



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
County Executive

Robert K. Sutton  
Chairman

Date: September 19, 2023

### MEMORANDUM

TO: Rabbiah Sabbakahn  
Department of Permitting Services

FROM: Dan Bruechert  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #991177 - Partial Demolition & Building Addition

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** At the July 12, 2023 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Cary Burnell & Devki Virk  
Address: 7318 Willow Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Winnie Cargill at 301.495.2108 or [winnie.cargill@montgomeryplanning.org](mailto:winnie.cargill@montgomeryplanning.org) to schedule a follow-up site visit.



# BURNELL-VIRK ADDITION

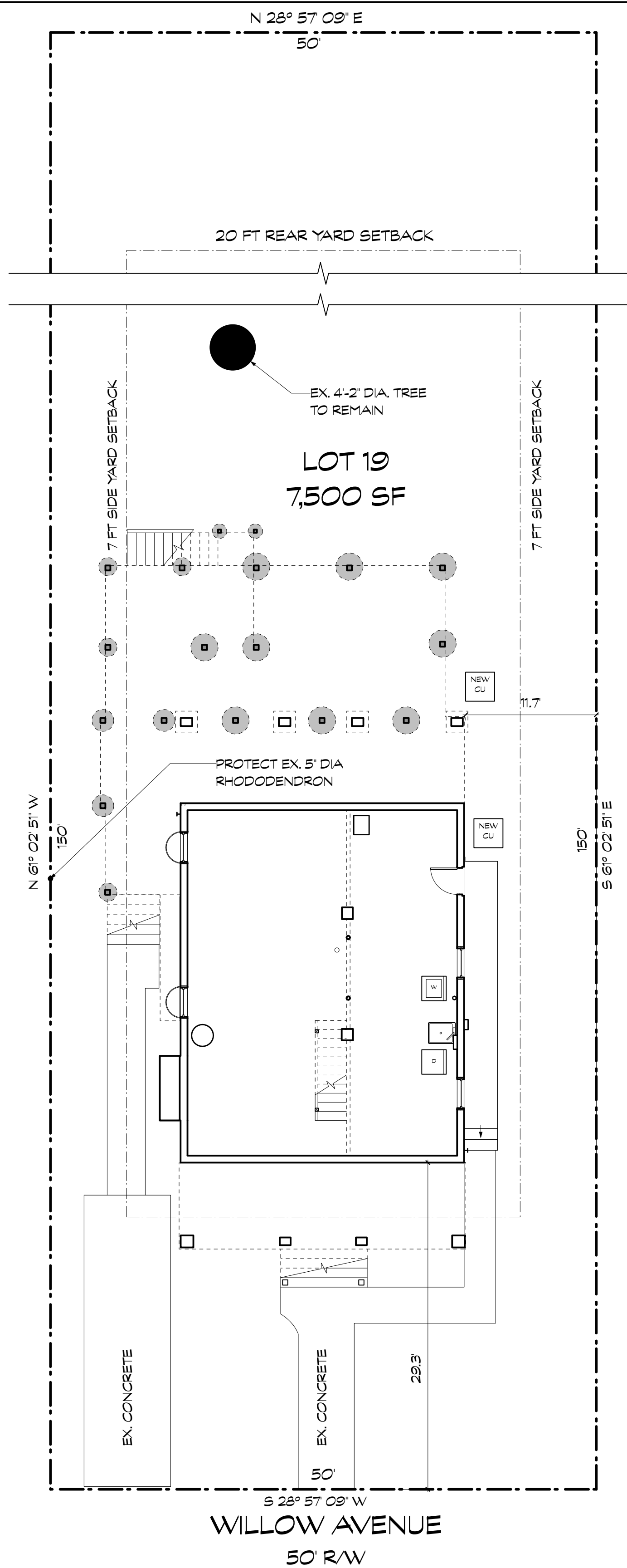
7318 Willow Ave, Takoma Park, MD, 20912 Project # 2180

## SPECIFICATIONS

### DIVISION 1: GENERAL REQUIREMENTS

- 1.1.1 General Conditions: The general conditions of the Agreement Between the Owner and Contractor if not addressed here, shall be AIA Document A201 (most current edition).
- 1.1.2 Lien Waivers: At the time of final payment by the Owner, the Contractor shall provide lien waivers from his company as well as all major subcontractors (plumbing, electrical, mechanical, mason, roofer, etc.) and suppliers exceeding \$10,000 in value.
- 1.2.1 Contractor's Liability Insurance: The Contractor shall purchase and maintain such insurance as will protect the Contractor from claims which may arise out of or result from the Contractor's or Subcontractors' operations under the Contract. The Architect shall be named as an additional insured on the General Contractor's policy.
- 1.2.2 Owner's Liability Insurance: The Owner shall be responsible for purchasing and maintaining the Owner's usual liability insurance.
- 1.2.3 Property Insurance: The Owner shall purchase and maintain property insurance in the amount of the initial Contract Sum (as well as subsequent modifications) on a replacement cost basis. The policy shall be on an all-risk policy form and shall insure against the perils of fire and extended coverage and loss or damage including theft, vandalism, malicious mischief, collapse and falsework. The Contractor shall be responsible for paying the deductible for losses attributable to an unsecured job-site.
- 1.3 License: The Contractor and all Subcontractors shall be licensed and/or registered to perform their respective trades in the jurisdiction of the project property.
- 1.4 Permits: Owner shall obtain general building permit. General Contractor shall be responsible for all other permits including, but not limited to trade permits, right-of-way / public space permits, parking and dumpster permits, etc.
- 1.5 Warranty: All workmanship and materials shall be guaranteed for a minimum period of one year from the date of Substantial Completion.
- 1.6 Owners Manuals and Instructions: The General Contractor shall collect, consolidate and convey to the Owner all Owners Manuals, Instructions, Warranty registrations and all other pertinent information for new equipment and fixtures. The General Contractor or designated subcontractor(s) shall review with the Owner the proper operation and maintenance schedule as appropriate for all equipment and controls.
- 1.7 Interpretation: The Architect shall be the interpreter of the requirements of the Contract Documents. If the builder or subcontractor has any question about the meaning of the drawings or specifications for the Work, or should he find any discrepancy or omission therein, the Builder/subcontractor shall immediately so notify the Architect.
- 1.8 Dimensions: Verify all dimensions. All dimensions are to framing, except to existing construction or where otherwise noted. Dimensions on interior elevations are to finishes, not framing. Window opening dimensions are to rough openings, add 2 1/2" to swinging interior door sizes for rough openings. Do NOT scale drawings.
- 1.9 Building Protection: All precautions shall be taken by subcontractors to protect existing hardwood floors, tile and other finishes to remain for the period of construction. Any damage shall be rectified by the responsible subcontractor(s) or general contractor prior to completion of work. See also section 2.2.
- 1.10 Debris: All subcontractors shall, at regular intervals, remove all their respective construction debris from site and shall not allow such debris to drift, be blown or otherwise transported onto adjacent property. Subcontractors shall place barricades or take such other precautions as necessary to prevent injury to the public.
- 1.11 Codes: All construction to be in accordance with International Residential Code 2018 edition, and in accordance with all applicable Montgomery Co., State and Federal rules and regulations (including local amendments to model code).
- 1.12 Quality: All work will be performed in a workmanlike fashion in conformance with rules of accepted good practice. All materials contemplated in these drawings shall be new and of good quality and shall be protected from weather when stored on the building site.
- 1.13 Changes in Work: The Owner without invalidating the Contract, may order extra work or make changes by altering, adding or deducting from the work, the contract sum being adjusted accordingly by a change order. All such work shall be executed under the conditions of the original contract except for claims for extension of time caused hereby which shall be adjusted at time of change order execution.
- 1.14 Claims for Extra Work: If a subcontractor claims that any instructions by drawings or other requests for changes in the work involve extra cost under the contract he shall give the Owner written notice thereof within a reasonable time after receipt of such instructions and in any event before proceeding to execute the work.
- 1.15 Allowances: All allowances and unit prices apply to materials, taxes and third party delivery fees only unless otherwise noted. The costs associated with ordering, installation, overhead and profit shall be included in the base bid, not in the allowance cost, unless noted otherwise in Allowance Summary. The Contractor shall be responsible for maintaining a running tally of allowance expenses for the purposes of reconciling the total expenses relative to the total allowances for the project to determine if a credit or add is due.
- 1.16 Punchlist: At the time of making the final contract payment, the owner may hold back 200% of the value of all Punch List work. The Architect and Contractor will place a fair and reasonable value on each Punch List item. This 200% hold back for Punch List work is intended to assure the Owner that all Punch List work will be completed in a timely manner.

CONTINUED ON SPECIFICATIONS SHEET



### ZONING SITE PLAN

SCALE: 1/8"=1'-0"  
 SITE PLAN BASED ON HOUSE LOCATION SURVEY BY R.C. KELLY & ASSOCIATES DATED MARCH 27, 2002, AND FIELD OBSERVATIONS BY BENNETT FRANK MCCARTHY ARCHITECTS, INC.

LOT 19, BLOCK 9  
 TAKOMA PARK,  
 MONTGOMERY COUNTY, MD  
 DISTRICT: 13  
 SUBDISTRICT: LIPSCOMB & EARNEST  
 TRUSTEES ADDITION TO TAKOMA PARK  
 ZONE: R-60

SITE PLAN SUMMARY			
1. LOT COVERAGE			
TOTAL LOT AREA	7500 SF		100.0%
EXISTING LOT COVERAGE	1285 SF		17.1%
PROPOSED LOT COVERAGE	1847 SF		24.6%
PROPOSED INCREASE	362 SF		4.8%
2. BUILDING FLOOR AREA - STORES			
LEVEL	EX. AREA (SF)	NEW AREA	TOTAL AREA
BASEMENT	860 SF	0 SF	860 SF
FIRST	1080 SF	362 SF	1442 SF
SECOND	851 SF	0 SF	851 SF
TOTALS	2791 SF	362 SF	3153 SF
3. BUILDING HEIGHT (ABOVE AVE. FRONT GRADE)			
	EXISTING	ADDITION	
RIDGE	24'-6"	17'-0 1/2"	
MEAN	22'-7 1/4"	16'-4 3/4"	
LEAVE	20'-8 1/2"	11'-8"	

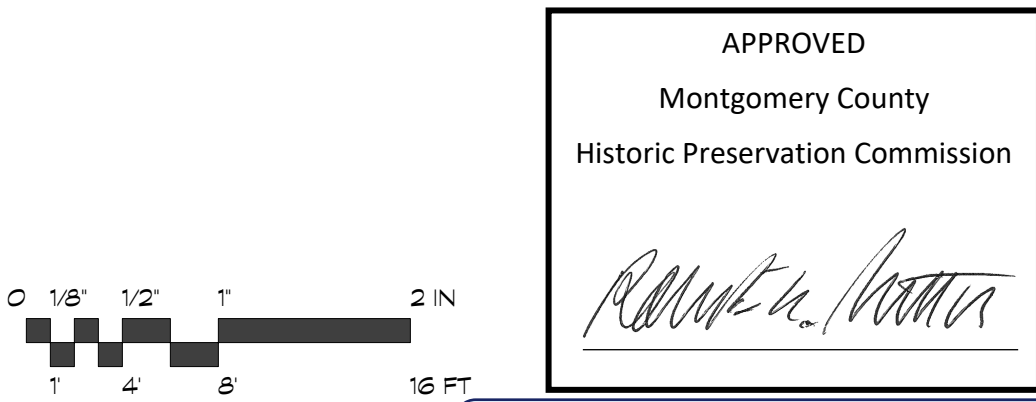
### TREE PROTECTION PLAN LEGEND

TREE PROTECTION FENCE (4 FT. TALL, ORANGE HDPE PLASTIC SAFETY BARRIER)	+++++
STAGING AREA / MATERIAL STORAGE	
SILT FENCE	.....
ROOT PROTECTION (1/2\"/>	

### LEGEND

WOOD FENCE	—*—*—*
SETBACK LINE	- - - - -
PROPERTY LINE	— — — — —
EXISTING FOOTPRINT	▭
ADDITION	▭

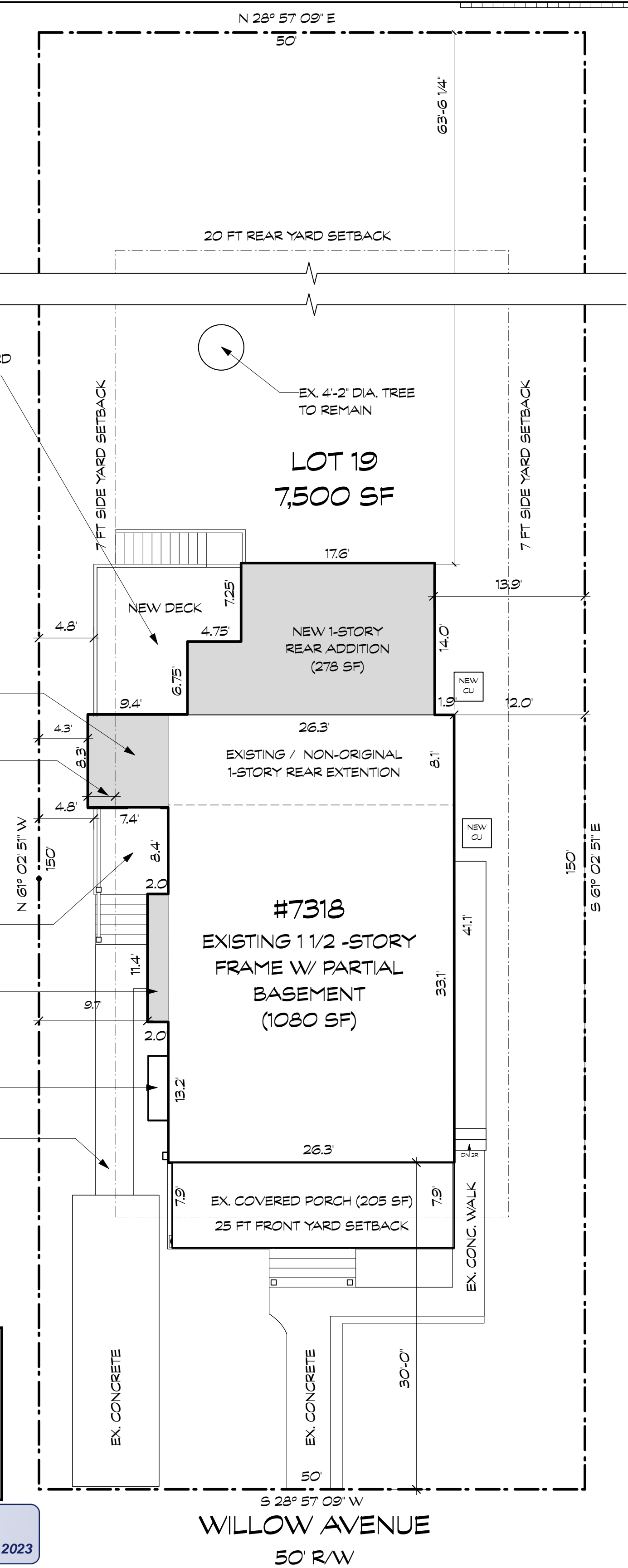
### TREE PROTECTION PLAN



**REVIEWED**  
 By Dan.Bruechert at 12:37 pm, Sep 19, 2023

## PROJECT DESCRIPTION

THE PROJECT INVOLVES REMODELING AND EXPANDING A 1-1/2 STORY WOOD FRAME BUNGALOW (W/ WALK-OUT BASEMENT). THE PROPOSED ONE-STORY ADDITIONS INCLUDE A NEW FAMILY ROOM AND DECK ON THE REAR, A SHALLOW DINING ROOM BAY EXTENSION ON THE SIDE, AND A MIDROOM STOOP BEHIND THE NEW DR. BAY. THE REMODELING SCOPE CONSISTS OF REMOVING THE EXISTING BASEMENT STAIR TO ACCOMMODATE A NEW, ENLARGED KITCHEN, PROVIDING A SHOWER IN LIEU OF THE GROUND FLOOR HALL BATH TUB, RECONFIGURING THE REAR OFFICE/BEDROOM AREA, AND BUILDING A NEW BASEMENT STAIR UNDER THE EXISTING STAIR TO THE SECOND FLOOR. THE EXISTING HYDRONIC RADIATOR SYSTEM SHALL BE MODIFIED AND EXTENDED AS REQUIRED AND A NEW CENTRAL AC SYSTEM SHALL BE PROVIDED TO SERVE THE FIRST FLOOR.



## BENNETT FRANK MCCARTHY

architects, inc.  
 1400 Spring Street, Suite 320, Silver Spring, Maryland 20910-2755  
 (301) 585-2222 www.bfmarch.com fax (301) 585-8917

**OWNER**  
 Cary Burnell & Devki Virk  
 7318 Willow Ave  
 Takoma Park, MD 20912 (301) 706-4843

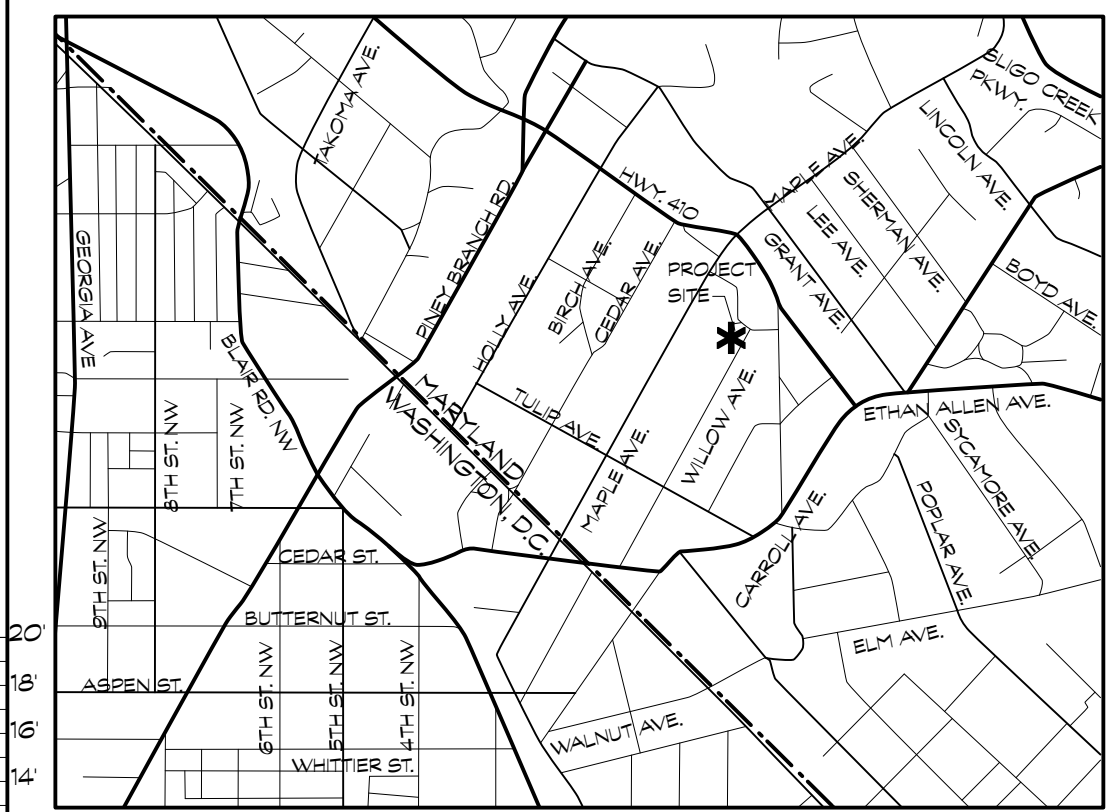
**STRUCTURAL ENGINEER**  
 Robert Wixson, APAC Engineering, Inc  
 8555 16th St, Suite 200  
 Silver Spring, MD 20910 (301) 565-0543

**MECHANICAL CONSULTANT**  
 Gallant Mechanical  
 13001 Cleveland Drive  
 Rockville, Maryland 20850 (240) 750-4988

### DRAWING LIST

REV.	SHEET	TITLE
	0000	COVER SHEET
	SP100	SPECIFICATIONS
	D100	DEMOLITION PLANS
	D200	DEMOLITION ELEVATIONS
	A100	CELLAR & FIRST FLOOR PLANS
	A101	SECOND FLOOR PLAN
	A200	ELEVATIONS
	A201	ELEVATIONS
	A300	BUILDING SECTIONS
	A301	WALL SECTIONS
	A302	WALL SECTIONS
	A400	INTERIOR ELEVATIONS
	S100	FOUNDATION PLANS
	S101	FIRST FLOOR FRAMING PLANS
	S102	SECOND FLOOR FRAMING PLANS
	S103	ROOF FRAMING PLANS
	S200	WIND BRACING PLAN
	S201	STRUCTURAL NOTES & DETAILS
	M100	CELLAR & FIRST FLOOR MECHANICAL PLANS
	M101	SECOND FLOOR MECHANICAL PLAN
	E100	CELLAR AND FIRST FLOOR ELECTRICAL PLANS
	E101	SECOND FLOOR ELECTRICAL PLANS

### VICINITY MAP



DATE	ISSUE
8/17/23	Permit/Bid Set

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### ABBREVIATIONS

§	AND	COND	CONCRETE	ELEC	ELECTRICAL	LBW	LOAD BEARING WALL	OSB	ORIENTED STRAND BOARD	SPRK	SPRINKLER
⊕	AT	CONC	CONTINUOUS	EXP	EXPANSION	LVL	LAMINATED VENEER	PLAM	PLASTIC LAMINATE	STL	STEEL
AFF	ABOVE FINISHED FLOOR	CONT	CONCRETE	EQ	EQUAL	MARB	MARBLE	PLYWD	PLYWOOD	TBD	TO BE DETERMINED
		D	DRYER	ETR	EXISTING TO REMAIN	MATL	MATERIAL	PT	PRESSURE TREATED	T&G	TONGUE AND GROOVE
		CH	DOUBLE HUNG	EX	EXISTING	PT	PRESSURE TREATED	PTD	PAINTED	TOS	TOP OF SLAB
		DIA	DIAMETER	FF	FINISH FLOOR	MAX	MAXIMUM	R	RISER	TYP	TYPICAL
		DM	DIMENSION	FIN	FINISH	MDO	MEDIUM DENSITY OVERLAY	REF	REFRIGERATOR	UNC	UNLESS NOTED OTHERWISE
		DN	DOWN	FLR	FLOOR	GA	GAUGE	RO	ROUGH OPENING	VIF	VERIFY IN FIELD
		DR	DOOR	FLR	FLOOR	MIN	MINIMUM	RGD	REQUIRED	W	WASHER
		DS	DOWNSPOUT	GWB	GYPSUM WALL BOARD	MANU	MANUFACTURER	RM	ROOM	W	WITH
		DTL	DETAIL	HB	HOSE BIB	MTL	METAL	SC	SOLID CORE	WC	W/ C
		DW	DISHWASHER	HC	HOLLOW CORE	MECH	MECHANICAL	SHT	SHEET	WD	WOOD
		DWS	DRAWING	HT	HEIGHT	NC	NOT IN CONTRACT	SHWR	SHOWER	WO	WITHOUT
		EFB	EXTERIOR FINISHING SYSTEM	HDWR	HARDWARE	NBS	NOT TO SCALE	SHWR	SHOWER	WV	WATER VESTIBULE
		EL	ELEVATION	JB	JUNCTION BOX	OC	ON CENTER	SHWR	SHOWER	WV	WITHOUT
				LB	LOAD BEARING	OH	OPPOSITE HAND	SHWR	SHOWER	WV	WITHOUT
						OH	OPPOSITE HAND	SPEC	SPECIFICATION	WVM	WELDED WIRE MESH

### SYMBOLS

⊕	CENTERLINE	X	DRAWING CALL-OUT: DRAWING NUMBER SHEET REFERENCE
1	DOOR TAG: DOOR REFERENCE (SEE DOOR SCHEDULE)	X	ELEVATION CALL-OUT: VIEW DIRECTION DRAWING NUMBER SHEET REFERENCE
A	WINDOW TAG: WINDOW REFERENCE (SEE WINDOW SCHEDULE)	X	ELEVATION CALL-OUT: VIEW DIRECTION DRAWING NUMBER SHEET REFERENCE
1	WALL TAG: WALL TYPE REFERENCE (SEE WALL / PARTITION TYPES)	X	ELEVATION CALL-OUT: VIEW DIRECTION DRAWING NUMBER SHEET REFERENCE
		X	ELEVATION MARKER: ELEVATION REFERENCE
		X	BENCHMARK: LOCATION REFERENCE
		X	SECTION CUT CALL-OUT: DRAWING REFERENCE SECTION CUT LOCATION
		X	SECTION CUT CALL-OUT: SHEET REFERENCE DIRECTION OF VIEW

### PROJECT DATA

JURISDICTION: MONTGOMERY COUNTY, MD  
 BUILDING CODE: 2018 IRC & MONTGOMERY COUNTY AMENDMENTS  
 BUILDING USE GROUP: SINGLE-FAMILY, DETACHED  
 CONSTRUCTION TYPE: 5B - COMBUSTIBLE, UNPROTECTED  
 FIRE SUPPRESSION SYSTEM: NA

### CERTIFICATION

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: 7632A  
 EXPIRATION DATE: 5/21/2025

#2180 BURNELL-VIRK



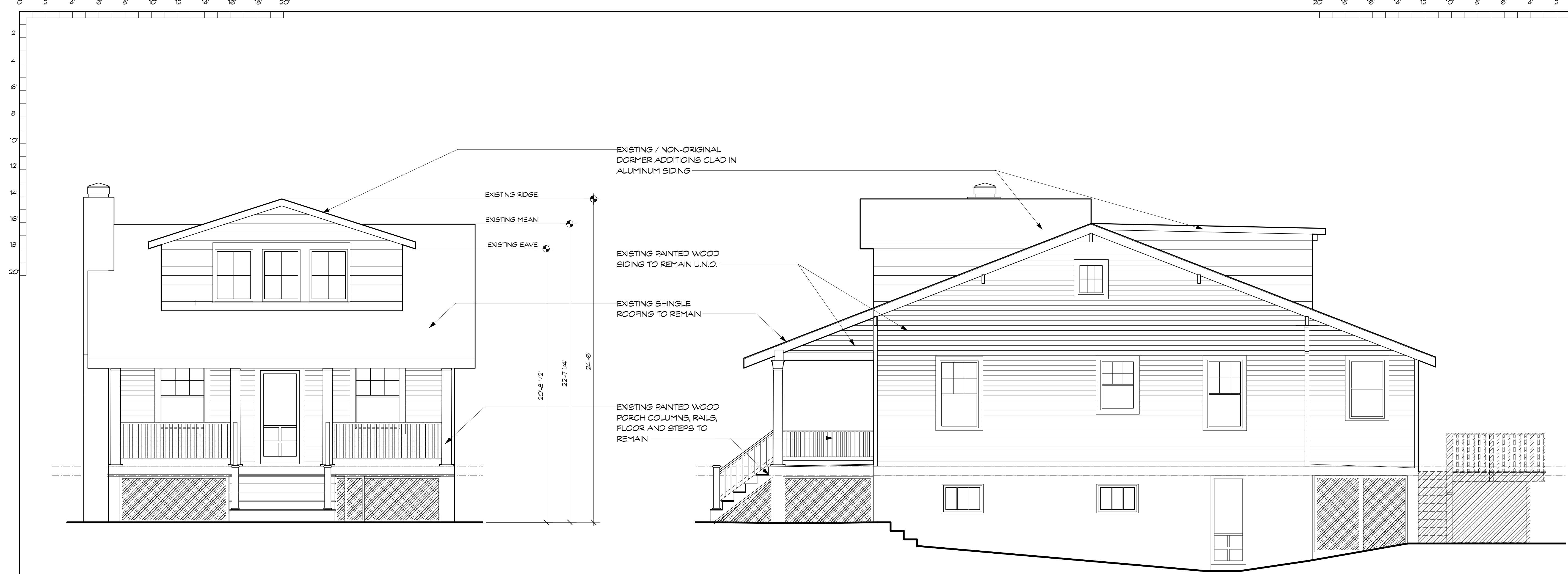


DATE	ISSUE - REMARKS

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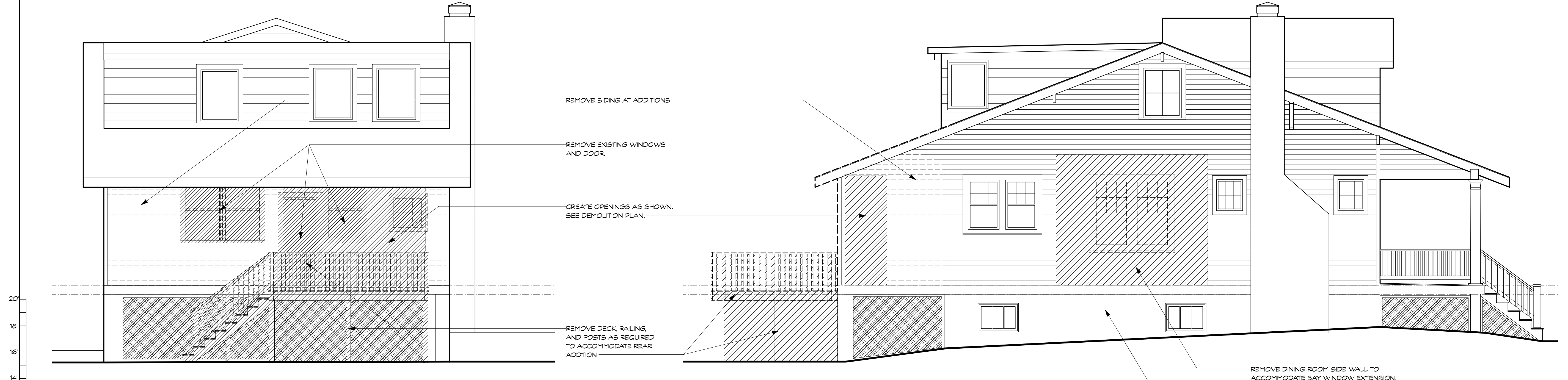
LICENSE #: 7632A EXPIRATION DATE: 5/21/2025

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1 EXISTING FRONT ELEVATION  
Scale: 1/4" = 1'-0"

