



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: August 1, 2022

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #99320 - Building Addition, Screened-in Porch, and Deck

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the June 8, 2022 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Michele Kurtz & Scott Greenberger
Address: 7128 Willow Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



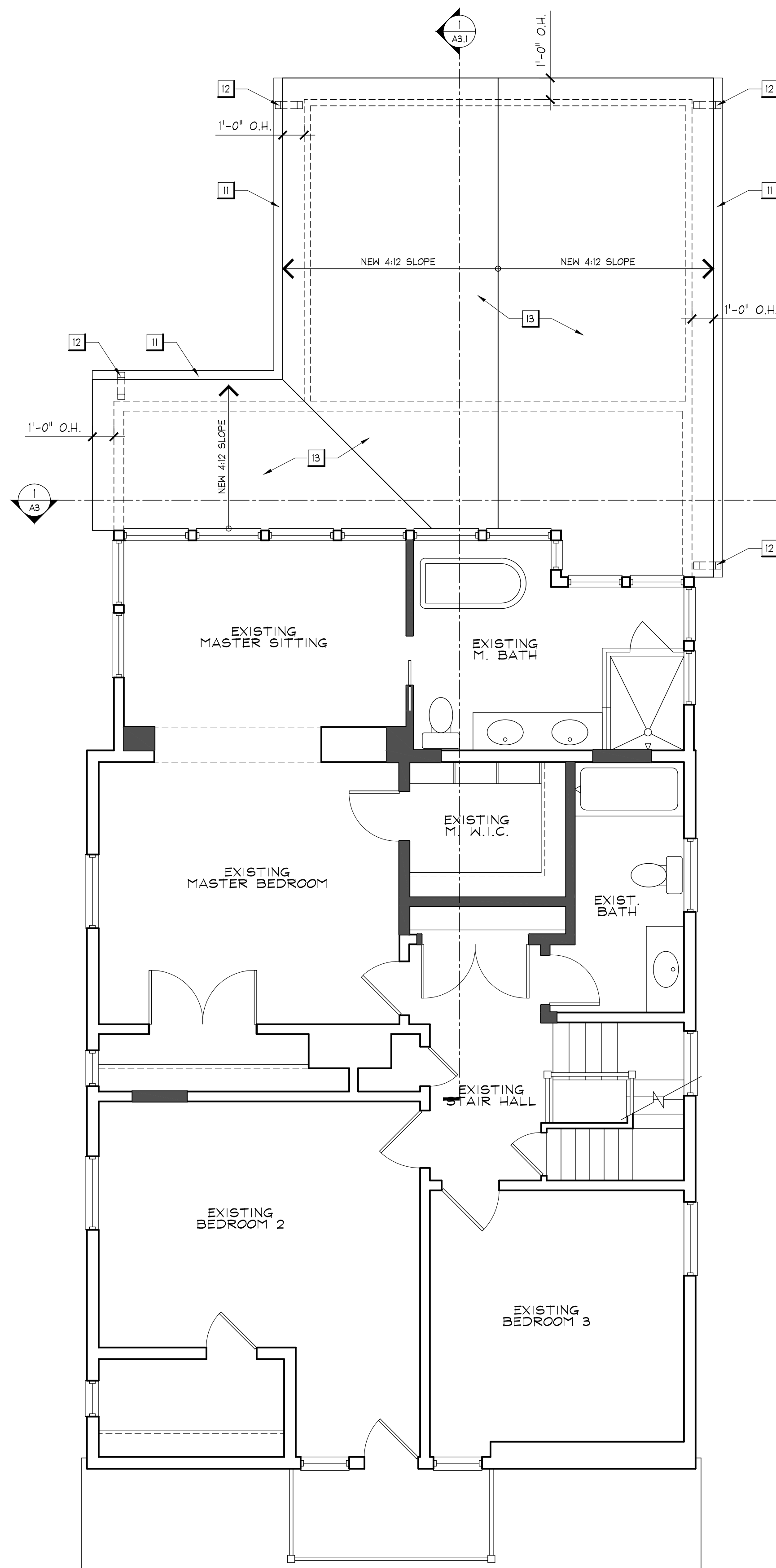
DOOR SCHEDULE										
DOOR NO.	ROOM NAME	DOOR SIZE	DOOR TYPE	HDWR SET	THRESH	DOOR DETAILS			REMARKS	
						HEAD	JAMB	SILL		
FIRST FLOOR										
1A	BREAKFAST	PR. 2'-6" x 6'-8"	FRENCH	1	ALUM.	-	-	-	FRENCH DOOR TO BE SELECTED BY OWNER	

HARDWARE SETS: (ALL HARDWARE FINISHES TO BE SELECTED BY OWNER)
 6. (3) 3.5" HINGES EACH DOOR, ENTRY LOCK AND DEADBOLT

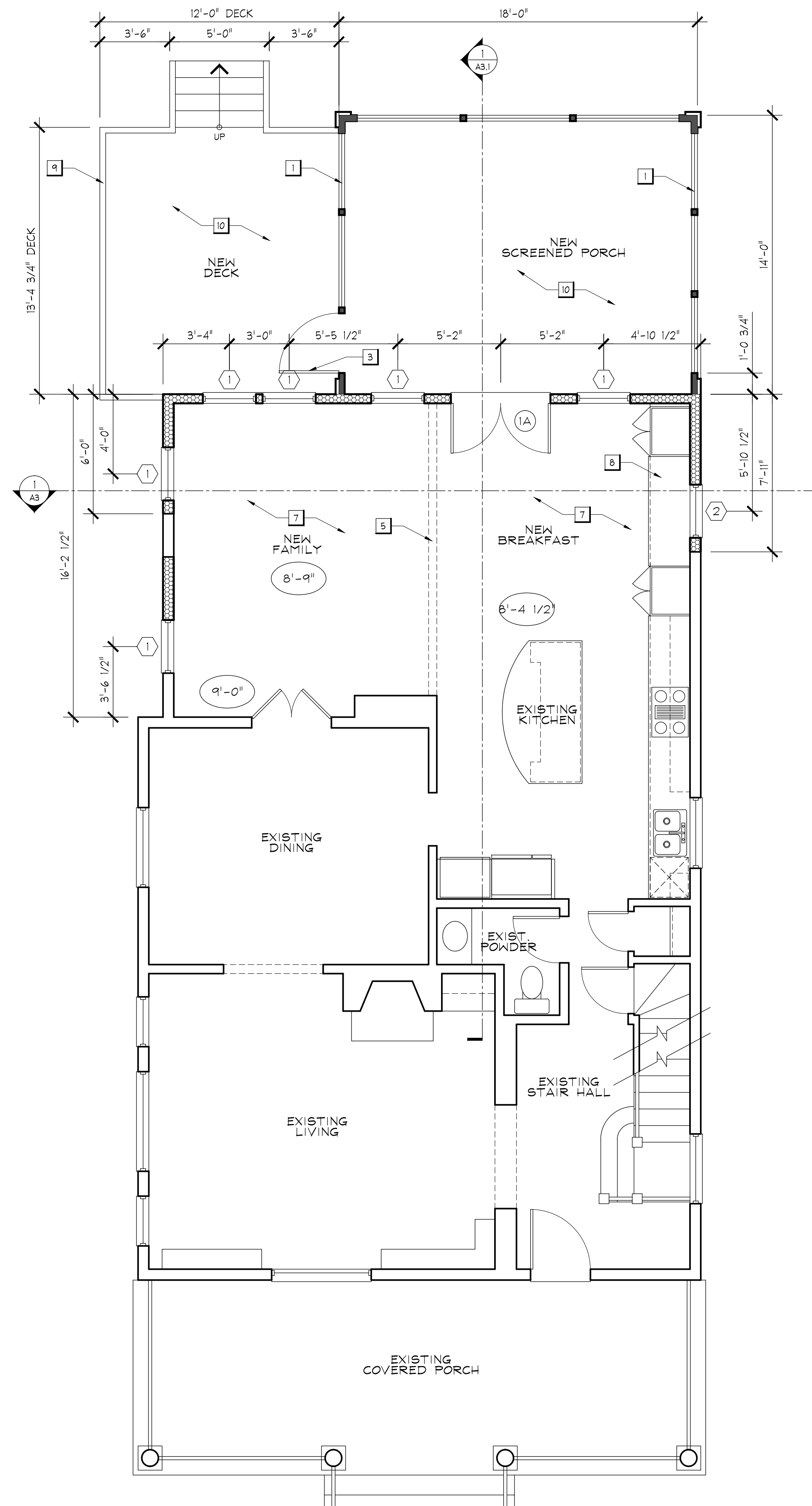
MUNICIPAL STAMPS

WINDOW SCHEDULE										
SYMB	MANUFACTURER	TYPE	MATERIAL	APPROX. UNIT SIZE	WINDOW DETAILS			REMARKS		
					HEAD	JAMB	SILL			
(1)	TBD	DOUBLE HUNG	WOOD	32" X 66"				QUANTITY = 6		
(2)	TBD	DOUBLE HUNG	WOOD	32" X 54" (VIF)				QUANTITY = 1; COORDINATE SILL HGT. W/ COUNTER		

- HARDWARE AND FINISH TO BE SELECTED BY OWNER
- ALL WINDOWS TO BE WOOD UNITS WITH 7/8" SIMULATED DIVIDED LITES AS SHOWN IN THE ELEVATION DRAWINGS
- DOUBLE GLAZING, LOW E GLASS WITH ARGON
- ARCHITECT TO REVIEW FINAL WINDOW ORDER BEFORE PURCHASING



2 PROPOSED SECOND FLOOR/ROOF PLAN
 A1.2 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
 A1.1 1/4" = 1'-0"

FLOOR PLAN KEYNOTES:

- INSECT SCREENING
- 4X4 POSTS WRAPPED IN 1X TRIM BOARDS
- NEW 32" SCREEN DOOR - SELECTED BY OWNER
- NEW 36" VANITY
- NEW DROPPED BEAM PER FRAMING PLANS
- NOT USED
- NEW HARDWOOD FLOORING TO MATCH DIRECTION OF EXISTING - ADD BLOCKING UNDER FLOOR AS NEEDED
- NEW KITCHEN CABINETS PER SEPARATE KITCHEN DESIGN DRAWINGS
- NEW 36" HIGH DECK GUARDRAIL
- PT DECKING BOARDS
- 5" PRE-FINISHED GUTTER TO MATCH EXISTING HOUSE
- DOWNSPOUT - MATCH EXISTING HOUSE
- NEW 30 YEAR ARCHITECTURAL ROOF SHINGLE - COLOR SELECTED BY OWNER

GENERAL NOTES:

- ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY ON NEW WALLS, AND TO FACE OF FINISH OF EXISTING WALLS.
- ANGLED WALLS ARE 45° TO ADJACENT WALLS, U.N.O.
- DOORS TO BE LOCATED 4" FROM WALL ON HINGE SIDE OR CENTER OF THE SPACE, U.N.O.

FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW INT. 2X4 STUD WALL, U.N.O.
- NEW EXT. 2X4 STUD FURRED WALL R-13 MIN. INSULATION
- NEW EXTERIOR 2X6 STUD WALL; R-20 MIN. INSULATION
- NEW 8" CONC. MASONRY WALL
- NEW BRICK MASONRY WALL OR PIER
- EXISTING WALL TO BE REMOVED
- EXISTING ITEM TO BE REMOVED
- 8'-0" CEILING HEIGHT INDICATOR

APPROVED
 Montgomery County
 Historic Preservation Commission

REVIEWED
 By Dan.Bruechert at 10:34 am, Aug 01, 2022

SAUL ARCHITECTS
 8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
 P: 301.270.0395
 info@saularchitects.com
 www.saularchitects.com

REVISIONS

KURTZ/GREENBERGER RESIDENCE
 ADDITION AND RENOVATION
 7128 WILLOW STREET | TAKOMA PARK, MD 20912



Eric Saul
 Digitally signed by Eric Saul
 Date: 2022.07.18 10:19:14 -0400
 PROFESSIONAL CERTIFICATION:
 I, ERIC SAUL, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 14248, EXPIRATION DATE JUNE 30, 2023

PROJECT NUMBER: 21090

PRINTING LOG	
DATE	PURPOSE
03.14.22	SD MEETING 1
05.03.22	SD MEETING 2
07.11.22	PERMIT SET

PROPOSED FIRST AND SECOND FLOOR/ROOF PLANS

A1.1

MUNICIPAL STAMPS

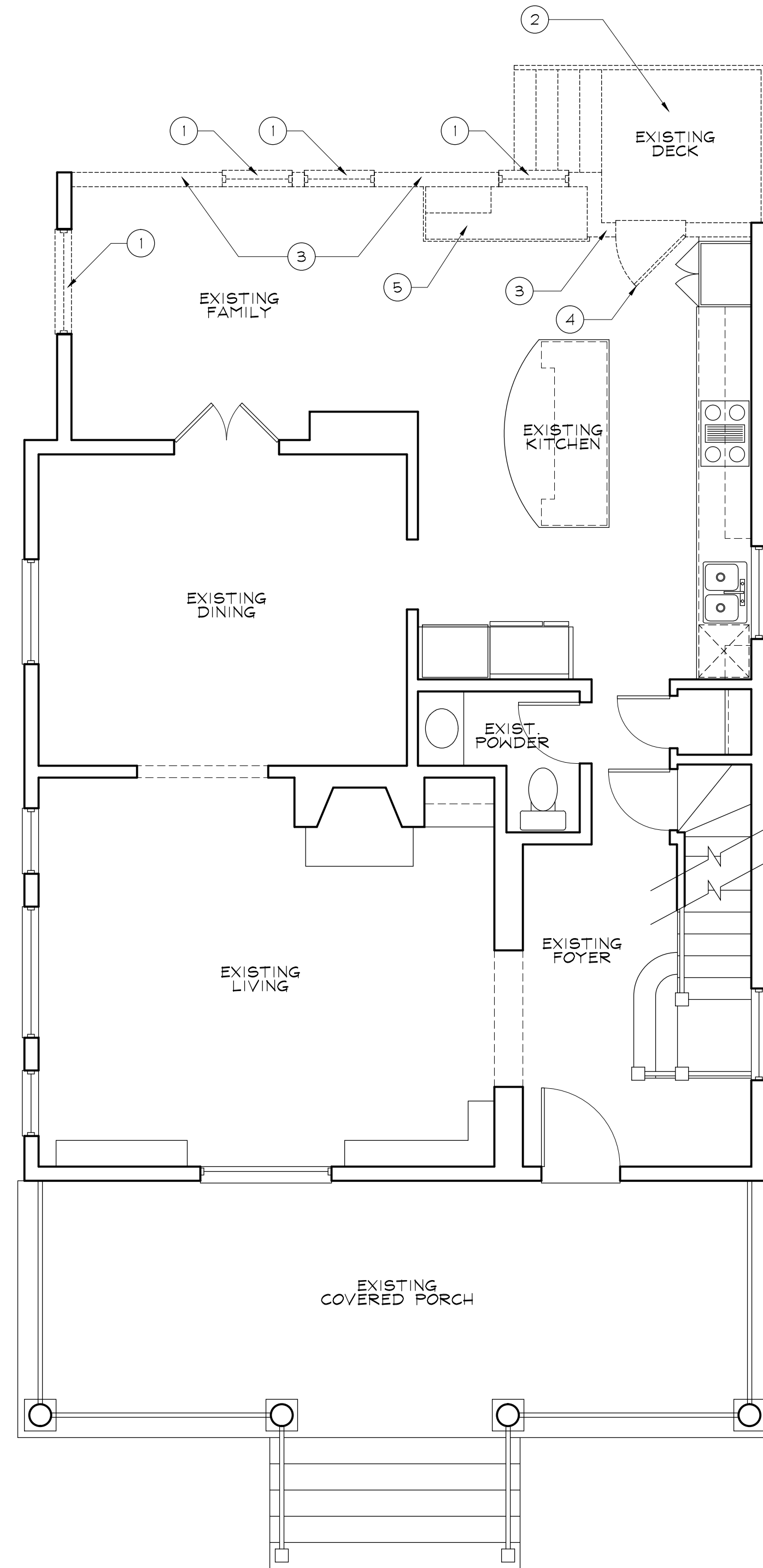
DEMOLITION KEYNOTES:

- 1 EXISTING WINDOW TO BE REMOVED
- 2 EXISTING METAL DECK AND STAIR TO BE REMOVED
- 3 BEARING WALL TO BE REMOVED - SEE FRAMING PLANS FOR NEW BEAM
- 4 EXISTING DOOR TO BE REMOVED
- 5 DEMO EXISTING CABINETS

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DO NOT SCALE THE DRAWINGS. THE ORIGINAL SHEET SIZE SHALL BE A COPY OF ANY OTHER SHEET BEING CALLED OUT. ANY CHANGES TO THE ORIGINAL SHEET ARE TO BE MADE ON THE ORIGINAL SHEET. ANY CHANGES TO THE ORIGINAL SHEET ARE TO BE MADE ON THE ORIGINAL SHEET. ANY CHANGES TO THE ORIGINAL SHEET ARE TO BE MADE ON THE ORIGINAL SHEET. BY ANY METHOD, IN WHOLE OR IN PART, WITHOUT WRITTEN CONSENT OF THE COPYRIGHT OWNER IS PROHIBITED.



GENERAL DEMO NOTES

1. DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE DEMOLITION WORK IN A GENERAL MANNER.
2. EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.
3. SEAL OFF UNDISTURBED AREAS OF THE BUILDING FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS. SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.
4. EXISTING CONCEALED ELEMENTS WERE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSAL.
5. ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER. PROTECT ANY STORED ITEMS TO BE RE-USED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC.
6. ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.



Eric Saul
 Digitally signed by Eric Saul
 Date: 2022.07.18 10:18:33 -0400
 PROFESSIONAL CERTIFICATION:
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APPROVED
 Montgomery County
 Historic Preservation Commission

REVIEWED
 By Dan.Bruechert at 10:35 am, Aug 01, 2022

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EXISTING/DEMO FLOOR PLANS

A1

FLOOR PLAN LEGEND

	EXISTING WALL TO REMAIN
	NEW INT. 2X4 STUD WALL, U.N.O.
	NEW EXT. 2X4 STUD FURRED WALL R-13 MIN. INSULATION
	NEW EXTERIOR 2X6 STUD WALL; R-20 MIN. INSULATION
	NEW 8" CONC. MASONRY WALL
	NEW BRICK MASONRY WALL OR PIER
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED
	CEILING HEIGHT INDICATOR

