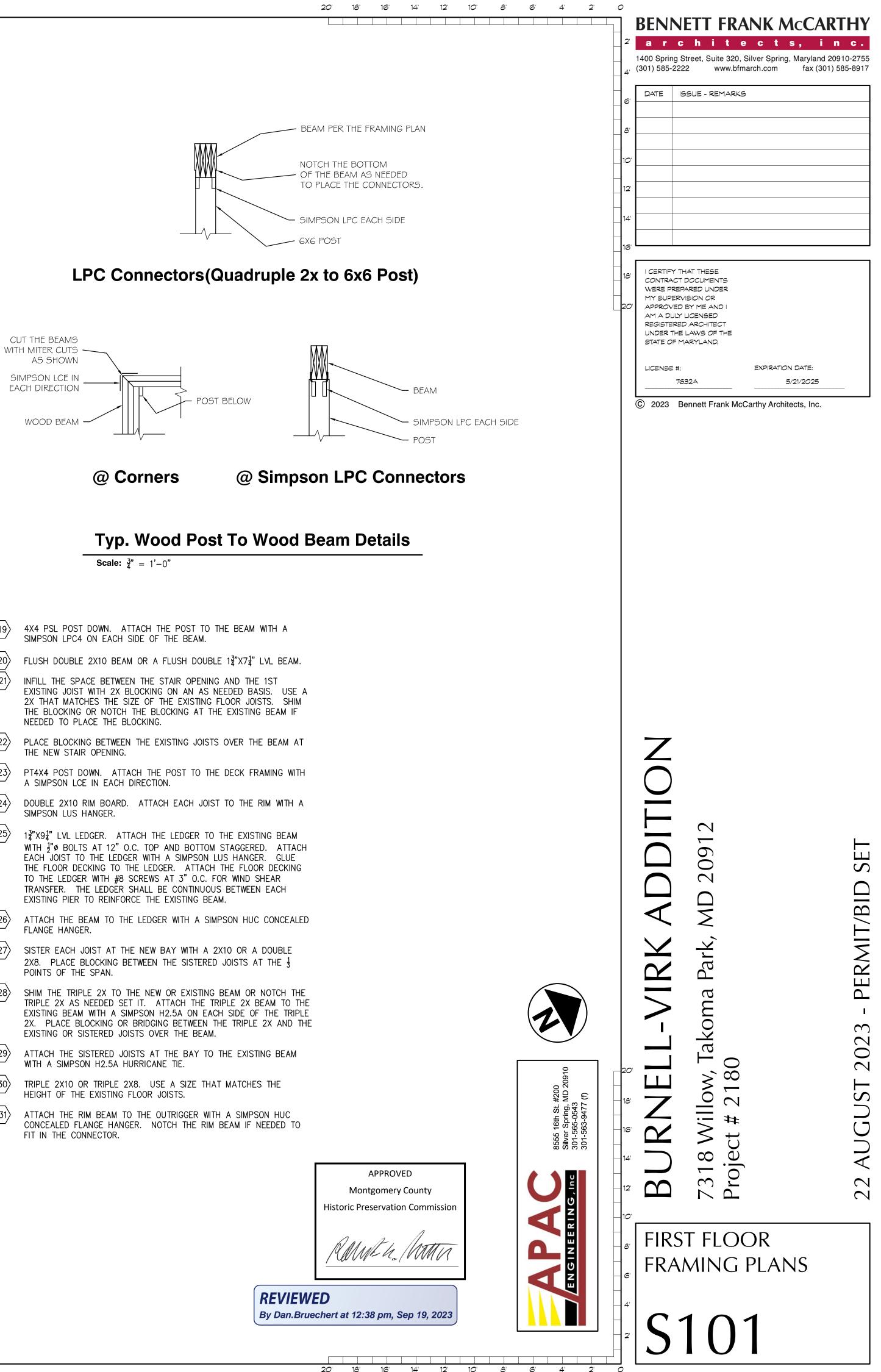




-(4)STUDS UP

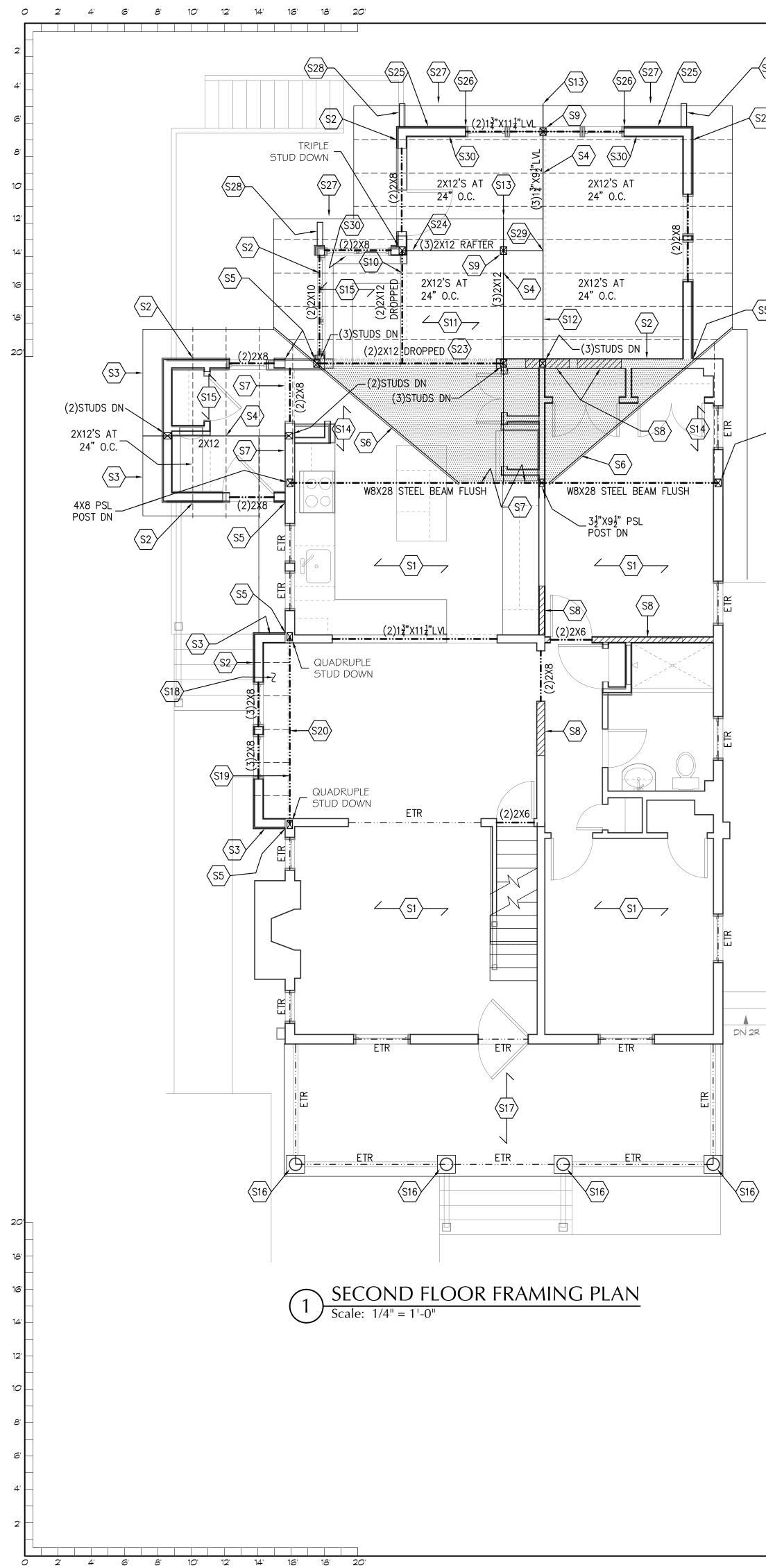
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- 4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 10 BOLTS AT 16" O.C. STAGGERED. 5. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING
- CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
- 6. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS. 7. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE
- EXTERIOR SHALL BE GALVANIZED.
- 8. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2. 9. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED
- SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER. 10. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE
- HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
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- 13. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER. 14. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON
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- 15. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
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- 18. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC .
- 19. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT RUN PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE ADJACENT JOISTS BELOW THE WALL AT 16" O.C.
- $\langle F1 \rangle$ EXISTING 1ST FLOOR FRAMING. SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A 2X10 OR A DOUBLE 2X8.
- 〈F2 〉 EXISTING PORCH FRAMING UNCHANGED.
- EXISTING BEAM.
- EXISTING COLUMN.
- $\langle F5 \rangle$ EXISTING PIER.
- (F6) EXISTING PORCH STAIRS.
- (F7) PT2X8 LEDGER WITH <sup>1</sup>/<sub>2</sub>" THRU BOLTS AT 16" O.C. TOP AND BOTTOM STAGGERED. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER. PLACE FLASHING PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS. PLACE BLOCKING BETWEEN THE EXISTING JOISTS IF NEEDED TO PLACE THE THRU BOLTS.
- $\langle F8 \rangle$ PT6X6 POST DOWN. ATTACH THE POST TO BEAM WITH A SIMPSON LPC6 ON BOTH SIDES.
- $\langle F9 \rangle$ PT6X6 POST DOWN. ATTACH THE POST TO DECK FRAMING OR THE BEAMS WITH A SIMPSON LCE IN EACH DIRECTION.
- **〈**F10**〉** PT2X8 CLEAT. ATTACH THE CLEAT TO THE BEAM WITH <sup>1</sup>/<sub>2</sub>" o THRU BOLTS AT 16" O.C. TOP AND BOTTOM STAGGERED. PLACE FLASHING PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
- $\langle F11 \rangle$ PLACE FLAT PT1X6 BRACING ON THE UNDERSIDE OF THE DECK JOISTS. ATTACH THE BRACING TO EACH JOIST WITH (2)#8 SCREWS.
- F12 FRAME THE STAIRS PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
- (F13) ATTACH THE BEAM TO THE CLEAT WITH A SIMPSON HUC CONCEALED FLANGE HANGER.
- (F14) SIMPSON DTT2Z TENSION TIE.
- **(**F15**)** THE FLOOR DECKING FORMS A DIAPHRAGM TO PROVIDE LATERAL BRACING TO THE ADDITION. GLUE AND SCREW THE FLOOR DECKING TO THE JOISTS WITH #8 SCREWS AT 6" O.C. AT PANEL EDGES AND 12" O.C. ELSEWHERE. PLACE THE DECKING IN RUNNING BOND. EACH SPLICE SHALL OCCUR AT A FLOOR JOIST. PLACE BLOCKING BETWEEN THE JOISTS BELOW SPLICES THAT ARE PERPENDICULAR TO THE JOISTS.
- **〈**F16**〉**  $1\frac{3}{4}$ "X9 $\frac{1}{4}$ " LVL LEDGER. ATTACH THE LEDGER TO THE EXISTING BEAM WITH <sup>1</sup>/<sub>2</sub> Ø BOLTS AT 16" O.C. TOP AND BOTTOM STAGGERED. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER. GLUE THE FLOOR DECKING TO THE LEDGER. ATTACH THE FLOOR DECKING TO THE LEDGER WITH #8 SCREWS AT 3" O.C. FOR WIND SHEAR TRANSFER. THE LEDGER SHALL BE CONTINUOUS BETWEEN EACH EXISTING PIER TO REINFORCE THE EXISTING BEAM.
- $\langle F17 \rangle$ REMOVE THE EXISTING STAIR HEADER. SISTER EACH EXISTING JOIST WITH A DOUBLE 2X10 OR A DOUBLE  $1\frac{3}{4}$ "X7 $\frac{1}{4}$ " LVL TO INFILL THE EXISTING STAIR OPENING. PLACE BLOCKING BETWEEN THE SISTERED JOISTS AT THE  $\frac{1}{3}$  POINTS OF THE SPAN.
- (F18) SHIM THE SISTERED JOISTS TO THE EXISTING BEAM OR NOTCH THE SISTERED JOISTS AS NEEDED SET THE JOISTS. PLACE BLOCKING OR BRIDGING BETWEEN THE SISTERED JOISTS AND THE EXISTING JOISTS OVER THE BEAM.