2 SIDE DEMOLITION ELEVATION  
Scale: 1/4" = 1'-0"

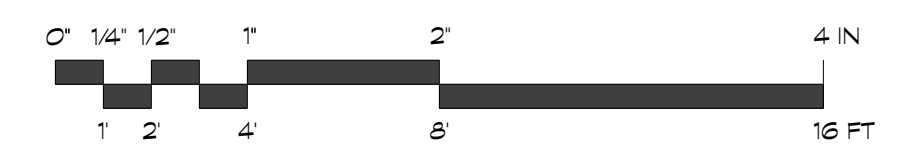


3 REAR DEMOLITION ELEVATION  
Scale: 1/4" = 1'-0"

4 SIDE DEMOLITION ELEVATION  
Scale: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

REVIEWED  
By Dan.Bruechert at 12:37 pm, Sep 19, 2023



**BURNELL-VIRK ADDITION**  
7318 Willow, Takoma Park, MD 20912  
Project # 2180

22 AUGUST 2023 - PERMIT/BID SET

DEMOLITION ELEVATIONS

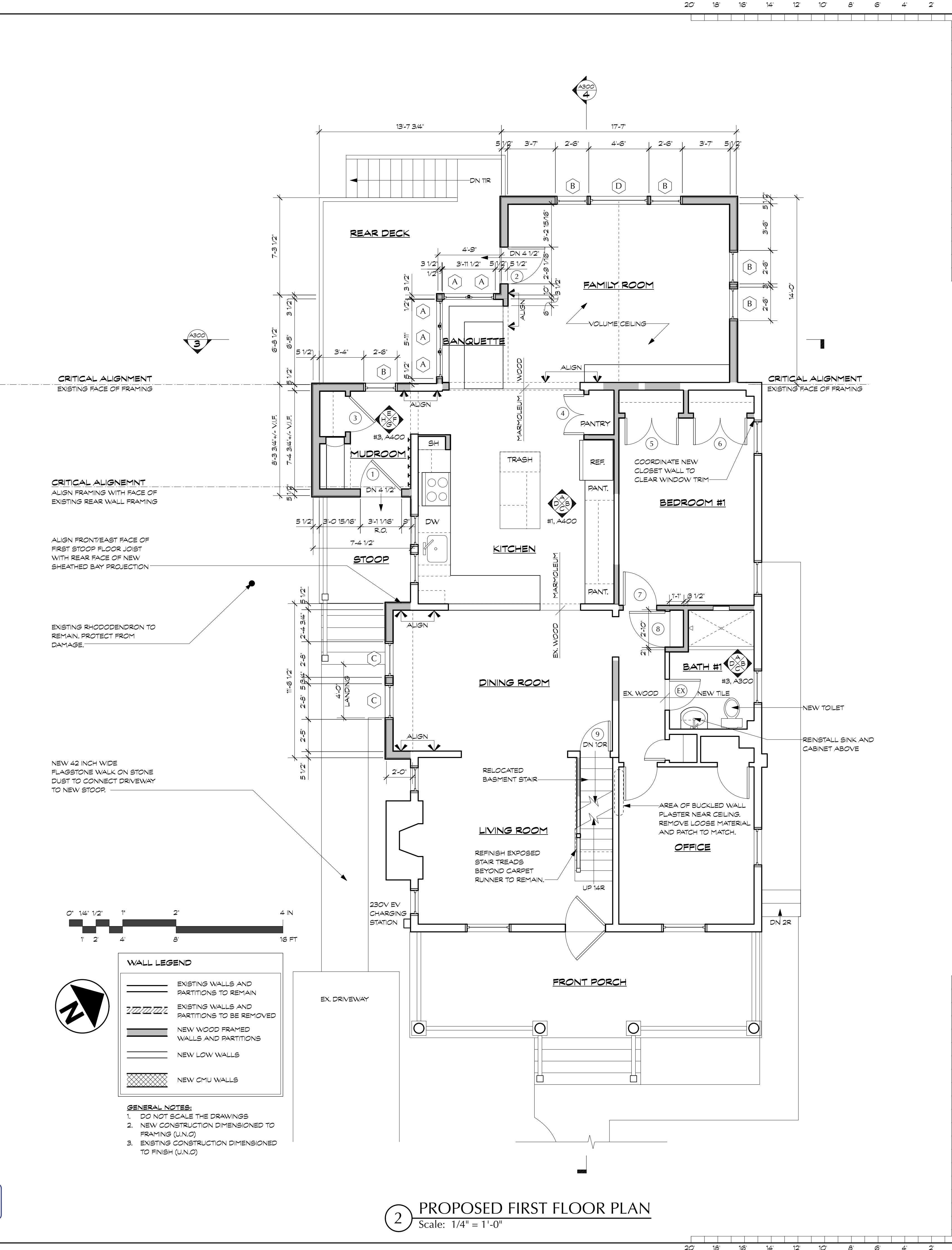
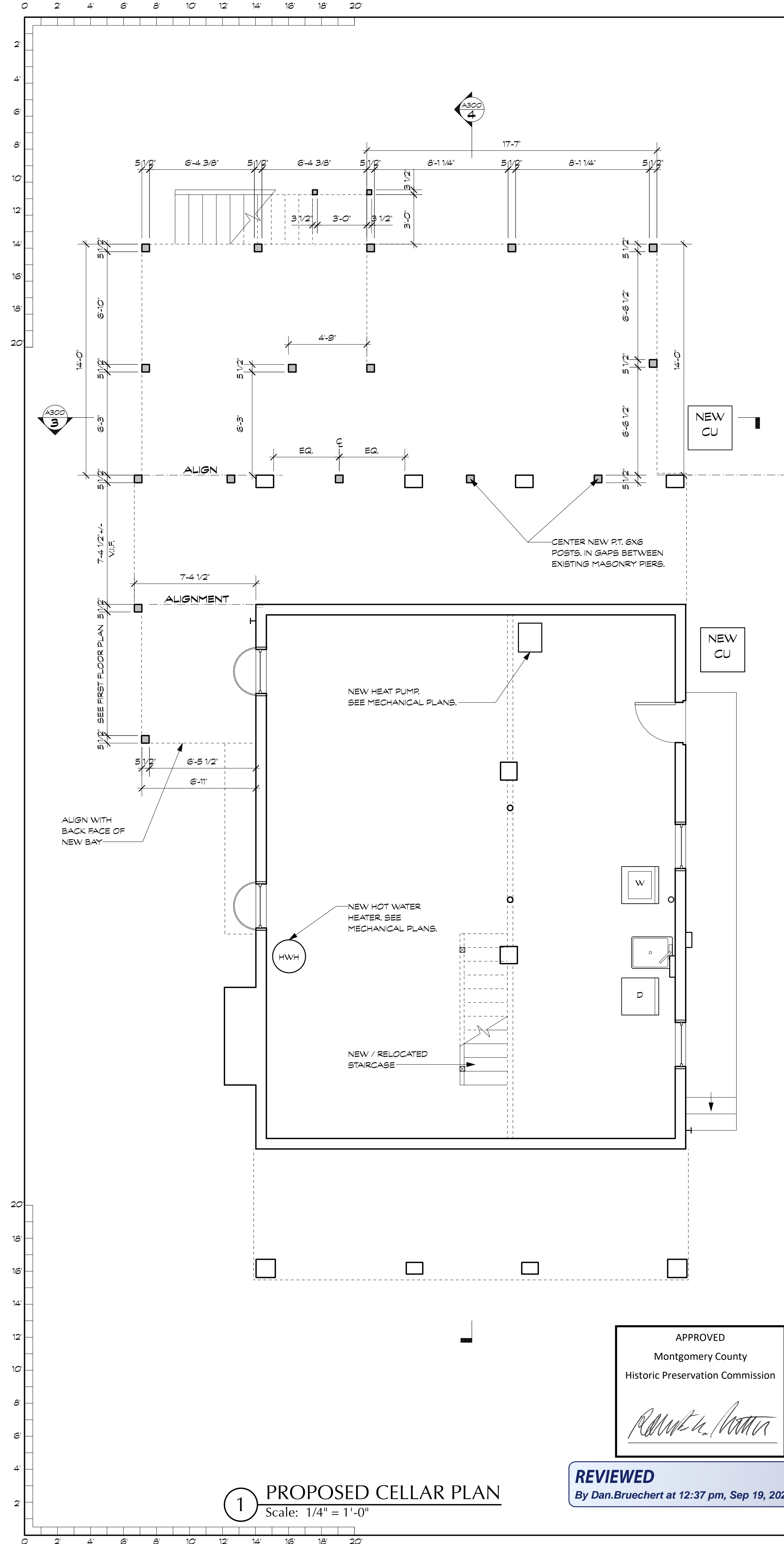
**D200**

DATE	ISSUE - REMARKS

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LICENSE #: 7632A      EXPIRATION DATE: 5/21/2025

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APPROVED  
Montgomery County  
Historic Preservation Commission

*R. Bruechert*

REVIEWED  
By Dan.Bruechert at 12:37 pm, Sep 19, 2023

**BURNELL-VIRK ADDITION**  
7318 Willow, Takoma Park, MD 20912  
Project # 2180

22 AUGUST 2023 - PERMIT/BID SET

CELLAR & FIRST FLOOR PLANS  
**A100**

DATE	ISSUE - REMARKS

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DOOR SCHEDULE												
NO.	LOCATION	SIZE	THICKNESS	MATERIAL		TYPE/STYLE	CONFIG	OPER.	HARDWARE		REMARKS	NO.
				DR	FR							
1	MUDROOM ENTRANCE	3-1 1/8" X 7-2 1/2" R.O.	1 3/4"	WD/GL	WD	FULL-LITE	SINGLE	SWING	LOCKSET & DEADBOLT		WEATHERSHIELD #3172	1
2	FAMILY ROOM DECK	2-3 1/8" X 7-2 1/2" R.O.	1 3/4"	WD/GL	WD	FULL-LITE	SINGLE	SWING	LOCKSET & DEADBOLT		WEATHERSHIELD #2972	2
3	MUDROOM CLOSET	2-8" X 7'-0"	1 3/8"	WD	WD	TWO PANEL	SINGLE	SWING	PASSAGE			3
4	KITCHEN PANTRY	3'-0" X 6'-8"	1 3/8"	WD	WD	TWO PANEL	PAIR	SWING	DUMMY PULLS & MAGNETIC CATCH			4
5	BEDROOM CLOSET 1	4'-0" X 6'-8"	1 3/8"	WD	WD	TWO PANEL	PAIR	SWING	DUMMY PULLS & MAGNETIC CATCH			5
6	BEDROOM CLOSET 2	4'-0" X 6'-8"	1 3/8"	WD	WD	TWO PANEL	PAIR	SWING	DUMMY PULLS & MAGNETIC CATCH			6
7	BEDROOM	2-8" X 6'-8"	1 3/8"	WD	WD	FRENCH	SINGLE	SWING	REUSE EXISTING		SALVAGE EXISTING DOOR	7
8	LINEN CLOSET	2-8" X 6'-8" (M.F.)	1 3/8"	WD	WD	TWO PANEL	SINGLE	SWING	PASSAGE - REUSE EXISTING		SALVAGE EXISTING DOOR	8
9	BASEMENT STAIR	2'-0" X 6'-8"	1 3/8"	WD	WD	TWO PANEL	SINGLE	SWING	PASSAGE		VERIFY HEAD HEIGHT	9
10												10

WINDOW SCHEDULE												
MARK	MANUFACTURER	MODEL NO.	TYPE	UNIT SIZE (W x H)	M.O. / R.O. (W x H)	OPER.	EGRESS	GLAZING	U-VALUE	SHGC	REMARKS	MARK
A	WEATHERSHIELD	2046 (8/22)	DOUBLE HUNG	1-11 1/2" X 4-5 1/2"	2'-0" X 4'-6"	Y	N				ALUMINUM GLAD WOOD EXT.	A
B	WEATHERSHIELD	2650 (8/22)	DOUBLE HUNG	2-5 1/2" X 4-11 1/2"	2'-8" X 5'-0"	Y	N				ALUMINUM GLAD WOOD EXT.	B
C	WEATHERSHIELD	2850 (8/22)	DOUBLE HUNG	2-7 1/2" X 4-11 1/2"	2'-8" X 5'-0"	Y	N				WOOD EXTERIOR	C
D	WEATHERSHIELD	4650 (8/29)	CSMT PICTURE	4-3 1/2" X 4-11 1/2"	4'-6" X 5'-0"	N	N				ALUMINUM GLAD WOOD EXT.	D
E												E
F												F

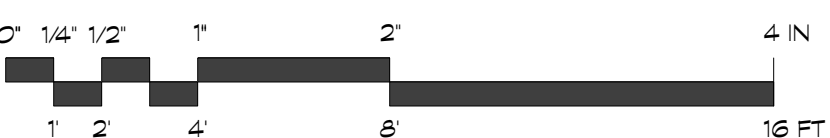
**NOTES:**

- PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE THE SILLS ARE LESS THAN 18" ABOVE THE FINISH FLOOR.
- PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS WITHIN 24" OF A DOOR OPENING.
- PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS ADJACENT TO BATH/TUB & SHOWER ENCLOSURES.
- PROVIDE TEMPERED / SAFETY GLASS IN WINDOWS & SIDELIGHTS WHERE GLAZING IS ADJACENT TO STAIRWAYS WITHIN 60" HORIZONTALLY OF THE BOTTOM TREAD.
- BASEMENTS, HABITABLE ATTICS & EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE EGRESS WINDOW.  
 THE MINIMUM NET CLEAR OPENING SHALL BE 5.7 SQUARE FEET.  
 THE MINIMUM NET CLEAR HEIGHT SHALL BE 24 INCHES.  
 THE MINIMUM NET CLEAR WIDTH SHALL BE 20 INCHES.  
 THE MAXIMUM SILL HEIGHT SHALL BE 44 INCHES ABOVE THE FINISH FLOOR.
- PROVIDE LIMITERS ON ALL WINDOWS WITH SILL HEIGHT BELOW 36" TO PREVENT PASSAGE OF A 4' SPHERE THROUGH FULLY OPENED WINDOW.
- ALL FENESTRATION PRODUCTS SHALL BE NFRC CERTIFIED AND SHALL MEET THE PERFORMANCE CRITERIA LABELED ON THE UNIT INCLUDING U-VALUE, SHGC, AND AIR LEAKAGE RATING.
- ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC 2406.3 SHALL BE LABELED PER IBC 2406.

FINISH SCHEDULE										
	AREA	FLOORING	BASE	WALLS	PAINT	CEILING	PAINT	TRIM	REMARKS	
CELLAR	MECH / STORAGE	482 SF	ETR.	ETR.	ETR.	ETR.	ETR.			
	LAUNDRY / MECH.	323 SF	ETR.	ETR.	ETR.	ETR.	ETR.			
	STAIRS	26 SF	PINE							
FIRST FLOOR	REAR DECK	185 SF	PT. WOOD							
	BTOP	59 SF	PT. WOOD							
	LIVING ROOM	181 SF	EX. WOOD / NOTE 1	ETR.	NOTE 4 & 8	FLAT	SEE REMARKS	FLAT		SKIM COAT EXISTING DRYWALL CEILING
	DINING ROOM	173 SF	EX. WOOD / NOTE 1	MATCH EXISTING	GWB / NOTE 4	FLAT	NOTE 6	FLAT		
	KITCHEN	235 SF	NEW MARMOLEUM	MATCH EXISTING	GWB / NOTE 3	SEMI-GLOSS	GWB	SEMI-GLOSS		
	MUDROOM	46 SF	NEW MARMOLEUM	ING	GWB	EGGSHELL	GWB	FLAT		
	BEDROOM 1	142 SF	EX. WOOD / NOTE 1	MATCH EXISTING	GWB/NOTE 5	FLAT	ETR.	FLAT		
	FAMILY ROOM/BANGUETTE	252 SF	NEW WOOD	ING	GWB	FLAT	GWB	FLAT		
	BATH #1	82 SF	TILE	TILE	GWB / NOTE 2	SEMI-GLOSS	ETR. / NOTE 4	SEMI-GLOSS		REMOVE TILE FLOOR & WAINSCOT
	OFFICE	113 SF	EX. WOOD / NOTE 1	ETR.	NOTE 2, 7 & 8	FLAT	ETR.	ETR.		NOTE 7
STAIRS	26 SF	EX. WOOD / NOTE 1	ETR.	ETR.	ETR.	ETR.	ETR.		REFINISH EXPOSED STAIR TREADS	
SECOND FLOOR	BEDROOM #2	100 SF	ETR.	ETR.	ETR.	ETR.	ETR.	ETR.		
	BEDROOM #3	138 SF	ETR.	ETR.	ETR.	ETR.	ETR.	ETR.		
	BEDROOM #4	94 SF	ETR.	ETR.	ETR.	ETR.	ETR.	ETR.		
	BATH #2	53 SF	ETR.	ETR.	ETR.	ETR.	ETR.	ETR.		
	HALL	33 SF	ETR.	ETR.	ETR.	EGGSHELL	ETR.	FLAT		

**NOTES:**

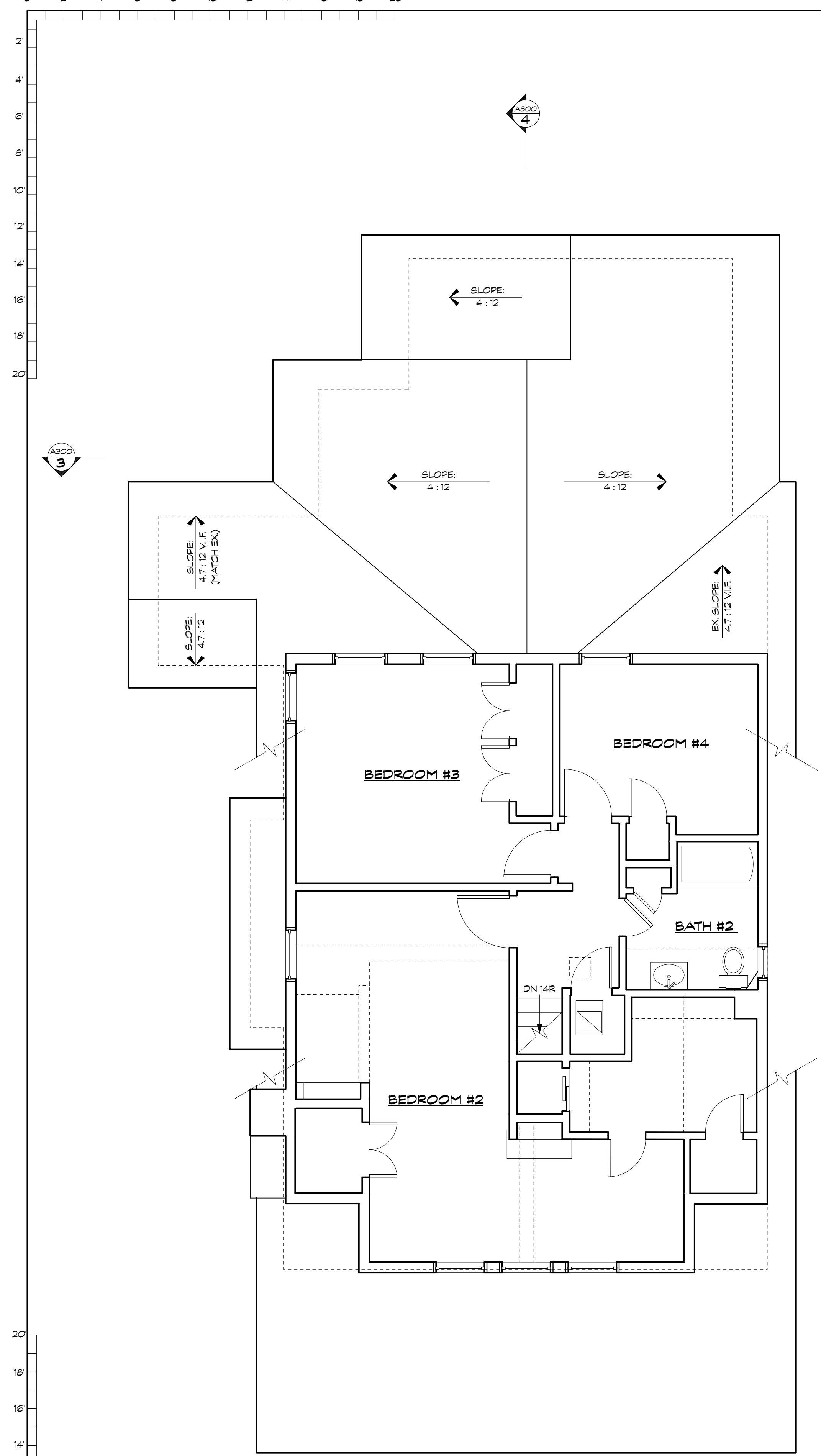
- PATCH TO MATCH EXISTING HARDWOOD FLOOR AS NECESSITATED BY NEW WORK. SAND / REFINISH ENTIRE FLOOR TO UNIFORM APPEARANCE
- TILE SHOWER SURROUND
- TILE BACKSPLASH
- PATCH / RESTORE EXISTING WHERE DISTURBED BY NEW WORK
- REMOVE WALLPAPER
- LAMINATE GWB BELOW EXISTING CRACKED PLASTER CEILING
- REMOVE / RESTORE BUCKLED PLASTER. SEE A100
- REPAIR / RESTORE CRACKED PLASTER. SEE SPECIFICATION DIVISION 9



WALL LEGEND	
	EXISTING WALLS AND PARTITIONS TO REMAIN
	EXISTING WALLS AND PARTITIONS TO BE REMOVED
	NEW WOOD FRAMED WALLS AND PARTITIONS
	NEW LOW WALLS
	NEW CMU WALLS

**GENERAL NOTES:**

- DO NOT SCALE THE DRAWINGS
- NEW CONSTRUCTION DIMENSIONED TO FRAMING (U.N.O)
- EXISTING CONSTRUCTION DIMENSIONED TO FINISH (U.N.O)



**1 PROPOSED SECOND FLOOR / ROOF PLAN**  
 Scale: 1/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission

**REVIEWED**  
 By Dan.Bruechert at 12:37 pm, Sep 19, 2023

**SPECIFICATIONS** (CONTINUED FROM SHEET S100)

**DIVISION 17: ALLOWANCE SUMMARY**

The Contractor shall provide the following allowances (to be included in the base scope):

- \$3,000 Tile and grout (materials only, installation included in base bid). See Division 9 for locations.
- \$2,500 Glass shower enclosure (materials and installation).
- \$35,000 Kitchen cabinets (materials only, installation in base bid). See Division 11 and interior elevations.
- \$8,000 Kitchen countertops (materials and installation). See Division 11
- \$8,800 Kitchen appliances. See Division 11
- \$1,300 Plumbing fixtures (materials only, installation in base bid). See Division 15 for locations.
- \$2,000 Lighting fixture allowance (materials only, installation in base bid). Lighting allowance shall include all recessed and surface-mounted fixtures and associated lamps / bulbs. See drawings for locations.

**BURNELL-VIRK ADDITION**  
 7318 Willow, Takoma Park, MD 20912  
 Project # 2180

22 AUGUST 2023 - PERMIT/BID SET

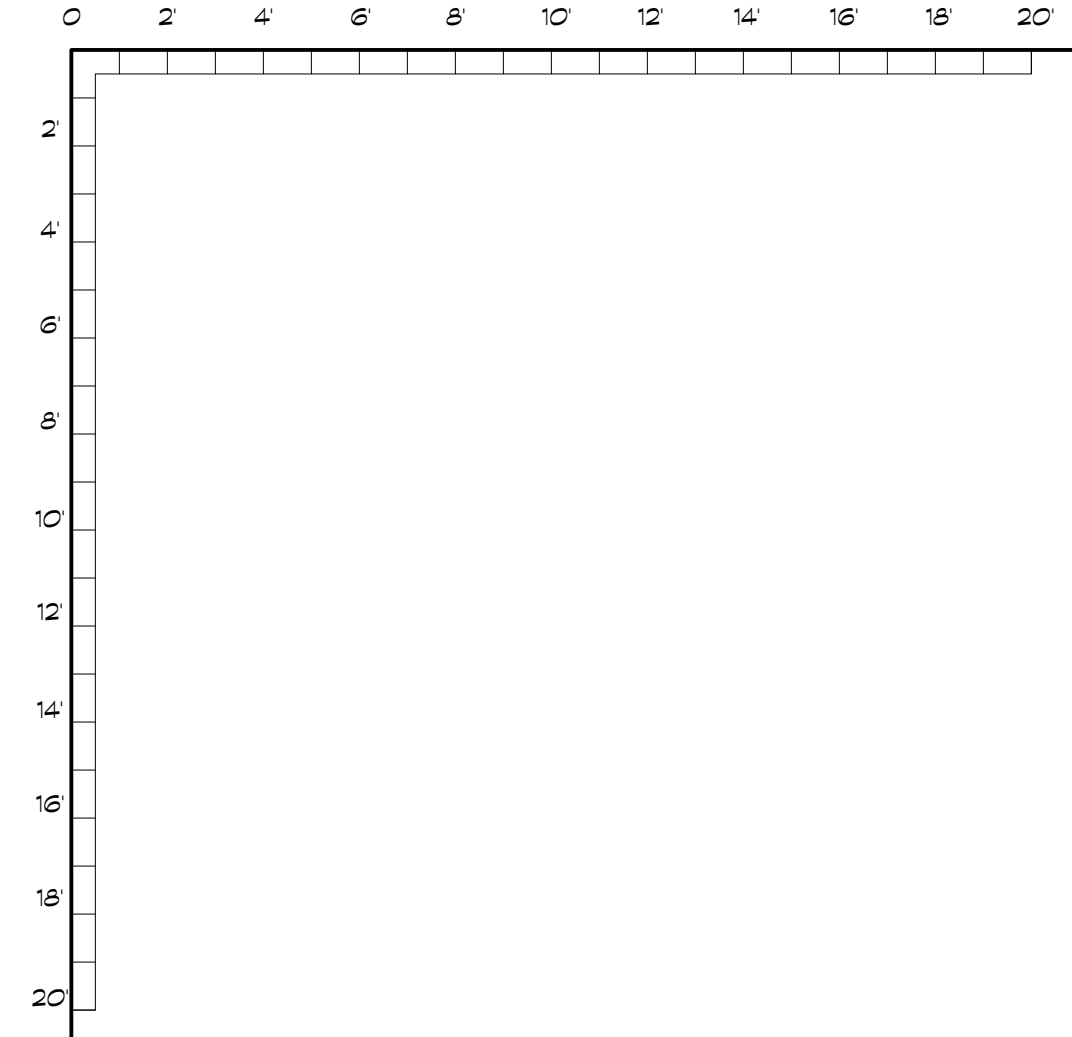
**PROPOSED SECOND FLOOR PLAN & SCHEDULES**  
**A101**

DATE	ISSUE - REMARKS

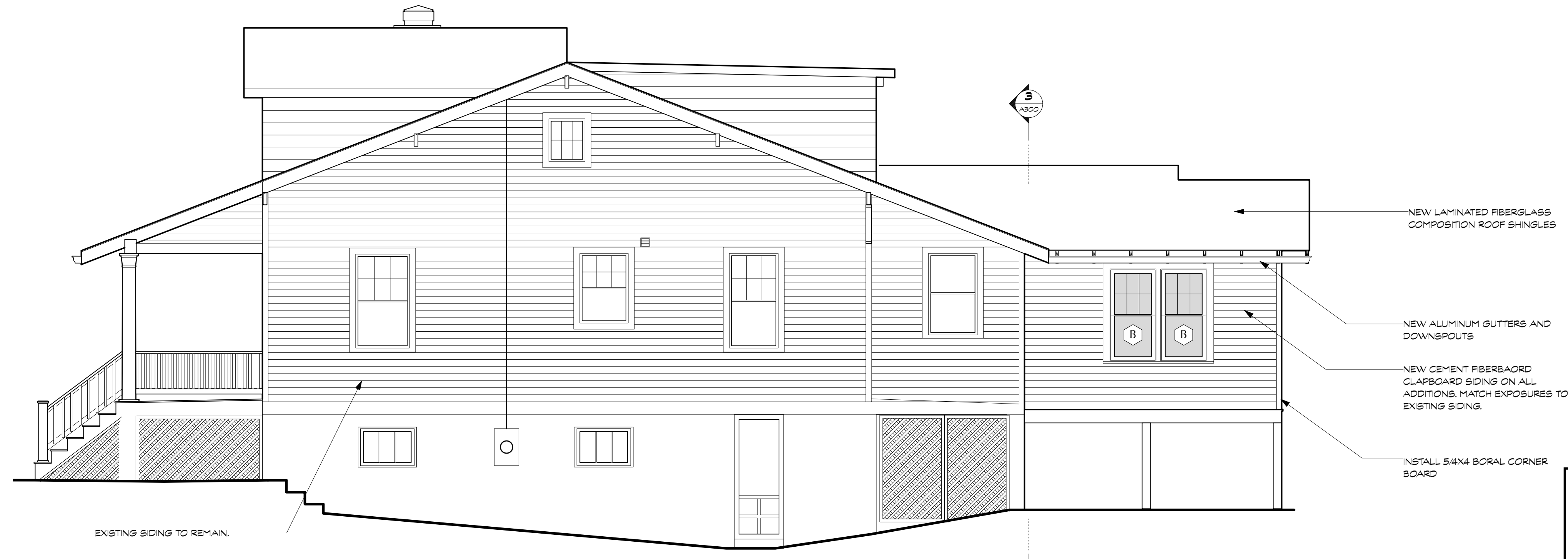
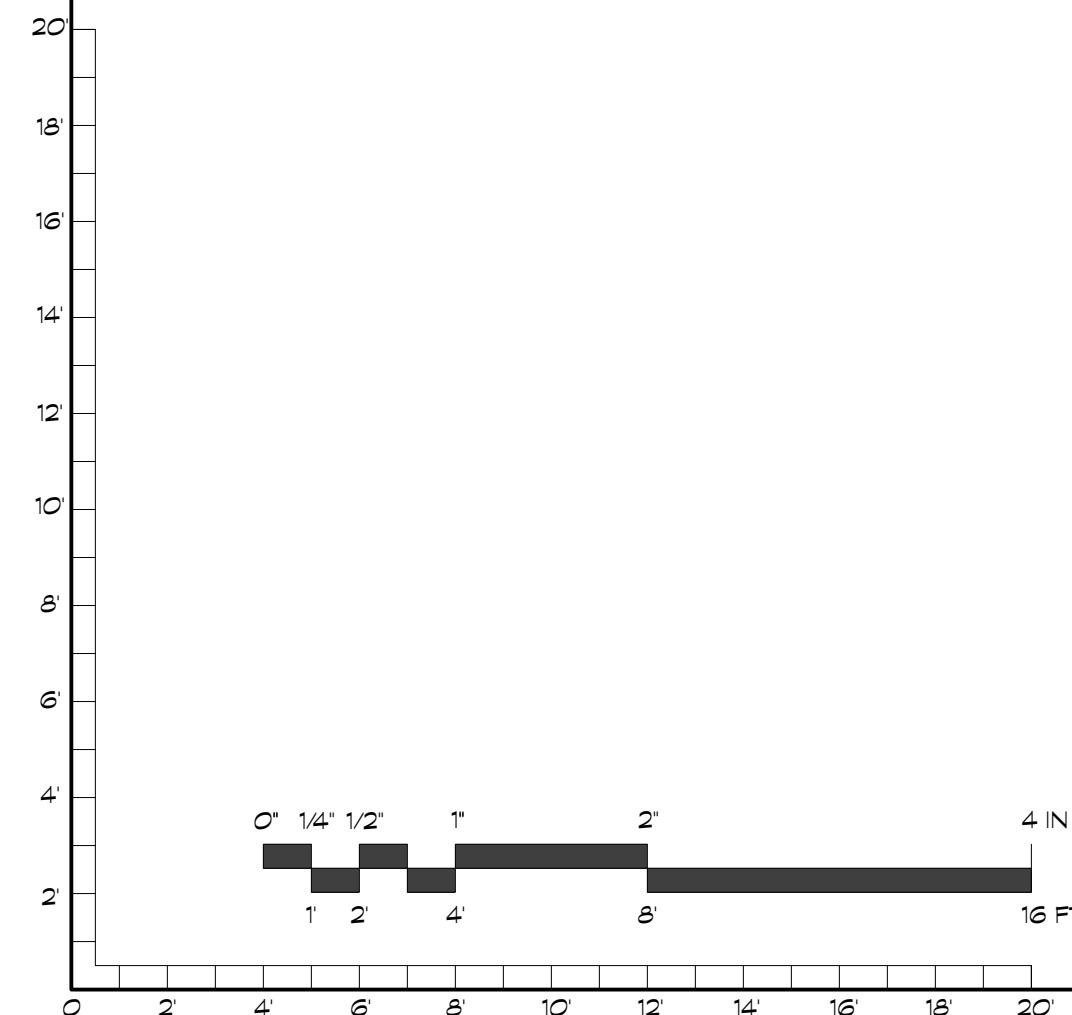
I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: 7632A      EXPIRATION DATE: 5/21/2025

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1 PROPOSED FRONT ELEVATION  
Scale: 1/4" = 1'-0"