1 EXISTING/DEMO FIRST FLOOR PLAN
 A1 1/4" = 1'-0"

MUNICIPAL STAMPS

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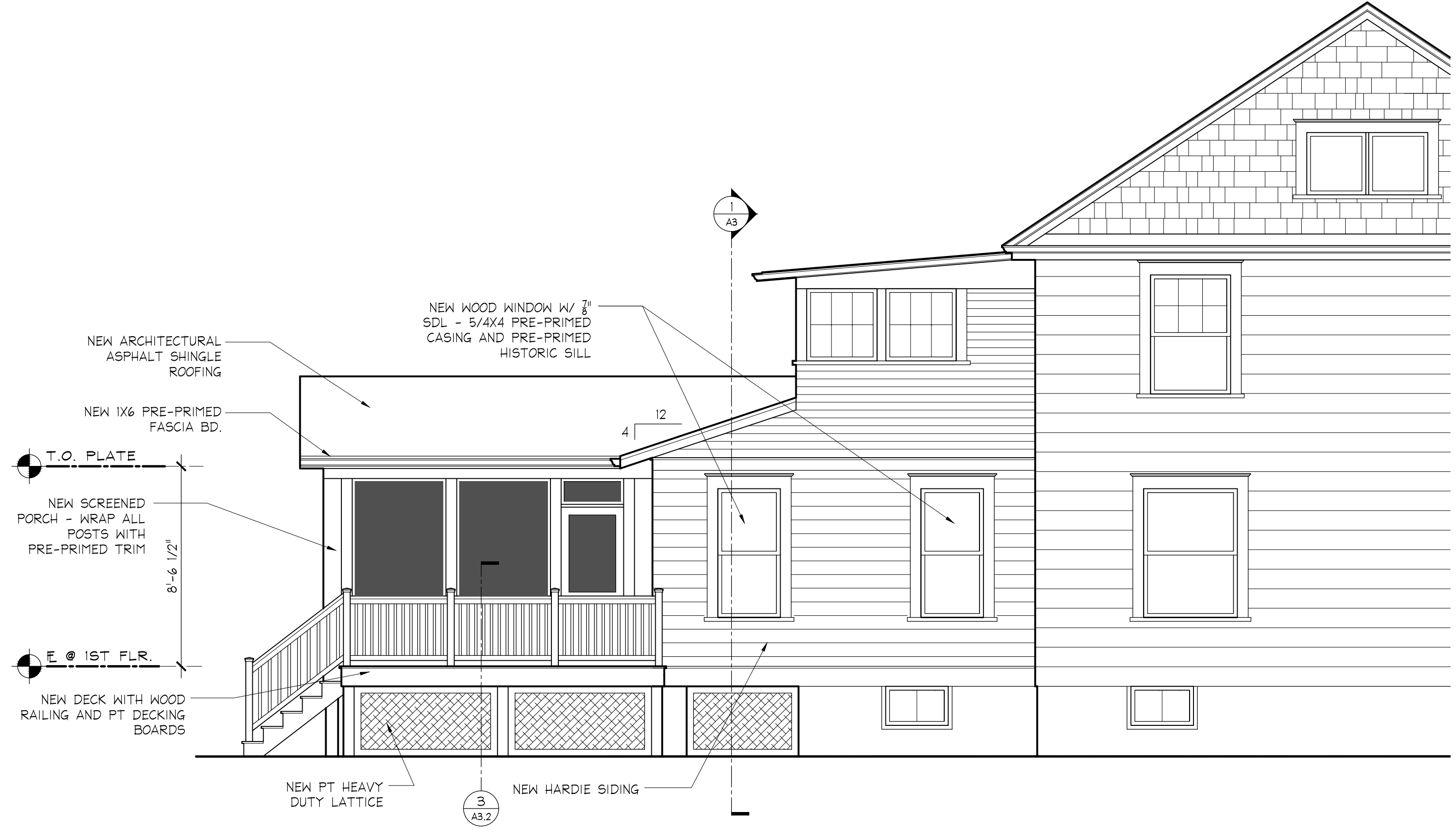
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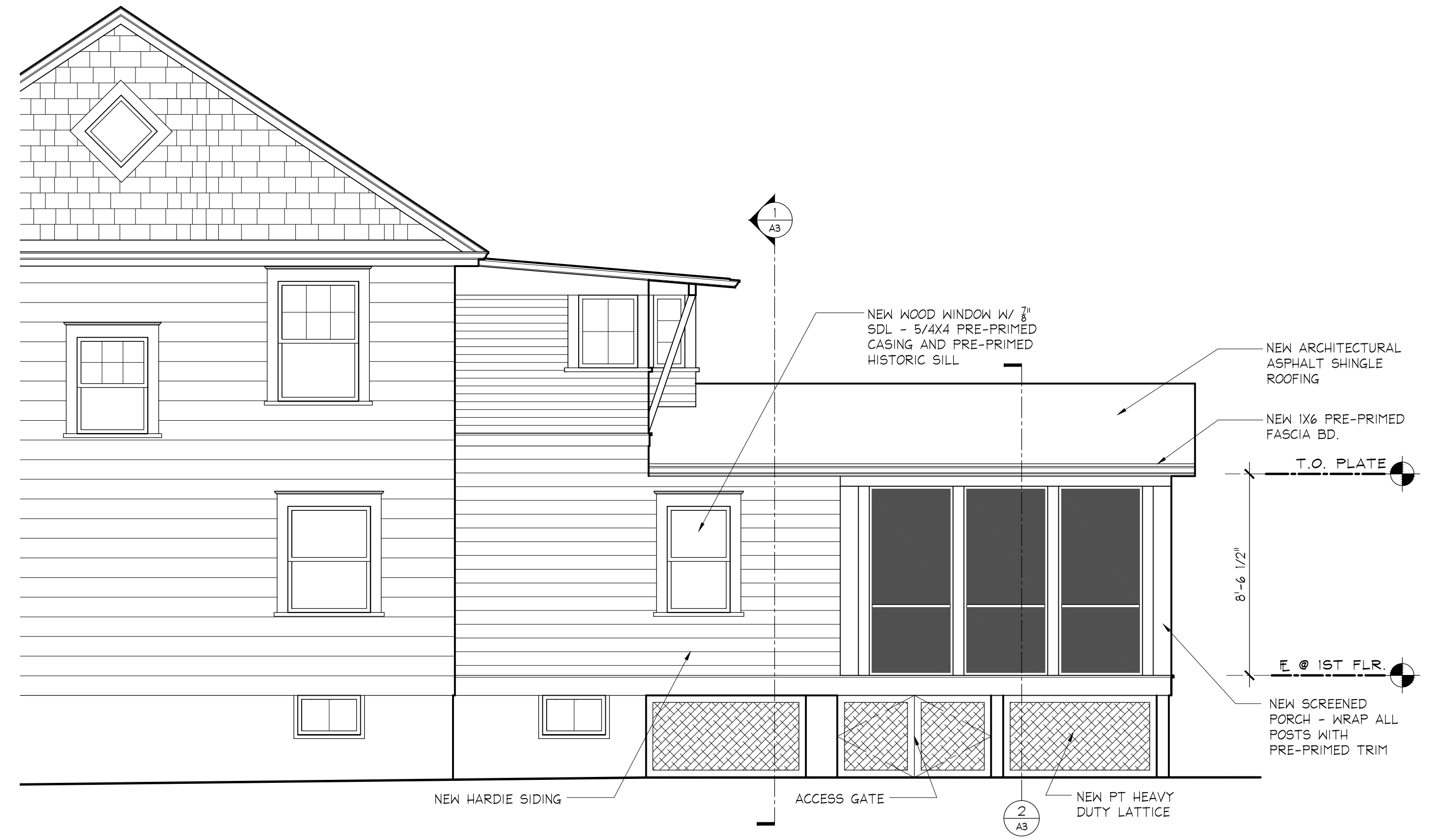
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EXTERIOR ELEVATIONS

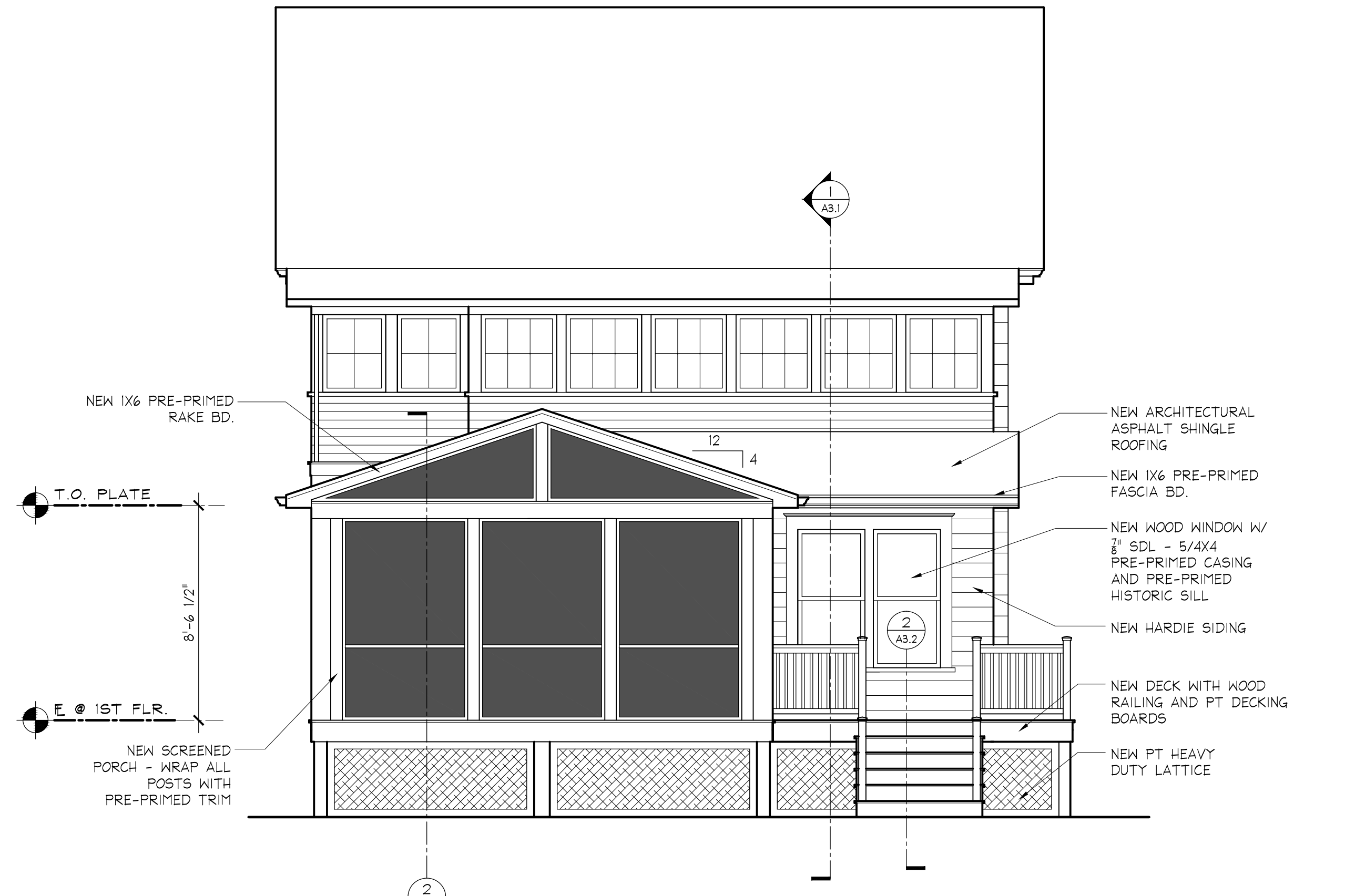
A2



3 PROPOSED SIDE (SOUTH) ELEVATION
A2 1/4" = 1'-0"



2 PROPOSED SIDE (NORTH) ELEVATION
A2 1/4" = 1'-0"



1 PROPOSED REAR ELEVATION
A2 1/4" = 1'-0"

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Robert H. ...