- **〈**F19**〉**
- (F20)
- (F22)
- (F23)
- $\langle F24 \rangle$
- **(**F25**)**
- (F26)
- **(**F27**)**
- (F28)
- **(**F29)
- (F30)
- (F31)



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- 16. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
- 17. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS. 18. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS,
- LEDGER BOARD ATTACHMENTS ETC . . 19. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT RUN PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE ADJACENT JOISTS BELOW THE WALL AT 16" O.C.
- $\langle S1 \rangle$ EXISTING 2ND FLOOR FRAMING. SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A 2X10 OR A DOUBLE 2X8.
- $\langle S2 \rangle$ ATTACH EACH NEW OR EXISTING RAFTER TO THE WALL WITH A SIMPSON H2.5A HURRICANE TIE. HOLD THE TOP OF THE RAFTERS UP AS NEEDED FOR INSULATION AND VENTILATION.
- $\langle S3 \rangle$ THE ROOF DECKING SHALL CANTILEVER OVER THE END WALL. NO SPLICE SHALL OCCUR IN THE ROOF DECKING WITHIN 4'-0" OF THE END WALL. PLACE 2X LADDER FRAMING AT 24" O.C. AS NEEDED TO FORM THE RAKE.
- $\langle S4 \rangle$ ATTACH EACH RAFTER TO THE RIDGE BEAM WITH A SIMPSON LSU HANGER. HOLD THE TOP OF THE RIDGE DOWN AS NEEDED FOR VENTILATION AND SO THAT THE BOTTOM OF THE RIDGE IS EVEN IF OR DEEPER THAN THE BOTTOM OF THE RAFTERS.
- $\langle S5 \rangle$ ATTACH THE 1ST STUD TO THE EXISTING WALL WITH (2)#8 SCREWS AT 6"0.C.
- $\langle S6 \rangle$ OVERBUILT ROOF. RIP THE RAFTERS AND PLACE THEM ON THE LOWER ROOF. ATTACH EACH RAFTER TO THE LOWER ROOF WITH (3)10d TOE NAILS AND A SIMPSON LS50 ON EACH SIDE OF EACH RAFTER.
- $\langle S7 \rangle$ 2X12 CLEAT FOR THE ROOF. ATTACH THE CLEAT TO THE NEW OR EXISTING WALL WITH (2)#8 SCREWS AT 6" O.C.
- $\langle S8 \rangle$ INFILL THE EXISTING WALL WITH 2X STUDS AT 16" O.C. USE STUDS THAT MATCH THE WIDTH OF THE EXISTING WALL STUDS.
- $\langle S9 \rangle$ PLACE A TRIPLE STUD BETWEEN THE RIDGE AND THE HEADER OR TRIPLE RAFTER BELOW.
- $\langle S10 \rangle$ BUILD A WALL ON TOP OF THE BEAM WITH 2X4 STUDS AT 16" O.C. NOTCH THE RAFTERS AND PLACE THEM ON THE WALL. ATTACH EACH RAFTER TO THE WALL WITH A SIMPSON H2.5A HURRICANE TIE. ATTACH EACH SLOPED CEILING JOIST TO THE DROPPED BEAM WITH A SIMPSON H2.5A HURRICANE TIE.
- $\langle S11 \rangle$ PLACE A 2X6 CEILING JOIST NEXT TO EACH RAFTER. ATTACH EACH CEILING JOIST TO THE RAFTER WITH (5)10d NAILS. SET THE CEILING JOISTS ON THE DROPPED BEAM. ATTACH EACH CEILING JOIST TO THE DROPPED BEAM IN THE KITCHEN CEILING WITH A SIMPSON H2.5A HURRICANE TIE.
- (S12) CONTINUE THE RIDGE BEAM AS SHOWN. ATTACH EACH RAFTER TO THE RIDGE BEAM WITH A SIMPSON L90 ON EACH SIDE OF THE RAFTER.
- $\langle S13 \rangle$ CONTINUE THE CENTER PLY OF THE RIDGE BEAM OUT TO SUPPORT THE FLY RAFTERS. ATTACH EACH FLY RAFTER TO THE RIDGE BEAM WITH A SIMPSON L50 ON THE INTERIOR FACE AND (4)10d TOE NAILS. PLACE A DECORATIVE FINISH AROUND THE RIDGE BEAM TO MATCH THE BRACKETS AT THE EAVES. PLACE THE RAFTER BELOW THE ROOF ENVELOPE FOR WEATHER PROTECTION OR USE WEATHER RESISTANT LUMBER BEYOND THE EXTERIOR WALL.
- $\langle S14 \rangle$ EXISTING ROOF AND CEILING FRAMING. SISTER ANY DAMAGED RAFTER THAT IS FOUND WITH A 2X8 OR A DOUBLE 2X6. SISTER ANY DAMAGED CEILING JOIST THAT IS FOUND WITH A 2X6.
- $\langle S15 \rangle$ 2X6 CEILING JOISTS AT 24" O.C.
- $\langle S16 \rangle$ EXISTING POST.
- EXISTING ROOF FRAMING UNCHANGED.

- (S18) FRAME THE ROOF WITH 2X8 RAFTERS AT 24" O.C. AND 2X6 CEILING JOISTS AT 24" O.C.
- $\langle S19 \rangle$ 2X8 LEDGER FOR THE ROOF FRAMING. ATTACH THE LEDGER TO THE EXISTING WALL WITH (2)LEDGERLOK SCREWS AT EACH STUD. ATTACH EACH RAFTER TO THE LEDGER WITH A SIMPSON LSU HANGER.
- (S20) 1"X9" STEEL FLITCH BEAM PLACED BETWEEN TWO 1<sup>3</sup>/<sub>4</sub>"X9<sup>1</sup>/<sub>7</sub>" L PLACE THE BEAM FLUSH WITH THE EXISTING 2ND FLOOR FR SEE THE FRAMING ELEVATION FOR THE BOLTING PATTERN B THE LVL BEAMS AND THE STEEL PLATE.
- $\langle S21 \rangle$ NOT USED.
- (S22) NOT USED.
- (S23) SET THE EXISTING RAFTERS ON THE NEW DROPPED BEAM. EACH EXISTING RAFTER TO THE DROPPED BEAM WITH A SIM H2.5A HURRICANE TIE.
- $\langle S24 \rangle$ PLACE THE TRIPLE RAFTER IN THE LOWER ROOF PLANE. PL LOW ROOF DECKING ON THE TRIPLE RAFTER. BUILD A WAL OF THE TRIPLE RAFTER. USE 2X6 STUDS AT 16" O.C.
- (S25) FRAME THE GABLE END WALL WITH 2X6 STUDS AT 16" O.C. STUDS SHALL BE CONTINUOUS FROM THE FLOOR TO THE CE
- (S26) PLACE THE HEADER ON A DOUBLE JACK STUD AND TRIPLE STUD. THE KING STUDS SHALL BE CONTINUOUS FROM THE THE CEILING FOR LATERAL STABILITY.
- $\langle S27 \rangle$ FRAME THE RAKE WITH A 2X6 FLY RAFTER. USE WEATHER RESISTANT LUMBER FOR THE FLY RAFTER IF REQUIRED BY CHAPTER 3. DO NOT PLACE A SPLICE IN THE ROOF DECKI PARALLEL TO THE ROOF SLOPE WITHIN 48" OF THE FLY RA
- (S28) BRACKET PER THE TYPICAL DETAIL. ATTACH THE FLY RAF THE BRACKET WITH A SIMPSON H2.5A HURRICANE TIE.
- ATTACH THE TRIPLE RAFTER TO THE RIDGE BEAM WITH A (S29) HU-MAX HANGER. NOTCH THE RAFTER AS NEEDED TO FIT CONNECTOR.
- (S30) EXTEND THE GABLE END WALL TO THE ROOF DECKING. PL 2X12 CLEAT NEXT TO THE WALL FOR THE CEILING. ATTACH CLEAT TO EACH STUD WITH A #10 SCREW AND TO THE TOP THE WALL WITH #10 SCREWS AT 16" O.C.

(4)STUDS DN

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Rame h. Matter		SECOND FLOOR
<b>REVIEWED</b> By Dan.Bruechert at 12:38 pm, Sep 19, 2023		<sup>4</sup> <sup>2</sup> S102
20' 18' 16' 14' 12' 10' 8	6' 4' 2' 0	

20' 18' 16' 14' 12' 10' 8' 6' 4' 2' 0

**BENNETT FRANK McCARTHY** architects, inc. 1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755 (301) 585-2222 www.bfmarch.com fax (301) 585-8917 DATE ISSUE - REMARKS I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. EXPIRATION DATE: LICENSE #: 7632,A 5/21/2025