2 PROPOSED SIDE ELEVATION  
Scale: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

REVIEWED  
By Dan.Bruechert at 12:37 pm, Sep 19, 2023

BURNELL-VIRK ADDITION

7318 Willow, Takoma Park, MD 20912  
Project # 2180

22 AUGUST 2023 - PERMIT/BID SET

PROPOSED ELEVATIONS

**A200**

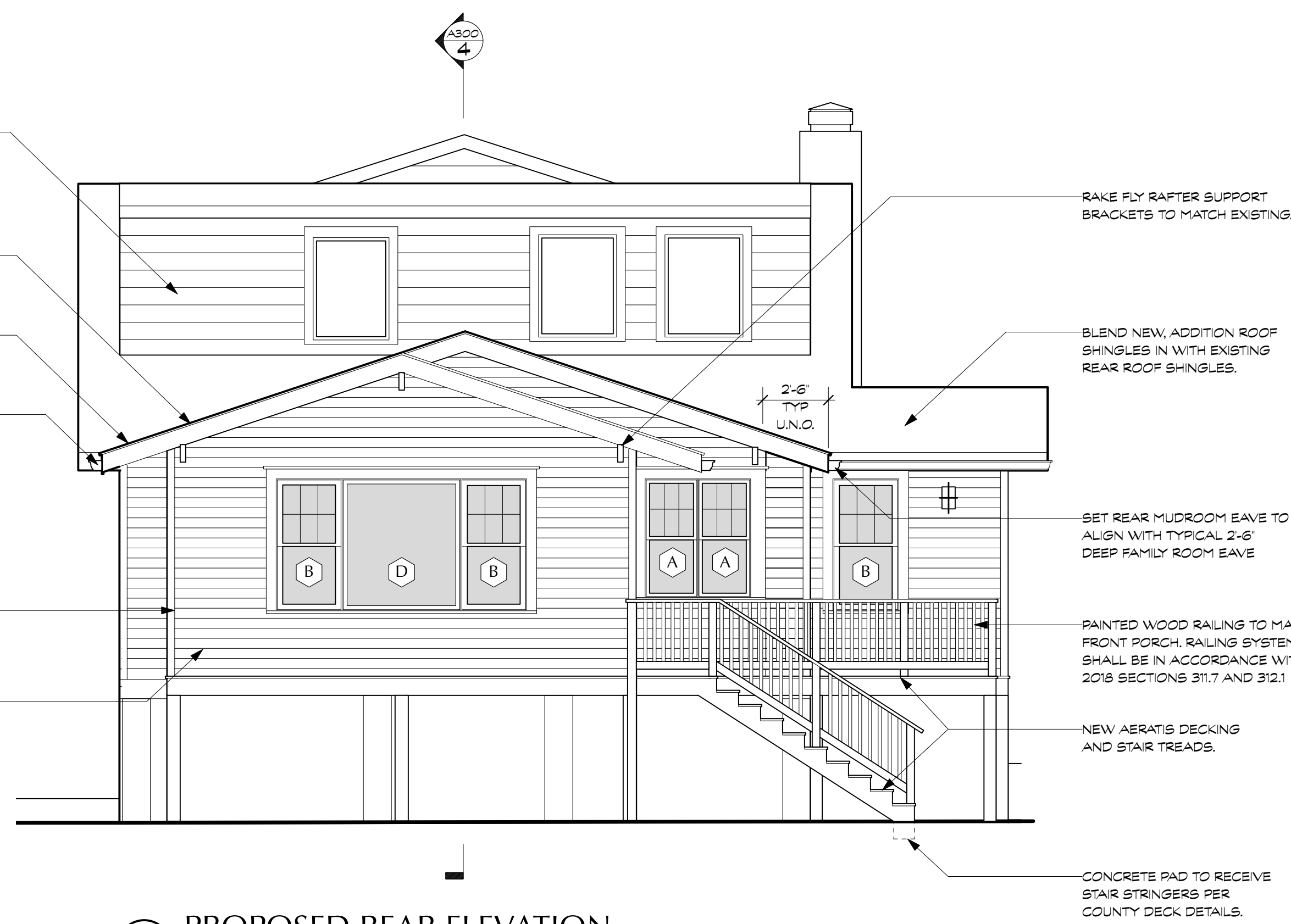


DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: 7632A EXPIRATION DATE: 5/21/2025

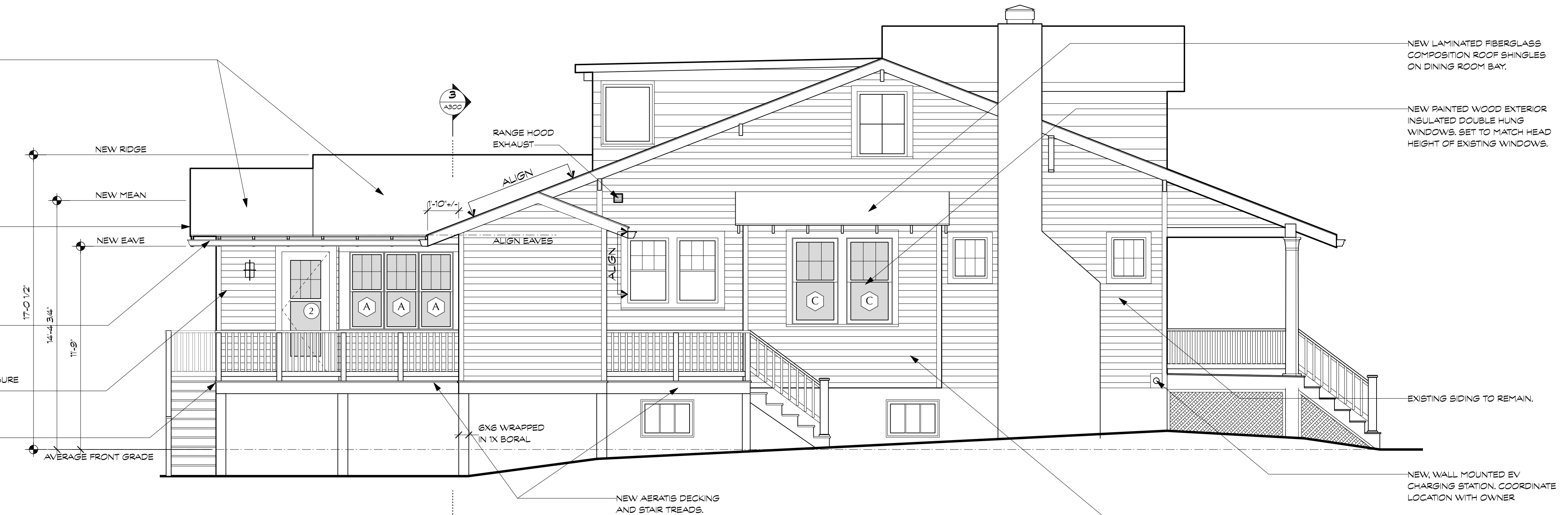
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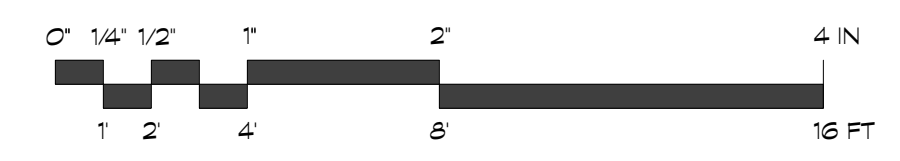
1 PROPOSED REAR ELEVATION  
Scale: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

REVIEWED  
By Dan.Bruechert at 12:37 pm, Sep 19, 2023



2 PROPOSED SIDE ELEVATION  
Scale: 1/4" = 1'-0"



BURNELL-VIRK ADDITION  
7318 Willow, Takoma Park, MD 20912  
Project # 2180  
22 AUGUST 2023 - PERMIT/BID SET

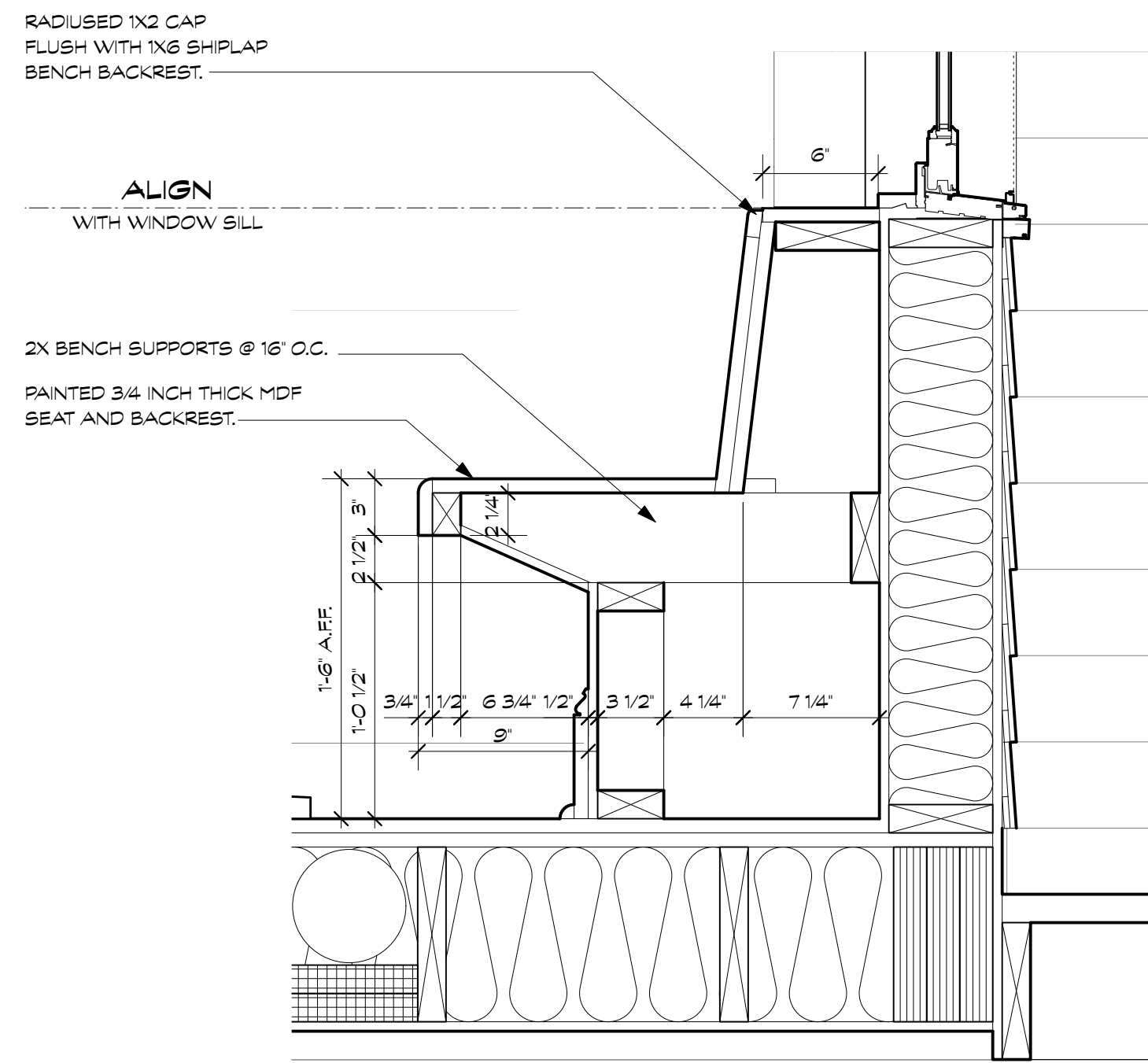
PROPOSED ELEVATIONS  
A201

DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: 7632A EXPIRATION DATE: 5/21/2025

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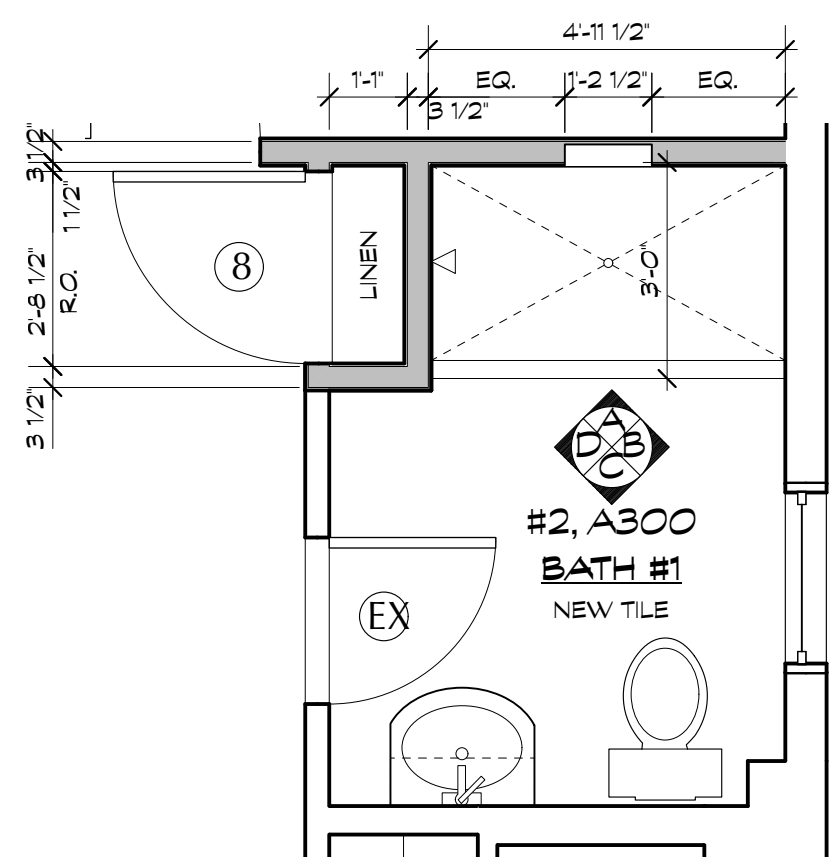


**A BENCH DETAIL**  
 Scale: 1 1/2" = 1'-0"

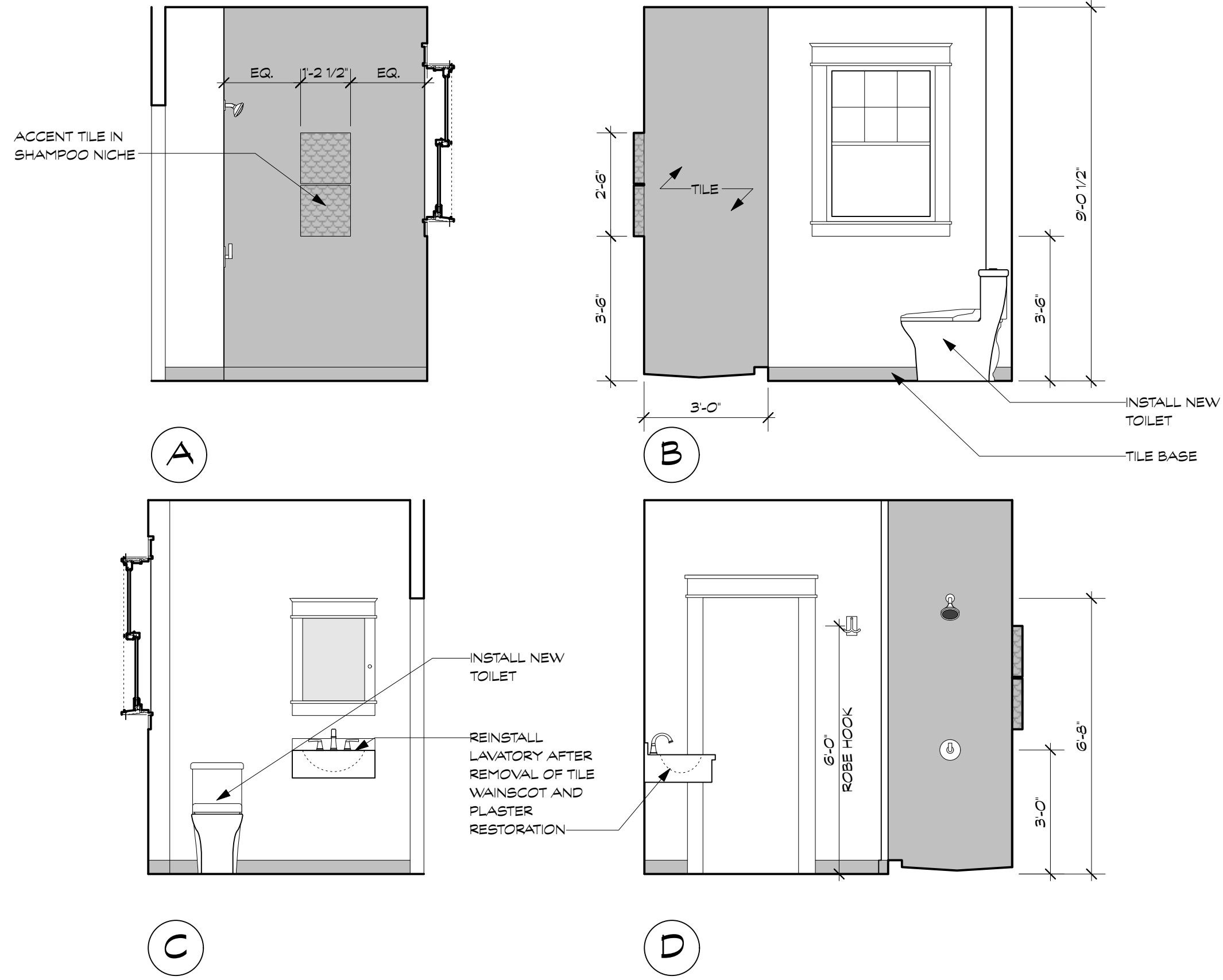
APPROVED  
 Montgomery County  
 Historic Preservation Commission

*Ronald L. ...*

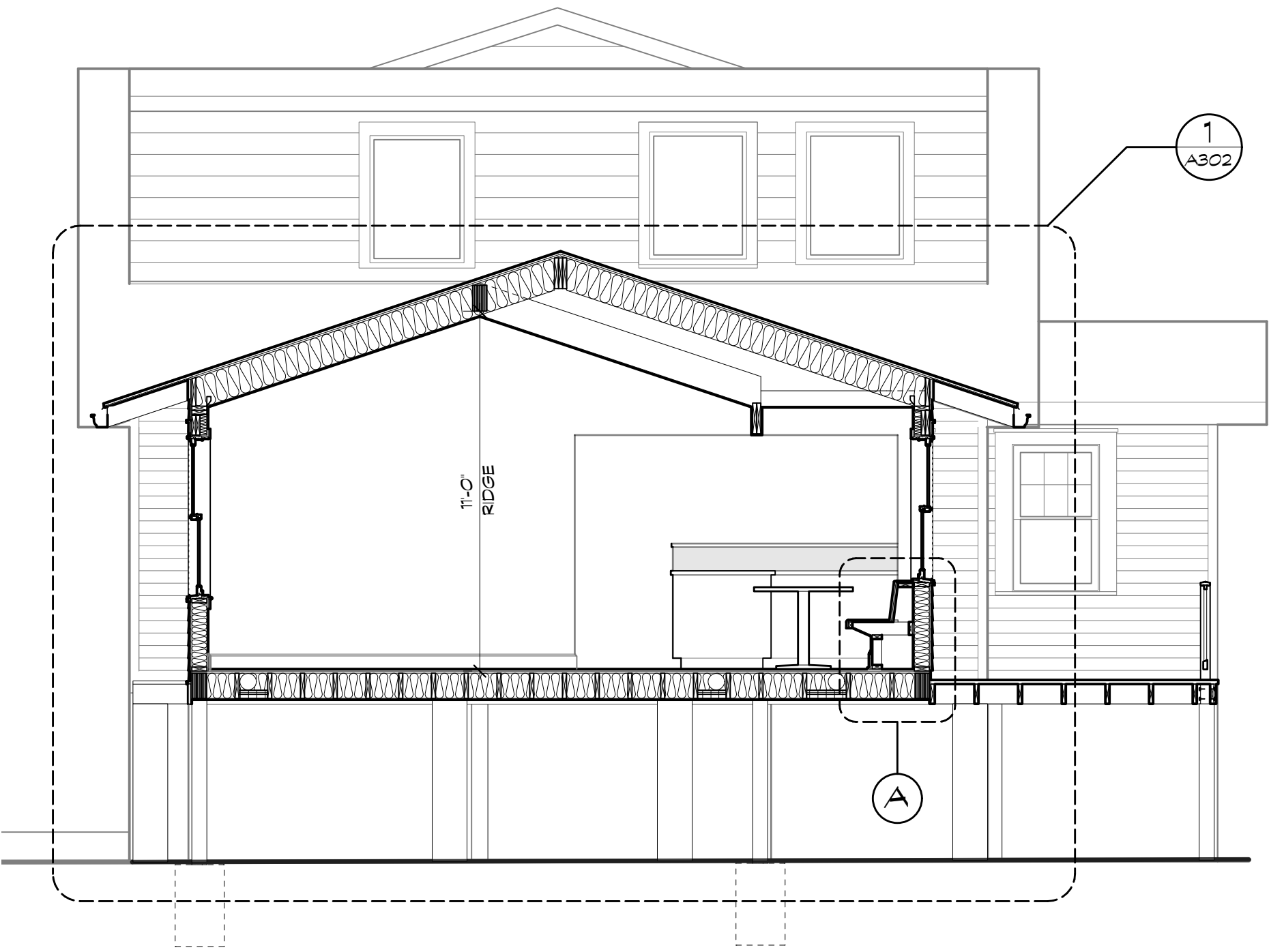
**REVIEWED**  
 By Dan.Bruechert at 12:37 pm, Sep 19, 2023



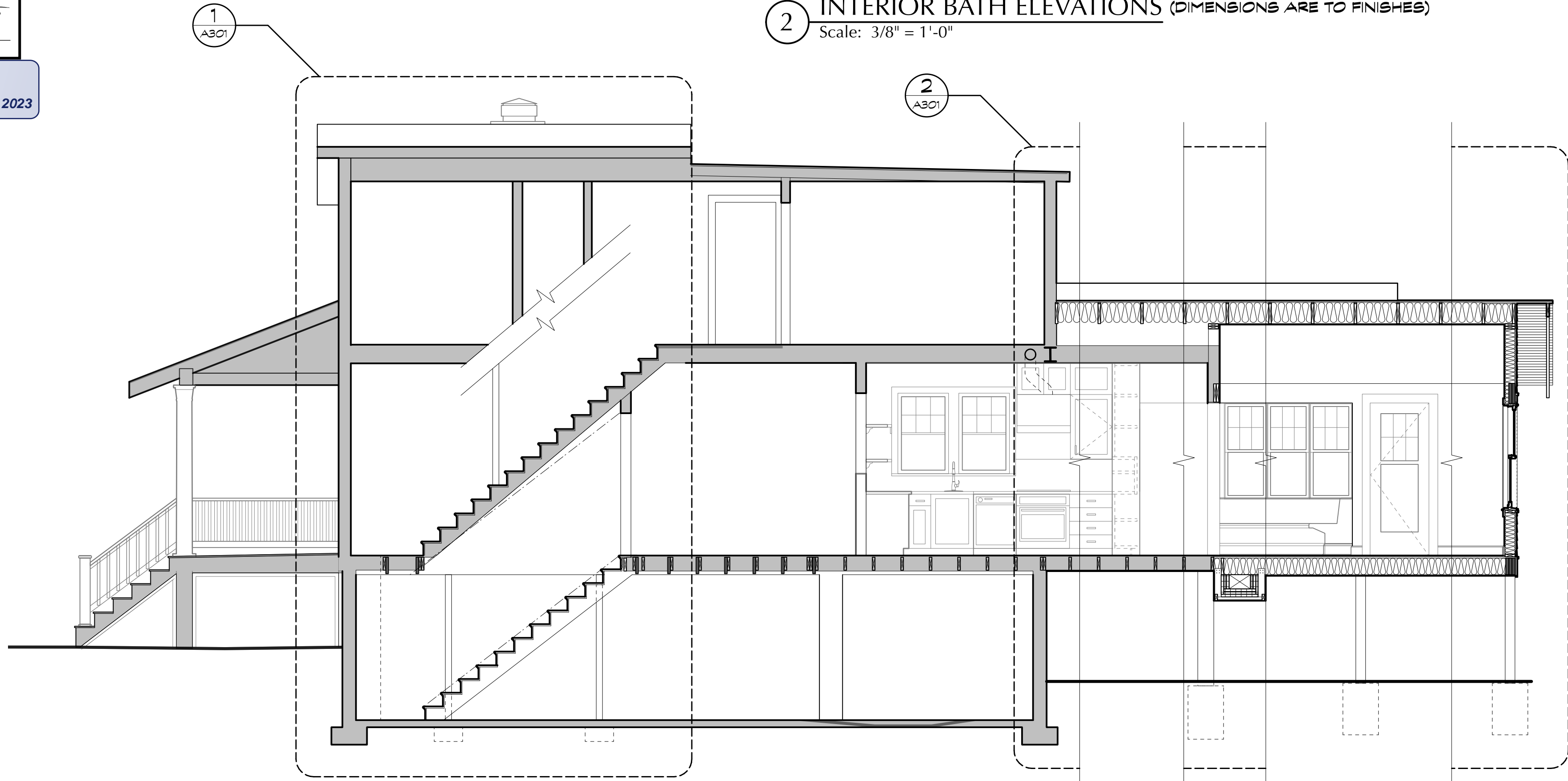
**1 BATH #1 KEYPLAN**  
 Scale: 3/8" = 1'-0"  
 (PLAN DIMENSIONS ARE TO ROUGH FRAMING)



**2 INTERIOR BATH ELEVATIONS** (DIMENSIONS ARE TO FINISHES)  
 Scale: 3/8" = 1'-0"



**3 BUILDING SECTION**  
 Scale: 1/4" = 1'-0"



**4 BUILDING SECTION**  
 Scale: 1/4" = 1'-0"

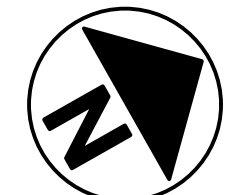
**BURNELL-VIRK ADDITION**

7318 Willow, Takoma Park, MD 20912  
 Project # 2180

22 AUGUST 2023 - PERMIT/BID SET

BUILDING SECTIONS

**A300**



DATE	ISSUE - REMARKS

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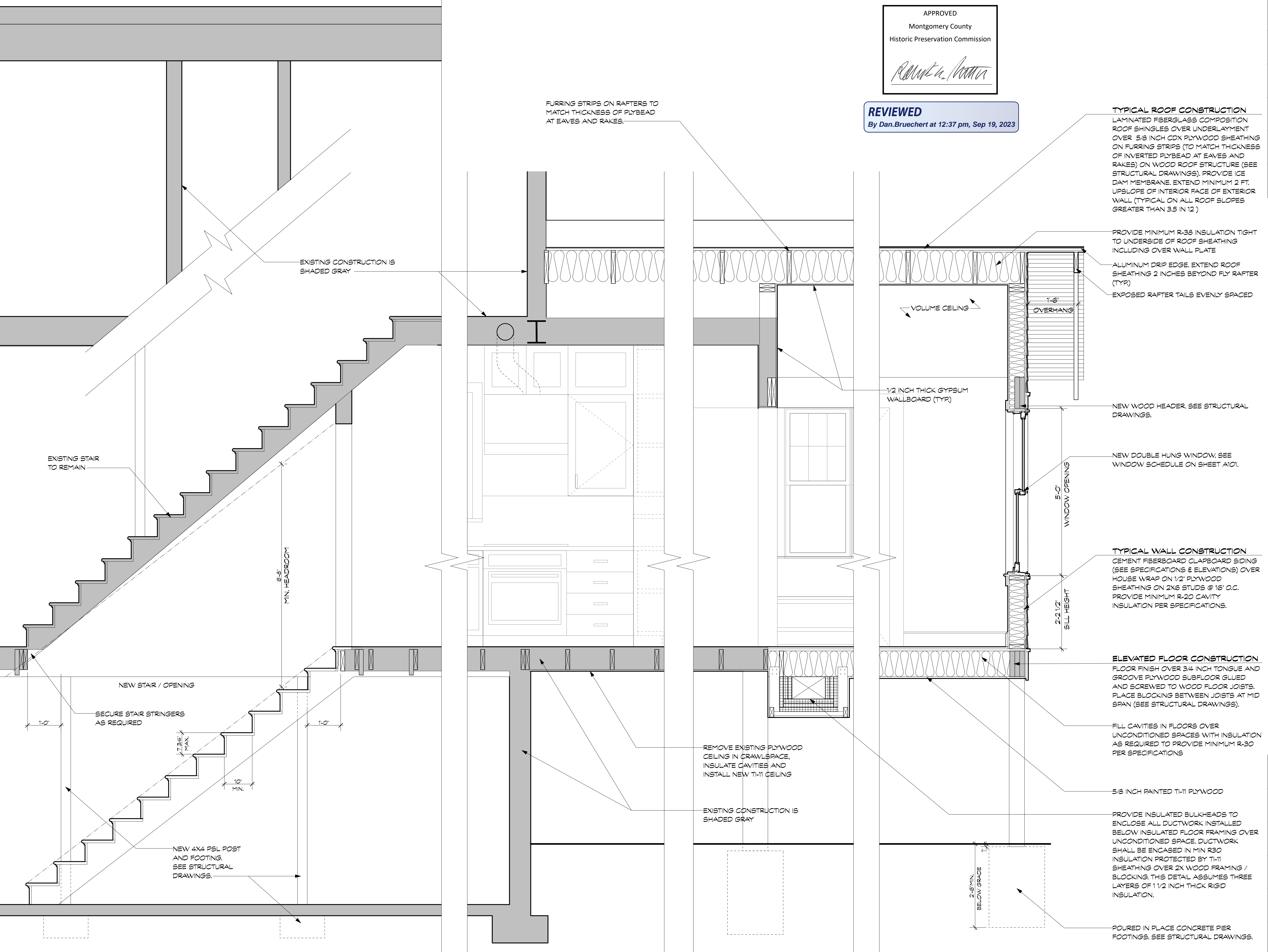
LICENSE #: 7632A EXPIRATION DATE: 5/21/2025

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Montgomery County  
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**REVIEWED**  
By Dan.Bruechert at 12:37 pm, Sep 19, 2023



**1 STAIR SECTION**  
Scale: 3/4" = 1'-0"

**2 WALL SECTION**  
Scale: 3/4" = 1'-0"

**BURNELL-VIRK ADDITION**

7318 Willow, Takoma Park, MD 20912  
Project # 2180

22 AUGUST 2023 - PERMIT/BID SET

WALL SECTIONS

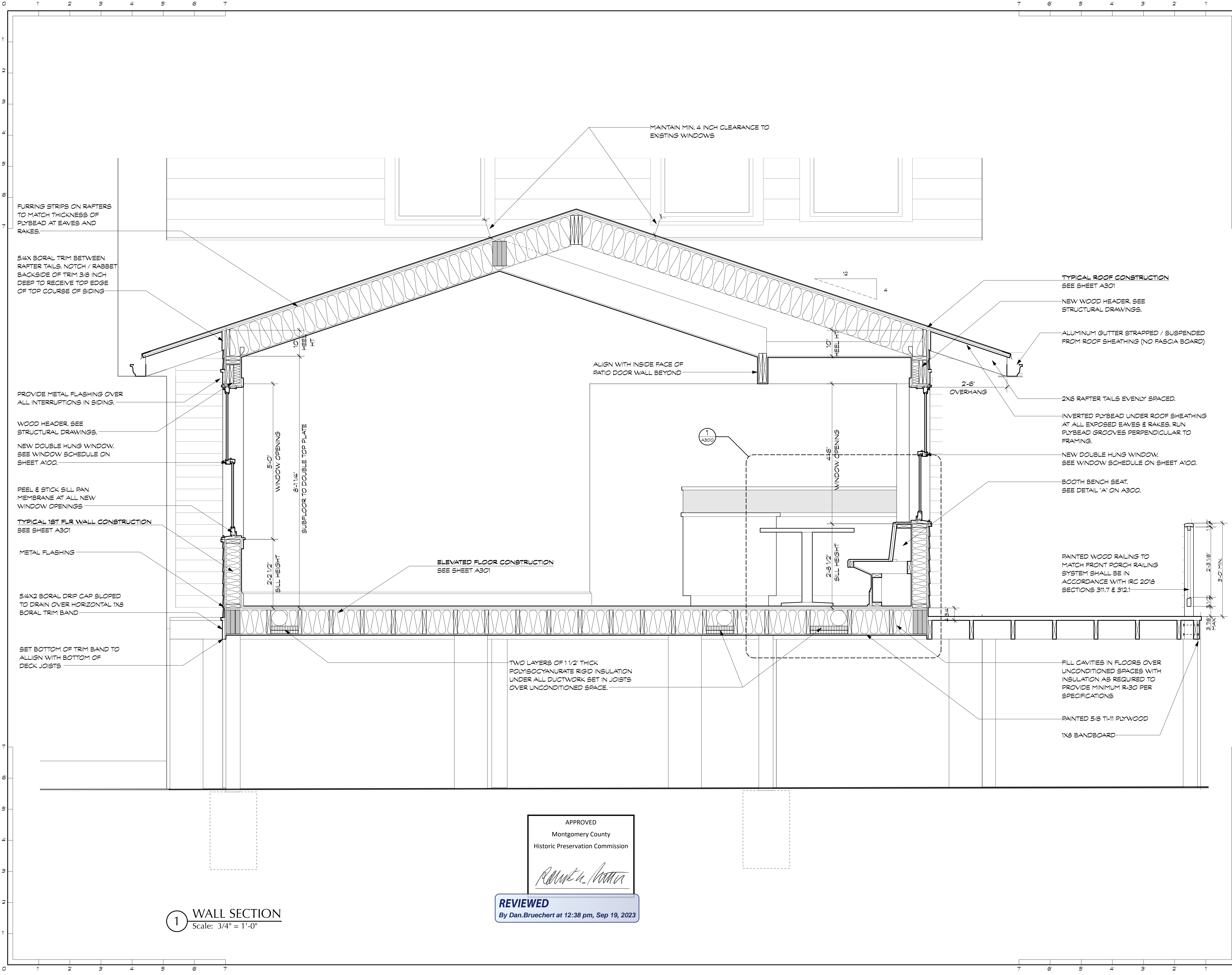
**A301**

DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: 7632A EXPIRATION DATE: 5/21/2025