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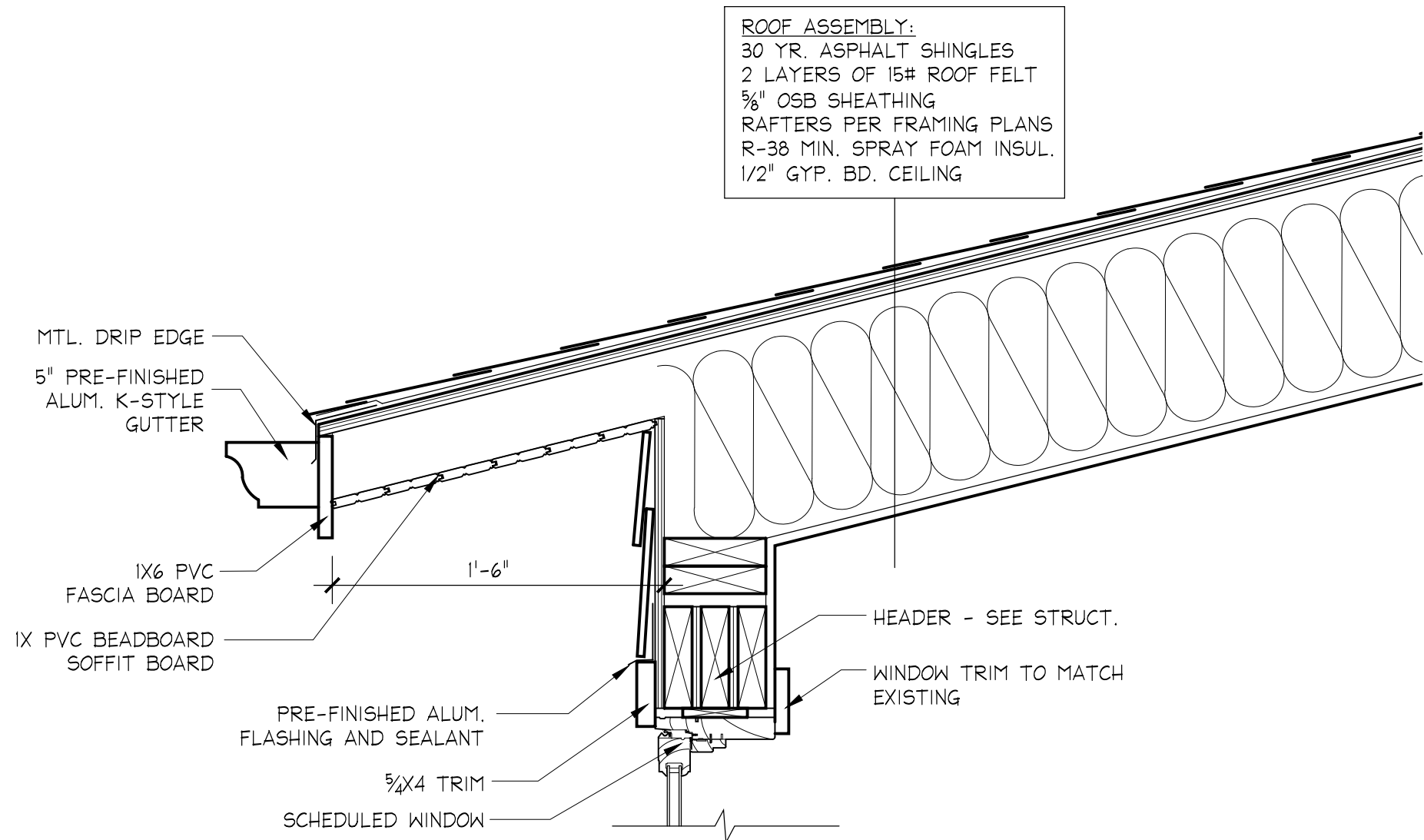
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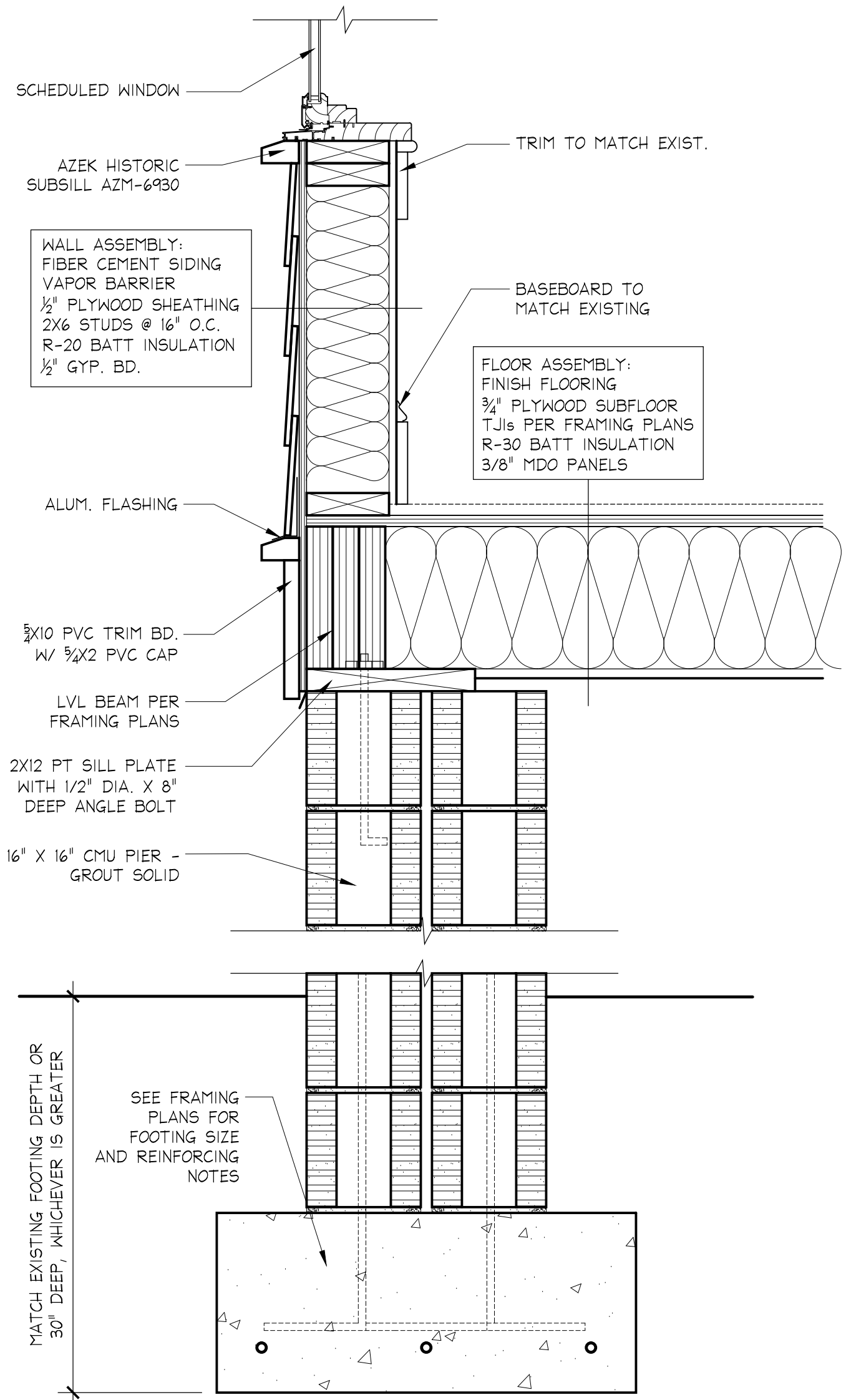
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07.11.22	PERMIT SET