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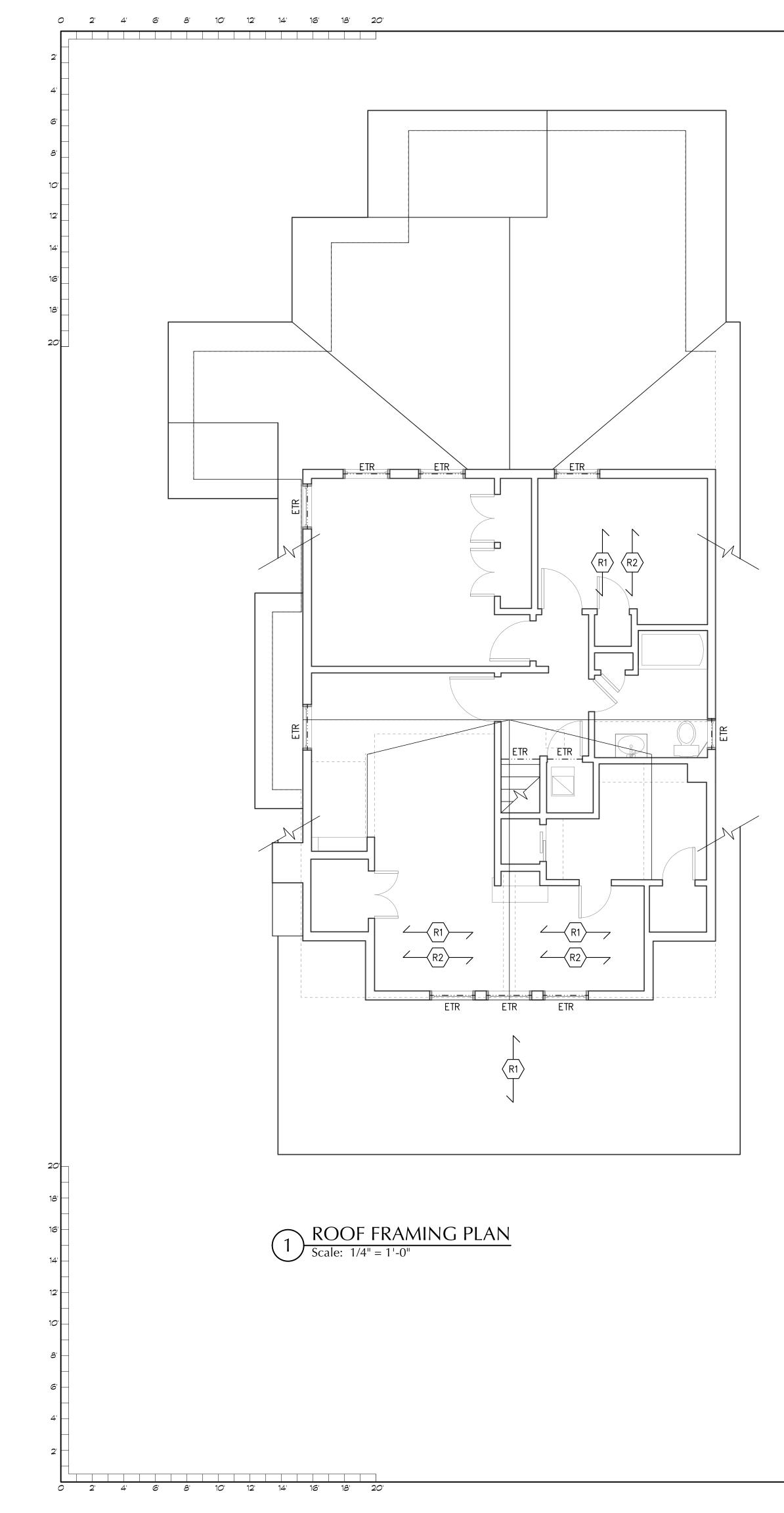
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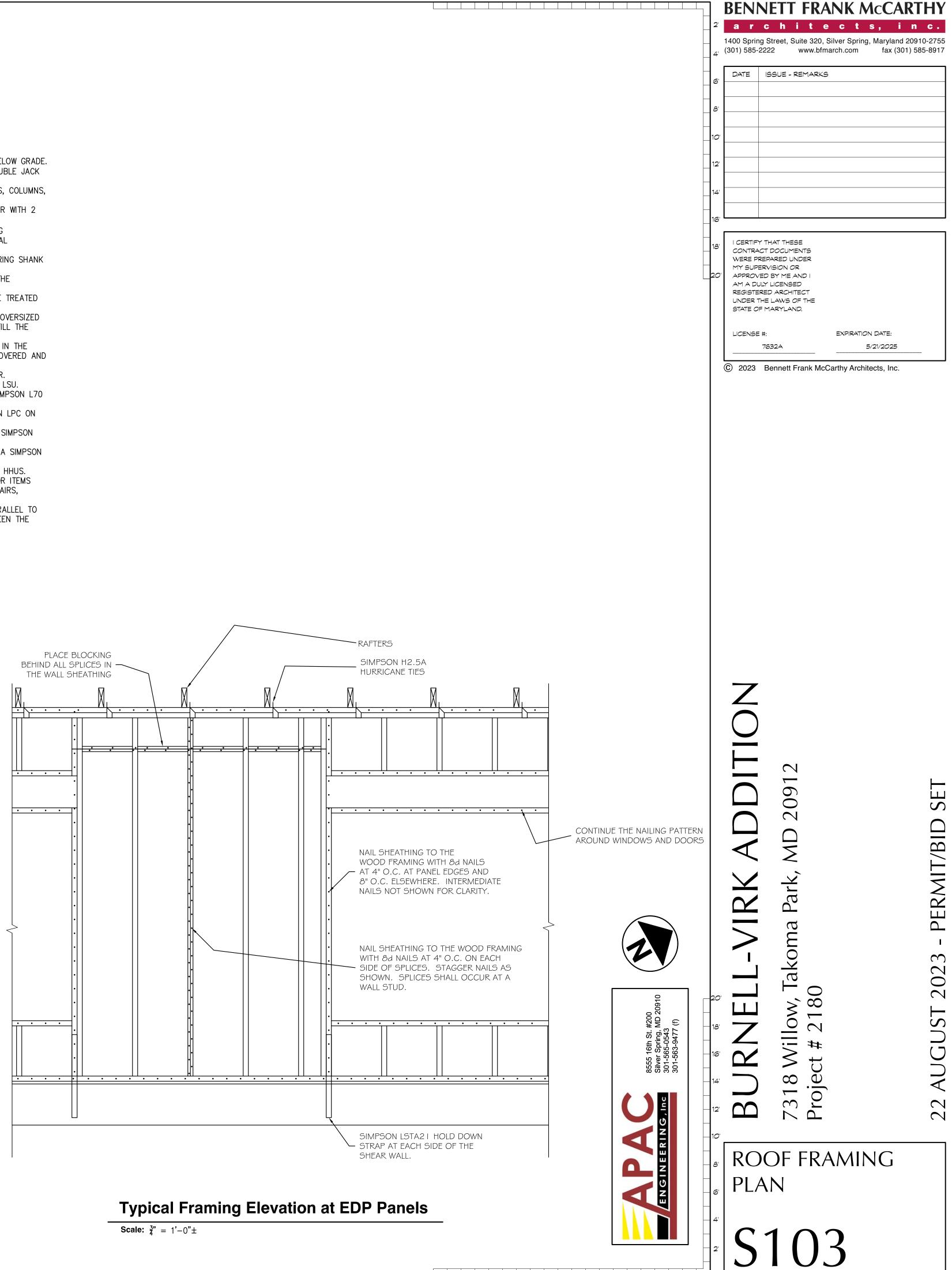
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- 1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE. 2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK
- AND SINGLE KING STUD, UNLESS NOTED OTHERWISE. 3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS,
- AND MULTIPLE STUDS. 4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF  $\frac{1}{2}$  Ø BOLTS AT 16" O.C. STAGGERED.
- 5. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
- 6. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
- 7. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
- 8. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
- 9. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
- 10. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS. 11. TYPICAL JOIST HANGER SHALL BE A SIMPSON LUS HANGER.
- 12. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSU.
- 13. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER. 14. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON
- EACH SIDE. 15. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON
- L30 ON EACH SIDE OF THE POST.
- 16. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
- 17. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS. 18. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC . .
- 19. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT RUN PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE ADJACENT JOISTS BELOW THE WALL AT 16" O.C.

 $\langle R1 \rangle$ EXISTING ROOF FRAMING UNCHANGED.

{R2} EXISTING ATTIC/CEILING FRAMING UNCHANGED.



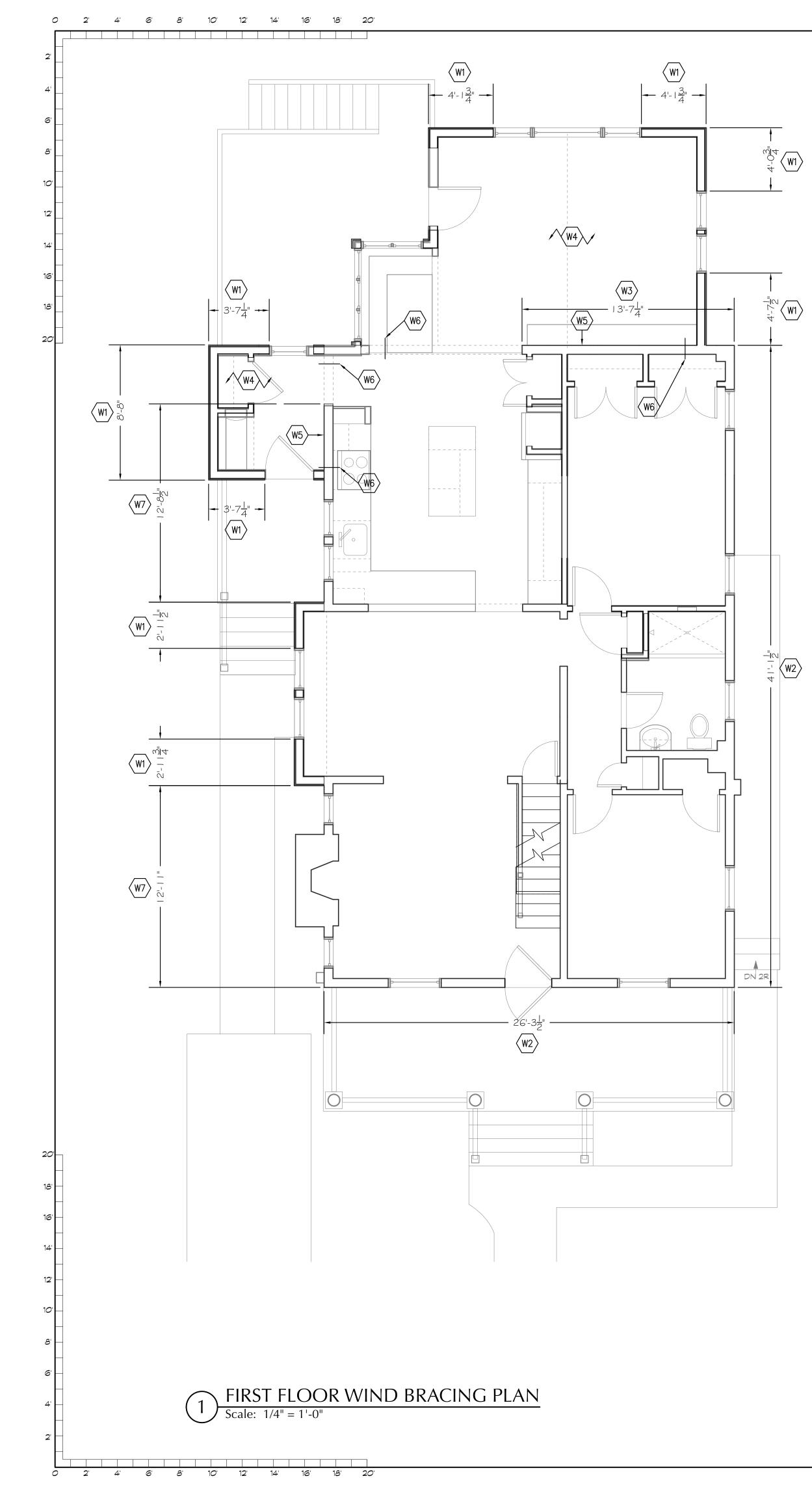
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APPROVED Montgomery County **Historic Preservation Commission** 

KAME H. MATA

REVIEWED By Dan.Bruechert at 12:38 pm, Sep 19, 2023



- $\langle W1 \rangle$ NEW EDP WIND BRACING PANEL.
- $\langle W2 \rangle$ EXISTING PERFORATED WOOD SHEAR WALL.
- $\langle W3 \rangle$ EXISTING WOOD SHEAR WALL.
- $\langle W4 \rangle$ THE FLOOR DECKING FORMS A DIAPHRAGM TO PROVIDE LATERAL BRACING TO THE ADDITION. GLUE AND SCREW THE FLOOR DECKING TO THE JOISTS WITH #8 SCREWS AT 6" O.C. AT PANEL EDGES AND 12" O.C. ELSEWHERE. PLACE THE DECKING IN RUNNING BOND. EACH SPLICE SHALL OCCUR AT A FLOOR JOIST. PLACE BLOCKING BETWEEN THE JOISTS BELOW SPLICES THAT ARE PERPENDICULAR TO THE JOISTS.
- $\langle W5 \rangle$  GLUE THE FLOOR DECKING TO THE LEDGER. ATTACH THE FLOOR DECKING TO THE LEDGER WITH #8 SCREWS AT 3" O C FOR WIND DECKING TO THE LEDGER WITH #8 SCREWS AT 3" O.C. FOR WIND SHEAR TRANSFER.
- **W6** SIMPSON DTT2Z TENSION TIE.
- **W**7 REMOVE THE EXISTING WALL SHEATHING AND PLACE NEW  $\frac{7}{16}$  OSB SHEATHING ON THE EXISTING WALL PER THE EDP FRAMING ELEVATION. THE NEW SHEATHING SHALL MAKE A PERFORATED WOOD SHEAR WALL.