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1 WALL SECTION  
Scale: 3/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

REVIEWED  
By Dan.Bruechert at 12:38 pm, Sep 19, 2023

**BURNELL-VIRK ADDITION**  
7318 Willow, Takoma Park, MD 20912  
Project # 2180

22 AUGUST 2023 - PERMIT/BID SET

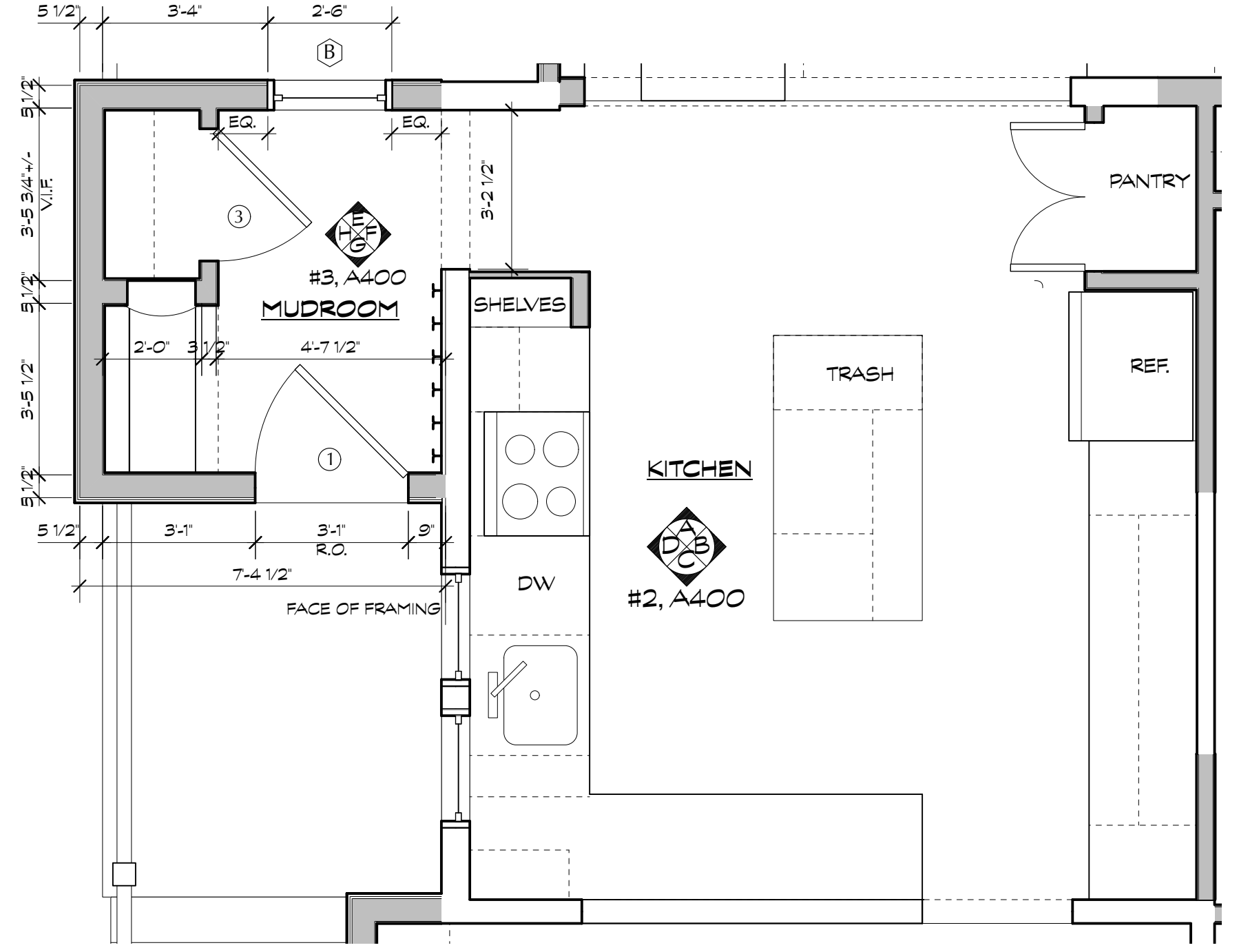
WALL SECTION  
**A302**

DATE	ISSUE - REMARKS

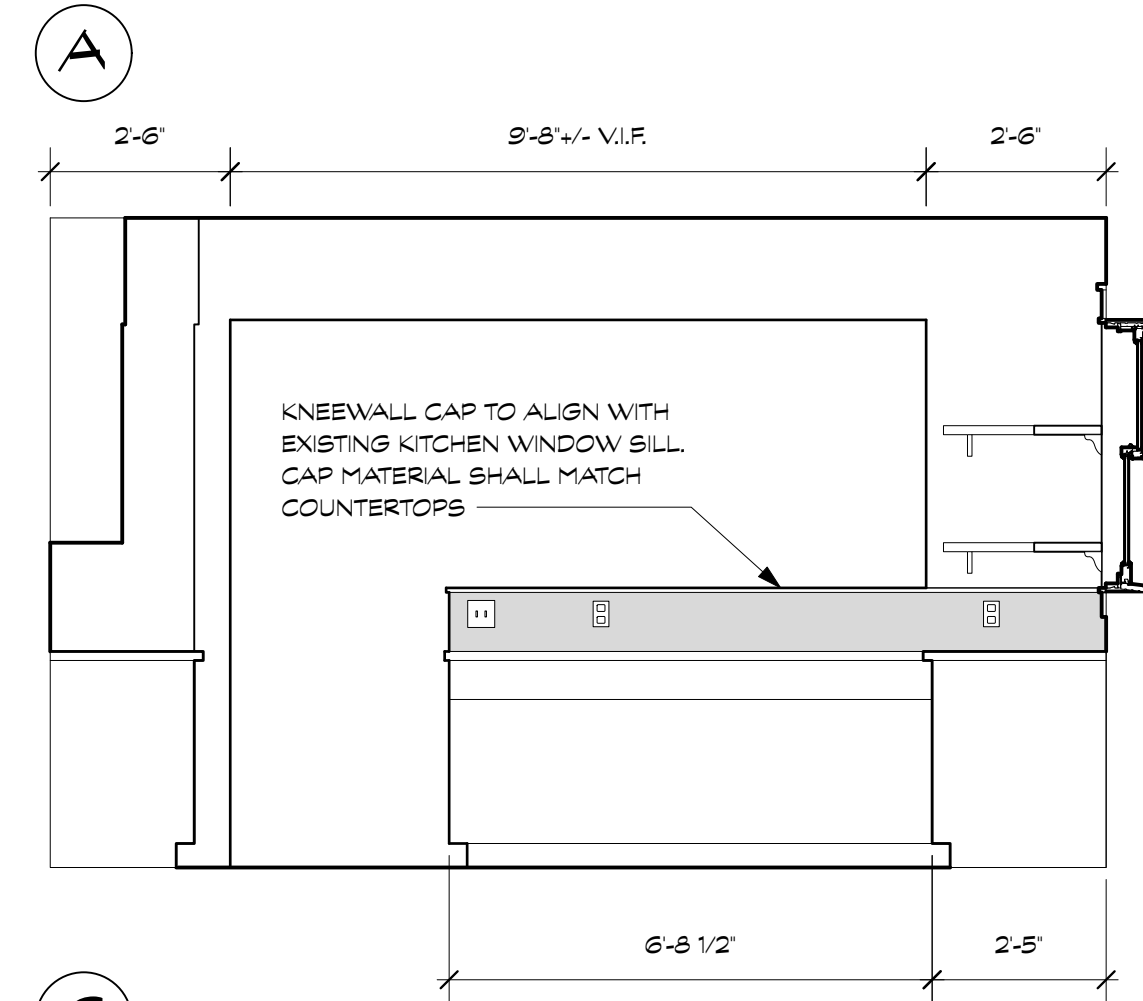
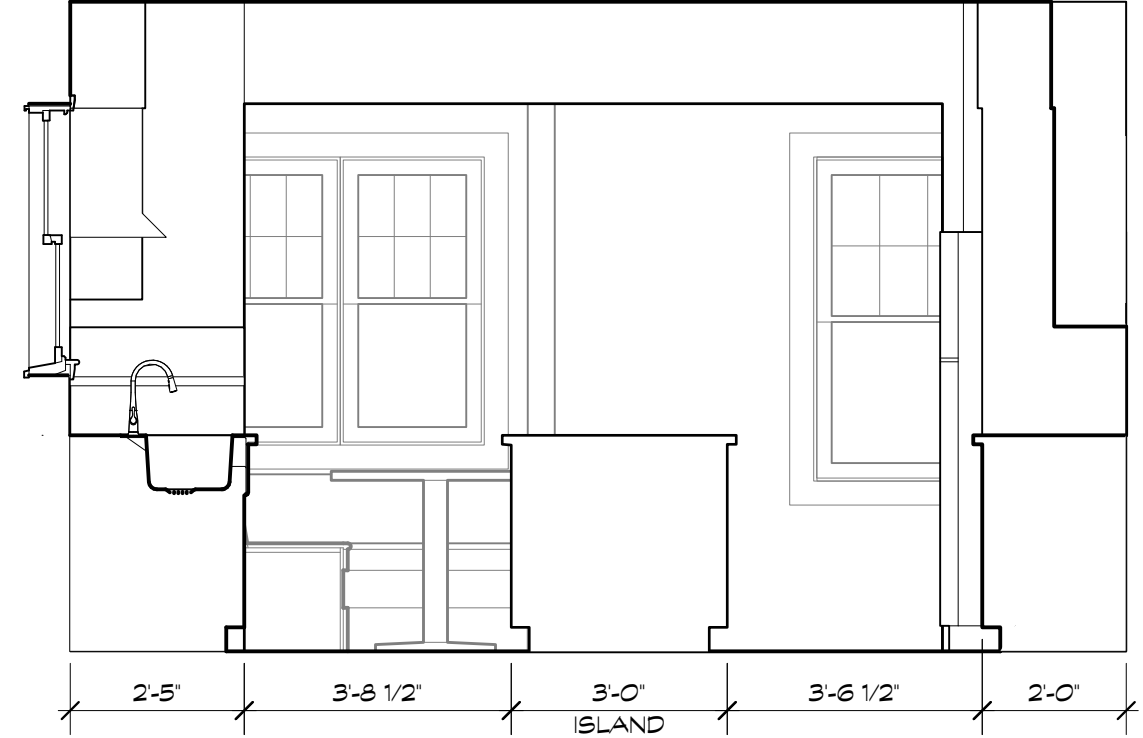
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LICENSE #: 7632A EXPIRATION DATE: 5/21/2025

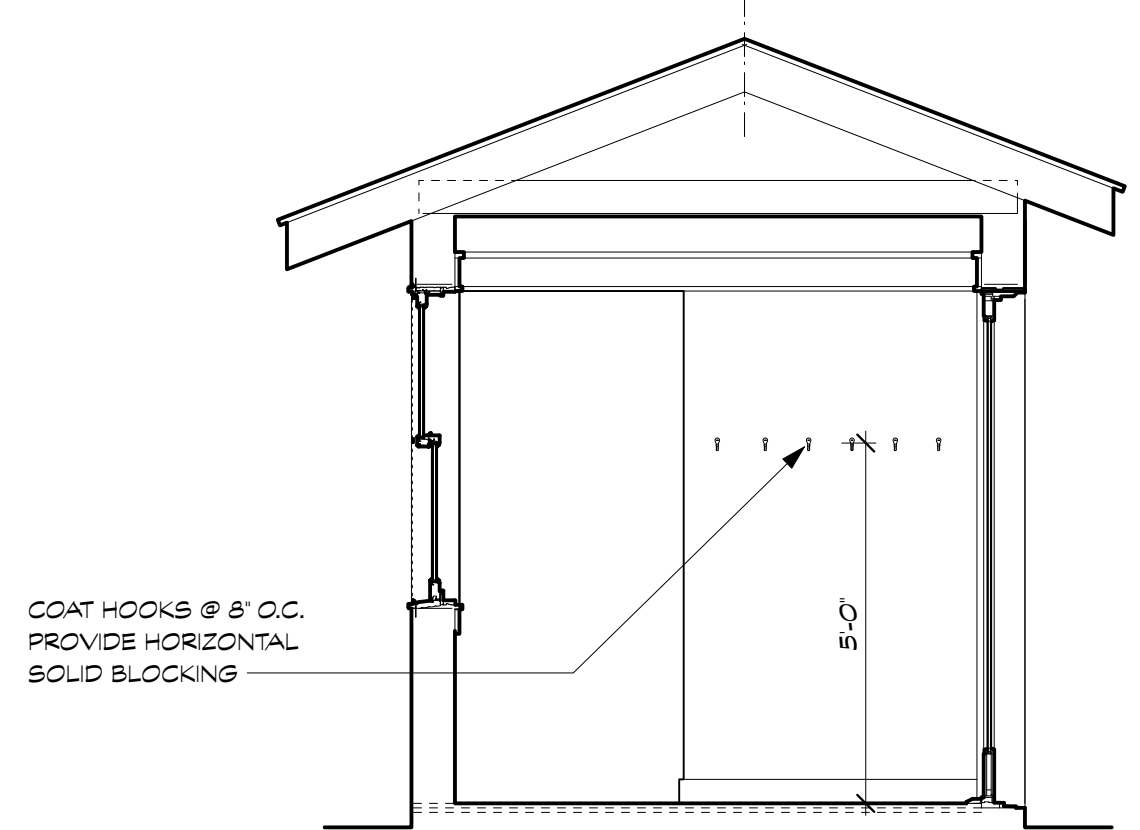
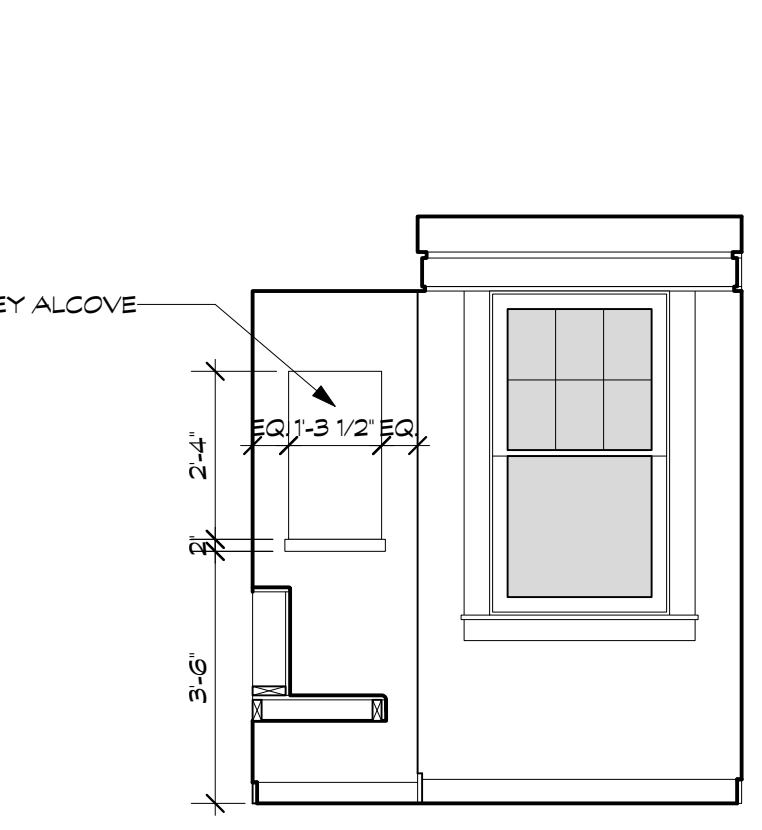
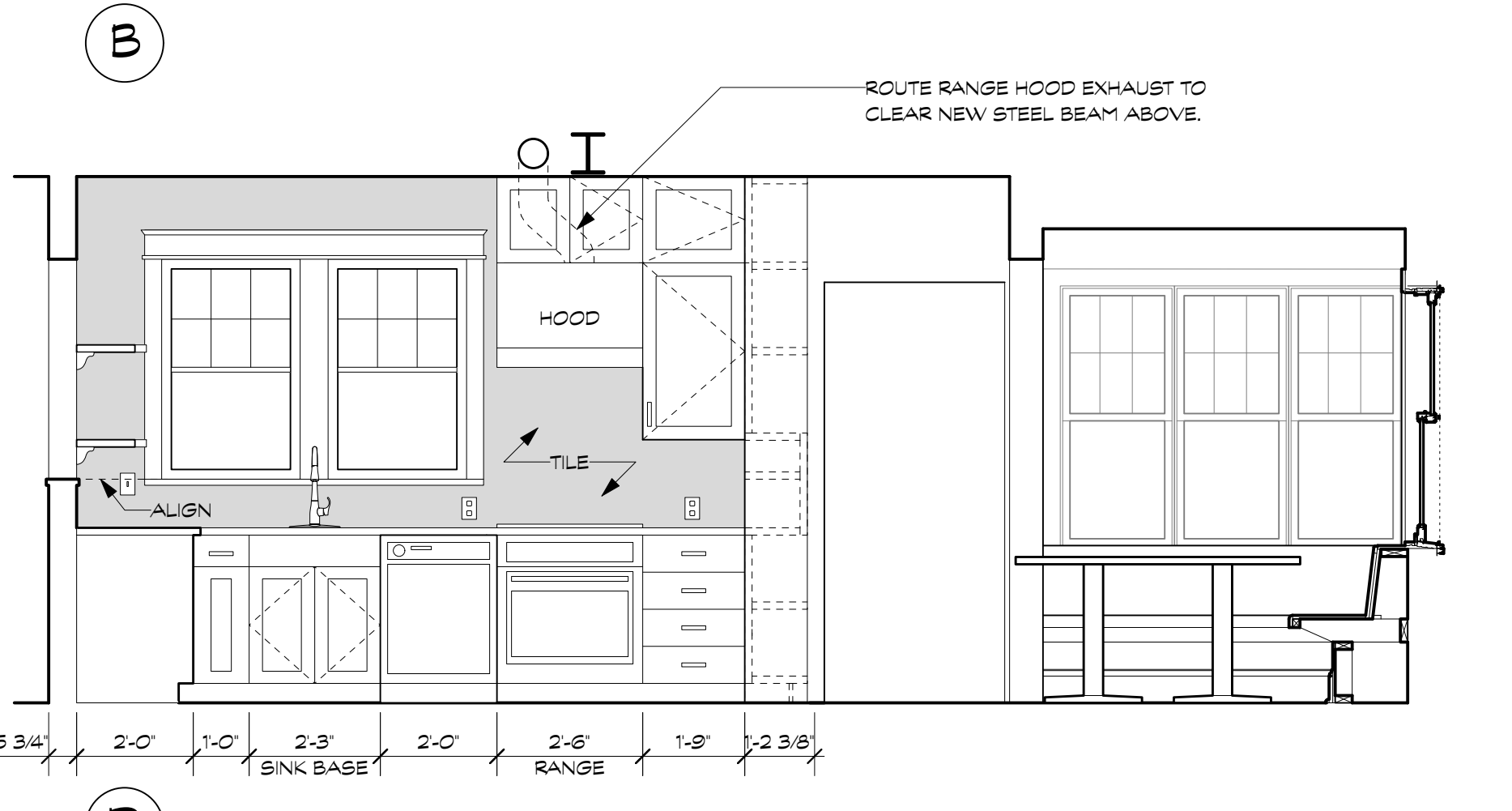
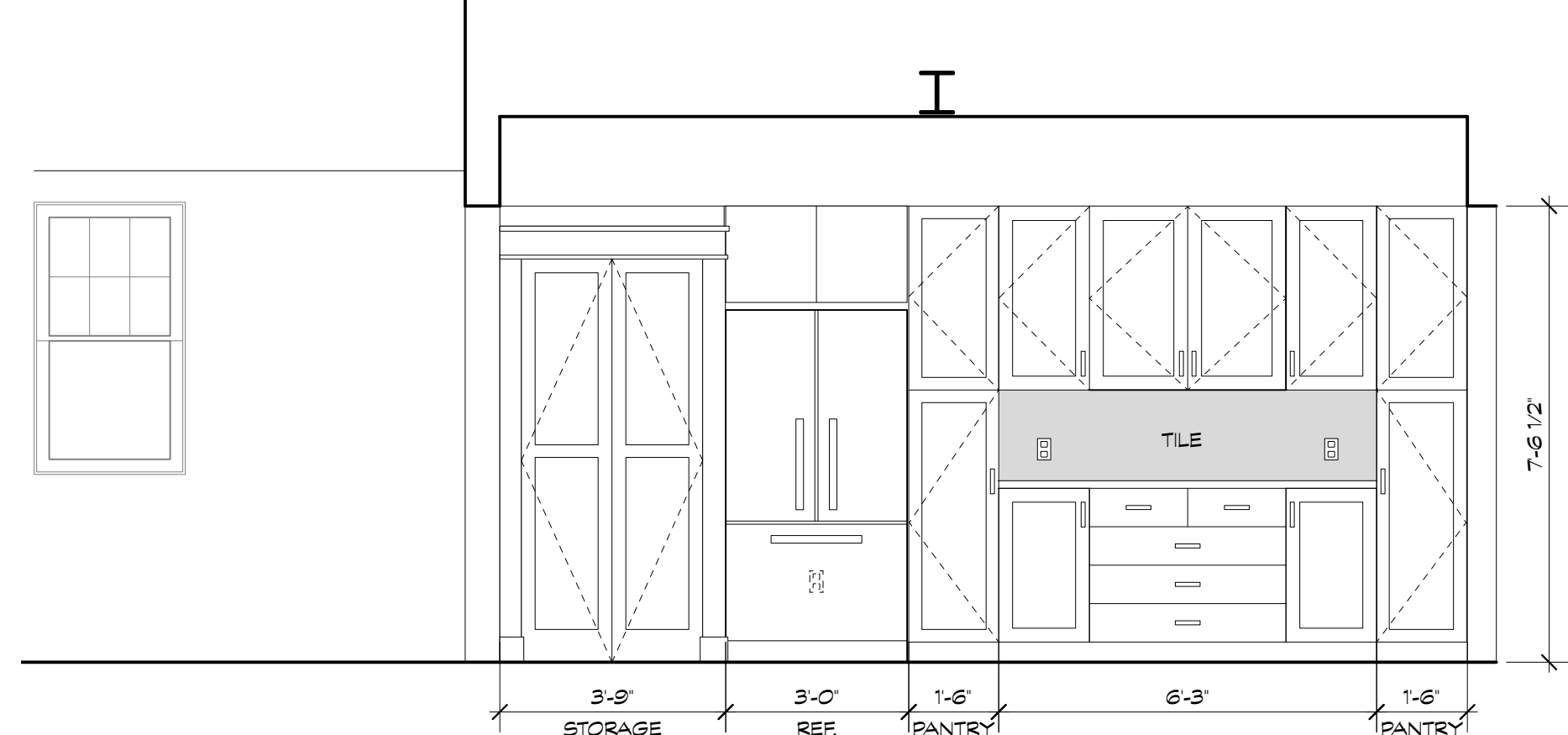
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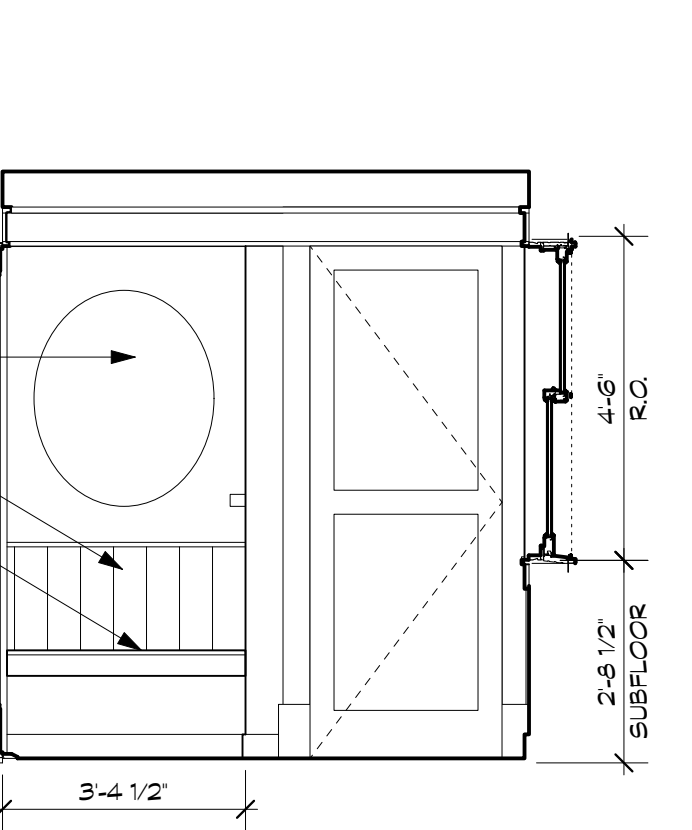
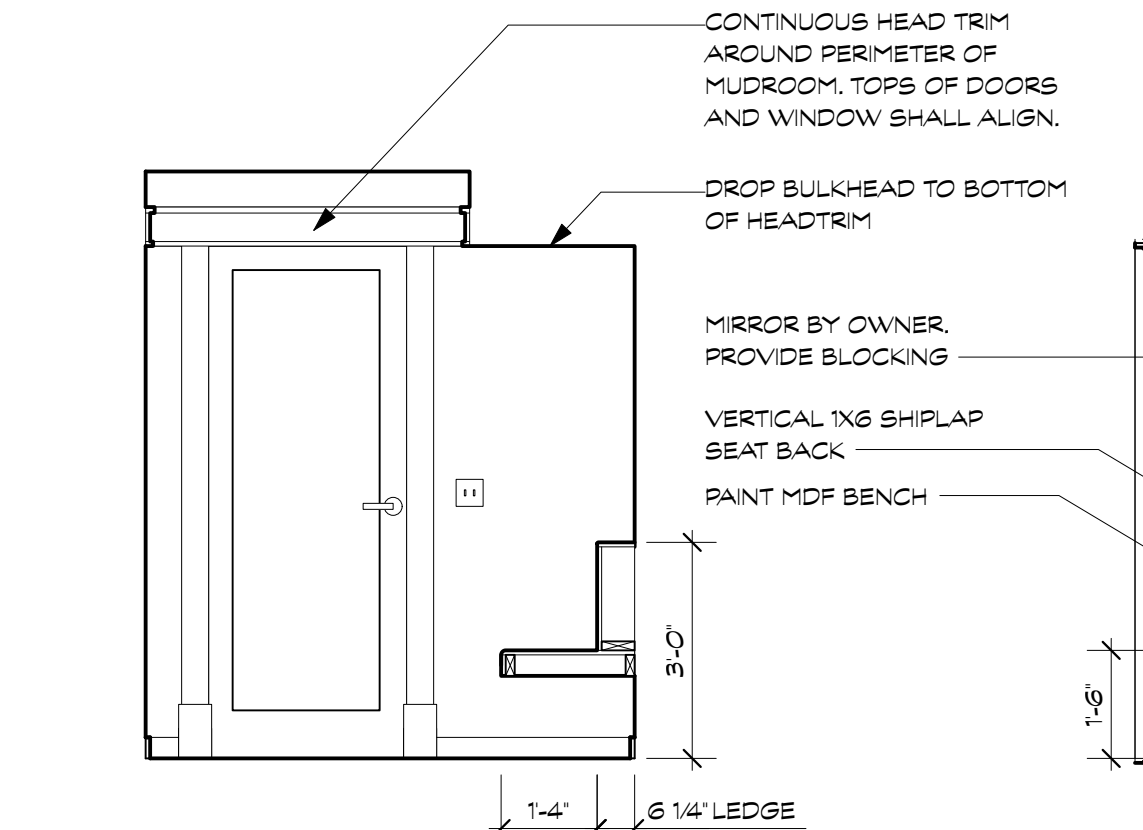
**1 KITCHEN & MUDROOM PLAN** (PLAN DIMENSIONS ARE TO ROUGH FRAMING)  
Scale: 3/8" = 1'-0"



**2 INTERIOR KITCHEN ELEVATIONS** (DIMENSIONS ARE TO FINISHES)  
Scale: 3/8" = 1'-0"



**3 MUDROOM ELEVATIONS** (DIMENSIONS ARE TO FINISHES)  
Scale: 3/8" = 1'-0"



APPROVED  
Montgomery County  
Historic Preservation Commission

*Robert H. Potter*

REVIEWED  
By Dan.Bruechert at 12:38 pm, Sep 19, 2023



**BURNELL-VIRK ADDITION**

7318 Willow, Takoma Park, MD 20912  
Project # 2180

22 AUGUST 2023 - PERMIT/BID SET

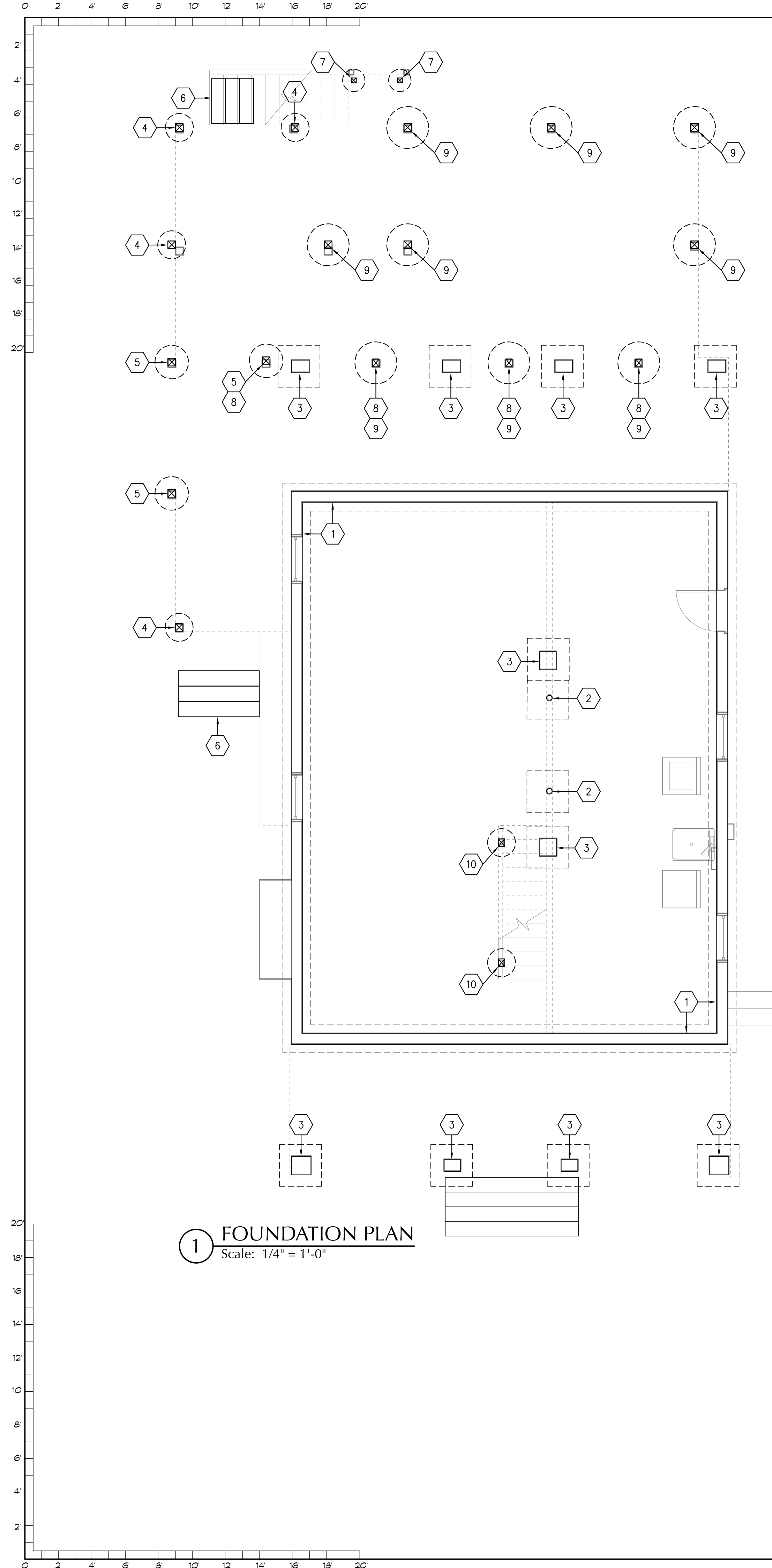
INTERIOR ELEVATIONS  
**A400**

DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: 7632A EXPIRATION DATE: 5/21/2025