BUILDING SECTION AND DETAILS

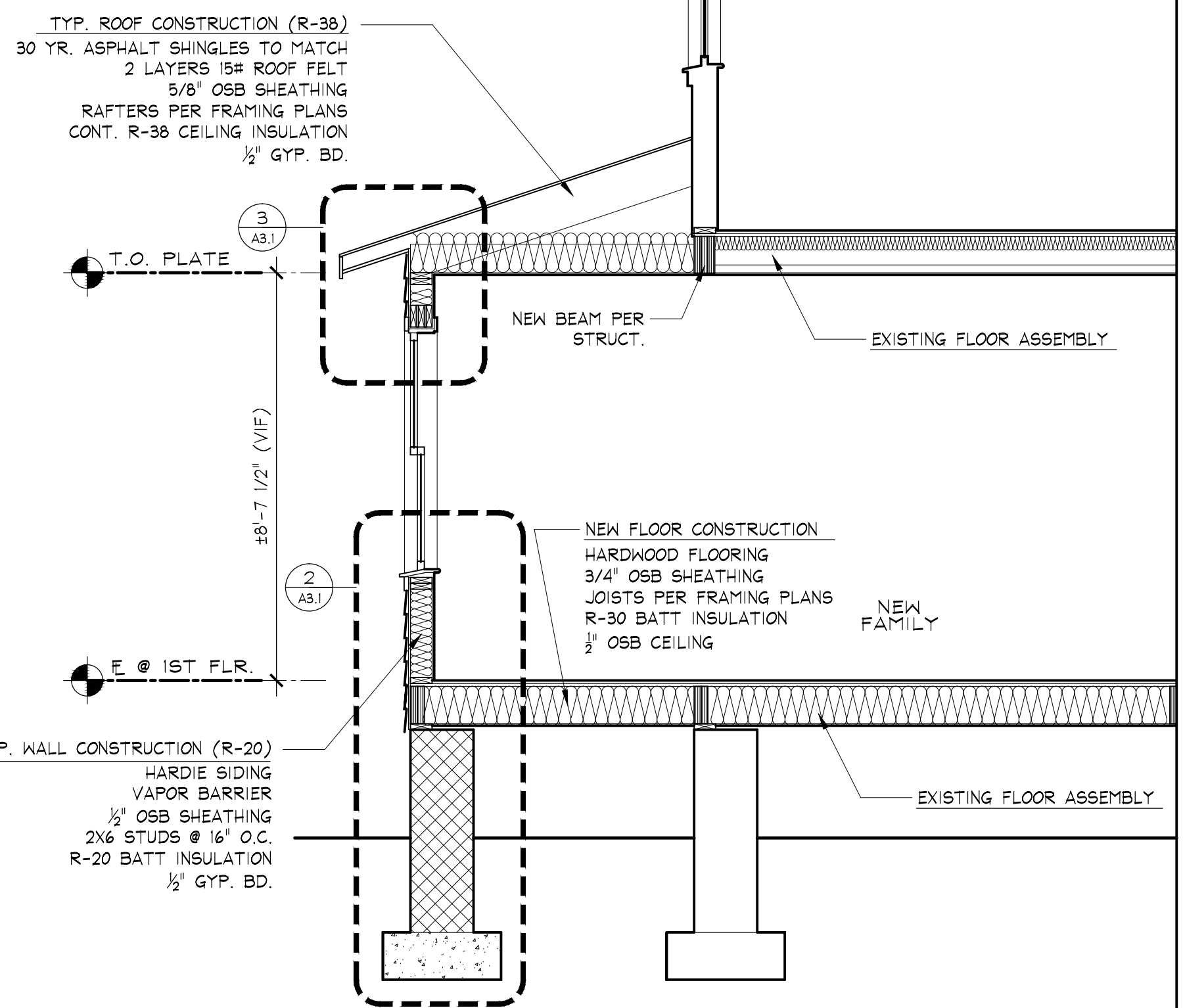
A3.1



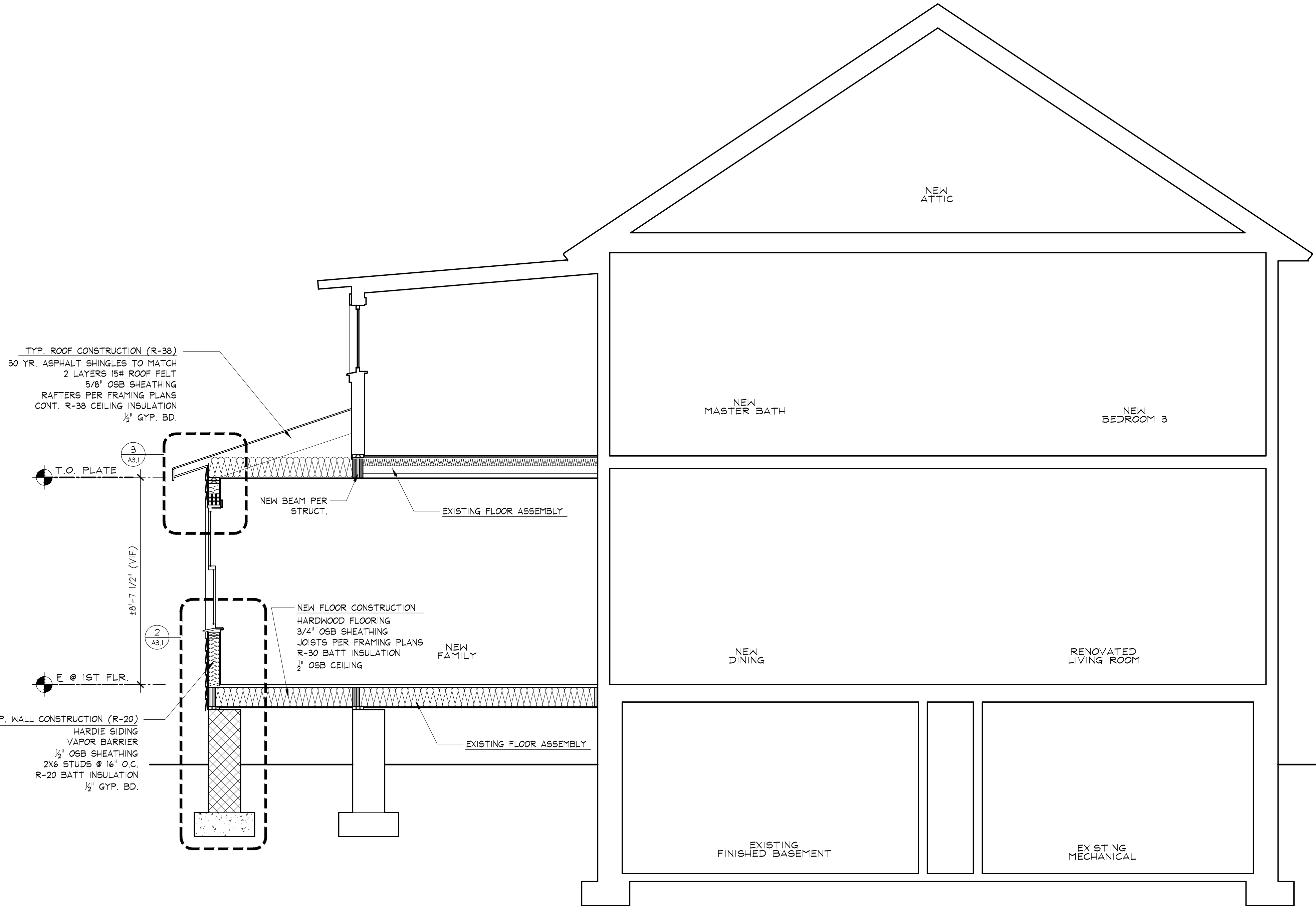
3 TYP. EAVE DETAIL
A3.1 1 1/2" = 1'-0"