WIND BRACING NOTES:

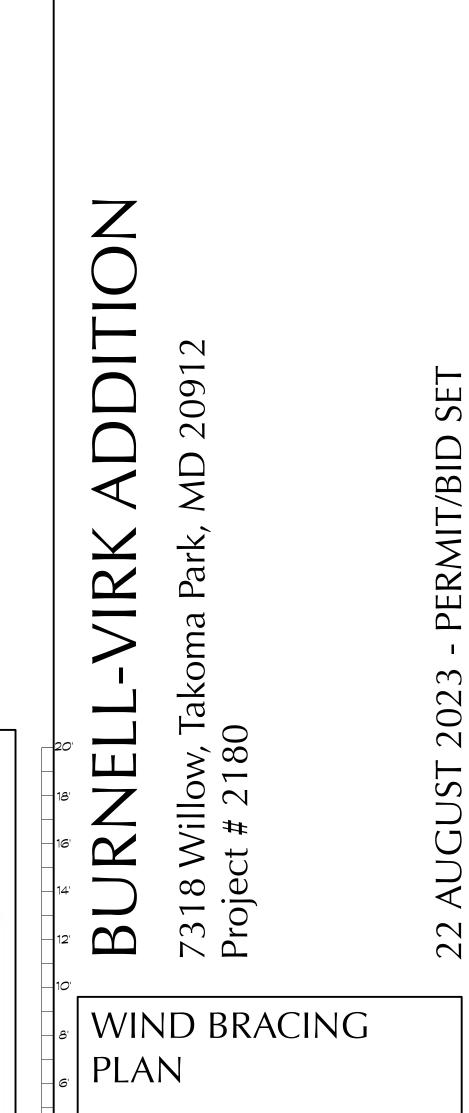
- 1. WALLS BRACED PER IRC R602.10 AND R301.1.3 "ENGINEERED DESIGN".
- 2. APPLY  $\frac{7}{16}$  OSB SHEATHING TO ALL EXTERIOR WALLS. 3. ATTACH OSB TO WOOD FRAMING WITH 8d NAILS AT 4"
- O.C. AT PANEL EDGES AND 8" O.C. ELSEWHERE. 4. EDP DENOTES "ENGINEERED DESIGNED PANEL".
- 5. ATTACH THE BOTTOM PLATE OF THE WALL TO THE JOISTS OR BLOCKING WITH 1–16d (0.135X3½) NAIL. ATTACH THE BOTTOM PLATE TO THE RIM BOARD WITH 16d NAILS AT 12" O.C.
- 6. ATTACH EACH JOIST AND RAFTER TO THE TOP PLATE
- OF THE WALL WITH 2–16d  $(0.135X3\frac{1}{2})$  TOE NAILS. 7. ATTACH THE RIM BOARD TO THE TOP PLATE OF THE WALL WITH 16d  $(0.135 \times 3\frac{1}{2})$  TOE NAILS AT 12" O.C.
- 8. ATTACH RIM BOARD TO SILL PLATE WITH 16d  $(0.135X3^{1}_{2})$ TOE NAILS AT 12" O.C.

APPROVED Montgomery County Historic Preservation Commission

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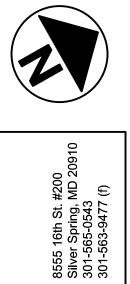
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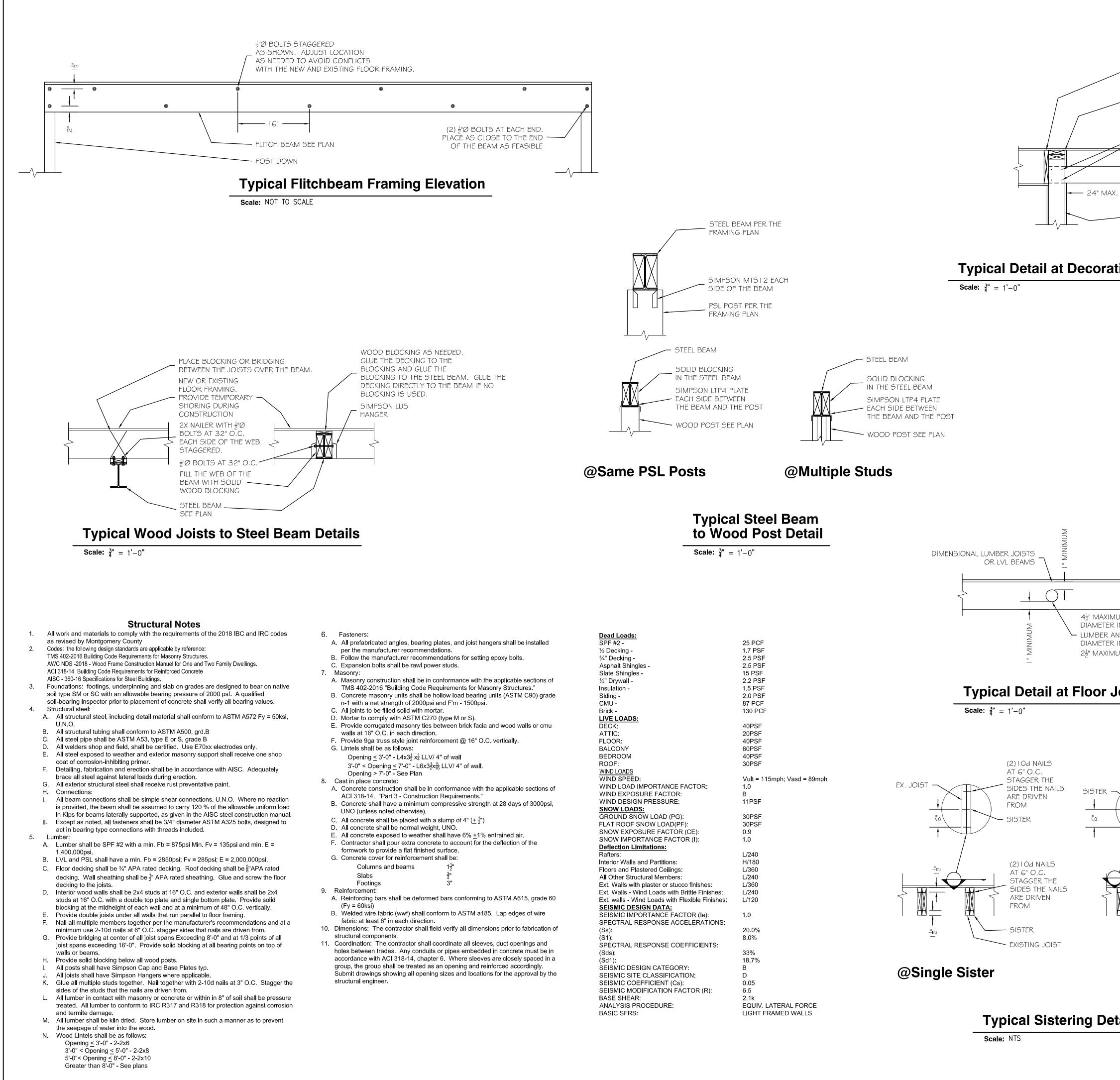


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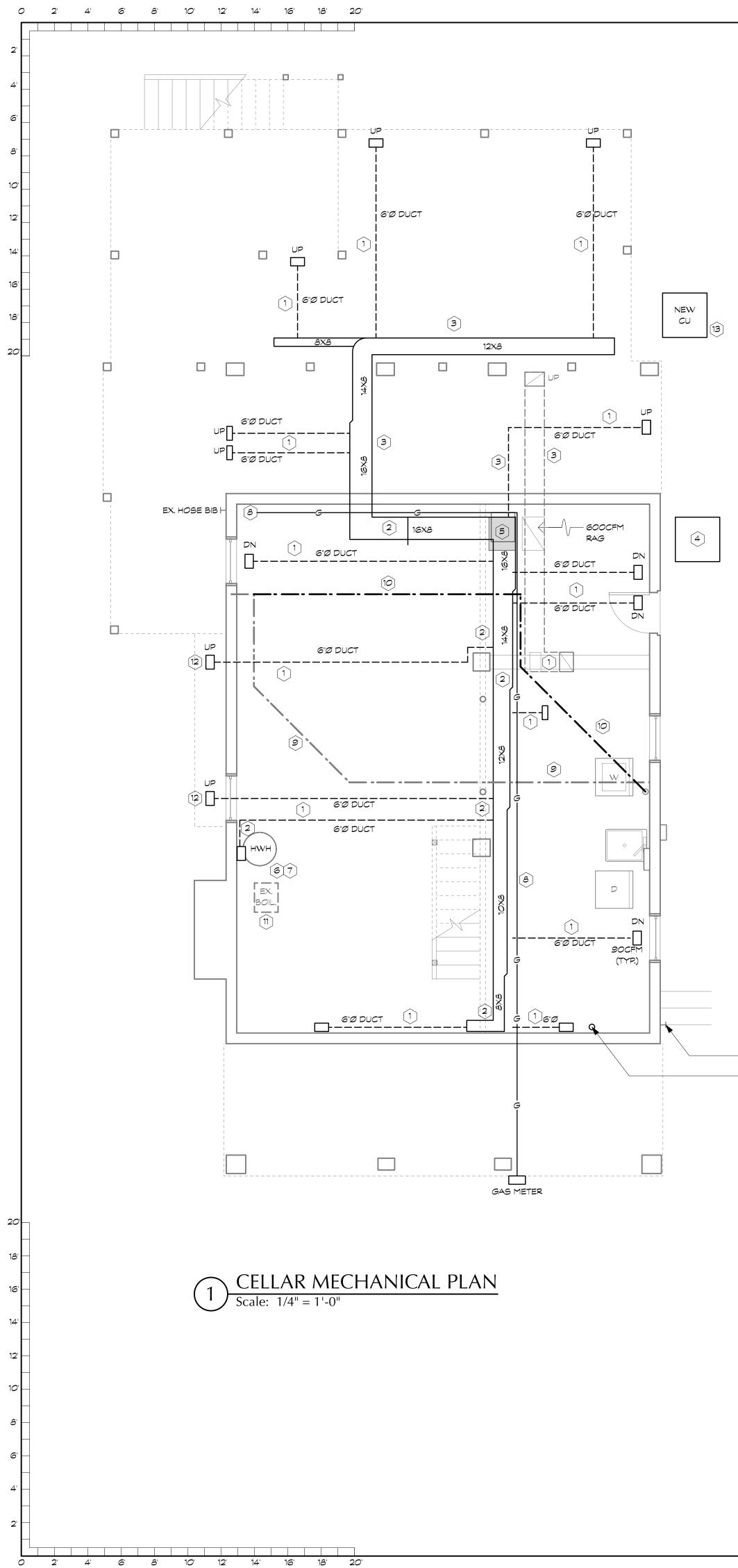