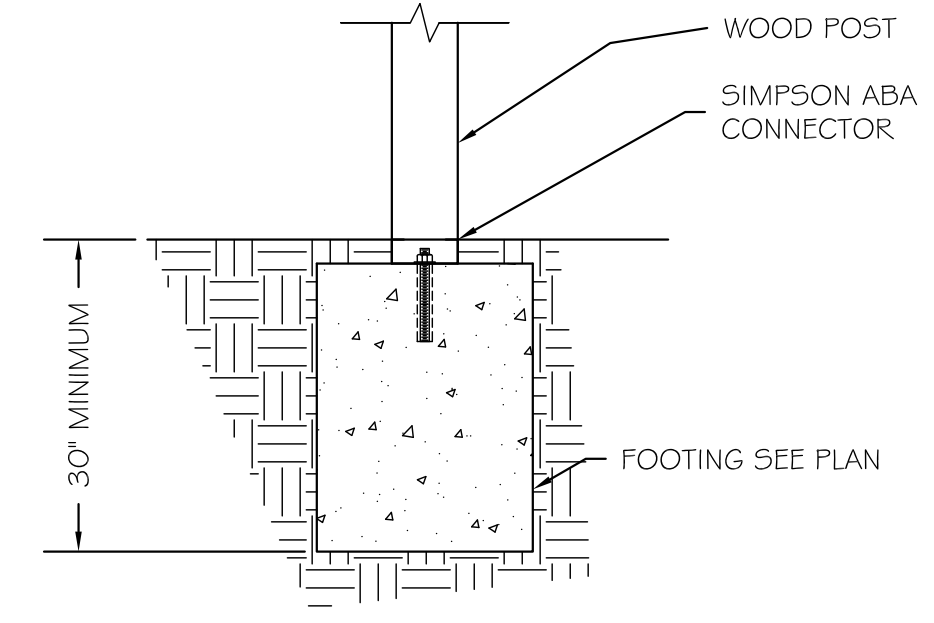
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**1 FOUNDATION PLAN**  
 Scale: 1/4" = 1'-0"

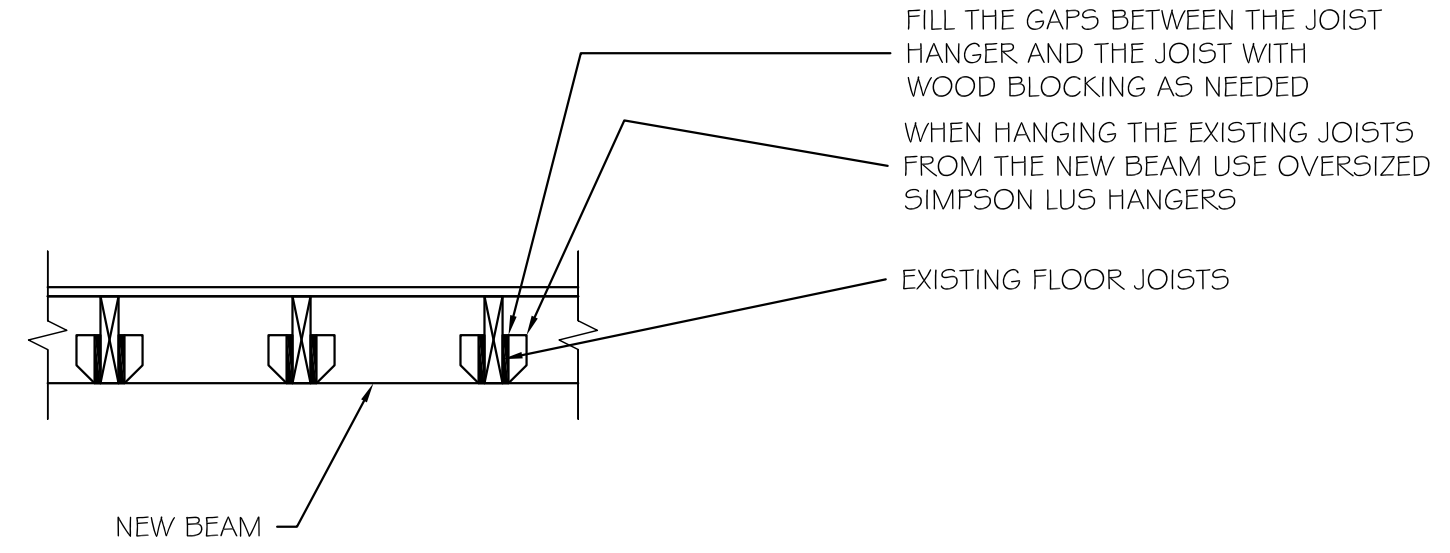
- FRAMING NOTES:**
1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
  2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
  3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
  4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 1/2" BOLTS AT 16" O.C. STAGGERED.
  5. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
  6. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
  7. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
  8. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
  9. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
  10. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
  11. TYPICAL JOIST HANGER SHALL BE A SIMPSON LUS HANGER.
  12. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSU.
  13. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
  14. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
  15. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
  16. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
  17. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
  18. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC. . . .
  19. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT RUN PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE ADJACENT JOISTS BELOW THE WALL AT 16" O.C.

- 1 EXISTING FOUNDATION WALL AND FOOTING, IF THE EXISTING FOUNDATION WALL IS FOUND TO BOW INWARD BY MORE THAN 3/8" NOTIFY THE STRUCTURAL ENGINEER SO THAT REPAIR DETAILS CAN BE ISSUED.
- 2 EXISTING COLUMN AND FOOTING.
- 3 EXISTING PIER AND FOOTING.
- 4 PT6X6 POST ON A 20"Ø FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA66.
- 5 PT6X6 POST ON A 24"Ø FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA66.
- 6 PLACE THE STAIRS ON FOOTINGS PER THE MONTGOMERY COUNTY DECK DETAILS.
- 7 PT4X4 POST ON A 16"Ø FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA44.
- 8 THE BOTTOM OF THE NEW FOOTING SHALL MATCH THE BOTTOM OF THE ADJACENT WALL FOOTING OR PIER FOOTING. POUR THE NEW FOOTING ON AND NEXT TO THE EXISTING FOOTING.
- 9 PT6X6 POST ON A 30"Ø FOOTING. THE TOP OF THE FOOTING SHALL BE 1" BELOW GRADE. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA66.
- 10 4X4 PSL POST ON A 20"ØX10" THICK FOOTING. ATTACH THE POST TO THE FOOTING WITH A SIMPSON ABA44.



**Typical Deck Post to Footing Detail**

Scale: 3/4" = 1'-0"



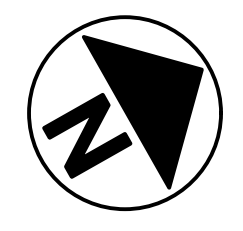
**Typical Ex. Joist to New Beam Detail**

Scale: 3/4" = 1'-0"

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*Robert A. ...*

**REVIEWED**  
 By Dan.Bruechert at 12:38 pm, Sep 19, 2023



8555 16th St. #200  
 Silver Spring, MD 20910  
 301-585-0543  
 301-583-9477 (f)



**BURNELL-VIRK ADDITION**

7318 Willow, Takoma Park, MD 20912  
 Project # 2180

22 AUGUST 2023 - PERMIT/BID SET

FOUNDATION &  
 FIRST FLOOR PLAN

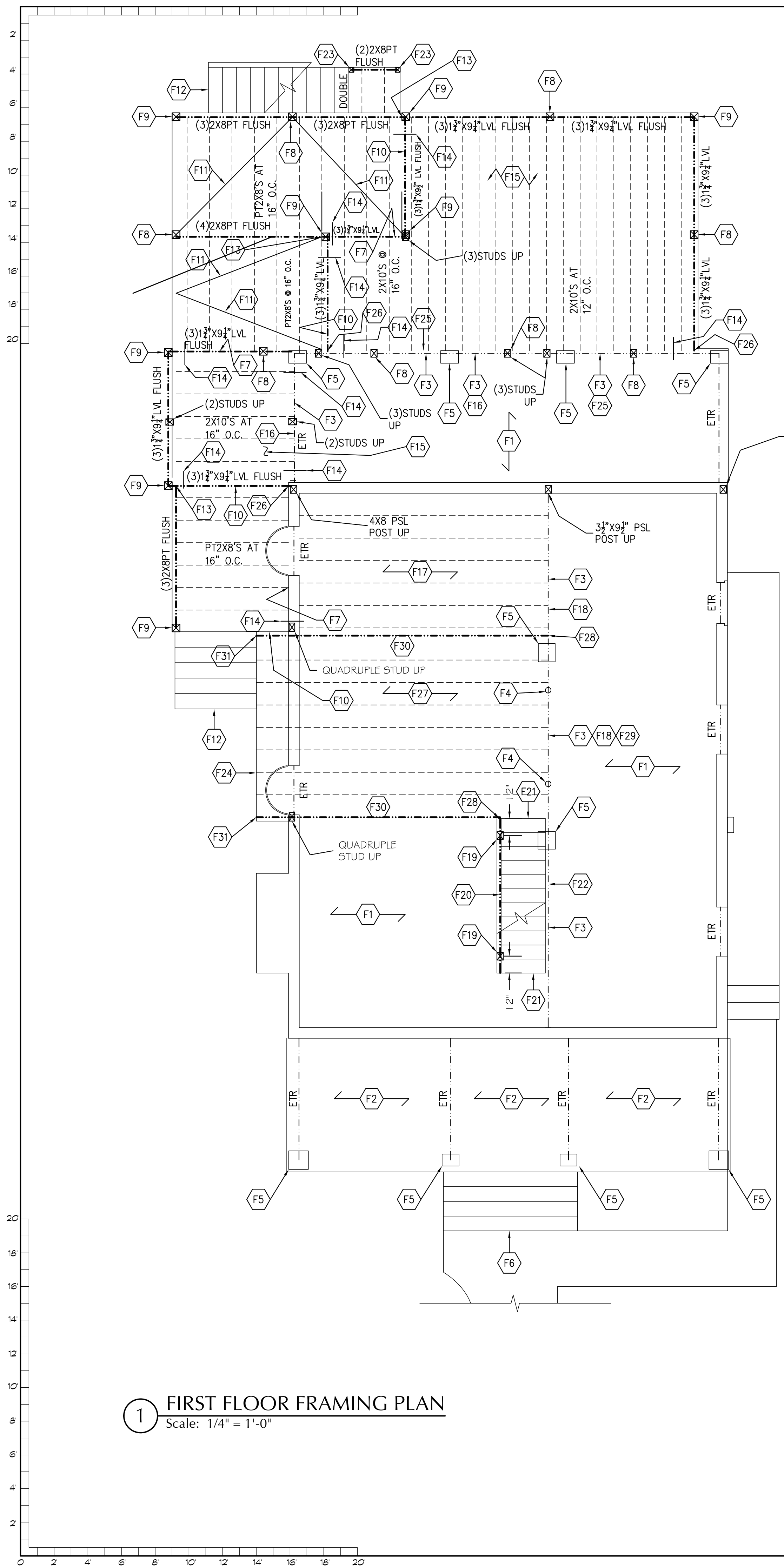
**S100**

DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: 7632A EXPIRATION DATE: 5/21/2025

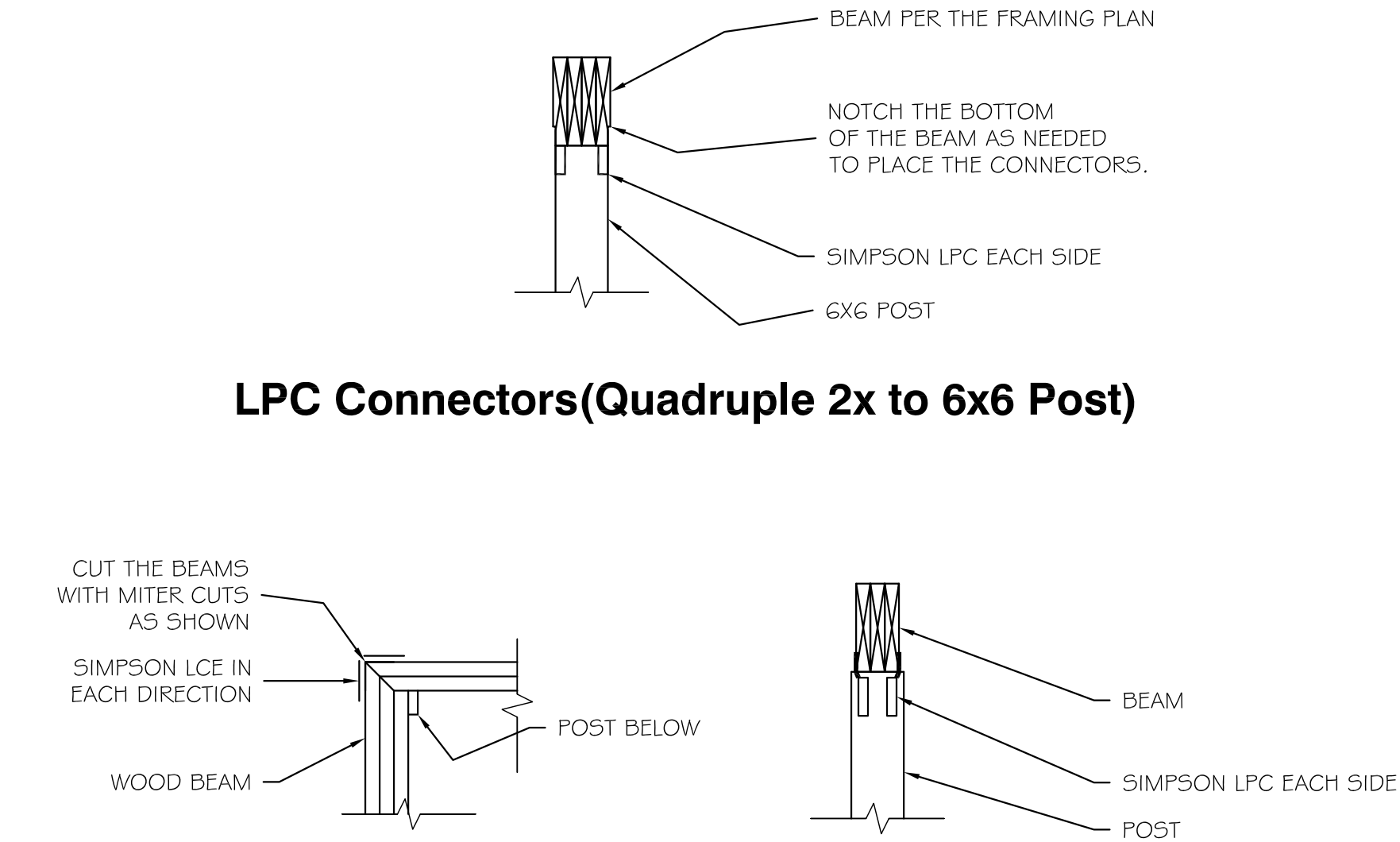
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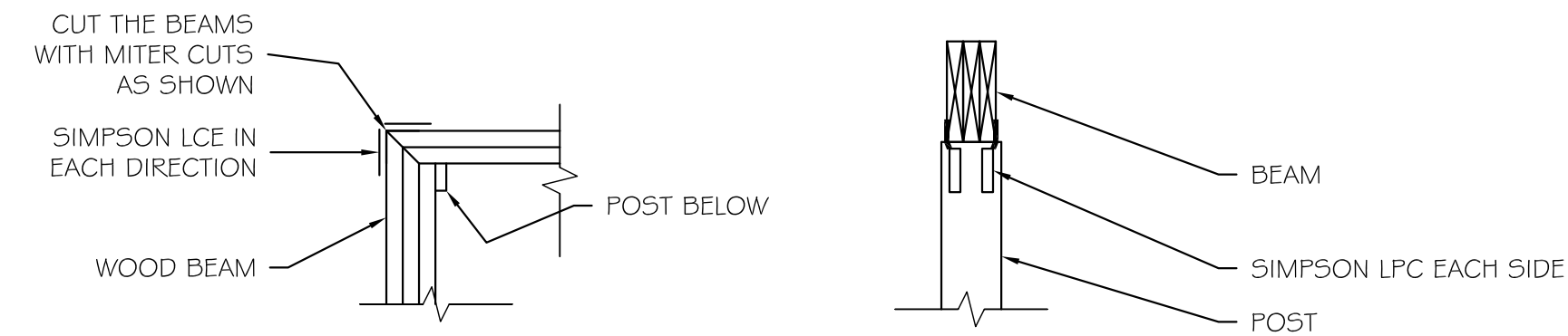
1 FIRST FLOOR FRAMING PLAN  
Scale: 1/4" = 1'-0"

- FRAMING NOTES:**
1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
  2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
  3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
  4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 1/2" BOLTS AT 16" O.C. STAGGERED.
  5. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
  6. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
  7. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
  8. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
  9. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
  10. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
  11. TYPICAL JOIST HANGER SHALL BE A SIMPSON LUS HANGER.
  12. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSU.
  13. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
  14. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
  15. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
  16. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
  17. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
  18. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC. . . .
  19. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT RUN PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE ADJACENT JOISTS BELOW THE WALL AT 16" O.C.

- F1 EXISTING 1ST FLOOR FRAMING. SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A 2X10 OR A DOUBLE 2X8.
- F2 EXISTING PORCH FRAMING UNCHANGED.
- F3 EXISTING BEAM.
- F4 EXISTING COLUMN.
- F5 EXISTING PIER.
- F6 EXISTING PORCH STAIRS.
- F7 PT2X8 LEDGER WITH 1/2" THRU BOLTS AT 16" O.C. TOP AND BOTTOM STAGGERED. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER. PLACE FLASHING PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS. PLACE BLOCKING BETWEEN THE EXISTING JOISTS IF NEEDED TO PLACE THE THRU BOLTS.
- F8 PT8X6 POST DOWN. ATTACH THE POST TO BEAM WITH A SIMPSON LPC6 ON BOTH SIDES.
- F9 PT8X6 POST DOWN. ATTACH THE POST TO DECK FRAMING OR THE BEAMS WITH A SIMPSON LCE IN EACH DIRECTION.
- F10 PT2X8 CLEAT. ATTACH THE CLEAT TO THE BEAM WITH 1/2" THRU BOLTS AT 16" O.C. TOP AND BOTTOM STAGGERED. PLACE FLASHING PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
- F11 PLACE FLAT PT1X6 BRACING ON THE UNDERSIDE OF THE DECK JOISTS. ATTACH THE BRACING TO EACH JOIST WITH (2)#8 SCREWS.
- F12 FRAME THE STAIRS PER THE MONTGOMERY COUNTY TYPICAL DECK DETAILS.
- F13 ATTACH THE BEAM TO THE CLEAT WITH A SIMPSON HUC CONCEALED FLANGE HANGER.
- F14 SIMPSON DTT2Z TENSION TIE.
- F15 THE FLOOR DECKING FORMS A DIAPHRAGM TO PROVIDE LATERAL BRACING TO THE ADDITION. GLUE AND SCREW THE FLOOR DECKING TO THE JOISTS WITH #8 SCREWS AT 6" O.C. AT PANEL EDGES AND 12" O.C. ELSEWHERE. PLACE THE DECKING IN RUNNING BOND. EACH SPLICE SHALL OCCUR AT A FLOOR JOIST. PLACE BLOCKING BETWEEN THE JOISTS BELOW SPLICES THAT ARE PERPENDICULAR TO THE JOISTS.
- F16 1 1/2"x9 1/2" LVL LEDGER. ATTACH THE LEDGER TO THE EXISTING BEAM WITH 1/2" BOLTS AT 16" O.C. TOP AND BOTTOM STAGGERED. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER. GLUE THE FLOOR DECKING TO THE LEDGER. ATTACH THE FLOOR DECKING TO THE LEDGER WITH #8 SCREWS AT 3" O.C. FOR WIND SHEAR TRANSFER. THE LEDGER SHALL BE CONTINUOUS BETWEEN EACH EXISTING PIER TO REINFORCE THE EXISTING BEAM.
- F17 REMOVE THE EXISTING STAIR HEADER. SISTER EACH EXISTING JOIST WITH A DOUBLE 2X10 OR A DOUBLE 1 1/2"x7 1/2" LVL TO INFILL THE EXISTING STAIR OPENING. PLACE BLOCKING BETWEEN THE SISTERED JOISTS AT THE 1/3 POINTS OF THE SPAN.
- F18 SHIM THE SISTERED JOISTS TO THE EXISTING BEAM OR NOTCH THE SISTERED JOISTS AS NEEDED SET THE JOISTS. PLACE BLOCKING OR BRIDGING BETWEEN THE SISTERED JOISTS AND THE EXISTING JOISTS OVER THE BEAM.



LPC Connectors (Quadruple 2x to 6x6 Post)



@ Corners @ Simpson LPC Connectors

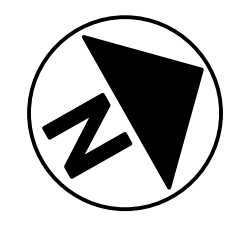
Typ. Wood Post To Wood Beam Details

Scale: 1/2" = 1'-0"

- F19 4X4 PSL POST DOWN. ATTACH THE POST TO THE BEAM WITH A SIMPSON LPC4 ON EACH SIDE OF THE BEAM.
- F20 FLUSH DOUBLE 2X10 BEAM OR A FLUSH DOUBLE 1 1/2"x7 1/2" LVL BEAM.
- F21 INFILL THE SPACE BETWEEN THE STAIR OPENING AND THE 1ST EXISTING JOIST WITH 2X BLOCKING ON AN AS NEEDED BASIS. USE A 2X THAT MATCHES THE SIZE OF THE EXISTING FLOOR JOISTS. SHIM THE BLOCKING OR NOTCH THE BLOCKING AT THE EXISTING BEAM IF NEEDED TO PLACE THE BLOCKING.
- F22 PLACE BLOCKING BETWEEN THE EXISTING JOISTS OVER THE BEAM AT THE NEW STAIR OPENING.
- F23 PT4X4 POST DOWN. ATTACH THE POST TO THE DECK FRAMING WITH A SIMPSON LCE IN EACH DIRECTION.
- F24 DOUBLE 2X10 RIM BOARD. ATTACH EACH JOIST TO THE RIM WITH A SIMPSON LUS HANGER.
- F25 1 1/2"x9 1/2" LVL LEDGER. ATTACH THE LEDGER TO THE EXISTING BEAM WITH 1/2" BOLTS AT 12" O.C. TOP AND BOTTOM STAGGERED. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER. GLUE THE FLOOR DECKING TO THE LEDGER. ATTACH THE FLOOR DECKING TO THE LEDGER WITH #8 SCREWS AT 3" O.C. FOR WIND SHEAR TRANSFER. THE LEDGER SHALL BE CONTINUOUS BETWEEN EACH EXISTING PIER TO REINFORCE THE EXISTING BEAM.
- F26 ATTACH THE BEAM TO THE LEDGER WITH A SIMPSON HUC CONCEALED FLANGE HANGER.
- F27 SISTER EACH JOIST AT THE NEW BAY WITH A 2X10 OR A DOUBLE 2X8. PLACE BLOCKING BETWEEN THE SISTERED JOISTS AT THE 1/3 POINTS OF THE SPAN.
- F28 SHIM THE TRIPLE 2X TO THE NEW OR EXISTING BEAM OR NOTCH THE TRIPLE 2X AS NEEDED SET IT. ATTACH THE TRIPLE 2X BEAM TO THE EXISTING BEAM WITH A SIMPSON H2.5A ON EACH SIDE OF THE TRIPLE 2X. PLACE BLOCKING OR BRIDGING BETWEEN THE TRIPLE 2X AND THE EXISTING OR SISTERED JOISTS OVER THE BEAM.
- F29 ATTACH THE SISTERED JOISTS AT THE BAY TO THE EXISTING BEAM WITH A SIMPSON H2.5A HURRICANE TIE.
- F30 TRIPLE 2X10 OR TRIPLE 2X8. USE A SIZE THAT MATCHES THE HEIGHT OF THE EXISTING FLOOR JOISTS.
- F31 ATTACH THE RIM BEAM TO THE OUTRIGGER WITH A SIMPSON HUC CONCEALED FLANGE HANGER. NOTCH THE RIM BEAM IF NEEDED TO FIT IN THE CONNECTOR.

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. [Signature]*

REVIEWED  
By Dan.Bruechert at 12:38 pm, Sep 19, 2023



8555 16th St. #200  
Silver Spring, MD 20910  
301-585-0543  
301-583-9477 (f)



# BURNELL-VIRK ADDITION

7318 Willow, Takoma Park, MD 20912  
Project # 2180

22 AUGUST 2023 - PERMIT/BID SET

## FIRST FLOOR FRAMING PLANS

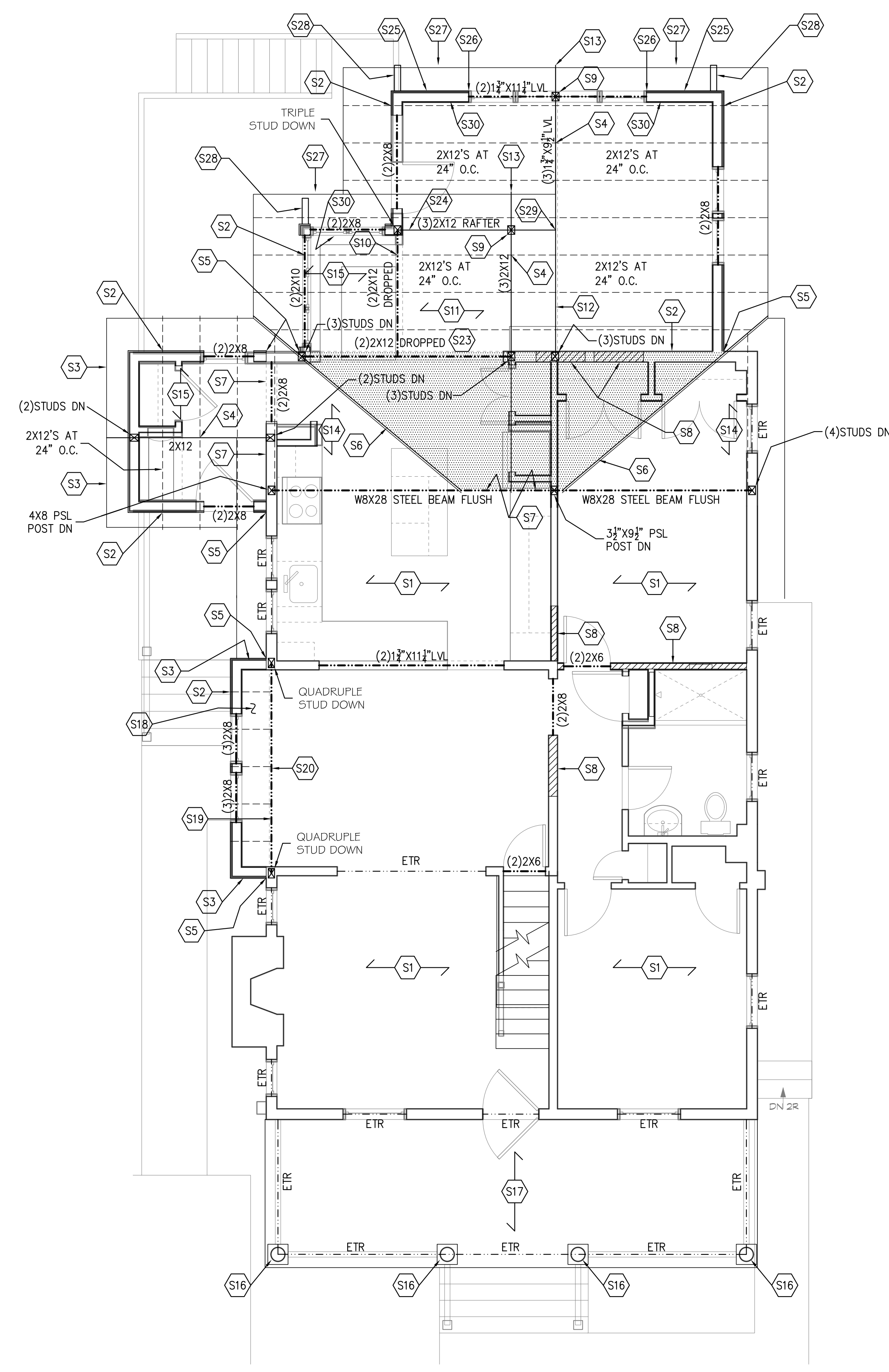
# S101

DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: 7632A EXPIRATION DATE: 5/21/2025

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1 SECOND FLOOR FRAMING PLAN  
Scale: 1/4" = 1'-0"

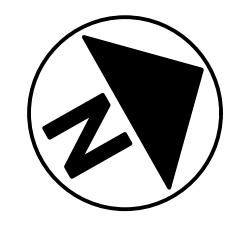
- FRAMING NOTES:
1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
  2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
  3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
  4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 1/2" BOLTS AT 16" O.C. STAGGERED.
  5. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
  6. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
  7. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
  8. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
  9. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
  10. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
  11. TYPICAL JOIST HANGER SHALL BE A SIMPSON LUS HANGER.
  12. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSU.
  13. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
  14. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
  15. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
  16. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
  17. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
  18. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC. . . .
  19. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT RUN PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE ADJACENT JOISTS BELOW THE WALL AT 16" O.C.