2 TYP. FOUNDATION DETAIL
A3.1 1 1/2" = 1'-0"



1 LONGITUDINAL BUILDING SECTION
A3.1 3/8" = 1'-0"

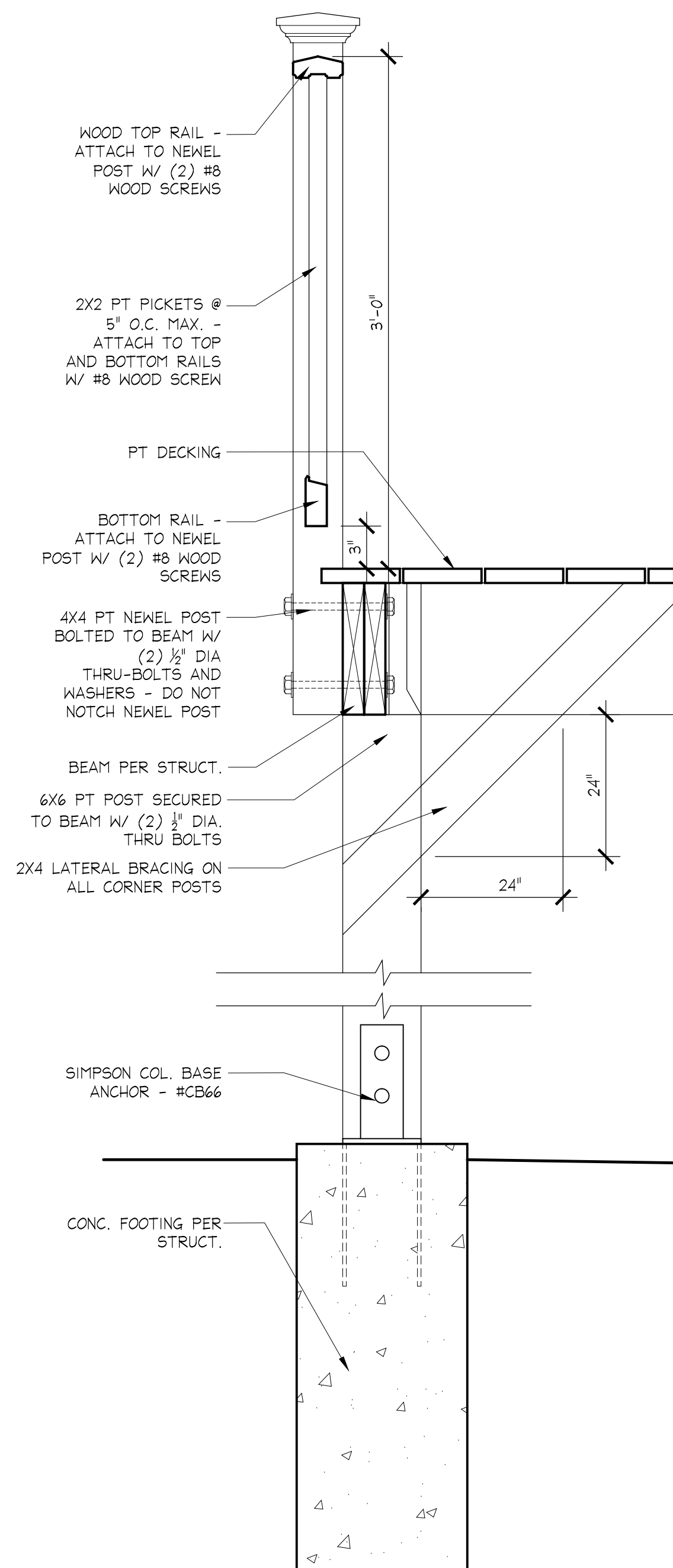


MUNICIPAL STAMPS

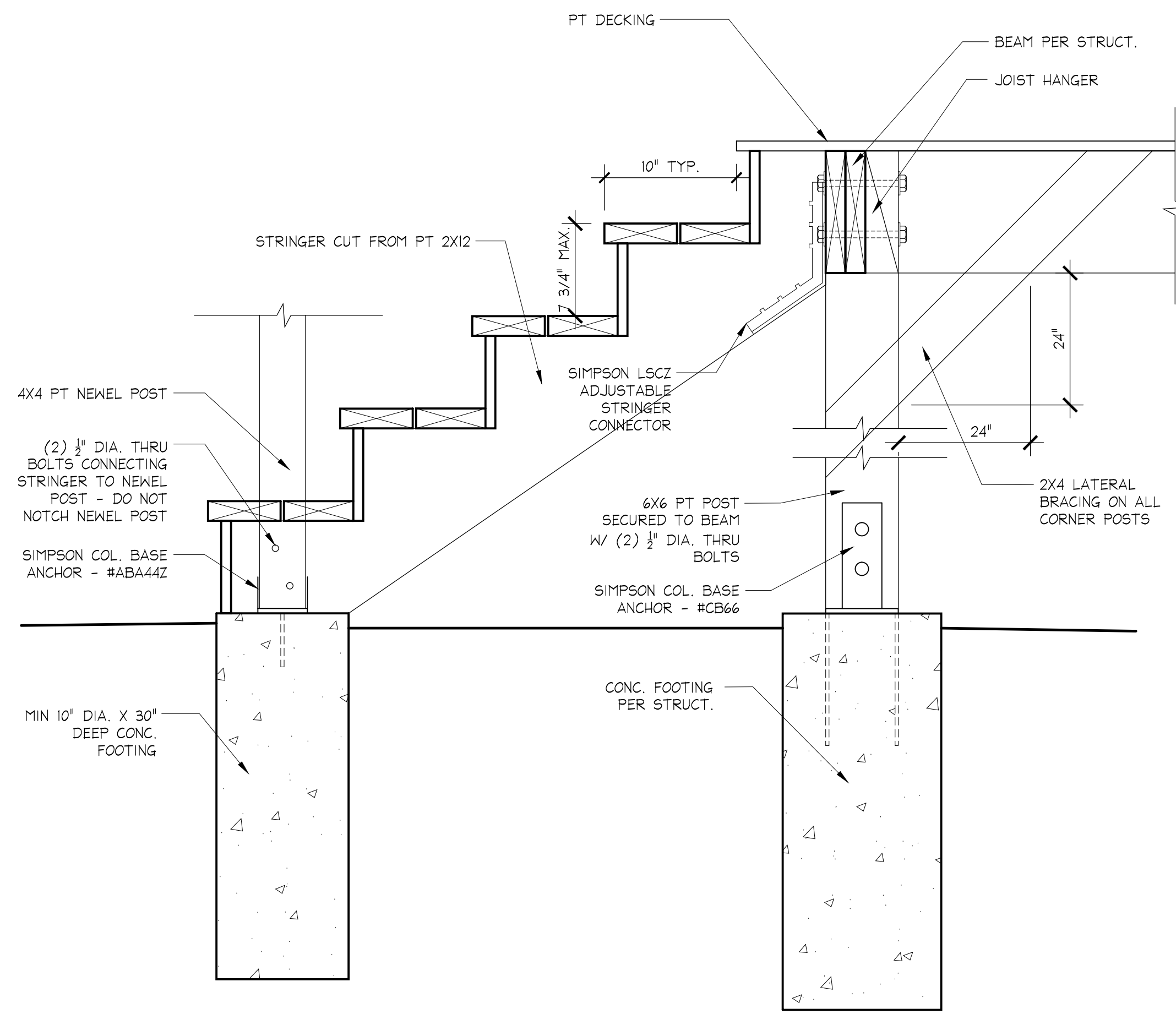
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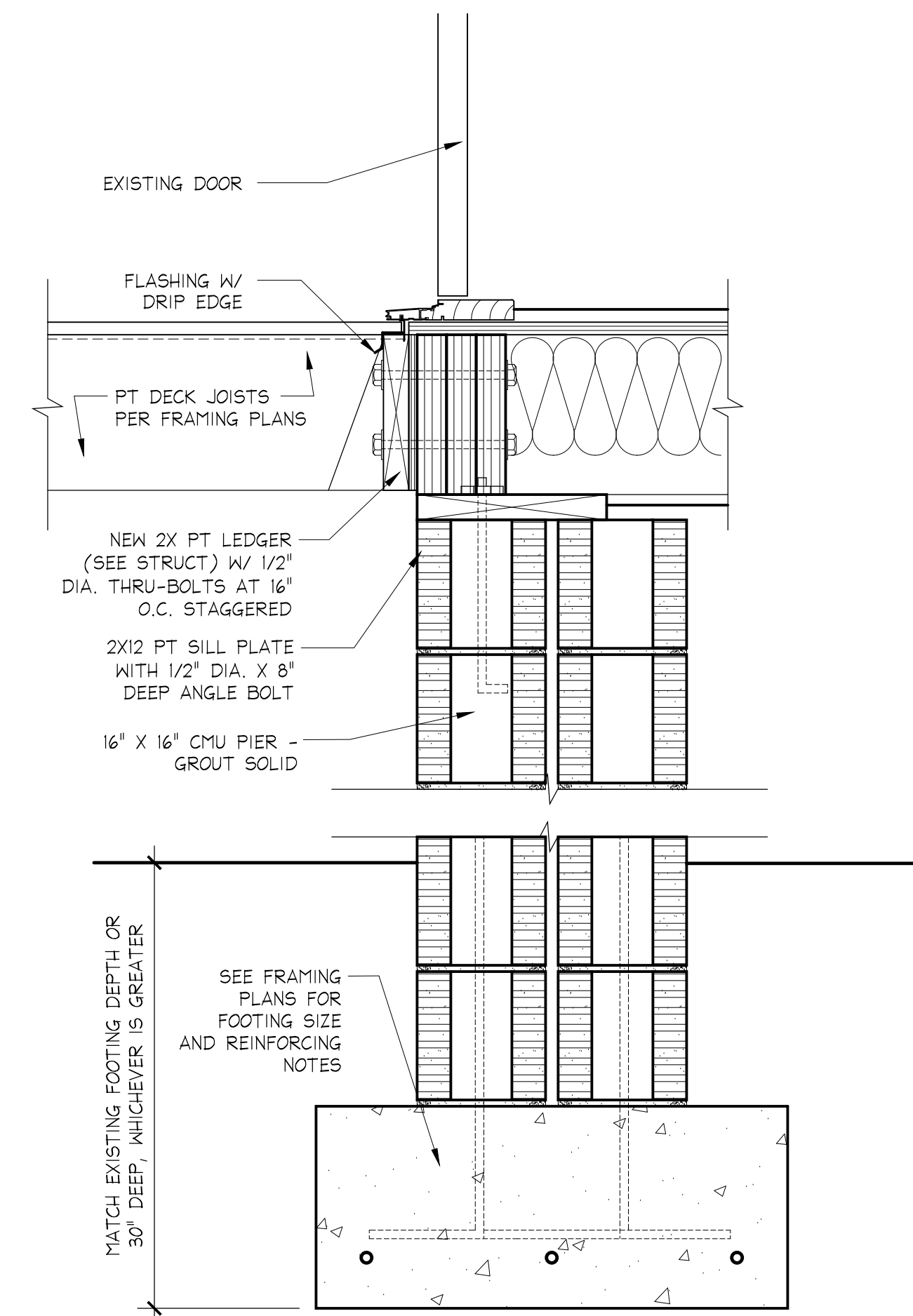
REVIEWED
By Dan.Bruechert at 10:36 am, Aug 01, 2022



3 TYP. DECK RAILING DETAIL
A3.2 1 1/2" = 1'-0"



2 TYP. DECK STAIR DETAIL
A3.2 1 1/2" = 1'-0"



1 TYP. DECK CONNECTION DETAIL
A3.2 1 1/2" = 1'-0"

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Digitally signed by Eric Saul
Date: 2022.07.18 10:21:03 -0400
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DECK DETAILS

A3.2

MUNICIPAL STAMPS

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Montgomery County
Historic Preservation Commission

Robert H. [Signature]

REVIEWED
By Dan.Bruechert at 10:33 am, Aug 01, 2022

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Digitally signed by
Eric Saul
Date: 2022.07.18
10:30:06 -0400

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ARCHITECT UNDER THE LAWS OF
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LICENSE NO. 14248, EXPIRATION
DATE JUNE 30, 2023

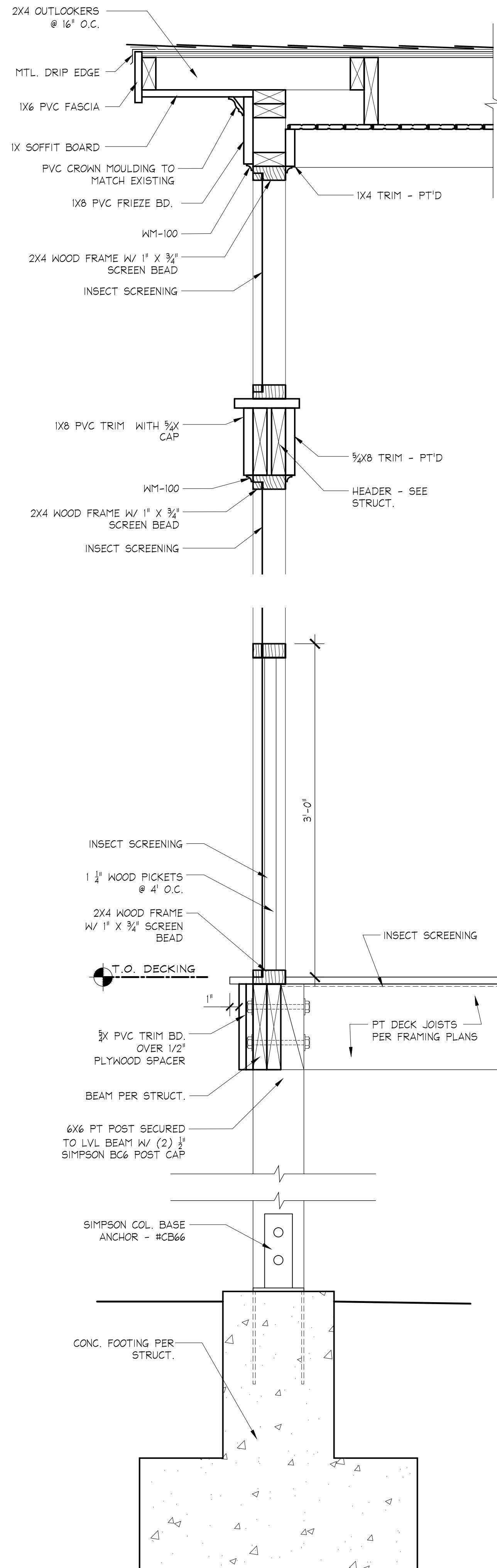
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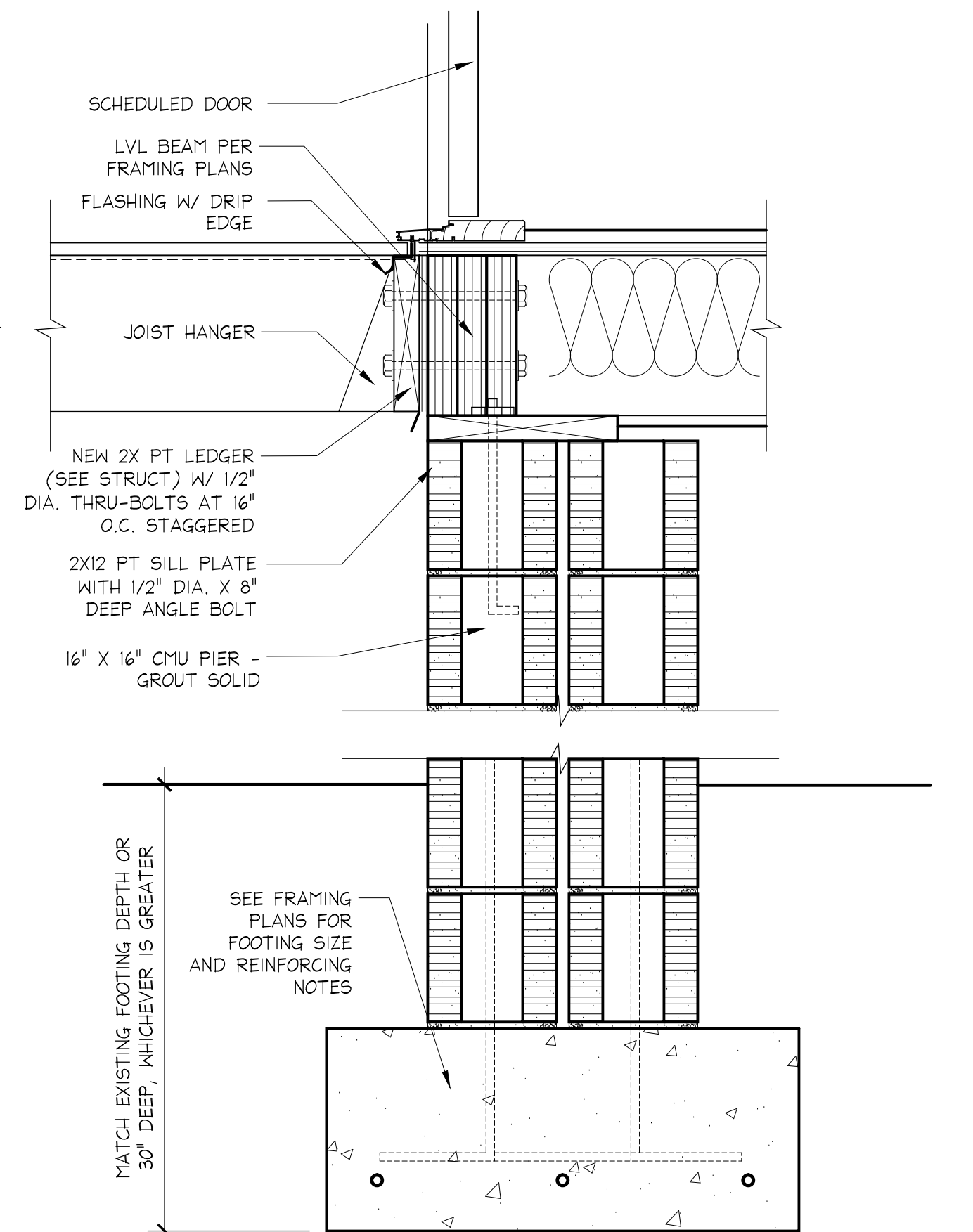
DATE	PURPOSE
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BLDG. SECTIONS
AND DETAILS