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	<ul> <li>PLACE A CLEAT NEXT TO</li> <li>THE WALL PER THE FRAMING PLA</li> </ul>	N		DATE	ISSUE - REMARKS	
	EXTEND THE TOP OF THE WALL TO THE ROOF DECKING					
	- (4) I Od NAILS					
	2X FLY RAFTER. ATTACH THE FLY RAFTER TO THE BRACKET WITH (4)#10 TOE SCREWS WITH 2" EMBEDMENT.					
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orative Ra	NEW EXTERIOR WALL. PLACE A S ON EACH SIDE OF THE BRACKET			CONTRACT WERE PRE MY SUPER APPROVED AM A DULT REGISTERE UNDER TH STATE OF LICENSE #	THAT THESE T DOCUMENTS EPARED UNDER RVISION OR D BY ME AND I Y LICENSED ED ARCHITECT E LAWS OF THE MARYLAND. EXPIRATION DATE: 7632A 5/21/2021	5
	REVIEW		y County	© 2023	Bennett Frank McCarthy Architects, In	с.
ER	MUM D LUMBER	OR PLACE	8555 16th St. #200 Biver Spring, MD 20910 301-563-9477 (f)	<b>BURNELL-VIRK ADDITION</b>	Takoma )	22 AUGUST 2023 - PERMIT/BID SET
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**BENNETT FRANK McCARTHY** 



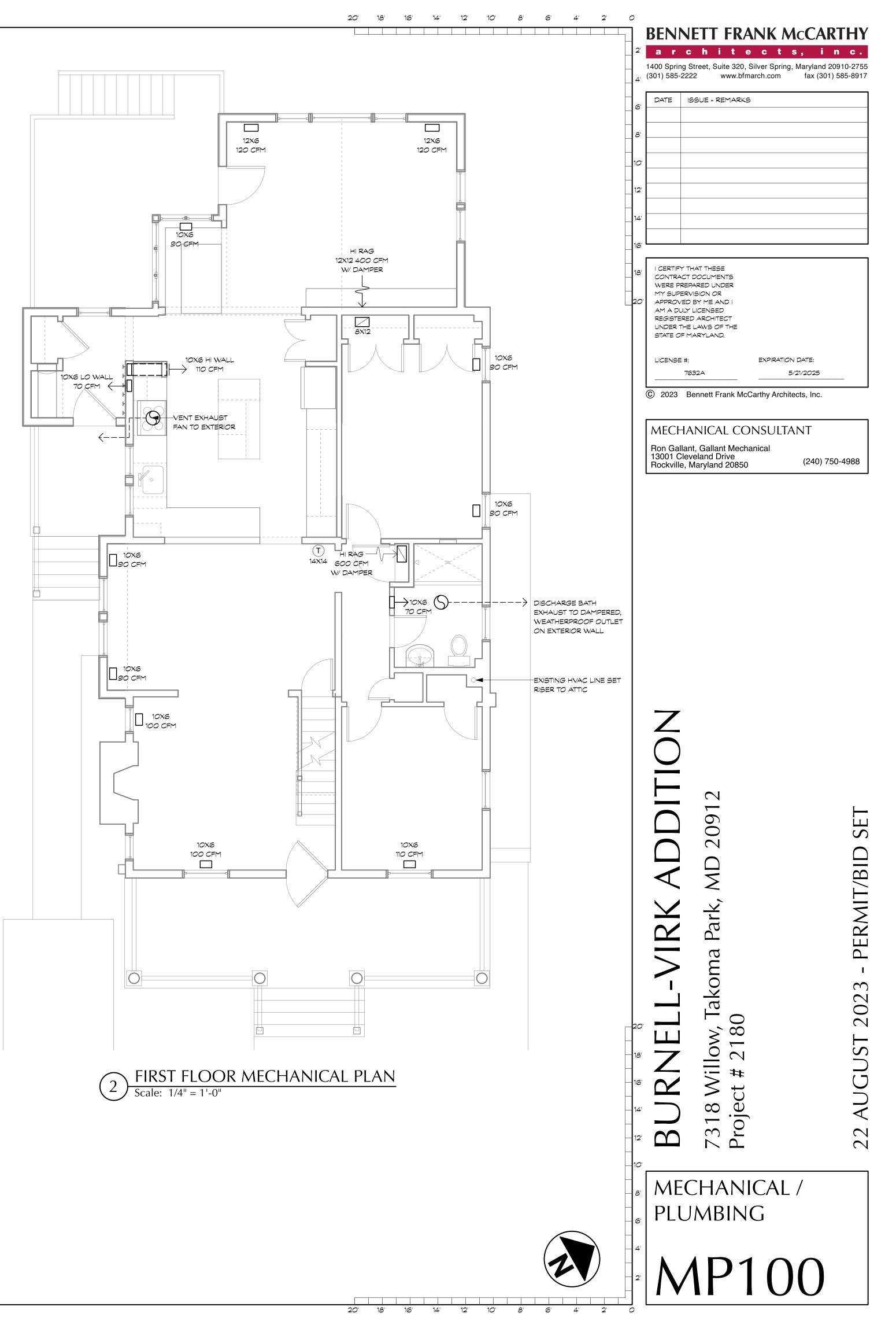
### MECHANICAL NOTES

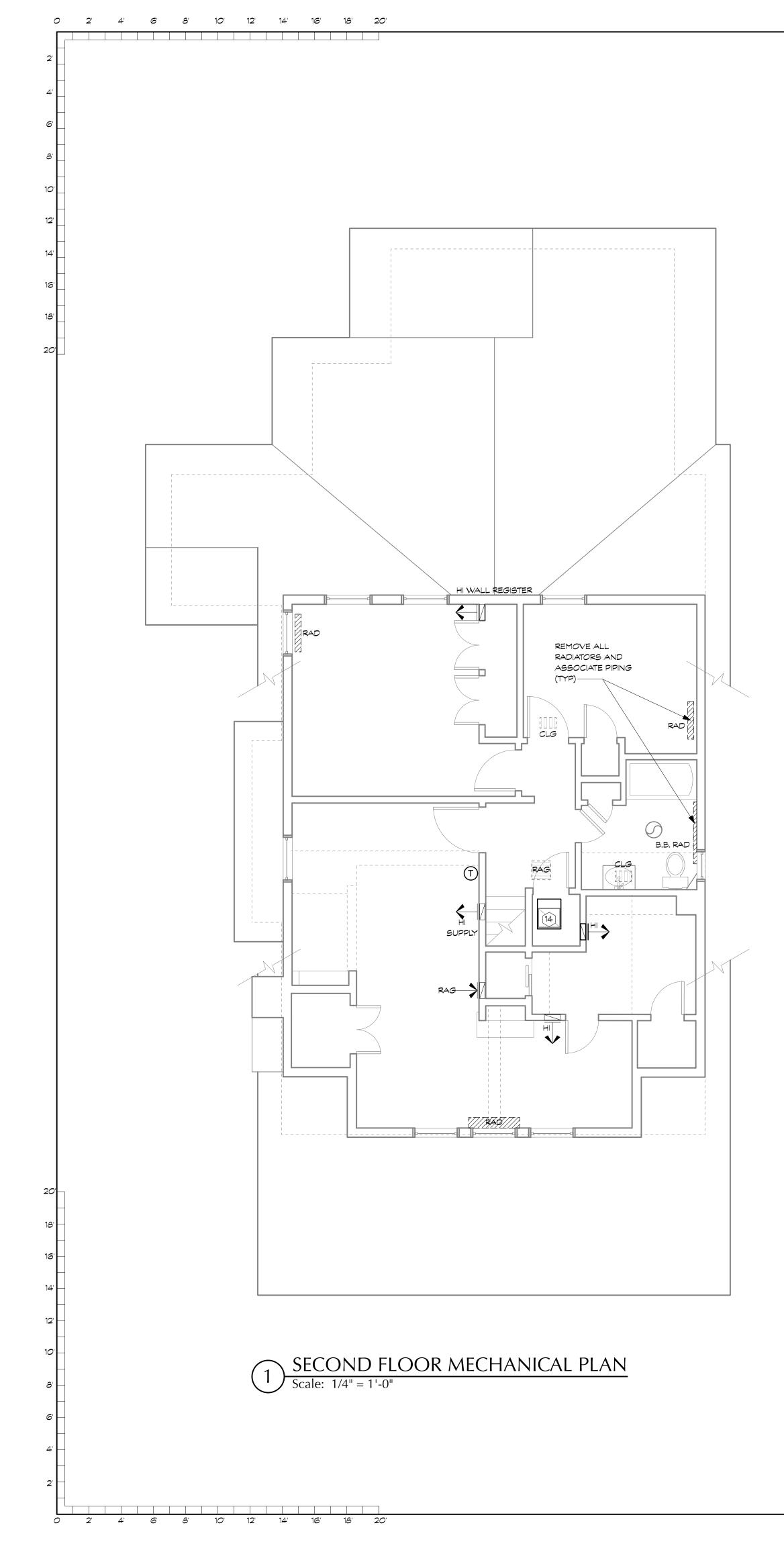
- 1 DUCT RUN BETWEEN JOISTS
- 2 DUCT RUN UNDER JOISTS
- (3) DUCT RUN UNDER JOISTS/BEAMS SET TIGHT TO FRAMING. ENCLOSED/PROTECT IN INSULATED BULKHEAD. PROVIDE MIN. R-30 COVERAGE BELOW AND BESIDE DUCTWORK, EQUIVALENT TO 3 LAYERS OF 1 1/2" THICK FOIL FACED POLYISOCYANURATE RIGID INSULATION
- (4) REMOVE EXISTING CONDENSING UNIT. REPLACE WITH CARRIER INFINITY 18VG SERIES 837A003 3 TON 18 SEER 2 CONDENSING UNIT.
- 5 NEW AIR HANDLER. CARRIER FE4-CNF-005 3 1/2 TON/42,000 BTU 800 CFM VERTICAL AIR HANDLER WITH 8KW BACK-UP HEATER
- (6) EXISTING GAS-FIRED HWH TO BE REMOVED
- 7 NEW 50 GALLON BRADFORD-WHITE AERO-THERM MODEL RE2H50S10 ELECTRIC HEAT PUMP HOT WATER HEATER. PROVIDE
- EMERGENCY DRAIN PAN. (8) RECONFIGURE GAS SERVICE TO KITCHEN RANGE TO AVOID
- STAIRCASE
- 9 REMOVE KITCHEN SINK SANITARY LINE LATERAL
- (10) RUN NEW KITCHEN SINK SANITARY LINE THROUGH FLOOR JOISTS TO FAR SIDE OF CENTRAL BEAM, BEYOND NEW SUPPLY TRUNK AS SHOWN. THEN PROCEED BELOW JOISTS TO WASTE STACK.
- (11) EXISTING GAS-FIRED BOILER/EXPANSION TANK, FLUE AND ALL ASSOCIATED ACCESSIBLE RADIATOR PIPE TO BE REMOVED.
- (12) PROVIDE MIN. TWO LAYERS OF 1 1/2" THICK FOIL FACED POLYISOCYANURATE INSULATION UNDER DUCT IN CANTILEVER
- 13 NEW CONDENSING UNIT. CARRIER MODEL 25VNA825A003 TWO TON / 18 SEER 2
- (14) REMOVE EXISTING AIR HANDLER. REPLACE WITH CARRIER FE4-CNF-002 TWO TON/24,000 BTU 800 CFM VERTICAL AIR HANDLER WITH 8KW BACK-UP HEATER. EXISTING SECOND FLOOR DUCTWORK/DISTRIBUTION TO REMAIN.