- S1 EXISTING 2ND FLOOR FRAMING. SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A 2X10 OR A DOUBLE 2X8.
- S2 ATTACH EACH NEW OR EXISTING RAFTER TO THE WALL WITH A SIMPSON H2.5A HURRICANE TIE. HOLD THE TOP OF THE RAFTERS UP AS NEEDED FOR INSULATION AND VENTILATION.
- S3 THE ROOF DECKING SHALL CANTILEVER OVER THE END WALL. NO SPLICE SHALL OCCUR IN THE ROOF DECKING WITHIN 4'-0" OF THE END WALL. PLACE 2X LADDER FRAMING AT 24" O.C. AS NEEDED TO FORM THE RAKE.
- S4 ATTACH EACH RAFTER TO THE RIDGE BEAM WITH A SIMPSON LSU HANGER. HOLD THE TOP OF THE RIDGE DOWN AS NEEDED FOR VENTILATION AND SO THAT THE BOTTOM OF THE RIDGE IS EVEN IF OR DEEPER THAN THE BOTTOM OF THE RAFTERS.
- S5 ATTACH THE 1ST STUD TO THE EXISTING WALL WITH (2)#8 SCREWS AT 6" O.C.
- S6 OVERBUILT ROOF. RIP THE RAFTERS AND PLACE THEM ON THE LOWER ROOF. ATTACH EACH RAFTER TO THE LOWER ROOF WITH (3)10d TOE NAILS AND A SIMPSON L550 ON EACH SIDE OF EACH RAFTER.
- S7 2X12 CLEAT FOR THE ROOF. ATTACH THE CLEAT TO THE NEW OR EXISTING WALL WITH (2)#8 SCREWS AT 6" O.C.
- S8 INFILL THE EXISTING WALL WITH 2X STUDS AT 16" O.C. USE STUDS THAT MATCH THE WIDTH OF THE EXISTING WALL STUDS.
- S9 PLACE A TRIPLE STUD BETWEEN THE RIDGE AND THE HEADER OR TRIPLE RAFTER BELOW.
- S10 BUILD A WALL ON TOP OF THE BEAM WITH 2X4 STUDS AT 16" O.C. NOTCH THE RAFTERS AND PLACE THEM ON THE WALL. ATTACH EACH RAFTER TO THE WALL WITH A SIMPSON H2.5A HURRICANE TIE. ATTACH EACH SLOPED CEILING JOIST TO THE DROPPED BEAM WITH A SIMPSON H2.5A HURRICANE TIE.
- S11 PLACE A 2X6 CEILING JOIST NEXT TO EACH RAFTER. ATTACH EACH CEILING JOIST TO THE RAFTER WITH (5)10d NAILS. SET THE CEILING JOISTS ON THE DROPPED BEAM. ATTACH EACH CEILING JOIST TO THE DROPPED BEAM IN THE KITCHEN CEILING WITH A SIMPSON H2.5A HURRICANE TIE.
- S12 CONTINUE THE RIDGE BEAM AS SHOWN. ATTACH EACH RAFTER TO THE RIDGE BEAM WITH A SIMPSON L90 ON EACH SIDE OF THE RAFTER.
- S13 CONTINUE THE CENTER PLY OF THE RIDGE BEAM OUT TO SUPPORT THE FLY RAFTERS. ATTACH EACH FLY RAFTER TO THE RIDGE BEAM WITH A SIMPSON L50 ON THE INTERIOR FACE AND (4)10d TOE NAILS. PLACE A DECORATIVE FINISH AROUND THE RIDGE BEAM TO MATCH THE BRACKETS AT THE EAVES. PLACE THE RAFTER BELOW THE ROOF ENVELOPE FOR WEATHER PROTECTION OR USE WEATHER RESISTANT LUMBER BEYOND THE EXTERIOR WALL.
- S14 EXISTING ROOF AND CEILING FRAMING. SISTER ANY DAMAGED RAFTER THAT IS FOUND WITH A 2X8 OR A DOUBLE 2X6. SISTER ANY DAMAGED CEILING JOIST THAT IS FOUND WITH A 2X6.
- S15 2X6 CEILING JOISTS AT 24" O.C.
- S16 EXISTING POST.
- S17 EXISTING ROOF FRAMING UNCHANGED.

- S18 FRAME THE ROOF WITH 2X8 RAFTERS AT 24" O.C. AND 2X6 CEILING JOISTS AT 24" O.C.
- S19 2X8 LEDGER FOR THE ROOF FRAMING. ATTACH THE LEDGER TO THE EXISTING WALL WITH (2)LEDGERLOK SCREWS AT EACH STUD. ATTACH EACH RAFTER TO THE LEDGER WITH A SIMPSON LUS HANGER.
- S20 1"x9" STEEL FLITCH BEAM PLACED BETWEEN TWO 1 1/2"x9" LVL'S. PLACE THE BEAM FLUSH WITH THE EXISTING 2ND FLOOR FRAMING. SEE THE FRAMING ELEVATION FOR THE BOLTING PATTERN BETWEEN THE LVL BEAMS AND THE STEEL PLATE.
- S21 NOT USED.
- S22 NOT USED.
- S23 SET THE EXISTING RAFTERS ON THE NEW DROPPED BEAM. ATTACH EACH EXISTING RAFTER TO THE DROPPED BEAM WITH A SIMPSON H2.5A HURRICANE TIE.
- S24 PLACE THE TRIPLE RAFTER IN THE LOWER ROOF PLANE. PLACE THE LOW ROOF DECKING ON THE TRIPLE RAFTER. BUILD A WALL ON TOP OF THE TRIPLE RAFTER. USE 2X6 STUDS AT 16" O.C.
- S25 FRAME THE GABLE END WALL WITH 2X6 STUDS AT 16" O.C. THE STUDS SHALL BE CONTINUOUS FROM THE FLOOR TO THE CEILING.
- S26 PLACE THE HEADER ON A DOUBLE JACK STUD AND TRIPLE KING STUD. THE KING STUDS SHALL BE CONTINUOUS FROM THE FLOOR TO THE CEILING FOR LATERAL STABILITY.
- S27 FRAME THE RAKE WITH A 2X6 FLY RAFTER. USE WEATHER RESISTANT LUMBER FOR THE FLY RAFTER IF REQUIRED BY IRC CHAPTER 3. DO NOT PLACE A SPLICE IN THE ROOF DECKING THAT IS PARALLEL TO THE ROOF SLOPE WITHIN 48" OF THE FLY RAFTER.
- S28 BRACKET PER THE TYPICAL DETAIL. ATTACH THE FLY RAFTER TO THE BRACKET WITH A SIMPSON H2.5A HURRICANE TIE.
- S29 ATTACH THE TRIPLE RAFTER TO THE RIDGE BEAM WITH A SIMPSON HU-MAX HANGER. NOTCH THE RAFTER AS NEEDED TO FIT IN THE CONNECTOR.
- S30 EXTEND THE GABLE END WALL TO THE ROOF DECKING. PLACE A 2X12 CLEAT NEXT TO THE WALL FOR THE CEILING. ATTACH THE CLEAT TO EACH STUD WITH A #10 SCREW AND TO THE TOP PLATE OF THE WALL WITH #10 SCREWS AT 16" O.C.

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. ...*

REVIEWED  
By Dan.Bruechert at 12:38 pm, Sep 19, 2023



APAC ENGINEERING, INC.  
1655 16th St. #200  
Silver Spring, MD 20910  
301-585-0543  
301-563-9477 (f)

# BURNELL-VIRK ADDITION

7318 Willow, Takoma Park, MD 20912  
Project # 2180

22 AUGUST 2023 - PERMIT/BID SET

## SECOND FLOOR FRAMING PLAN

# S102



DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

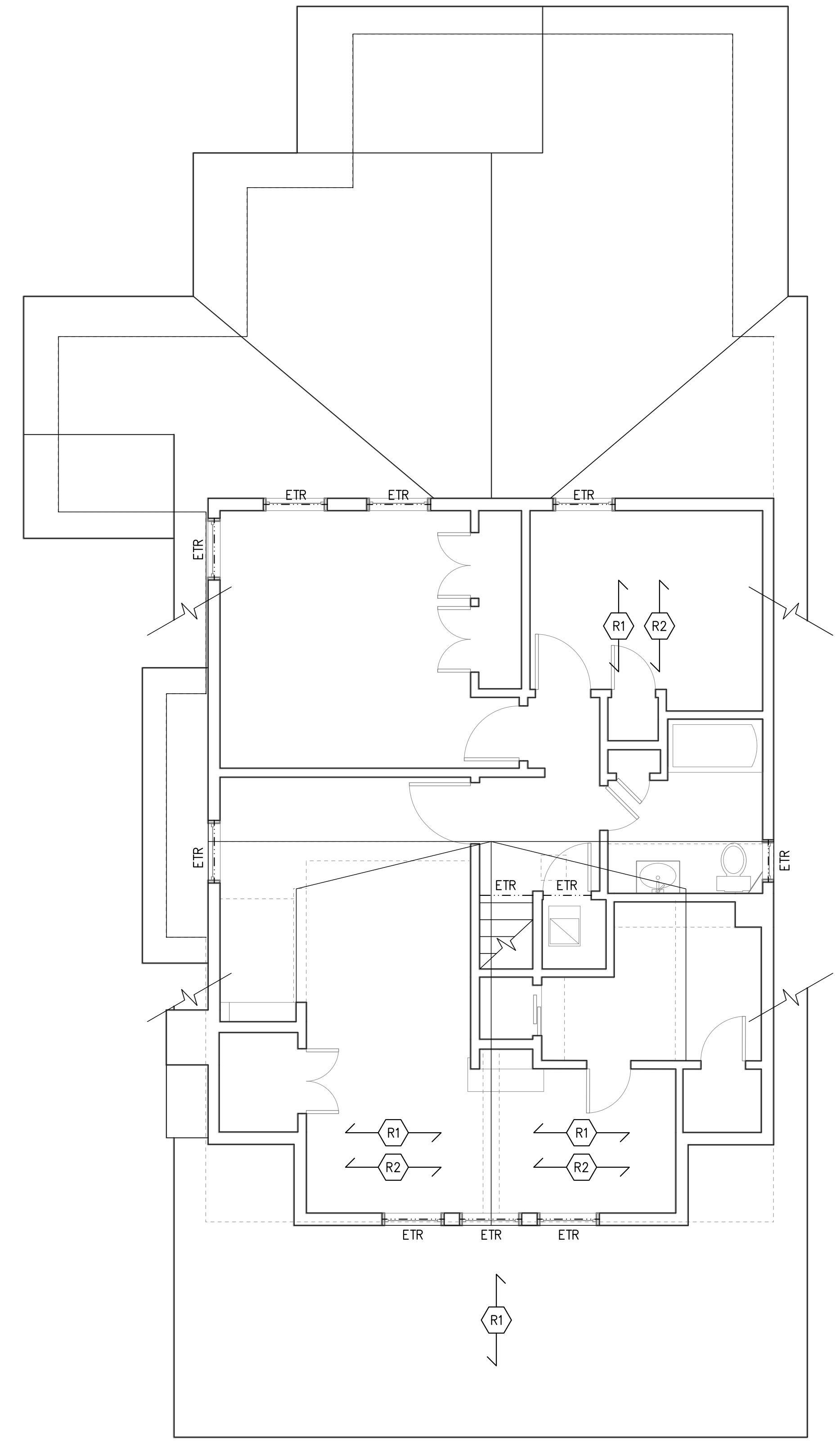
LICENSE #: 7632A EXPIRATION DATE: 5/21/2025

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FRAMING NOTES:

1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF 1/2" BOLTS AT 16" O.C. STAGGERED.
5. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
6. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
7. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
8. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
9. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
10. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
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12. TYPICAL RAFTER TO RIDGE HANGER SHALL BE A SIMPSON LSU.
13. TYPICAL RAFTER TO FLUSH BEAM HANGER SHALL BE A SIMPSON L70 ON EACH SIDE OF THE RAFTER.
14. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
15. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
16. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
17. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
18. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC. . . .
19. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT RUN PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE ADJACENT JOISTS BELOW THE WALL AT 16" O.C.

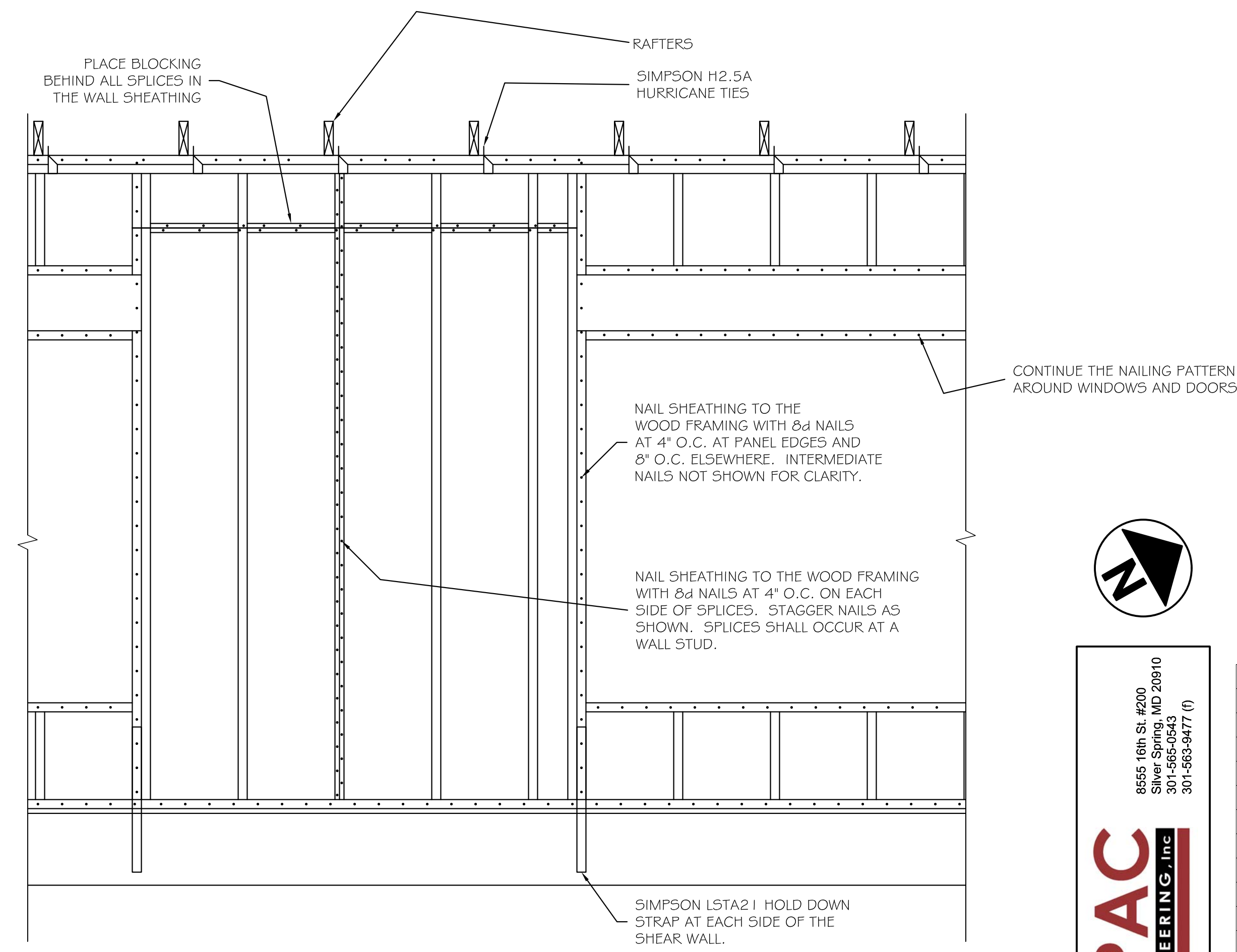
- R1 EXISTING ROOF FRAMING UNCHANGED.
- R2 EXISTING ATTIC/CEILING FRAMING UNCHANGED.



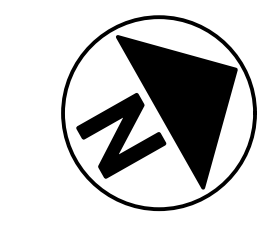
1 ROOF FRAMING PLAN  
Scale: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

REVIEWED  
By Dan.Bruechert at 12:38 pm, Sep 19, 2023



Typical Framing Elevation at EDP Panels  
Scale: 3/4" = 1'-0"±



8555 16th St. #200  
Silver Spring, MD 20910  
301-585-0543  
301-583-9477 (f)

BURNELL-VIRK ADDITION

7318 Willow, Takoma Park, MD 20912  
Project # 2180

22 AUGUST 2023 - PERMIT/BID SET

ROOF FRAMING PLAN  
**S103**

DATE	ISSUE - REMARKS

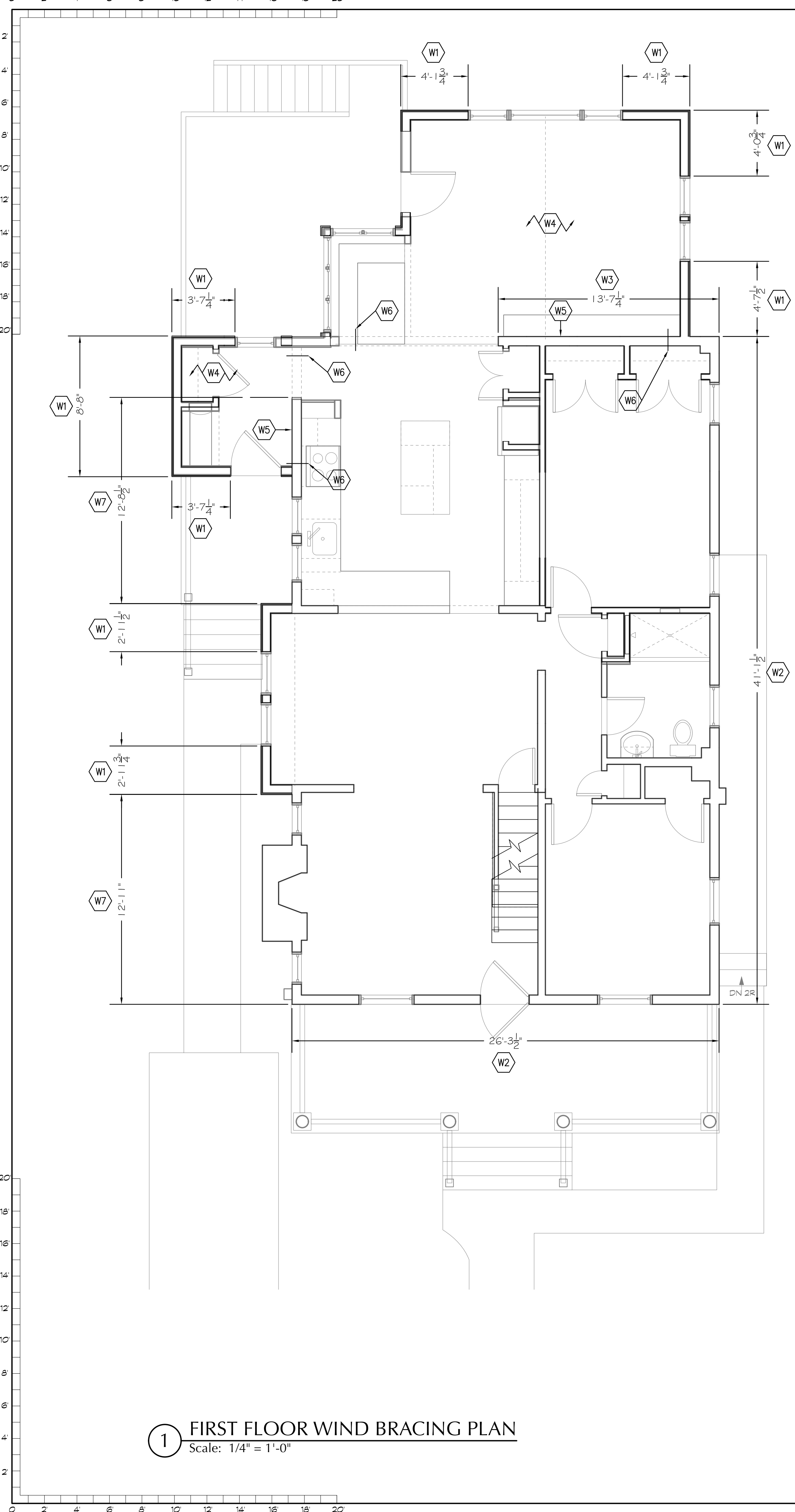
I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: 7632A EXPIRATION DATE: 5/21/2025

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- W1 NEW EDP WIND BRACING PANEL.
- W2 EXISTING PERFORATED WOOD SHEAR WALL.
- W3 EXISTING WOOD SHEAR WALL.
- W4 THE FLOOR DECKING FORMS A DIAPHRAGM TO PROVIDE LATERAL BRACING TO THE ADDITION. GLUE AND SCREW THE FLOOR DECKING TO THE JOISTS WITH #8 SCREWS AT 6" O.C. AT PANEL EDGES AND 12" O.C. ELSEWHERE. PLACE THE DECKING IN RUNNING BOND. EACH SPLICE SHALL OCCUR AT A FLOOR JOIST. PLACE BLOCKING BETWEEN THE JOISTS BELOW SPLICES THAT ARE PERPENDICULAR TO THE JOISTS.
- W5 GLUE THE FLOOR DECKING TO THE LEDGER. ATTACH THE FLOOR DECKING TO THE LEDGER WITH #8 SCREWS AT 3" O.C. FOR WIND SHEAR TRANSFER.
- W6 SIMPSON DTT2Z TENSION TIE.
- W7 REMOVE THE EXISTING WALL SHEATHING AND PLACE NEW 7/16" OSB SHEATHING ON THE EXISTING WALL PER THE EDP FRAMING ELEVATION. THE NEW SHEATHING SHALL MAKE A PERFORATED WOOD SHEAR WALL.

- WIND BRACING NOTES:**
- WALLS BRACED PER IRC R602.10 AND R301.1.3 "ENGINEERED DESIGN".
  - APPLY 7/16" OSB SHEATHING TO ALL EXTERIOR WALLS.
  - ATTACH OSB TO WOOD FRAMING WITH 8d NAILS AT 4" O.C. AT PANEL EDGES AND 8" O.C. ELSEWHERE.
  - EDP DENOTES "ENGINEERED DESIGNED PANEL".
  - ATTACH THE BOTTOM PLATE OF THE WALL TO THE JOISTS OR BLOCKING WITH 1-16d (0.135X3 1/2) NAIL. ATTACH THE BOTTOM PLATE TO THE RIM BOARD WITH 16d NAILS AT 12" O.C.
  - ATTACH EACH JOIST AND RAFTER TO THE TOP PLATE OF THE WALL WITH 2-16d (0.135X3 1/2) TOE NAILS.
  - ATTACH THE RIM BOARD TO THE TOP PLATE OF THE WALL WITH 16d (0.135X3 1/2) TOE NAILS AT 12" O.C.
  - ATTACH RIM BOARD TO SILL PLATE WITH 16d (0.135X3 1/2) TOE NAILS AT 12" O.C.

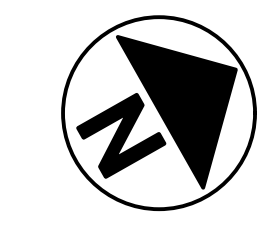


1 FIRST FLOOR WIND BRACING PLAN  
Scale: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

REVIEWED  
By Dan.Bruechert at 12:38 pm, Sep 19, 2023



**BURNELL-VIRK ADDITION**  
7318 Willow, Takoma Park, MD 20912  
Project # 2180

WIND BRACING  
PLAN  
**S200**

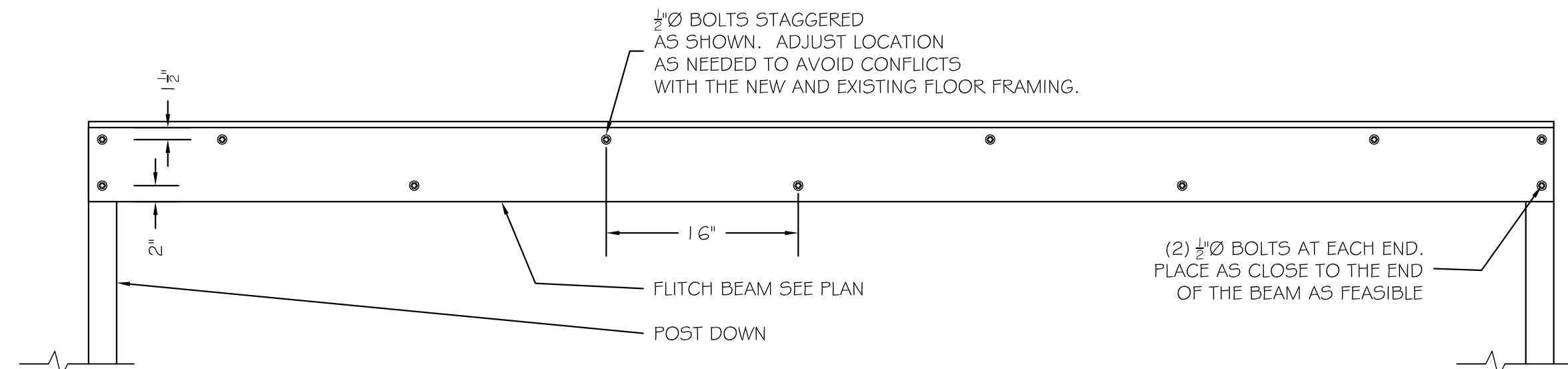
22 AUGUST 2023 - PERMIT/BID SET

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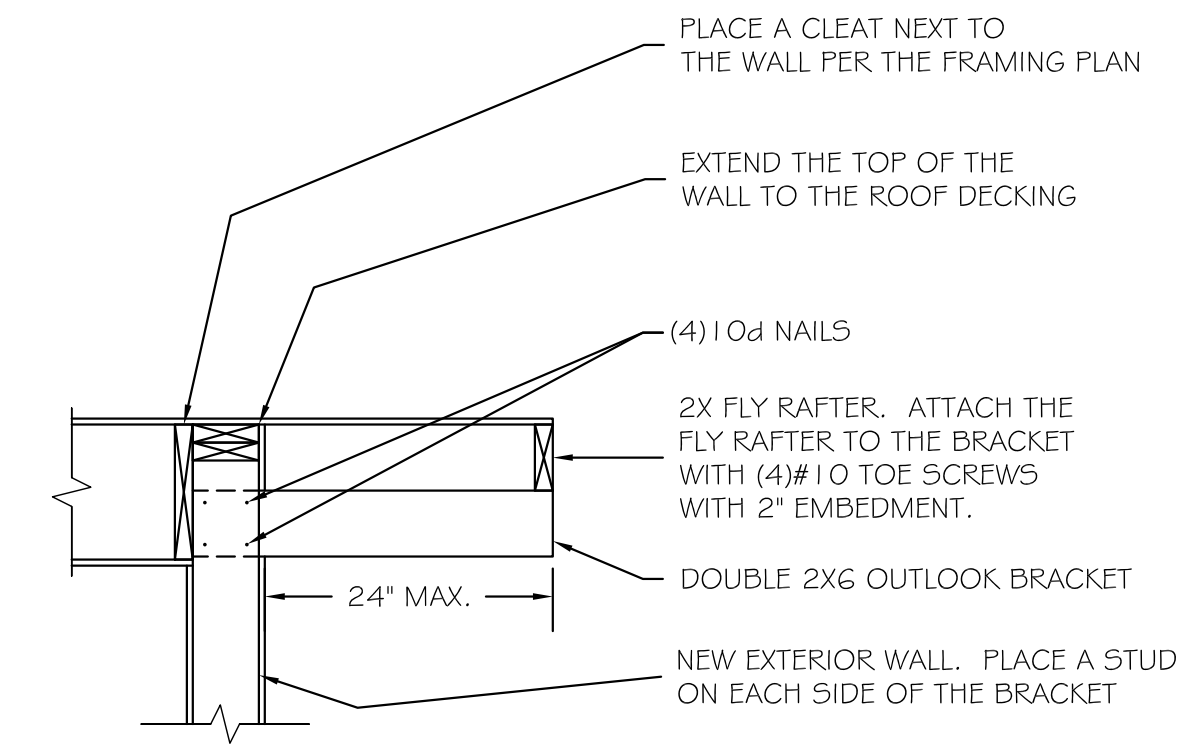
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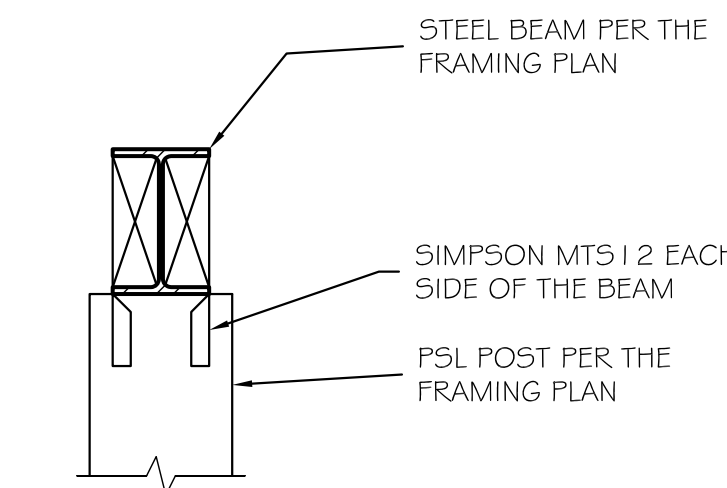
**Typical Fitchbeam Framing Elevation**

Scale: NOT TO SCALE

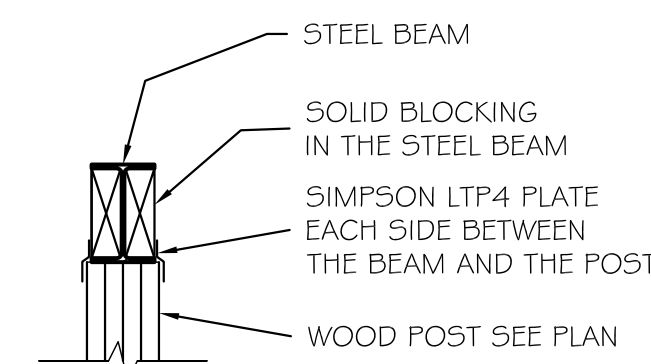


**Typical Detail at Decorative Rake**

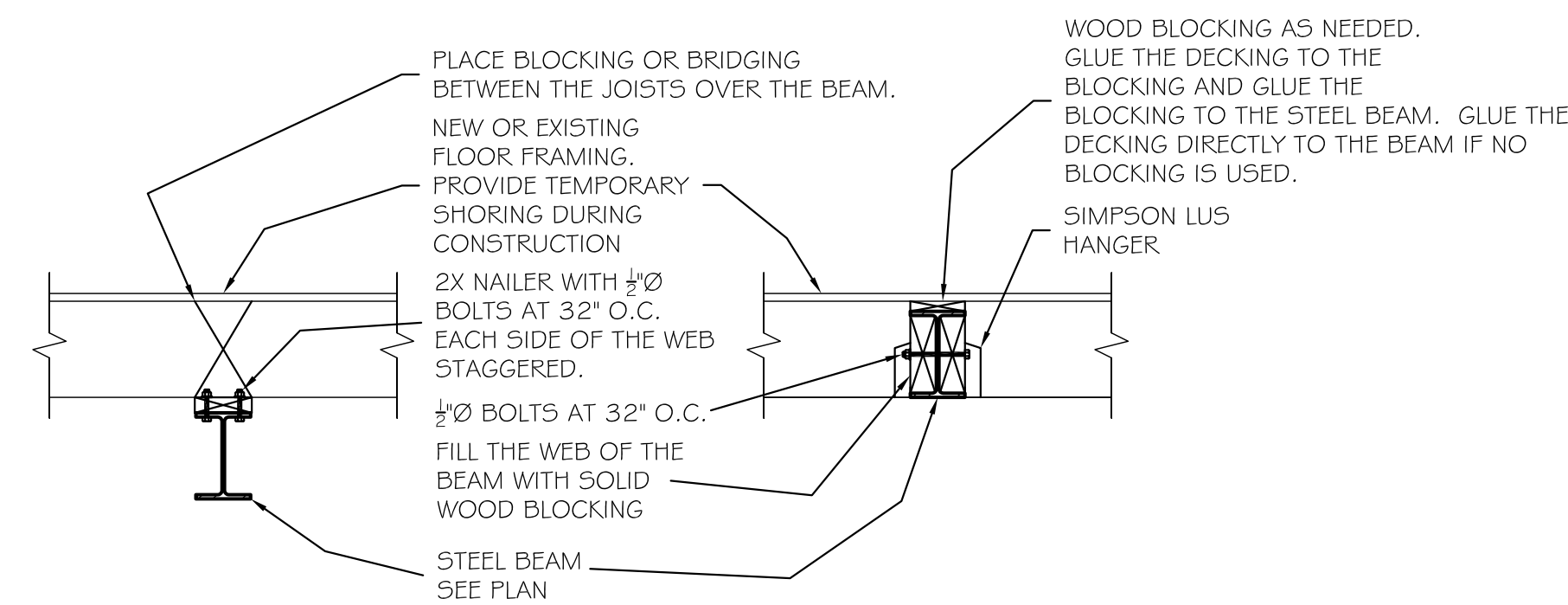
Scale: 3/4" = 1'-0"