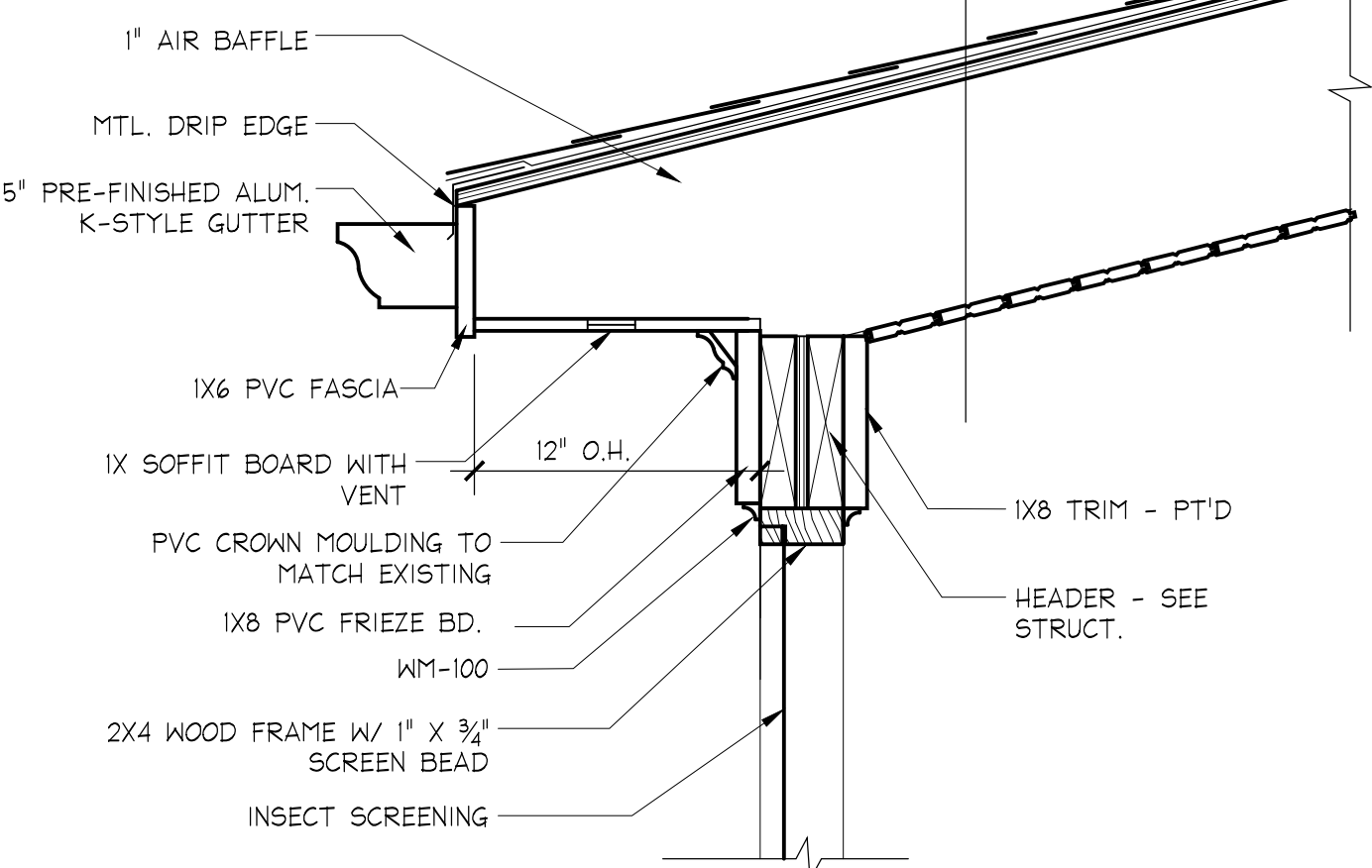
A3



3 EAVE DETAIL @ SCREENED PORCH
A3 1 1/2" = 1'-0"



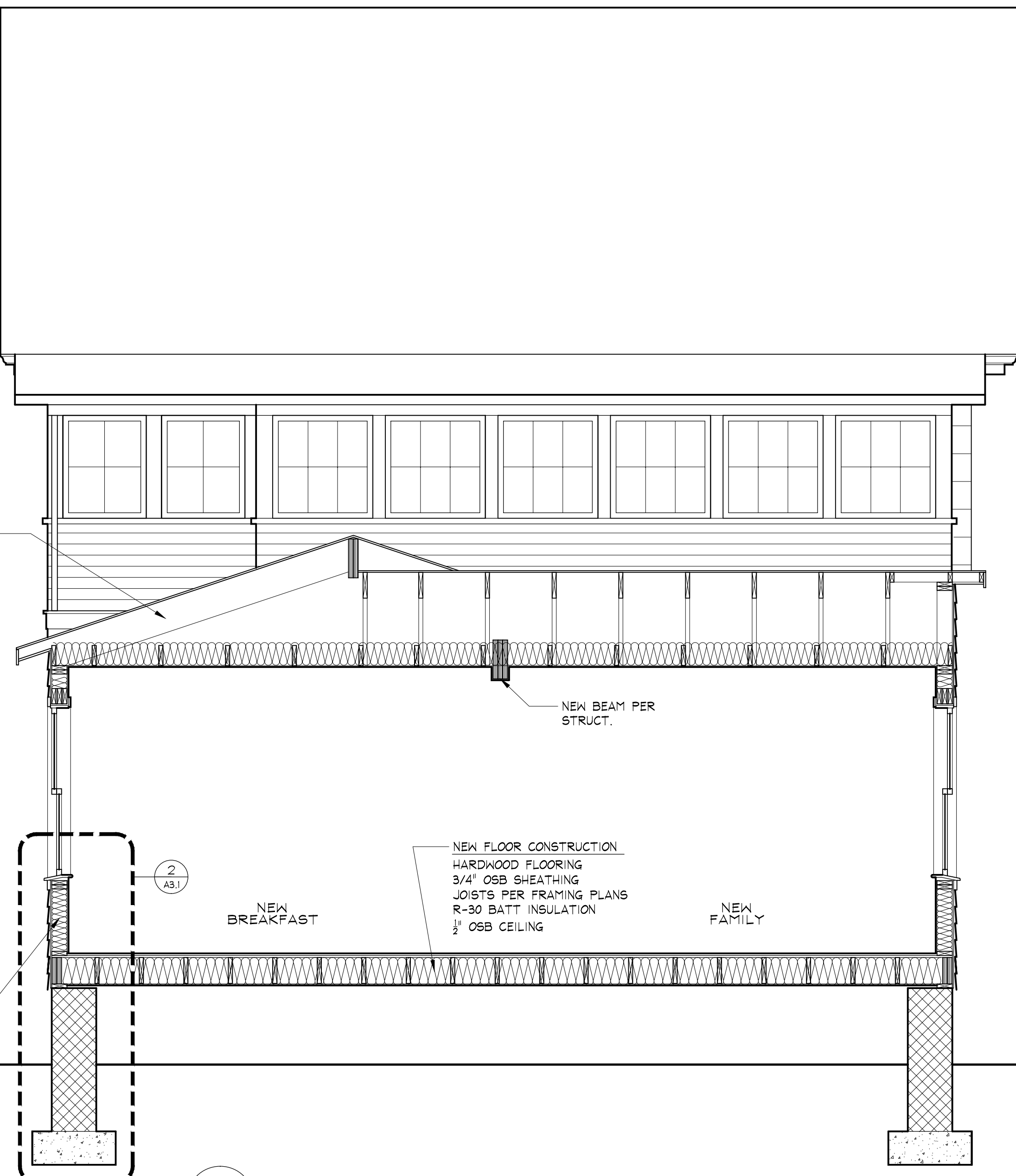
ROOF ASSEMBLY:
ASPHALT SHINGLE ROOFING
2 LAYERS OF 15# ROOF FELT
5/8" PLYWOOD SHEATHING
RAFTERS PER FRAMING PLANS
T&G BEADBOARD CLG. BOARDS



2 SCREENED PORCH WALL SECTION DETAIL
A3 1 1/2" = 1'-0"

TYP. ROOF CONSTRUCTION (R-38)
30 YR. ASPHALT SHINGLES TO MATCH
2 LAYERS 15# ROOF FELT
5/8" OSB SHEATHING
RAFTERS PER FRAMING PLANS
CONT. R-38 CEILING INSULATION
1/2" GYP. BD.