-EX. HOSE BIB

-EX. 3/4" WATER SERVICE

	APPROVED			
	Montgomery County			
	Historic Preservation Commission			
	Rame h. Matta			
REVIEWED				
By Dan.Bruechert at 12:38 pm, Sep 19, 2				





### MECHANICAL NOTES

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- 13 NEW CONDENSING UNIT.
- CARRIER MODEL 25VNA825A003 TWO TON / 18 SEER 2
- REPLACE WITH CARRIER FE4-CNF-002 TWO TON/24,000 BTU 800 CFM VERTICAL AIR HANDLER WITH 8KW BACK-UP HEATER. EXISTING SECOND FLOOR DUCTWORK/DISTRIBUTION TO REMAIN.

# $\underline{SPECIFICATIONS}_{(\text{CONTINUED FROM SPECIFICATIONS)}}$

### DIVISION 15: PLUMBING / MECHANICAL

15.1 Plumbing: Contractor shall furnish and install complete domestic hot and cold distribution and sanitary waste and vent system to new fixtures in accordance with all applicable codes, standards, and manufacturer's specifications. Water and waste lines to be tied into existing house system. Existing house waste to be modified as required by new construction. Condition and capacity of existing supply and drainage piping should be reviewed with recommendations for replacement/repair as necessary. All piping in finished areas shall be run in concealed spaces. Neither supply nor waste piping shall be installed anywhere it would limit headroom below 6'-8", without the expressed approval of the Owner.

15.2.9

15.2.10

15.2.12

15.2.13

15.2.14

15.2.15

15.3

15.3.1

15.3.2

- 15.1.1 Supply Piping: Hot and cold supply piping shall be type 'L' hard temper copper piping with wrought copper sweat fittings, 95-5 lead-free solder. Supply piping shall be insulated with min. R3, continuous foam pipe jacket insulation. Water service and supply shall be type 'K' copper with matching fittings. Shut-off valves shall be provided at all fixtures. All exposed piping, couplings, valves and accessories shall be chrome plated unless noted otherwise. Copper piping shall be cleaned of all flux residue after installation is complete. Water hammer arrestors shall be provided at all valved appliances such as dishwashers and washing machines.
- 15.1.2 Sanitary lines and vent pipes shall be PVC (UNO).
- 15.1.3 Galvanized Piping: all existing galvanized piping and fittings that are exposed in the course of construction, or readily accessible with modest effort, shall be removed and replaced.
- 15.1.4 Pipe penetrations through partitions should not make rigid contact with framing or gypsum board. Provide resilient sealant around the perimeter opening where pipe passes through.
- 15.1.5 Hose Bib: Existing to remain.
- 15.1.6 Hot Water Heater: Remove existing gas-fired water heater. Provide a new, 50 gallon electric heat pump water heater/tank by Bradford White, Aero-Therm model RE2H50S10 (with mixing valve), to cover all existing and new fixtures. 208 / 230 volt / 30 amp circuit. Provide expansion tank and emergency drain pain. Vent excess "waste cooling" to exterior with dampered outlet to allow capture/retention of cool air in summer time.
- 15.1.7 Gas: Reroute internal service lines as required to bypass new staircase to maintain service to new gas range location.
- 15.1.8 Kitchen fixtures (sink & faucet): Owner to select, Contractor to provide and install. See Div. 17 for Allowance Summary. Provide water via copper tubing supply with in-line filter and shut-off to main refrigerator for water / ice dispenser.
- 15.1.9 Bathroom #1 fixtures (shower head and controls): Owner to select, Contractor to provide and install. See Div. 17 for Allowance Summary. Provide membrane pan and tiled shower floor and curb, per Division 9.
- 15.2 Mechanical
- 15.2.1 Remove existing boiler and all associated radiators and accessible piping. Replace with ducted, central two-zone heat and cooling system as noted below.
- 15.2.2 Cellar mounted system to serve cellar and first floor (see mechanical plans):
  Condensing Unit: Carrier Infinity 18 VS series model 25VNA837A003
  - 3 Ton / 36,000 BTU / 18 SEER-2 Heat Pump. • Air Handler: Carrier FE4-CNF-005 3-1/2 Ton, 42,000 BTU 800 CFM
  - Vertical Air Handler (w/ 15 kw back-up heater)
  - Electrical: Provide 80 amp circuit for AH and 40 amp circuit for CU.
  - circuit.
  - Air handler cabinet leakage shall be ≤ 2% of air flow.
    Provide manual balancing dampers at each main trunkline.
- 15.2.3 Closet mounted system to serve second floor (see mechanical plans):
- Carrier 25VNA825A003 Two Ton / 24,000 BTU / 18 SEER-2 Condensing Unit.
- Carrier FE4-CNF-002 Two Ton, 24,000 BTU 800 CFM Vertical Air Handler (w/ 8 kw back-up heater) to replace existing AC only unit.
- Electrical: Provide 60 amp circuit for AH and 25 amp circuit for CU.
- circuit.
- Air handler cabinet leakage shall be < 2% of air flow.</li>
  Vibration isolation
- Back-up/emergency overflow pan drained to exterior.
- 15.2.4 Heat pump hot water heater condenser air discharge duct and damper.
- 15.2.5 Energy load calculations: HVAC subcontractor shall be responsible to provide any and all energy calculations (Manual J, S and D as applicable) required to properly size/design the system and obtain permits.
- 15.2.6 Performance: Entire installation shall conform to all local applicable codes and manufacturer's specifications including but not limited to:
  Current adopted version and modifications of ICC IRC
  - Latest SMACNA recommendation.

15.2.7 Equipment:

Sourcing: the equipment has been specifically selected as products manufactured at unionized plants in the United States. Substitutions will not be considered unless they meet these requirements.
Shall be installed in strict conformance with manufacturer's instructions.

### 15.2.8 Warranties:

HVAC sub shall register with manufacturer within 90 days of installation.
2 years on all parts and labor.



By Dan.Bruechert at 12:38 pm, Sep 19, 2023

REVIEWED

20' 18' 16' 14' 12' 10' 8' 6' 4' 2'		BEN	NETT FRANK	-
	4	a r 1400 Spri (301) 585	ng Street, Suite 320, Silver Sp -2222 www.bfmarch.co	
	6	DATE	ISSUE - REMARKS	
<ul><li>10 years on parts covered by manufacturer.</li><li>10 years on compressor.</li></ul>	8'			
Provide gravity flow PVC condensate drain lines. Condensate from systems > 90% efficient must discharge inside the conditioned envelope (i.e. laundry sink or sump) to avoid freezing at an external outfall. Include an auxiliary safety drain pan beneath fan coil unit in attic. Pan to contain float switch to cut off unit upon accumulation of water in pan.	10'			
Floor register equal to Lima 40, Selkirk 310 or Hart & Cooley 411. Wall and ceiling registers to be Hart & Cooley 92VHV. Return grilles to be Tuttle and Bailey T-70. Registers located in damp areas - notably bathrooms - shall be	14'			
Bailey 1-70. Hegisters located in damp areas - notably bathrooms - shall be made of aluminum, not steel. Ductwork to be galvanized steel fabricated and installed in conformance with ASHRAE GUIDE and ACCA Manual Elbows in trunk ducts to be square-throated, square-back with turn vanes. Round branch ducts to be connected to trunk ducts using square-to-round take-off fittings Maximum air velocity in the main duct and branches shall be 900 fpm and 600 fpm respectively All joints shall be seled with mastic to minimize air leakage Total duct leakage shall be s 6 fm per 100 square feet with air handler installed Unling only as shown. Internal duct insulation/lining shall be NOT be used on any supply ductwork. All returns shall be insulated and sealed in foil-coated (to inhibit condensation) fiberglass blanket insulation (min R8) Ductwork shall NOT be installed anywhere it would limit headroom below 6-8° in occupied areas Oval duct shall be used only as necessitated by framing depths Building cavities shall not be used as ducts or plenums. Refrigerant piping to follow routes to be determined at site. HVAC piping carrying fluids > 105 degrees F or < 55 degrees F shall be insulated to R3 minimum. Provide UV resistant pipe protection at all exterior applications. Include pre-fabricated foundation for outdoor unit(s). Thermostats: Digital, programmable, WiFi enabled Carrier SYSTXCCITC01 Control First Floor: in new location. See mechanical plans Second Floor: to replace existing thermostat in Drimary Bedroom. Exhaust fans: All exhaust fans and intakes shall have weatherized auto grawity dampers. All events per Division 16, and exterior lower in bathroom(s) per plans. Contractor shall provide and install wall and ceiling mounted exhaust fans and vents per Division 16, and exterior lower in bathroom(s) per plans. Contractor shall provide and install wall and ceiling mounted exhaust fans and vents per Division 16, and exterior lower in bathroom(s) per plans. Contractor shall per sponsible for duct		CONTRA WERE P MY SUP APPROV AM A D REGISTI UNDER STATE C LICENS C 2023	7632A	LTANT (240) 750-4988
	20 18' 16' 14'	JRNFI - VIRI	18 Willow, Takoma Par ject # 2180	august 2023 - Permi

20' 18' 16' 14' 12' 10' 8' 6' 4' 2'