**@Same PSL Posts**

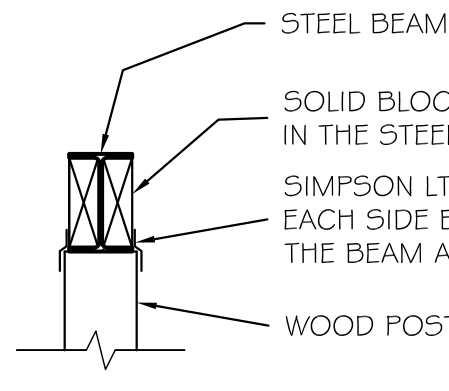


**@Multiple Studs**



**Typical Wood Joists to Steel Beam Details**

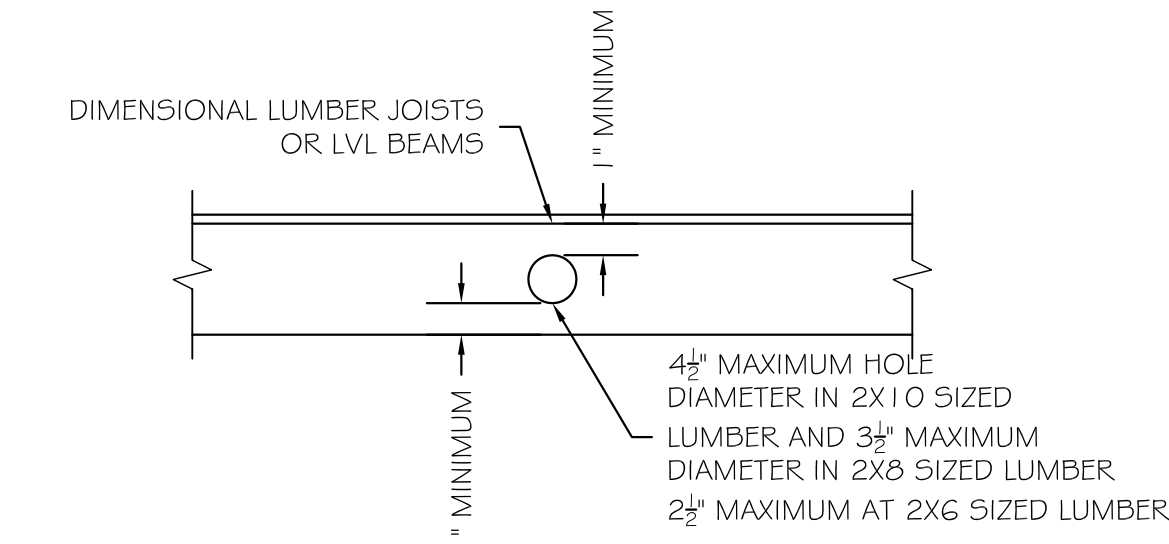
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**@Same PSL Posts**

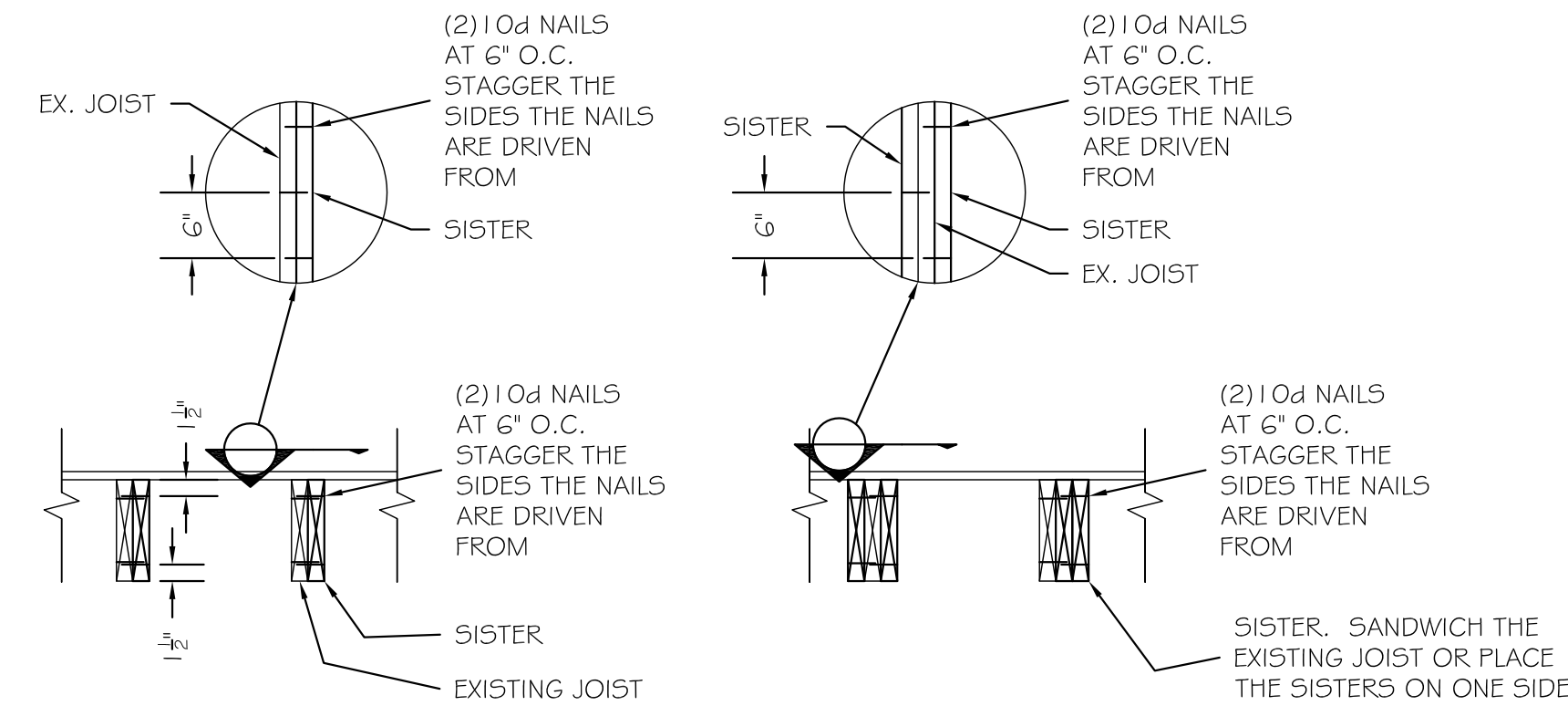
**Typical Steel Beam to Wood Post Detail**

Scale: 3/4" = 1'-0"



**Typical Detail at Floor Joist/LVL Beam Holes**

Scale: 3/4" = 1'-0"



**@Single Sister**

**@Double Sister**

**Typical Sistering Details**

Scale: NTS

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*Robert A. Adams*

REVIEWED  
 By Dan.Bruechert at 12:38 pm, Sep 19, 2023

- Structural Notes**
- All work and materials to comply with the requirements of the 2018 IBC and IRC codes as revised by Montgomery County. Codes: the following design standards are applicable by reference: TMS 402-2016 Building Code Requirements for Masonry Structures, AISC 360-16 Building Code Requirements for Steel Buildings, AISC 318-14 Building Code Requirements for Reinforced Concrete, AISC - 360-16 Specifications for Steel Buildings.
  - Foundations: footings, underpinning and slab on grades are designed to bear on native soil type SM or SC with an allowable bearing pressure of 2000 psf. A qualified soil-bearing inspector prior to placement of concrete shall verify all bearing values.
  - Structural steel:
    - All structural steel, including detail material shall conform to ASTM A572 Fy = 50ksi, U.N.O.
    - All structural tubing shall conform to ASTM A500, grd.B
    - All steel pipe shall be ASTM A53, type E or S, grade B
    - All welders shop and field, shall be certified. Use E70xx electrodes only.
    - All steel exposed to weather and exterior masonry support shall receive one shop coat of corrosion-inhibiting primer.
    - Detailing, fabrication and erection shall be in accordance with AISC. Adequately brace all steel against lateral loads during erection.
    - All exterior structural steel shall receive rust preventative paint.
    - Connections:
      - All beam connections shall be simple shear connections, U.N.O. Where no reaction is provided, the beam shall be assumed to carry 120 % of the allowable uniform load in Kips for beams laterally supported, as given in the AISC steel construction manual.
      - Except as noted, all fasteners shall be 3/4" diameter ASTM A325 bolts, designed to act in bearing type connections with threads included.
  - Lumber:
    - Lumber shall be SPF #2 with a min. Fb = 875psi Min. Fv = 135psi and min. E = 1,400,000psi.
    - LVL and PSL shall have a min. Fb = 2850psi; Fv = 285psi; E = 2,000,000psi.
    - Floor decking shall be 3/4" APA rated decking. Roof decking shall be 5/8" APA rated decking. Wall sheathing shall be 5/8" APA rated sheathing. Glue and screw the floor decking to the joists.
    - Interior wood walls shall be 2x4 studs at 16" O.C. and exterior walls shall be 2x4 studs at 16" O.C. with a double top plate and single bottom plate. Provide solid blocking at the midheight of each wall and at a minimum of 48" O.C. vertically.
    - Provide double joists under all walls that run parallel to floor framing.
    - Nail all multiple members together per the manufacturer's recommendations and at a minimum use 2-10d nails at 6" O.C. stagger sides that nails are driven from.
    - Provide bridging at center of all joist spans Exceeding 8'-0" and at 1/3 points of all joist spans exceeding 16'-0". Provide solid blocking at all bearing points on top of walls or beams.
    - Provide solid blocking below all wood posts.
    - All posts shall have Simpson Cap and Base Plates typ.
    - All joists shall have Simpson Hangers where applicable.
    - Glue all multiple studs together. Nail together with 2-10d nails at 3" O.C. Stagger the sides of the studs that the nails are driven from.
    - All lumber in contact with masonry or concrete or within 8" of soil shall be pressure treated. All lumber to conform to IRC R317 and R318 for protection against corrosion and termite damage.
    - All lumber shall be kiln dried. Store lumber on site in such a manner as to prevent the seepage of water into the wood.
    - Wood Lintels shall be as follows:
      - Opening ≤ 3'-0" - 2-2x6
      - 3'-0" < Opening ≤ 5'-0" - 2-2x8
      - 5'-0" < Opening ≤ 8'-0" - 2-2x10
      - Greater than 8'-0" - See plans

- Fasteners:
  - All prefabricated angles, bearing plates, and joist hangers shall be installed per the manufacturer recommendations.
  - Follow the manufacturer recommendations for setting epoxy bolts.
  - Expansion bolts shall be rawl power studs.
- Masonry:
  - Masonry construction shall be in conformance with the applicable sections of TMS 402-2016 "Building Code Requirements for Masonry Structures."
  - Mortar to comply with ASTM C270 (type M or S).
  - Provide corrugated masonry ties between brick facia and wood walls or cmu walls at 16" O.C. in each direction.
  - Provide 9ga truss style joint reinforcement @ 16" O.C. vertically.
  - Lintels shall be as follows:
    - Opening ≤ 3'-0" - L4x3 1/2 LVL/ 4" of wall
    - 3'-0" < Opening ≤ 7'-0" - L6x3 3/4 LVL/ 4" of wall
    - Opening > 7'-0" - See Plan
- Cast in place concrete:
  - Concrete construction shall be in conformance with the applicable sections of ACI 318-14, "Part 3 - Construction Requirements."
  - Concrete shall have a minimum compressive strength at 28 days of 3000psi, UNO (unless noted otherwise).
  - All concrete shall be placed with a slump of 4" (± 1/2")
  - All concrete shall be normal weight, UNO.
  - All concrete exposed to weather shall have 6% ± 1% entrained air.
  - Contractor shall pour extra concrete to account for the deflection of the formwork to provide a flat finished surface.
  - Concrete cover for reinforcement shall be:
    - Columns and beams 1 1/2"
    - Slabs 3/4"
    - Footings 3"
- Reinforcement:
  - Reinforcing bars shall be deformed bars conforming to ASTM A615, grade 60 (Fy = 60ksi)
  - Welded wire fabric (wvf) shall conform to ASTM a185. Lap edges of wire fabric at least 6" in each direction.
- Dimensions: The contractor shall field verify all dimensions prior to fabrication of structural components.
- Coordination: The contractor shall coordinate all sleeves, duct openings and holes between trades. Any conduits or pipes embedded in concrete must be in accordance with ACI 318-14, chapter 6. Where sleeves are closely spaced in a group, the group shall be treated as an opening and reinforced accordingly. Submit drawings showing all opening sizes and locations for the approval by the structural engineer.

**Dead Loads:**

SPF #2 -	25 PCF
1/2" Decking -	1.7 PSF
3/4" Decking -	2.5 PSF
Asphalt Shingles -	2.5 PSF
Slate Shingles -	15 PSF
1/2" Drywall -	2.2 PSF
Insulation -	1.5 PSF
Sliding -	2.0 PSF
CMU -	87 PCF
Brick -	130 PCF

**LIVE LOADS:**

DECK:	40PSF
ATTIC:	20PSF
FLOOR:	40PSF
BALCONY:	60PSF
BEDROOM:	40PSF
ROOF:	30PSF

**WIND LOADS:**

WIND SPEED:	Vult = 115mph; Vasd = 89mph
WIND LOAD IMPORTANCE FACTOR:	1.0
WIND EXPOSURE FACTOR:	B
WIND DESIGN PRESSURE:	11PSF

**SNOW LOADS:**

GROUND SNOW LOAD (PG):	30PSF
FLAT ROOF SNOW LOAD (PF):	30PSF
SNOW EXPOSURE FACTOR (CE):	0.9
SNOW IMPORTANCE FACTOR (I):	1.0

**Deflection Limitations:**

Rafters:	L/240
Interior Walls and Partitions:	H/180
Floors and Plastered Ceilings:	L/360
All Other Structural Members:	L/240
Ext. Walls with plaster or stucco finishes:	L/360
Ext. Walls - Wind Loads with Brittle Finishes:	L/240
Ext. Walls - Wind Loads with Flexible Finishes:	L/120

**SEISMIC DESIGN DATA:**

SEISMIC IMPORTANCE FACTOR (I <sub>s</sub> ):	1.0
SPECTRAL RESPONSE ACCELERATIONS:	
(S <sub>s</sub> ):	20.0%
(S <sub>1</sub> ):	8.0%
SPECTRAL RESPONSE COEFFICIENTS:	
(S <sub>ds</sub> ):	33%
(S <sub>d1</sub> ):	18.7%
B:	D
SEISMIC DESIGN CATEGORY:	D
SEISMIC SITE CLASSIFICATION:	
SEISMIC COEFFICIENT (C <sub>s</sub> ):	0.05
SEISMIC MODIFICATION FACTOR (R):	6.5
BASE SHEAR:	2.1k
ANALYSIS PROCEDURE:	EQUIV. LATERAL FORCE
BASIC SFRS:	LIGHT FRAMED WALLS

**BURNELL-VIRK ADDITION**  
 7318 Willow, Takoma Park, MD 20912  
 Project # 2180

22 AUGUST 2023 - PERMIT/BID SET

STRUCTURAL NOTES & DETAILS

**S201**



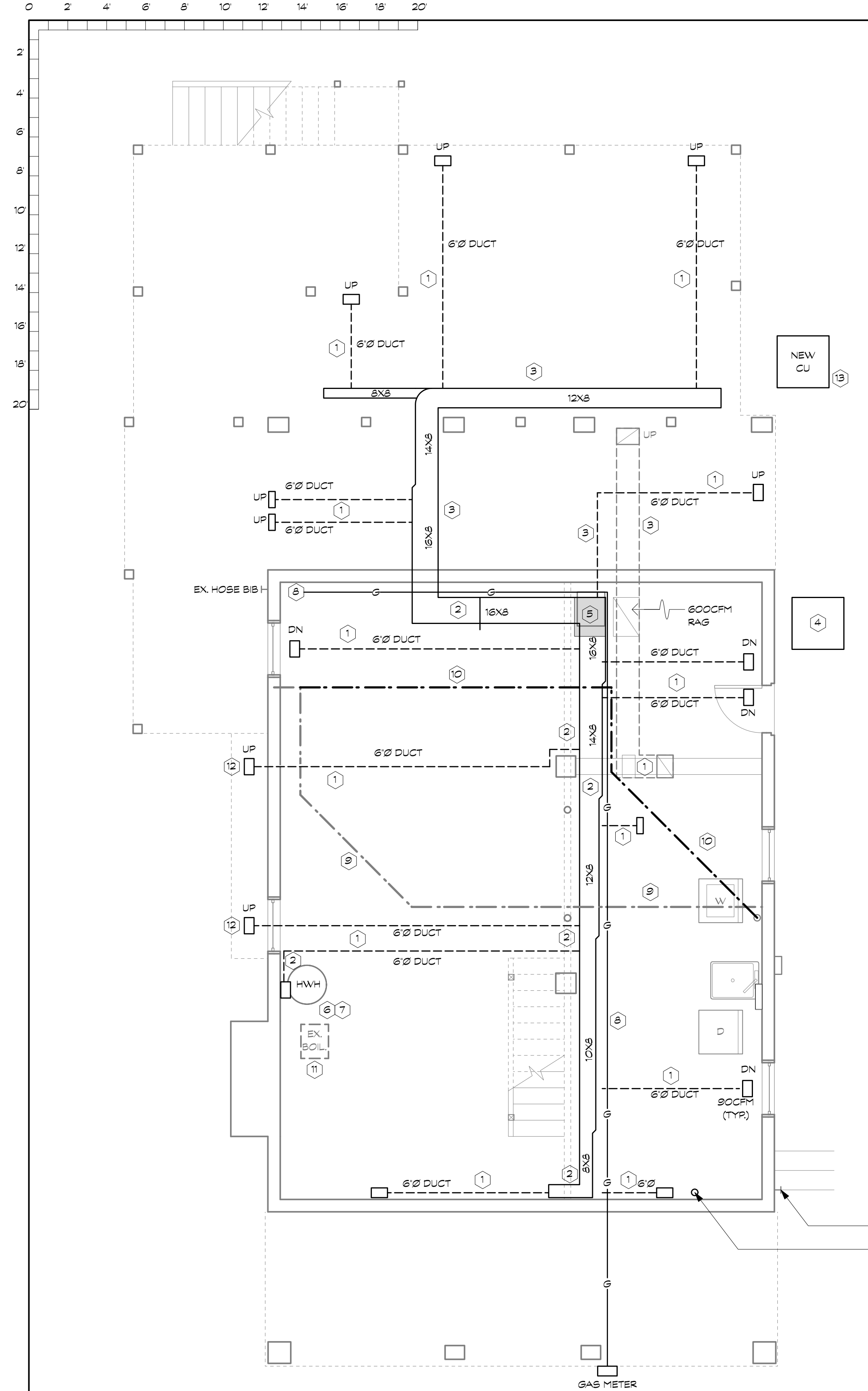
DATE	ISSUE - REMARKS

I CERTIFY THAT THESE CONTRACT DOCUMENTS WERE PREPARED UNDER MY SUPERVISION OR APPROVED BY ME AND I AM A DULY LICENSED REGISTERED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE #: 7632A      EXPIRATION DATE: 5/21/2025

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**MECHANICAL CONSULTANT**  
 Ron Gallant, Gallant Mechanical  
 13001 Cleveland Drive  
 Rockville, Maryland 20850      (240) 750-4988



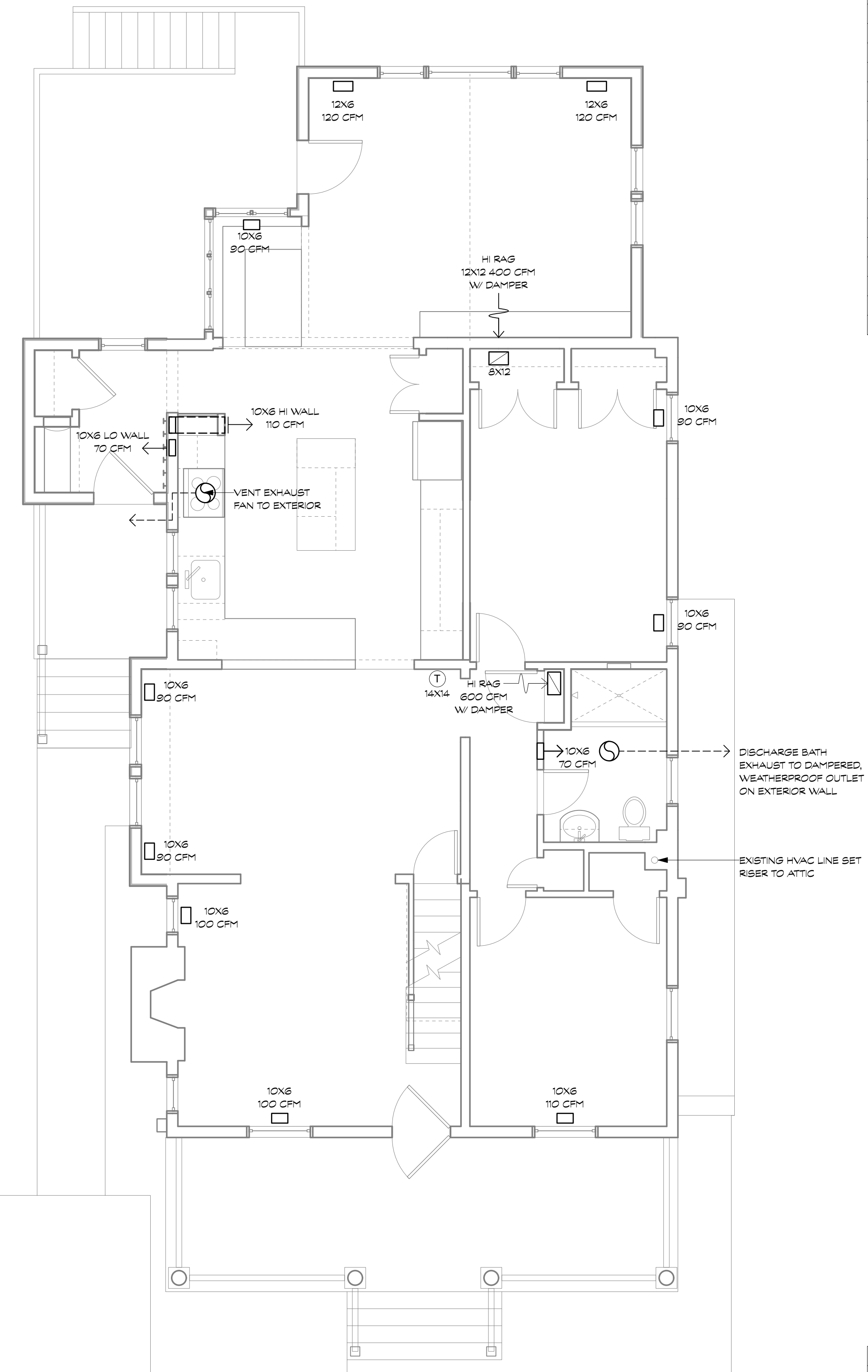
**1 CELLAR MECHANICAL PLAN**  
 Scale: 1/4" = 1'-0"

- MECHANICAL NOTES**
- ① DUCT RUN BETWEEN JOISTS
  - ② DUCT RUN UNDER JOISTS
  - ③ DUCT RUN UNDER JOISTS/BEAMS SET TIGHT TO FRAMING. ENCLOSED/PROTECT IN INSULATED BULKHEAD. PROVIDE MIN. R-30 COVERAGE BELOW AND BESIDE DUCTWORK, EQUIVALENT TO 3 LAYERS OF 1 1/2" THICK FOIL FACED POLYISOCYANURATE RIGID INSULATION
  - ④ REMOVE EXISTING CONDENSING UNIT. REPLACE WITH CARRIER INFINITY 18V6 SERIES 837A003 3 TON 18 SEER 2 CONDENSING UNIT.
  - ⑤ NEW AIR HANDLER. CARRIER FE4-CNF-005 3 1/2 TON 42,000 BTU 800 CFM VERTICAL AIR HANDLER WITH 8KW BACK-UP HEATER
  - ⑥ EXISTING GAS-FIRED HWWH TO BE REMOVED
  - ⑦ NEW 50 GALLON BRADFORD-WHITE AERO-THERM MODEL RE2H5010 ELECTRIC HEAT PUMP HOT WATER HEATER. PROVIDE EMERGENCY DRAIN PAN.
  - ⑧ RECONFIGURE GAS SERVICE TO KITCHEN RANGE TO AVOID STAIRCASE
  - ⑨ REMOVE KITCHEN SINK SANITARY LINE LATERAL
  - ⑩ RUN NEW KITCHEN SINK SANITARY LINE THROUGH FLOOR JOISTS TO FAR SIDE OF CENTRAL BEAM. BEYOND NEW SUPPLY TRUNK AS SHOWN. THEN PROCEED BELOW JOISTS TO WASTE STACK.
  - ⑪ EXISTING GAS-FIRED BOILER/EXPANSION TANK, FLUE AND ALL ASSOCIATED ACCESSIBLE RADIATOR PIPE TO BE REMOVED.
  - ⑫ PROVIDE MIN. TWO LAYERS OF 1 1/2" THICK FOIL FACED POLYISOCYANURATE INSULATION UNDER DUCT IN CANTILEVER
  - ⑬ NEW CONDENSING UNIT. CARRIER MODEL 25VNA825A003 TWO TON / 18 SEER 2
  - ⑭ REMOVE EXISTING AIR HANDLER. REPLACE WITH CARRIER FE4-CNF-002 TWO TON 24,000 BTU 800 CFM VERTICAL AIR HANDLER WITH 8KW BACK-UP HEATER. EXISTING SECOND FLOOR DUCTWORK/DISTRIBUTION TO REMAIN.

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*Robert A. ...*

**REVIEWED**  
 By Dan.Bruechert at 12:38 pm, Sep 19, 2023



**2 FIRST FLOOR MECHANICAL PLAN**  
 Scale: 1/4" = 1'-0"

**BURNELL-VIRK ADDITION**  
 7318 Willow, Takoma Park, MD 20912  
 Project # 2180

22 AUGUST 2023 - PERMIT/BID SET

**MECHANICAL / PLUMBING**  
**MP100**



DATE	ISSUE - REMARKS

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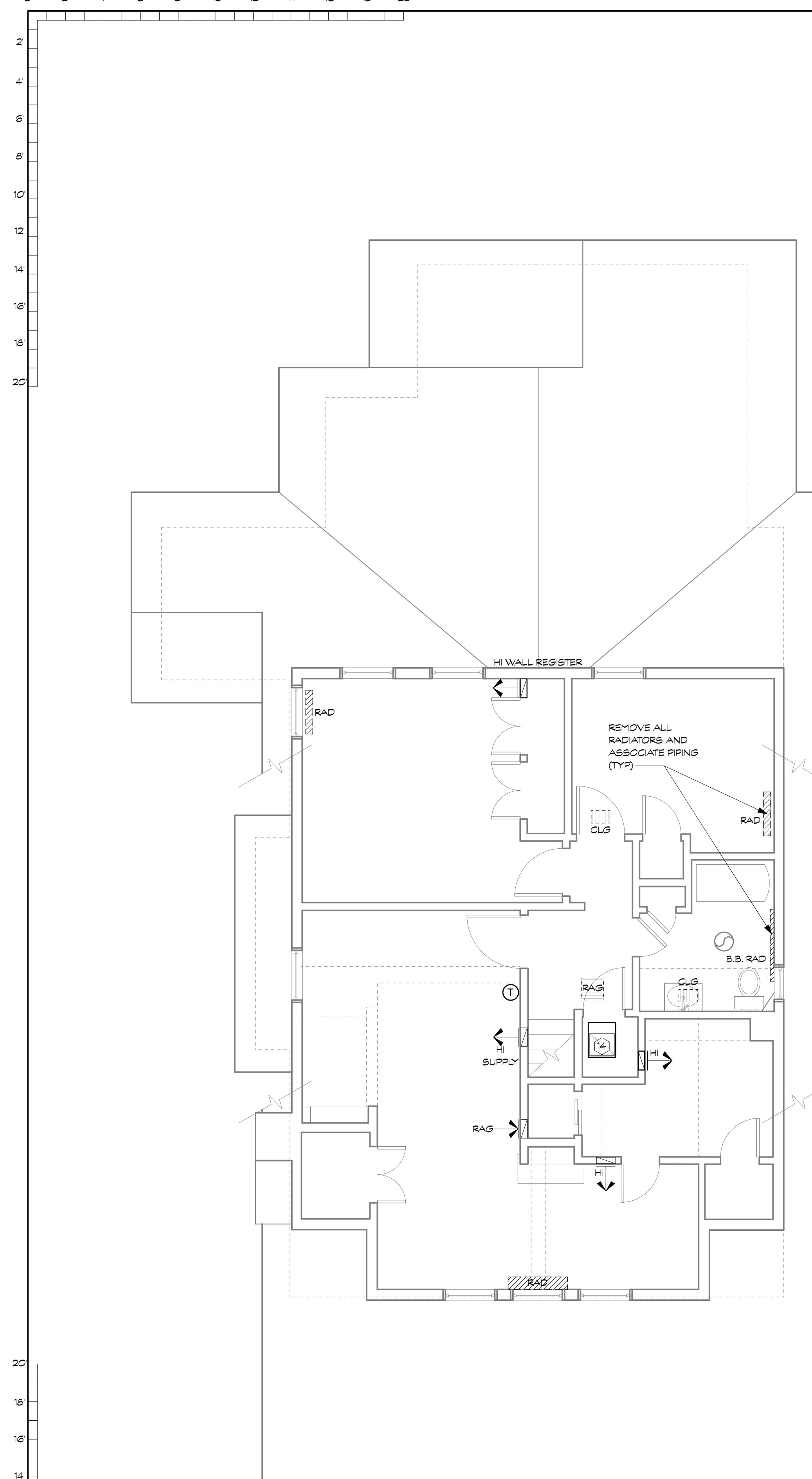
MECHANICAL CONSULTANT

Ron Gallant, Gallant Mechanical  
13001 Cleveland Drive  
Rockville, Maryland 20850      (240) 750-4988

SPECIFICATIONS (CONTINUED FROM SPECIFICATIONS)