AP101

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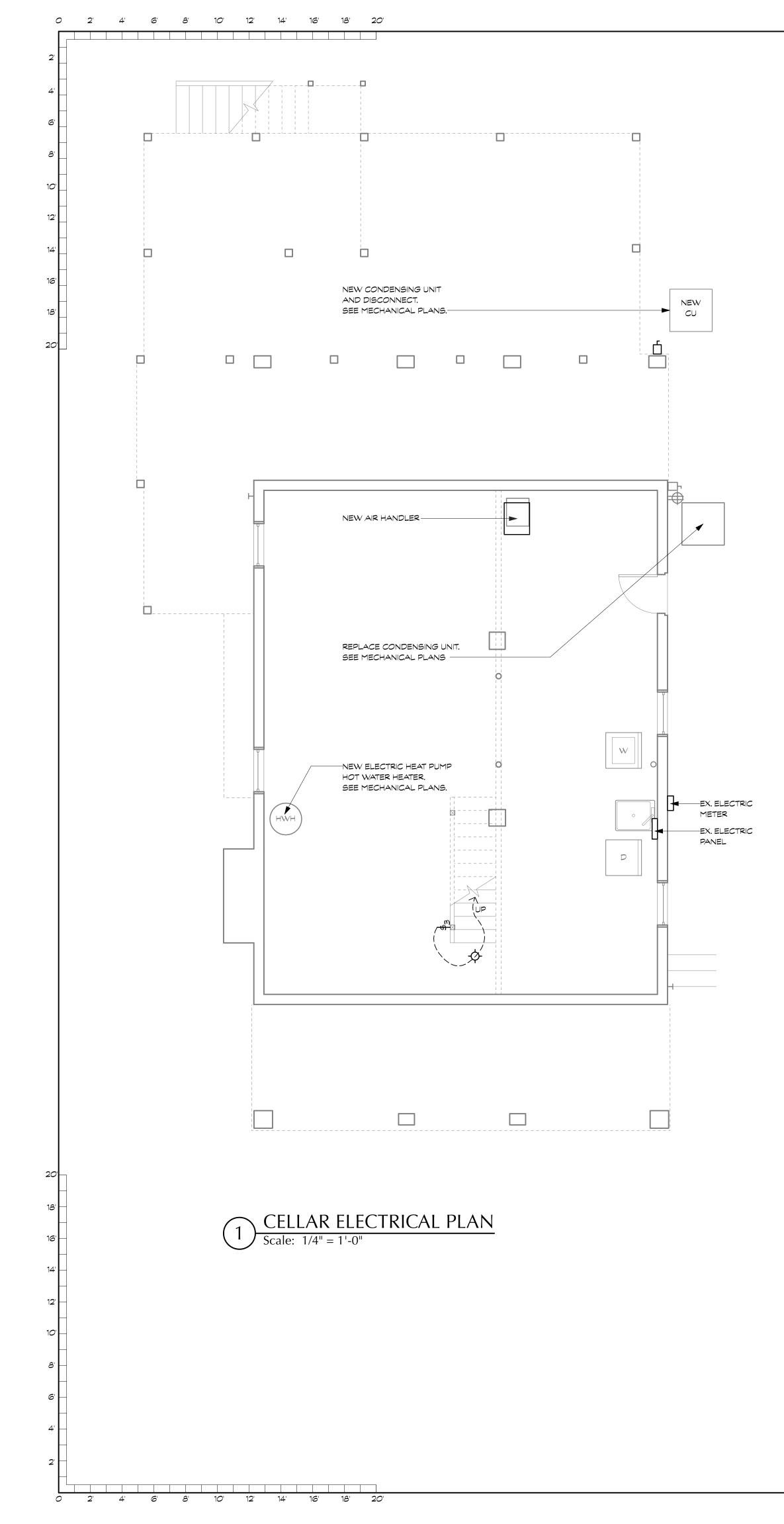
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73<sup>-</sup> Prc

| MECHANICAL /

PLUMBING

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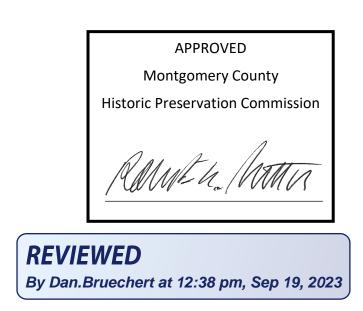
### ELECTRICAL SYMBOLS

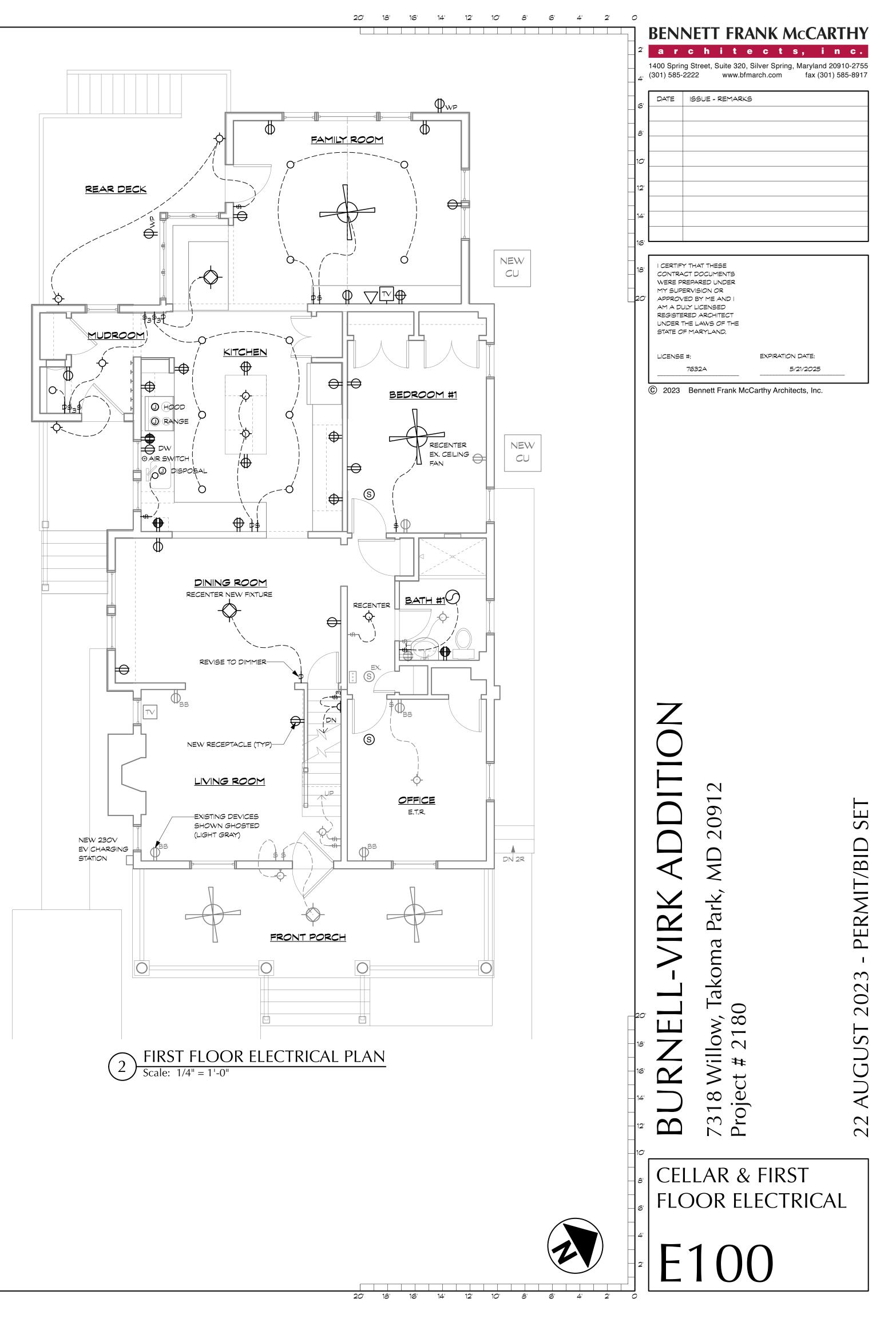
<b>+</b>	DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 18" A.F.F COORDINATE W/ PANEL & EQUIP.
	GFI DUPLEX RECEPTACLE (OUTLET) – 15/20 AMP EXTERNALLY MOUNTED IN WATERPROOF HOUSING
+	DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 45" AFF- COORDINATE W/ PANEL & EQUIP.
-	GFI OUTLET - 20 AMP @ 18" A.F.F.
+	GFI OUTLET - 20 AMP @ 45" A.F.F.
-0	HALF-SWITCH OUTLET - 20 AMP @ 18" A.F.F.
-	QUAD RECEPTACLE 15/20 AMP @ 18" A.F.F. (U.N.O.)
Ð	FLOOR MOUNTED DUPLEX RECEPTACLE W/ FLUSH DECORATIVE COVER
J	JUNCTION BOX. SIZE AS REQUIRED
$\triangleleft$	DATA/INTERNET JACK - MOUNT @ 18" A.F.F. (U.N.O.)
TV	CABLE TV OUTLET
S <sub>ex</sub>	EXISTING SMOKE DETECTOR - REPLACE/RELOCATE AS NECESSARY TO MEET CODE
S	SMOKE DETECTOR - HARDWIRED INTERCONNECT PER CODE
0	EXHAUST FAN - NUTONE MODEL LS-100

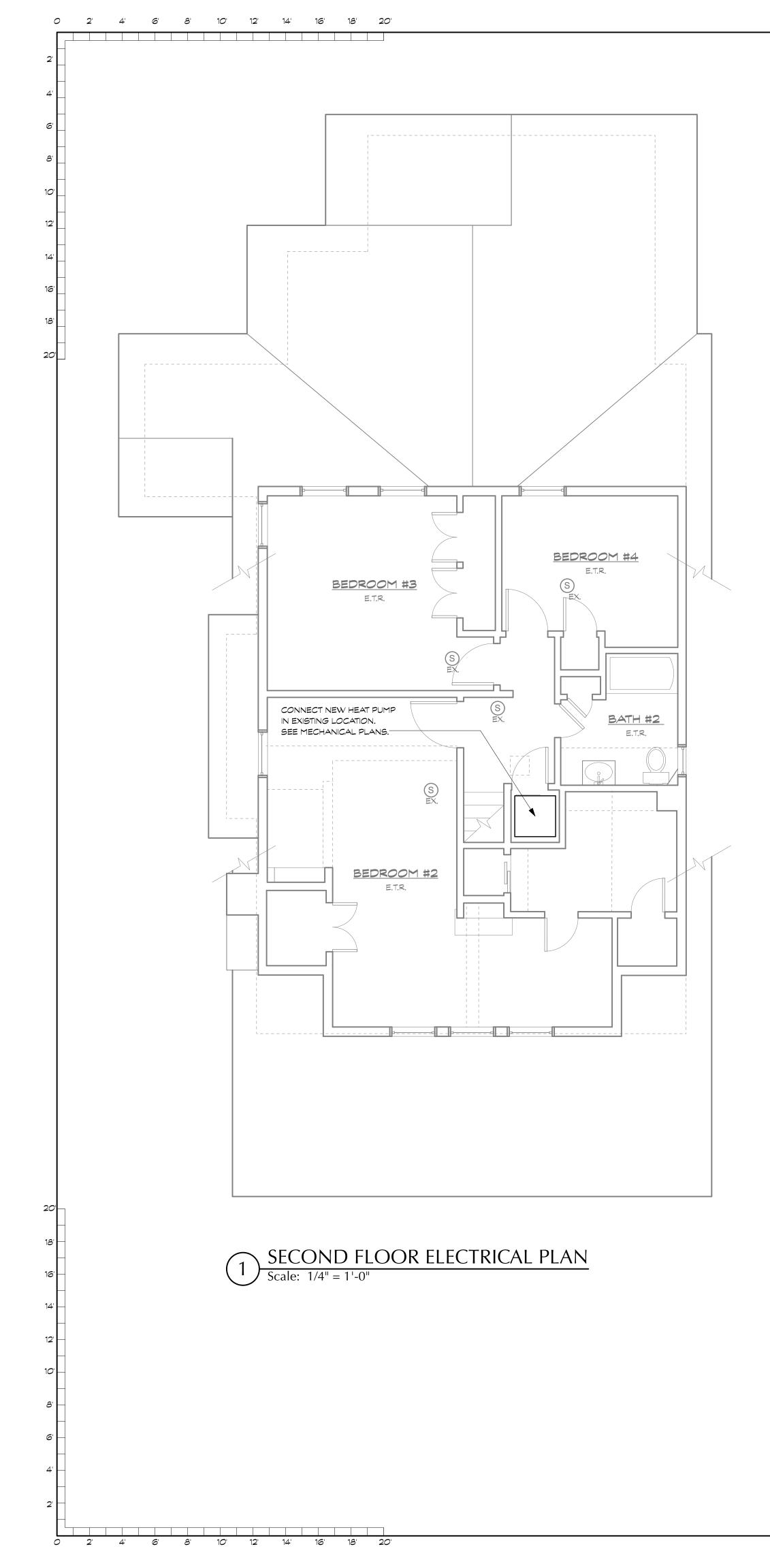
### LIGHTING SYMBOLS

¢	SURFACE MOUNTED CEILING LIGHT FIXTURE
Y	
0	FULLY RECESSED INCANDESCENT LIGHT- LIGHTOLIER LYTECASTER MODEL #1005 WH (5")
0	FULLY RECESSED INCANDESCENT WALL WASH LIGHT- MOUNT 2'-0" FROM WALL U.N.O.
	UNDER CABINET MOUNTED FIXTURE
8	SUSPENDED HALOGEN FIXTURE
$\diamond$	PENDANT FIXTURE
6000	VANITY LIGHT
Q	WALL-MOUNTED LIGHT FIXTURE
<b>_</b>	SCONCE FIXTURE
	CEILING FAN/LIGHT
	FLUORESCENT LIGHT FIXTURE
<b>\$</b>	SWITCH
<b>\$</b> 3	THREE WAY SWITCH
<b>\$</b> ⊤	TIMER SWITCH
P	DIMMER SWITCH
P3	DIMMER THREE WAY SWITCH
JS	JAMB SWITCH
$\Diamond$	SECURITY FLOODLIGHT ON MOTION DETECTOR

GENERAL: PROVIDE "I.C." HOUSING AS NECESSARY IN INSULATED CAVITIES







### ELECTRICAL SYMBOLS

<b></b>	DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 18" A.F.F COORDINATE W/ PANEL & EQUIP.
	GFI DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP EXTERNALLY MOUNTED IN WATERPROOF HOUSING
<b>+</b>	DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 45" AFF- COORDINATE W/ PANEL & EQUIP.
-	GFI OUTLET - 20 AMP @ 18" A.F.F.
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<b>\$</b> 3	THREE WAY SWITCH
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P	DIMMER SWITCH
P3	DIMMER THREE WAY SWITCH
JS	JAMB SWITCH
$\Diamond$	SECURITY FLOODLIGHT ON MOTION DETECTOR

GENERAL: PROVIDE "I.C." HOUSING AS NECESSARY IN INSULATED CAVITIES

# $\underline{SPECIFICATIONS}$ (continued from specifications)

**DIVISION 16: ELECTRICAL** 

6.1	Electrical service: Existing electric service shall be reviewed by Contractor and Electrical subcontractor. Provide new service, subpanel and/or additional breakers as necessary to accommodate new work, equipment, systems and
	appliances. Provide ground fault circuit interrupt breakers at panels as required for all outlets requiring GFCI safety cutoff where indicated and where otherwise required. Label all new circuits at the panel.

20' 18'

- 16.2 Receptacles and Switches: Contractor shall provide wall switches, dimmer switches, and wall plates, etc. in areas of new work in conformance with NEC and local code. Contractor shall provide and install all specialty and appliance receptacles and switches.
  - Style: Decora style as manufactured by Lutron. - Typical single pole rocker switch shall be Lutron model CA-1PS-WH
    - Three way rocker switch shall be Lutron model CA-3PS-WH. - Dimmer switch shall be Lutron model LUT DVCL-153P-WH (wattage
    - rating requirement should be coordinated with fixtures). - Representative duplex receptacle style shall be Lutron model CAR-15/20-SW (coordinate amperage with equipment/circuit)
  - Timer switch for exhaust fans shall be Maestro model MA-T51-WH. Color: All devices and cover plates shall be white, unless noted
  - otherwise. Consistency: Where devices are added in existing spaces all devices in
  - that space shall be upgraded to match new devices. • Plates: use standard, not enlarged wall plates, in finish to match devices.
- 16.3 Provide ground fault interrupt devices where indicated and where otherwise required by code. Provide arc fault devices in all habitable spaces where ground fault are not otherwise provided.
- 16.4 Lighting: Owner to select, Contractor to provide and install. See Div. 17 for Allowance Summary. See drawings for locations. Coordinate mounting heights with Architect. Provide housings rated for insulation contact in all insulated ceiling cavities (housings shall be labeled to indicate <2.0 CFM leakage at 75 Pa.). Seal at housing / interior finish. Submit all recessed fixtures for review and approval prior to rough wiring. 85% of lamps in permanent fixtures or 85% of permanent fixtures shall use high efficiency lamps.
- 16.5 Bath exhausts: Contractor to provide/install. • Bathroom #1: Broan Ultra Green model XB80. Ceiling mounted, 0.3 sones, 80 CFM with 4 inch dia duct, or approved equal.
- 16.6 Smoke/Fire protection: Smoke/Carbon Monoxide detectors shall be installed in each sleeping room, outside of each separate sleeping area in the immediate vicinity of the bedrooms and on each additional story of the dwelling, including basements and cellars. Provide 10-year lithium-ion battery or hardwired with battery back-up. All detectors shall be approved and listed and shall be installed in accordance with the manufacturer's instructions.
- 16.7 Telephone & Cable TV: • Telephone / Data: Provide Category 5E, 4 pair wiring at each jack as shown on drawings. Contractor shall provide jacks and install for data and telephone. Each jack shall be wired as a dual jack outlet, one for data, one for telephone. Each jack shall be homerun to the phone board. Provide a main phone panel adjacent to the main electrical panel. Phone service shall be established by the Owner, with coordination assistance from the contractor.
  - Cable TV: Provide RG-6 jacks in locations shown. Provide homerun wiring from each jack.

	APPROVED			
	Montgomery County			
	Historic Preservation Commission			
	Rame h. Matter			
RE	VIEWED			
By Dan.Bruechert at 12:38 pm, Sep 19, 2023				

	BENNETT FRANK McCART
	1400 Spring Street, Suite 320, Silver Spring, Maryland 20910- 4 <sup>,</sup> (301) 585-2222 www.bfmarch.com fax (301) 585-
	DATE ISSUE - REMARKS
	12'
	14'
	18' I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER
	20' APPROVED BY ME AND I AM A DULY LICENSED
	REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.
	LICENSE #: EXPIRATION DATE:
	<b>BURNELL-VIKK AUUIION</b> 7318 Willow, Takoma Park, MD 20912 Project # 2180
	ECOND FLOOR LECTRICAL PLAN
4	
	F101
	2'

# City of Takoma Park

Housing and Community Development Department

Main Office 301-891-7119 Fax 301-270-4568 www.takomaparkmd.gov



7500 Maple Avenue Takoma Park, MD 20912

MUNICIPALITY LETTER

August 22, 2023

To: Cary Burnell, Devki Virk 7318 Willow Avenue CBurnell@usw.org

301-585-2222

To: Department of Permitting Services 2425 Reedie Drive, 7<sup>th</sup> floor Wheaton, Maryland 20902

From: Planning and Development Services Division

### THIS IS NOT A PERMIT – For Informational Purposes Only

VALID FOR ONE YEAR FROM DATE OF ISSUE

The property owner is responsible for obtaining all required permits from Montgomery County and the City of Takoma Park. If this property is in the **Takoma Park Historic District**, it is subject to Montgomery County Historic Preservation requirements.

Representative Name:Susan Darceysusan@bfmarch.com301-793-9229Location of Project:7318 Willow Avenue, Takoma Park 20912Proposed Scope of Work:One story rear addition with deck and two modest extensions at side facade.

The purpose of this municipality letter is to inform you that the City of Takoma Park has regulations and city permit requirements that may apply to your project. This municipality letter serves as notification that, in addition to all Montgomery County requirements, you are required to comply with all City permitting requirements, including:

- Tree Impact Assessment/Tree Protection Plan
- Stormwater management
- City Right of Way

Failure to comply with these requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law. Details of Takoma Park's permit requirements are attached on page 2.

The issuance of this letter does not indicate approval of the project nor does it authorize the property owner to proceed with the project. The City retains the right to review and comment on project plans during the Montgomery County review process.

### City Of Takoma Park

### The City of Takoma Park permits for the following issues:

### Tree Impact Assessment/Tree Protection Plan/Tree Removal Application:

Construction activities that occur within 50 feet of any urban forest tree (7 and 5/8" in trunk diameter or greater), located on the project property or on an adjacent property, may require a Tree Impact Assessment and possibly a Tree Protection Plan Permit. Make sure to submit a request for a Tree Impact Assessment and schedule a site visit with the City's Urban Forest Manager if any urban forest tree is in the vicinity of proposed construction activities. See the Tree Permits section of the City website for the specific conditions in which a Tree Impact Assessment is required. Depending on the Urban Forest Manager's conclusion following the Tree Impact Assessment, you may need to prepare a full Tree Protection Plan and apply for a Tree Protection Plan Permit as well. Separately, the removal of any urban forest tree will require a Tree Removal Permit application. The tree ordinance is detailed in the City Code, section 12.12. For permit information check: https://takomaparkmd.gov/services/permits/tree-The City's Urban Forest Manager can be reached at 301-891-7612 permits. or urbanforestmanager@takomaparkmd.gov.

### Stormwater Management:

If you plan to develop or redevelop property, you may be required to provide appropriate stormwater management measures to control or manage runoff, as detailed in City Code section 16.04. All commercial or institutional development in the city must apply for a Stormwater Management Permit regardless of the size of the land disturbance. Additions or modifications to existing detached single-family residential properties do not require a Stormwater Management permit if the project does not disturb more than 5,000 square feet of land area. For more information visit: <u>https://takomaparkmd.gov/government/public-works/stormwater-management-program/</u>. The City Engineer should be contacted to determine if a City permit is required. The City Engineer can be reached at 301-891-7620.

### City Right of Way:

- To place a **construction dumpster or storage container** temporarily on a City right of way (usually an adjacent road), you will need to obtain a permit. A permit is not required if the dumpster is placed in a privately-owned driveway or parking lot.
- If you plan to install a new **driveway apron**, or enlarge or replace an existing driveway apron, you need a Driveway Apron Permit.
- If you plan to construct a **fence** in the City right of way, you need to request a Fence Agreement. If approved, the Agreement will be recorded in the Land Records of Montgomery County.

For more information and applications for City permits, see: <u>https://takomaparkmd.gov/services/permits/</u> or contact the Department of Public Works at 301-891-7633.

## Failure to comply with the City's permitting requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law.

esigned via SeamlessDocs.com Susan Emery Darcey Key: 38br2056622713cobt979ea7ee94776a	Susan Emery Darcey	08-22-2023
eSigned via SeamlessDocs.com Takoma Park Planning Division Key: 191e841123e08a3114576219050d5the		08-22-2023