DIVISION 15: PLUMBING / MECHANICAL

- 15.1 Plumbing: Contractor shall furnish and install complete domestic hot and cold distribution and sanitary waste and vent system to new fixtures in accordance with all applicable codes, standards, and manufacturer's specifications. Water and waste lines to be tied into existing house system. Existing house waste to be modified as required by new construction. Condition and capacity of existing supply and drainage piping should be reviewed with recommendations for replacement/repair as necessary. All piping in finished areas shall be run in concealed spaces. Neither supply nor waste piping shall be installed anywhere it would limit headroom below 6'-8", without the expressed approval of the Owner.
- 15.1.1 Supply Piping: Hot and cold supply piping shall be type 'L' hard temper copper piping with wrought copper sweat fittings, 95-5 lead-free solder. Supply piping shall be insulated with min. R3, continuous foam pipe jacket insulation. Water service and supply shall be type 'K' copper with matching fittings. Shut-off valves shall be provided at all fixtures. All exposed piping, couplings, valves and accessories shall be chrome plated unless noted otherwise. Copper piping shall be cleaned of all flux residue after installation is complete. Water hammer arrestors shall be provided at all valved appliances such as dishwashers and washing machines.
- 15.1.2 Sanitary lines and vent pipes shall be PVC (UNO).
- 15.1.3 Galvanized Piping: all existing galvanized piping and fittings that are exposed in the course of construction, or readily accessible with modest effort, shall be removed and replaced.
- 15.1.4 Pipe penetrations through partitions should not make rigid contact with framing or gypsum board. Provide resilient sealant around the perimeter opening where pipe passes through.
- 15.1.5 Hose Bib: Existing to remain.
- 15.1.6 Hot Water Heater: Remove existing gas-fired water heater. Provide a new, 50 gallon electric heat pump water heater/tank by Bradford White, Aero-Therm model RE2H50S10 (with mixing valve), to cover all existing and new fixtures. 208 / 230 volt / 30 amp circuit. Provide expansion tank and emergency drain pan. Vent excess "waste cooling" to exterior with dampened outlet to allow capture/retention of cool air in summer time.
- 15.1.7 Gas: Reroute internal service lines as required to bypass new staircase to maintain service to new gas range location.
- 15.1.8 Kitchen fixtures (sink & faucet): Owner to select, Contractor to provide and install. See Div. 17 for Allowance Summary. Provide water via copper tubing supply with in-line filter and shut-off to main refrigerator for water / ice dispenser.
- 15.1.9 Bathroom #1 fixtures (shower head and controls): Owner to select, Contractor to provide and install. See Div. 17 for Allowance Summary. Provide membrane pan and tiled shower floor and curb, per Division 9.
- 15.2 Mechanical
- 15.2.1 Remove existing boiler and all associated radiators and accessible piping. Replace with ducted, central two-zone heat and cooling system as noted below.
- 15.2.2 Cellar mounted system to serve cellar and first floor (see mechanical plans):
  - Condensing Unit: Carrier Infinity 18 VS series model 25VNA837A003 3 Ton / 36,000 BTU / 18 SEER-2 Heat Pump.
  - Air Handler: Carrier FE4-CNF-005 3-1/2 Ton, 42,000 BTU 800 CFM Vertical Air Handler (w/ 15 kw back-up heater)
  - Electrical: Provide 80 amp circuit for AH and 40 amp circuit for CU circuit.
  - Air handler cabinet leakage shall be ≤ 2% of air flow.
  - Provide manual balancing dampers at each main trunkline.
- 15.2.3 Closet mounted system to serve second floor (see mechanical plans):
  - Carrier 25VNA825A003 Two Ton / 24,000 BTU / 18 SEER-2 Condensing Unit.
  - Carrier FE4-CNF-002 Two Ton, 24,000 BTU 800 CFM Vertical Air Handler (w/ 8 kw back-up heater) to replace existing AC only unit.
  - Electrical: Provide 60 amp circuit for AH and 25 amp circuit for CU circuit.
  - Air handler cabinet leakage shall be ≤ 2% of air flow.
  - Vibration isolation
  - Back-up/emergency overflow pan drained to exterior.
- 15.2.4 Heat pump hot water heater condenser air discharge duct and damper.
- 15.2.5 Energy load calculations: HVAC subcontractor shall be responsible to provide any and all energy calculations (Manual J, S and D as applicable) required to properly size/design the system and obtain permits.
- 15.2.6 Performance: Entire installation shall conform to all local applicable codes and manufacturer's specifications including but not limited to:
  - Current adopted version and modifications of ICC IRC
  - Latest SMACNA recommendation.
- 15.2.7 Equipment:
  - Sourcing: the equipment has been specifically selected as products manufactured at unionized plants in the United States. Substitutions will not be considered unless they meet these requirements.
  - Shall be installed in strict conformance with manufacturer's instructions.
- 15.2.8 Warranties:
  - HVAC sub shall register with manufacturer within 90 days of installation.
  - 2 years on all parts and labor.
- 15.2.9 Provide gravity flow PVC condensate drain lines. Condensate from systems ≥ 90% efficient must discharge inside the conditioned envelope (i.e. laundry sink or sump) to avoid freezing at an external outfall. Include an auxiliary safety drain pan beneath fan coil unit in attic. Pan to contain float switch to cut off unit upon accumulation of water in pan.
- 15.2.10 Floor register equal to Lima 40, Selkirk 310 or Hart & Cooley 411. Wall and ceiling registers to be Hart & Cooley 92VHV. Return grilles to be Tuttle and Bailey T-70. Registers located in damp areas - notably bathrooms - shall be made of aluminum, not steel.
- 15.2.11 Ductwork to be galvanized steel fabricated and installed in conformance with ASHRAE GUIDE and ACCA Manual.
  - Elbows in trunk ducts to be square-throated, square-back with turn vanes. Round branch ducts to be connected to trunk ducts using square-to-round take-off fittings.
  - Maximum air velocity in the main duct and branches shall be 900 fpm and 600 fpm respectively.
  - All joints shall be sealed with mastic to minimize air leakage.
  - Total duct leakage shall be ≤ 8 cfm per 100 square feet with air handler installed.
  - Lining only as shown. Internal duct insulation/lining shall be NOT be used on any supply ductwork. All returns shall be lined though the second bend away from air handler unit.
  - Flexible pre-insulated branch ducts may be used in attic as shown. Use flexible duct connections to the air handler.
  - All ductwork in unconditioned spaces shall be insulated and sealed in foil-coated (to inhibit condensation) fiberglass blanket insulation (min R8).
  - Ductwork shall NOT be installed anywhere it would limit headroom below 6'-8" in occupied areas.
  - Oval duct shall be used only as necessitated by framing depths.
  - Building cavities shall not be used as ducts or plenums.
- 15.2.12 Refrigerant piping to follow routes to be determined at site.
- 15.2.13 HVAC piping carrying fluids > 105 degrees F or < 55 degrees F shall be insulated to R3 minimum. Provide UV resistant pipe protection at all exterior applications.
- 15.2.14 Include pre-fabricated foundation for outdoor unit(s).
- 15.2.15 Thermostats: Digital, programmable, WiFi enabled Carrier SYSTXCOTC01 Control.
  - First Floor: in new location. See mechanical plans.
  - Second Floor: to replace existing thermostat in Primary Bedroom.
- 15.3 Exhaust Fans: All exhaust fans and intakes shall have weatherized auto gravity dampers. All vents run through unconditioned space shall be insulated to min R5.
- 15.3.1 Bath exhaust: Contractor shall provide and install wall and ceiling mounted exhaust fans and vents per Division 16, and exterior louver in bathroom(s) per plans. Contractor shall be responsible for ducting through exterior wall and wiring as required. Provide Lutron Maestro timer switch per Division 16: Electrical.
- 15.3.2 Kitchen exhaust: Install new kitchen exhaust and duct to exterior in accordance with manufacturers recommendations. Provide weatherized/dampened termination. Make-up air shall be provided for hoods ≥ 400 CFM. Provide 6 inch diameter outside air duct connected to return of HVAC unit closest to kitchen. Intake shall have a 6 inch wall cap with screen (no flap) with 6 inch automated damper initiated upon operation of the hood exhaust fan at any RPM. Provide low voltage 18/5 control wire interlock from damper to hood. Use induction/current sensing relay or pressure switch on hood monitor.



MECHANICAL NOTES

- DUCT RUN BETWEEN JOISTS
- DUCT RUN UNDER JOISTS
- DUCT RUN UNDER JOISTS/BEAMS SET TIGHT TO FRAMING. ENCLOSED/PROTECT IN INSULATED BULKHEAD. PROVIDE MIN. R-30 COVERAGE BELOW AND BESIDE DUCTWORK, EQUIVALENT TO 3 LAYERS OF 1 1/2" THICK FOIL FACED POLYISOCYANURATE RIGID INSULATION
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- EXISTING GAS-FIRED HWH TO BE REMOVED
- NEW 50 GALLON BRADFORD-WHITE AERO-THERM MODEL RE2H50S10 ELECTRIC HEAT PUMP HOT WATER HEATER. PROVIDE EMERGENCY DRAIN PAN.
- RECONFIGURE GAS SERVICE TO KITCHEN RANGE TO AVOID STAIRCASE
- REMOVE KITCHEN SINK SANITARY LINE LATERAL
- RUN NEW KITCHEN SINK SANITARY LINE THROUGH FLOOR JOISTS TO FAR SIDE OF CENTRAL BEAM, BEYOND NEW SUPPLY TRUNK, AS SHOWN. THEN PROCEED BELOW JOISTS TO WASTE STACK.
- EXISTING GAS-FIRED BOILER/EXPANSION TANK, FLUE AND ALL ASSOCIATED ACCESSIBLE RADIATOR PIPE TO BE REMOVED.
- PROVIDE MIN. TWO LAYERS OF 1 1/2" THICK FOIL FACED POLYISOCYANURATE INSULATION UNDER DUCT IN CANTILEVER
- NEW CONDENSING UNIT. CARRIER MODEL 25VNA825A003 TWO TON / 18 SEER 2
- REMOVE EXISTING AIR HANDLER. REPLACE WITH CARRIER FE4-CNF-002 TWO TON 24,000 BTU 800 CFM VERTICAL AIR HANDLER WITH 8KW BACK-UP HEATER. EXISTING SECOND FLOOR DUCTWORK/DISTRIBUTION TO REMAIN.

1 SECOND FLOOR MECHANICAL PLAN  
Scale: 1/4" = 1'-0"

APPROVED  
Montgomery County  
Historic Preservation Commission

REVIEWED  
By Dan.Bruechert at 12:38 pm, Sep 19, 2023



MECHANICAL / PLUMBING  
**MP101**

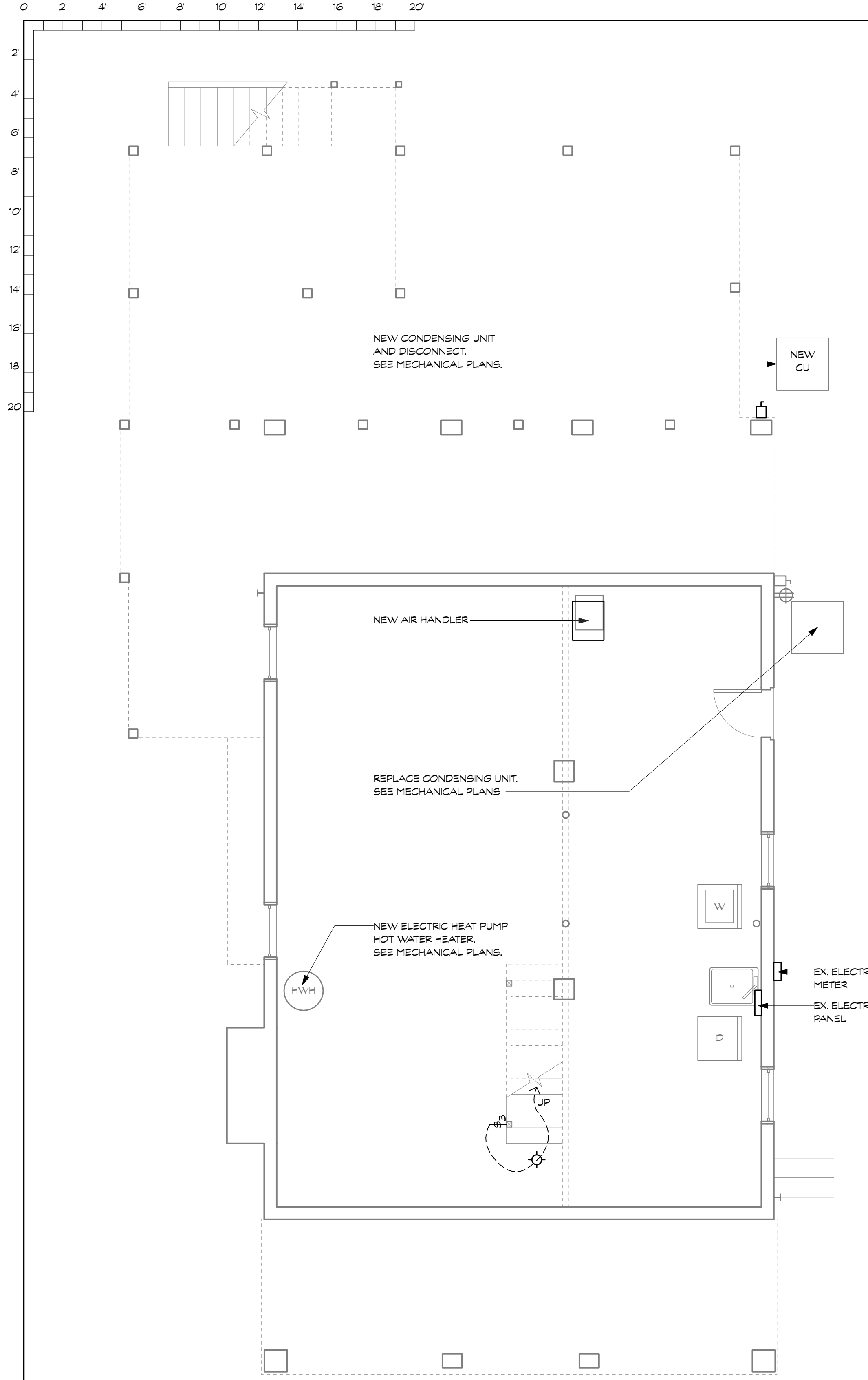
**BURNELL-VIRK ADDITION**  
7318 Willow, Takoma Park, MD 20912  
Project # 2180  
22 AUGUST 2023 - PERMIT/BID SET

DATE	ISSUE - REMARKS

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LICENSE #: 7632A EXPIRATION DATE: 5/21/2025

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**1 CELLAR ELECTRICAL PLAN**  
Scale: 1/4" = 1'-0"

**ELECTRICAL SYMBOLS**

	DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 18' A.F.F. COORDINATE W/ PANEL & EQUIP.
	GFI DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP EXTERNALLY MOUNTED IN WATERPROOF HOUSING
	DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 45' A.F.F. COORDINATE W/ PANEL & EQUIP.
	GFI OUTLET - 20 AMP @ 18' A.F.F.
	GFI OUTLET - 20 AMP @ 45' A.F.F.
	HALF-SWITCH OUTLET - 20 AMP @ 18' A.F.F.
	QUAD RECEPTACLE 15/20 AMP @ 18' A.F.F. (U.N.O.)
	FLOOR MOUNTED DUPLEX RECEPTACLE W/ FLUSH DECORATIVE COVER
	JUNCTION BOX - SIZE AS REQUIRED
	DATA/INTERNET JACK - MOUNT @ 18' A.F.F. (U.N.O.)
	CABLE TV OUTLET
	EXISTING SMOKE DETECTOR - REPLACE/RELOCATE AS NECESSARY TO MEET CODE
	SMOKE DETECTOR - HARDWIRED INTERCONNECT PER CODE
	EXHAUST FAN - NUTONE MODEL LS-100

**LIGHTING SYMBOLS**

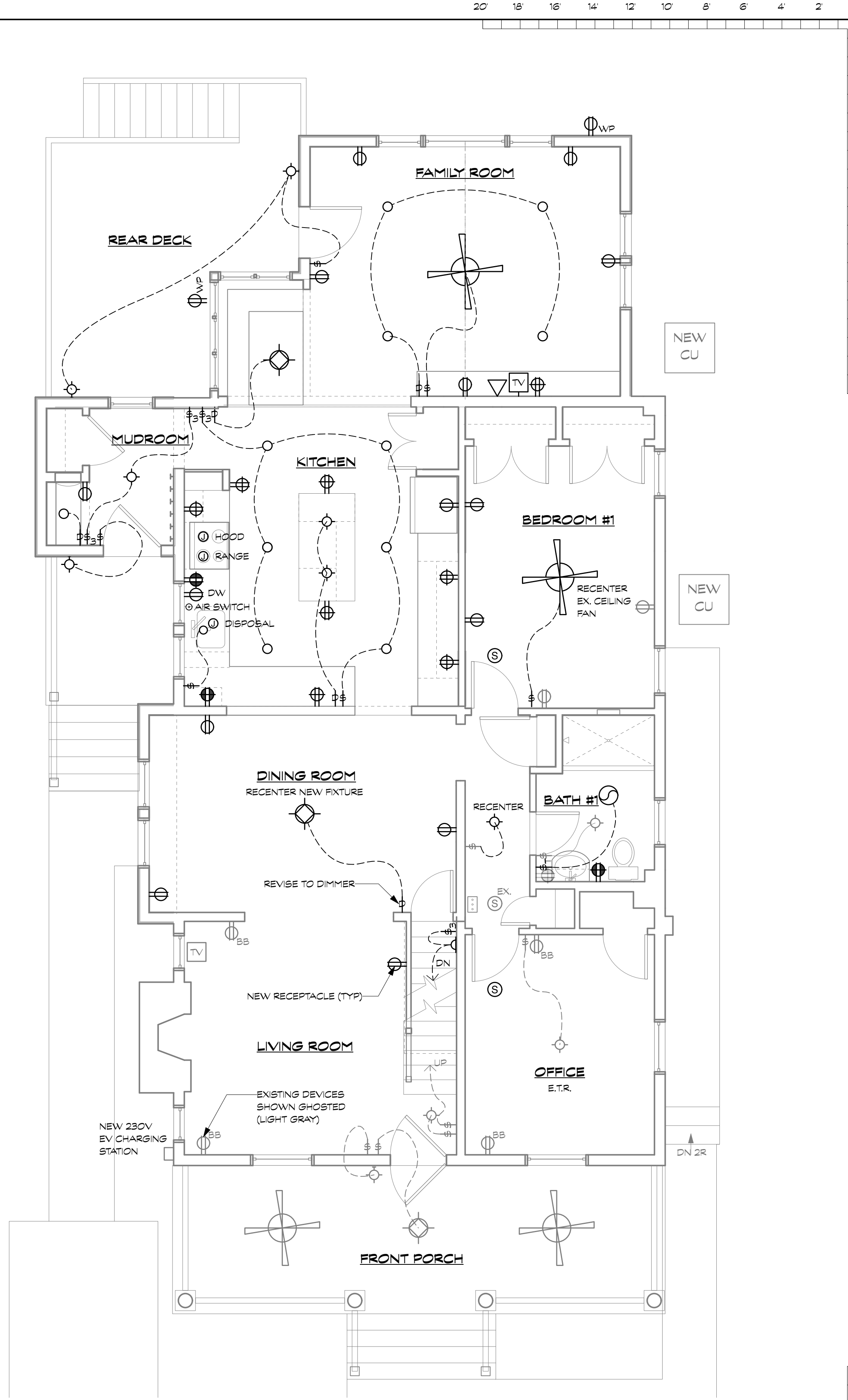
	SURFACE MOUNTED CEILING LIGHT FIXTURE
	FULLY RECESSED INCANDESCENT LIGHT - LIGHTOLIER LYTECASTER MODEL #1005 WH (5)
	FULLY RECESSED INCANDESCENT WALL WASH LIGHT - MOUNT 2'-0" FROM WALL U.N.O.
	UNDER CABINET MOUNTED FIXTURE
	SUSPENDED HALOGEN FIXTURE
	PENDANT FIXTURE
	VANITY LIGHT
	WALL-MOUNTED LIGHT FIXTURE
	SCONCE FIXTURE
	CEILING FAN/LIGHT
	FLUORESCENT LIGHT FIXTURE
	SWITCH
	THREE WAY SWITCH
	TIMER SWITCH
	DIMMER SWITCH
	DIMMER THREE WAY SWITCH
	JAMB SWITCH
	SECURITY FLOODLIGHT ON MOTION DETECTOR

GENERAL: PROVIDE I.C. HOUSING AS NECESSARY IN INSULATED CAVITIES

APPROVED  
Montgomery County  
Historic Preservation Commission

*[Signature]*

**REVIEWED**  
By Dan.Bruechert at 12:38 pm, Sep 19, 2023



**2 FIRST FLOOR ELECTRICAL PLAN**  
Scale: 1/4" = 1'-0"

**BURNELL-VIRK ADDITION**  
7318 Willow, Takoma Park, MD 20912  
Project # 2180

22 AUGUST 2023 - PERMIT/BID SET

CELLAR & FIRST FLOOR ELECTRICAL  
**E100**

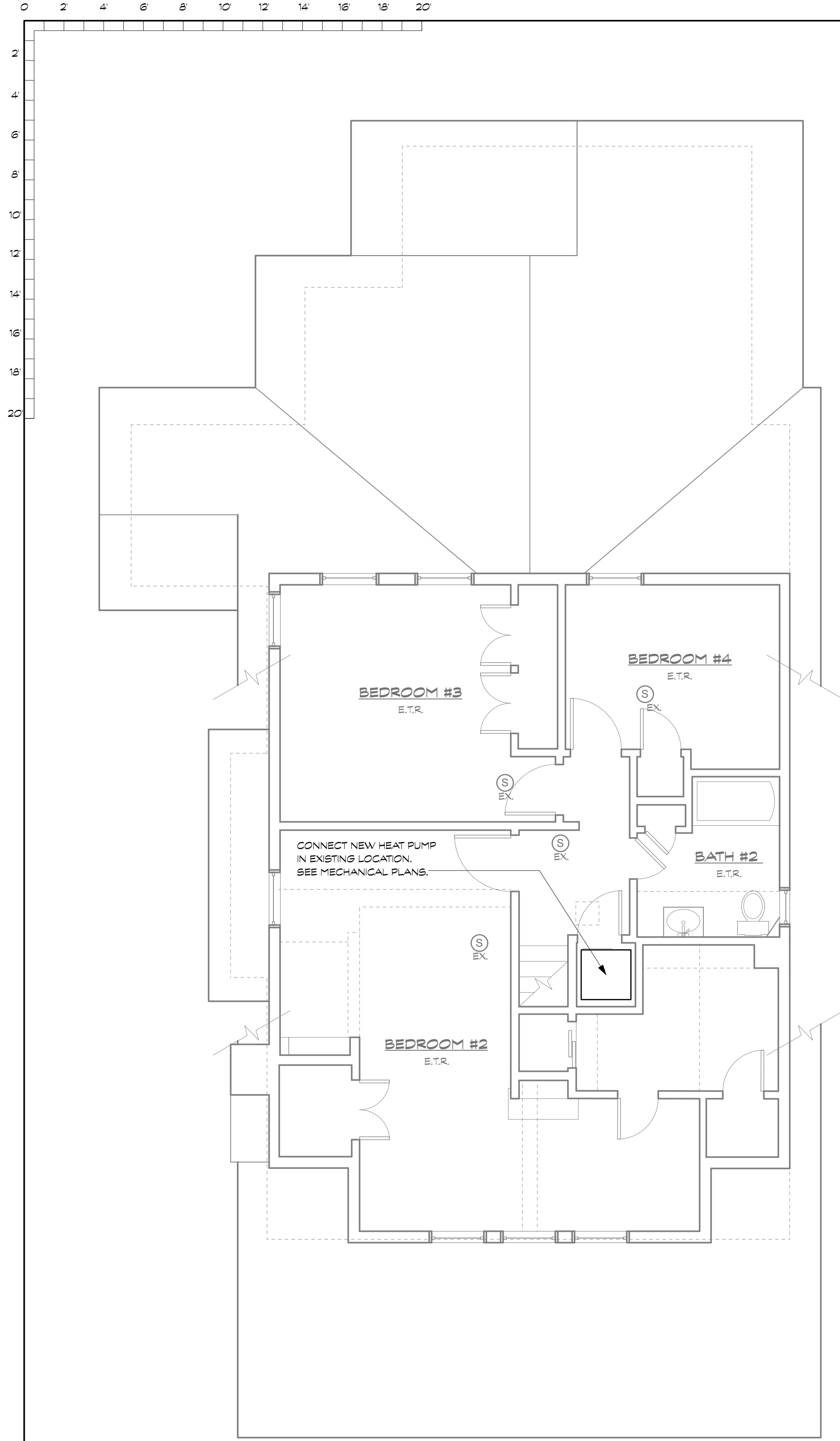


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**1 SECOND FLOOR ELECTRICAL PLAN**  
 Scale: 1/4" = 1'-0"

**ELECTRICAL SYMBOLS**

	DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 15' A.F.F. COORDINATE W/ PANEL & EQUIP.
	GFI DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP EXTERNALLY MOUNTED IN WATERPROOF HOUSING
	DUPLEX RECEPTACLE (OUTLET) - 15/20 AMP @ 45' A.F.F. COORDINATE W/ PANEL & EQUIP.
	GFI OUTLET - 20 AMP @ 15' A.F.F.
	GFI OUTLET - 20 AMP @ 45' A.F.F.
	HALF-SWITCH OUTLET - 20 AMP @ 15' A.F.F.
	QUAD RECEPTACLE 15/20 AMP @ 15' A.F.F. (U.N.O.)
	FLOOR MOUNTED DUPLEX RECEPTACLE W/ FLUSH DECORATIVE COVER
	JUNCTION BOX. SIZE AS REQUIRED
	DATA/INTERNET JACK - MOUNT @ 15' A.F.F. (U.N.O.)
	CABLE TV OUTLET
	EXISTING SMOKE DETECTOR - REPLACE/RELOCATE AS NECESSARY TO MEET CODE
	SMOKE DETECTOR - HARDWIRED INTERCONNECT PER CODE
	EXHAUST FAN - NUTONE MODEL LS-100

**LIGHTING SYMBOLS**

	SURFACE MOUNTED CEILING LIGHT FIXTURE
	FULLY RECESSED INCANDESCENT LIGHT-LIGHTOLIER LYTECASTER MODEL #1005 WH (5')
	FULLY RECESSED INCANDESCENT WALL WASH LIGHT-MOUNT 2'-0" FROM WALL U.N.O.
	UNDER CABINET MOUNTED FIXTURE
	SUSPENDED HALOGEN FIXTURE
	PENDANT FIXTURE
	VANITY LIGHT
	WALL-MOUNTED LIGHT FIXTURE
	SCONCE FIXTURE
	CEILING FAN/LIGHT
	FLUORESCENT LIGHT FIXTURE
	SWITCH
	THREE WAY SWITCH
	TIMER SWITCH
	DIMMER SWITCH
	DIMMER THREE WAY SWITCH
	JAMB SWITCH
	SECURITY FLOODLIGHT ON MOTION DETECTOR

GENERAL: PROVIDE 1/2" HOUSING AS NECESSARY IN INSULATED CAVITIES

**SPECIFICATIONS (CONTINUED FROM SPECIFICATIONS)**

**DIVISION 16: ELECTRICAL**

- 16.1 Electrical service: Existing electric service shall be reviewed by Contractor and Electrical subcontractor. Provide new service, subpanel and/or additional breakers as necessary to accommodate new work, equipment, systems and appliances. Provide ground fault interrupt breakers at panels as required for all outlets requiring GFCI safety cutoff where indicated and where otherwise required. Label all new circuits at the panel.
- 16.2 Receptacles and Switches: Contractor shall provide wall switches, dimmer switches, and wall plates, etc. in areas of new work in conformance with NEC and local code. Contractor shall provide and install all specialty and appliance receptacles and switches.
- Style: Decora style as manufactured by Lutron.
  - Typical single pole rocker switch shall be Lutron model CA-1PS-WH.
  - Three way rocker switch shall be Lutron model CA-3PS-WH.
  - Dimmer switch shall be Lutron model LUT DVCL-153P-WH (wattage rating requirement should be coordinated with fixtures).
  - Representative duplex receptacle style shall be Lutron model CAR-15/20-SW (coordinate amperage with equipment/circuit)
  - Timer switch for exhaust fans shall be Maestro model MA-TS1-WH.
  - Color: All devices and cover plates shall be white, unless noted otherwise.
  - Consistency: Where devices are added in existing spaces all devices in that space shall be upgraded to match new devices.
  - Plates: use standard, not enlarged wall plates, in finish to match devices.
- 16.3 Provide ground fault interrupt devices where indicated and where otherwise required by code. Provide arc fault devices in all habitable spaces where ground fault are not otherwise provided.
- 16.4 Lighting: Owner to select. Contractor to provide and install. See Div. 17 for Allowance Summary. See drawings for locations. Coordinate mounting heights with Architect. Provide housings rated for insulation contact in all insulated ceiling cavities (housings shall be labeled to indicate <2.0 CFM leakage at 75 Pa.). Seal at housing / interior finish. Submit all recessed fixtures for review and approval prior to rough wiring. 85% of lamps in permanent fixtures or 85% of permanent fixtures shall use high efficiency lamps.
- 16.5 Bath exhausts: Contractor to provide/install.
- Bathroom #1: Broan Ultra Green model XB80. Ceiling mounted, 0.3 sones, 80 CFM with 4 inch dia duct, or approved equal.
- 16.6 Smoke/Fire protection: Smoke/Carbon Monoxide detectors shall be installed in each sleeping room, outside of each separate sleeping area in the immediate vicinity of the bedrooms and on each additional story of the dwelling, including basements and cellars. Provide 10-year lithium-ion battery or hardwired with battery back-up. All detectors shall be approved and listed and shall be installed in accordance with the manufacturer's instructions.
- 16.7 Telephone & Cable TV:
- Telephone / Data: Provide Category 5E, 4 pair wiring at each jack as shown on drawings. Contractor shall provide jacks and install for data and telephone. Each jack shall be wired as a dual jack outlet, one for data, one for telephone. Each jack shall be homerun to the phone board. Provide a main phone panel adjacent to the main electrical panel. Phone service shall be established by the Owner, with coordination assistance from the contractor.
  - Cable TV: Provide RG-6 jacks in locations shown. Provide homerun wiring from each jack.

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*[Signature]*

**REVIEWED**  
 By Dan.Bruechert at 12:38 pm, Sep 19, 2023



**BURNELL-VIRK ADDITION**  
 7318 Willow, Takoma Park, MD 20912  
 Project # 2180

22 AUGUST 2023 - PERMIT/BID SET

**SECOND FLOOR ELECTRICAL PLAN**  
**E101**

# City of Takoma Park

Housing and Community Development Department

Main Office 301-891-7119  
Fax 301-270-4568  
www.takomaparkmd.gov



7500 Maple Avenue  
Takoma Park, MD 20912

## MUNICIPALITY LETTER

August 22, 2023

**To:** Cary Burnell, Devki Virk  
7318 Willow Avenue  
CBurnell@usw.org

301-585-2222

**To:** Department of Permitting Services  
2425 Reedie Drive, 7<sup>th</sup> floor  
Wheaton, Maryland 20902

**From:** Planning and Development Services Division

### **THIS IS NOT A PERMIT – For Informational Purposes Only**

VALID FOR ONE YEAR FROM DATE OF ISSUE

The property owner is responsible for obtaining all required permits from Montgomery County and the City of Takoma Park. If this property is in the **Takoma Park Historic District**, it is subject to Montgomery County Historic Preservation requirements.

**Representative Name:** Susan Darcey

susan@bfmarch.com

301-793-9229

**Location of Project:** 7318 Willow Avenue, Takoma Park 20912

**Proposed Scope of Work:** One story rear addition with deck and two modest extensions at side facade.

The purpose of this municipality letter is to inform you that the City of Takoma Park has regulations and city permit requirements that may apply to your project. This municipality letter serves as notification that, in addition to all Montgomery County requirements, you are required to comply with all City permitting requirements, including:

- Tree Impact Assessment/Tree Protection Plan
- Stormwater management
- City Right of Way

Failure to comply with these requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law. Details of Takoma Park's permit requirements are attached on page 2.

The issuance of this letter does not indicate approval of the project nor does it authorize the property owner to proceed with the project. The City retains the right to review and comment on project plans during the Montgomery County review process.



# City Of Takoma Park

## The City of Takoma Park permits for the following issues:

### Tree Impact Assessment/Tree Protection Plan/Tree Removal Application:

Construction activities that occur within 50 feet of any urban forest tree (7 and 5/8" in trunk diameter or greater), located on the project property or on an adjacent property, may require a Tree Impact Assessment and possibly a Tree Protection Plan Permit. Make sure to submit a request for a Tree Impact Assessment and schedule a site visit with the City's Urban Forest Manager if any urban forest tree is in the vicinity of proposed construction activities. See the Tree Permits section of the City website for the specific conditions in which a Tree Impact Assessment is required. Depending on the Urban Forest Manager's conclusion following the Tree Impact Assessment, you may need to prepare a full Tree Protection Plan and apply for a Tree Protection Plan Permit as well. Separately, the removal of any urban forest tree will require a Tree Removal Permit application. The tree ordinance is detailed in the City Code, section 12.12. For permit information check: <https://takomaparkmd.gov/services/permits/tree-permits>. The City's Urban Forest Manager can be reached at 301-891-7612 or [urbanforestmanager@takomaparkmd.gov](mailto:urbanforestmanager@takomaparkmd.gov).

### Stormwater Management:

If you plan to develop or redevelop property, you may be required to provide appropriate stormwater management measures to control or manage runoff, as detailed in City Code section 16.04. All commercial or institutional development in the city must apply for a Stormwater Management Permit regardless of the size of the land disturbance. Additions or modifications to existing detached single-family residential properties do not require a Stormwater Management permit if the project does not disturb more than 5,000 square feet of land area. For more information on visit: <https://takomaparkmd.gov/government/public-works/stormwater-management-program/>. The City Engineer should be contacted to determine if a City permit is required. The City Engineer can be reached at 301-891-7620.

### City Right of Way:

- To place a **construction dumpster or storage container** temporarily on a City right of way (usually an adjacent road), you will need to obtain a permit. A permit is not required if the dumpster is placed in a privately-owned driveway or parking lot.
- If you plan to install a new **driveway apron**, or enlarge or replace an existing driveway apron, you need a Driveway Apron Permit.
- If you plan to construct a **fence** in the City right of way, you need to request a Fence Agreement. If approved, the Agreement will be recorded in the Land Records of Montgomery County.

For more information and applications for City permits, see: <https://takomaparkmd.gov/services/permits/> or contact the Department of Public Works at 301-891-7633.

**Failure to comply with the City's permitting requirements could result in the issuance of a Stop Work Order and other administrative actions within the provisions of the law.**

eSigned via SeamlessDocs.com  
*Susan Emery Darcey*  
Key: 38bf2056622713c0b979ea7ee94776a

Susan Emery Darcey

08-22-2023

eSigned via SeamlessDocs.com  
*Takoma Park Planning Division*  
Key: 19fe64f123e96a3ff4576219059d5fba

08-22-2023