TYP. WALL CONSTRUCTION (R-20)
HARDIE SIDING
VAPOR BARRIER
1/2" OSB SHEATHING
2X6 STUDS @ 16" O.C.
R-20 BATT INSULATION
1/2" GYP. BD.



1 BUILDING SECTION
A3 3/8" = 1'-0"

MUNICIPAL STAMPS

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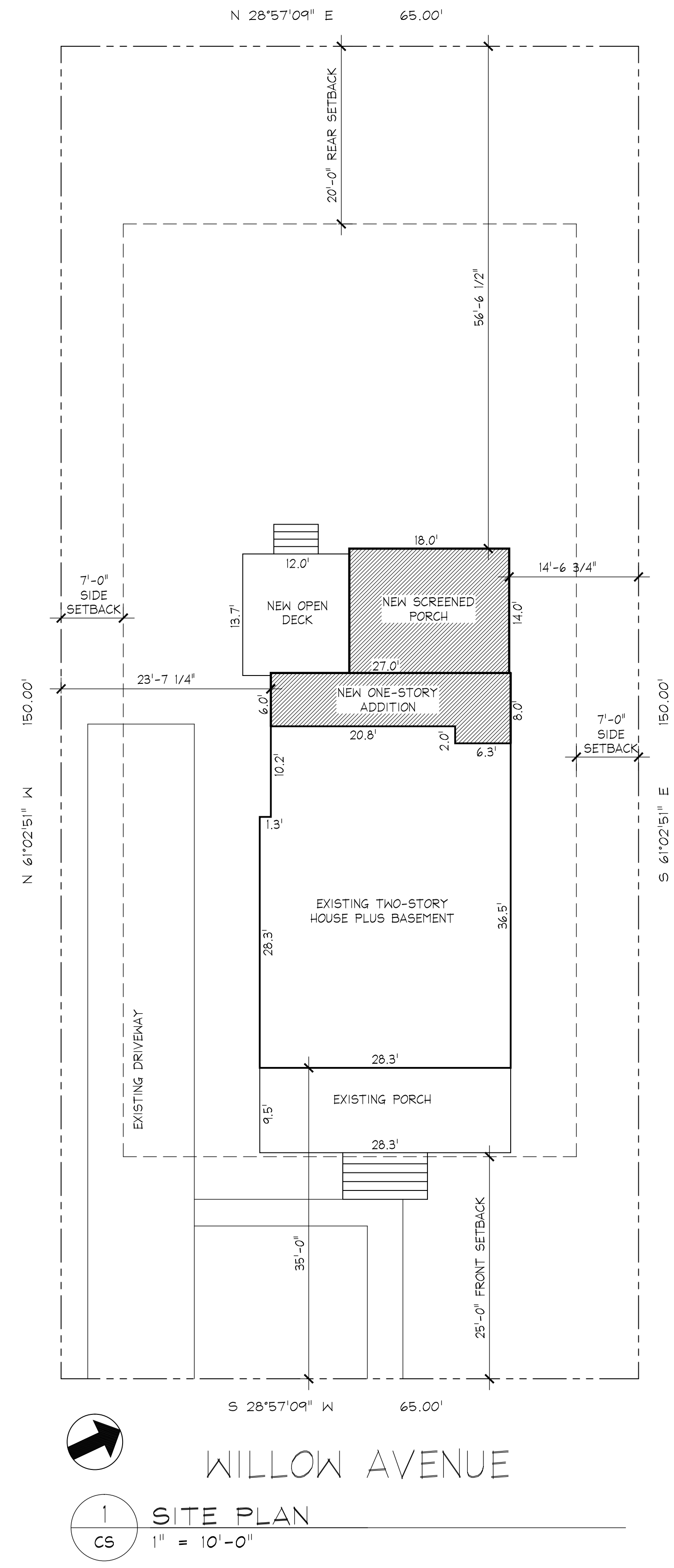
REVISIONS

KURTZ/GREENBERGER RESIDENCE

ADDITION AND RENOVATION

7128 WILLOW AVENUE | TAKOMA PARK, MD 20912

PROJECT TEAM	SHEET INDEX	GRAPHIC SYMBOLS	CODE ANALYSIS												
<p>OWNERS: MICHELE KURTZ & SCOTT GREENBERGER 7128 WILLOW AVENUE TAKOMA PARK, MD 20912 (617) 803-9293</p> <p>ARCHITECT: ERIC C. SAUL, RA SAUL ARCHITECTS 8114 CARROLL AVENUE TAKOMA PARK, MD 20912 (301) 270-0395</p> <p>STRUCTURAL ENGINEER: GEORGE GERBER, P.E. 1309 BALLANTRAE COURT MCLEAN, VA 22101 (703) 442-0309</p>	<p>ARCHITECTURAL</p> <p>CS COVER SHEET</p> <p>DP DRAINAGE PLAN</p> <p>EE1 ENERGY EFFICIENCY</p> <p>A1 EXISTING/DEMO FLOOR PLANS A1.1 PROPOSED 1ST AND 2ND FLOOR/ROOF PLANS AND WINDOW/DOOR SCHEDULES</p> <p>A2 EXTERIOR ELEVATIONS</p> <p>A3 BUILDING SECTION AND DETAILS A3.1 BUILDING SECTION AND DETAILS A3.2 DECK DETAILS</p> <p>S1 FRAMING PLANS AND STRUCTURAL NOTES S2 FRAMING PLANS AND DETAILS S3 WIND BRACING DIAGRAM</p> <p>E1 ELECTRICAL PLAN</p>	<p>SECTION CALLOUT SHEET NUMBER</p> <p>DETAIL CALLOUT SHEET NUMBER</p> <p>ELEVATION CALLOUT SHEET NUMBER</p> <p>DETAIL NUMBER SHEET NUMBER</p> <p>INTERIOR ELEVATION SHEET NUMBER</p> <p>SPOT ELEVATION</p> <p>WINDOW IDENTIFIER</p> <p>DOOR IDENTIFIER</p> <p>FLOOR HEIGHT IDENTIFIER</p> <p>KEYNOTE</p> <p>REVISION INDICATOR</p>	<p>SCOPE OF WORK: REAR ADDITION IS PROPOSED ON AN EXISTING SINGLE FAMILY HOUSE TO CREATE A NEW FAMILY ROOM BREAKFAST AREA. THE FIRST FLOOR WILL ALSO HAVE A SCREENED PORCH AND DECK ADDITION ON THE REAR.</p> <p>LOT: P12 BLOCK: 5 SUBDIVISION: 0025</p> <p>CODE: IRC 2018 ZONE: R-60 CONSTRUCTION TYPE: 5B NO. OF STORIES: 2 PLUS BASEMENT SPRINKLERED: NO</p> <p>DESIGN CRITERIA: GROUND SNOW LOAD 30 PSF WIND SPEED 115 MPH SEISMIC DESIGN CATEGORY B WEATHERING SEVERE FROST DEPTH LINE 30 IN. TERMITE MODERATE TO HEAVY DECAY SLIGHT TO MODERATE WINTER DESIGN TEMP. YES 13° F ICE SHIELD UNDERLAYMENT REQ'D JULY 2, 1979 FLOOD HAZARDS 300 AIR FREEZING INDEX 55° F MEAN ANNUAL TEMP.</p> <p>ALLOWED HEIGHT: 2 1/2 STORIES; 30'-0" MEAN HEIGHT PROPOSED HEIGHT: UNCHANGED</p> <p>SETBACKS: FRONT YARD 25'-0" SIDE YARD 7'-0" REAR YARD 20'-0"</p> <p>LOT AREA CALCULATIONS: LOT SIZE 9,750.0 SQ. FT. (100.0%) MAX. LOT COVERAGE 3,412.5 SQ. FT. (35.0%) EXISTING COVERAGE 1,446.1 SQ. FT. (14.8%) PROPOSED COVERAGE 1,872.1 SQ. FT. (19.2%) INCREASED COVERAGE 426 SQ. FT. (4.4%)</p> <table border="1"> <tr> <td>ADDITIONAL LOT COVERAGE</td> <td>426 SQ. FT.</td> </tr> </table> <p>PROPOSED FLOOR AREA</p> <table border="1"> <tr> <td>ONE-STORY ADDITION</td> <td>173 SQ. FT.</td> </tr> <tr> <td>SCREENED PORCH ADDITION</td> <td>253 SQ. FT.</td> </tr> <tr> <td>TOTAL ADDITION</td> <td>426 SQ. FT.</td> </tr> </table> <p>REMODELED FLOOR AREA</p> <table border="1"> <tr> <td>FIRST FLOOR</td> <td>186 SQ. FT.</td> </tr> <tr> <td>TOTAL RENOVATION</td> <td>186 SQ. FT.</td> </tr> </table>	ADDITIONAL LOT COVERAGE	426 SQ. FT.	ONE-STORY ADDITION	173 SQ. FT.	SCREENED PORCH ADDITION	253 SQ. FT.	TOTAL ADDITION	426 SQ. FT.	FIRST FLOOR	186 SQ. FT.	TOTAL RENOVATION	186 SQ. FT.
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KURTZ/GREENBERGER RESIDENCE
ADDITION AND RENOVATION
7128 WILLOW STREET | TAKOMA PARK, MD 20912

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PROJECT NUMBER: 21090

PRINTING LOG

DATE	PURPOSE
03.14.22	SD MEETING 1
05.03.22	SD MEETING 2
07.11.22	PERMIT SET

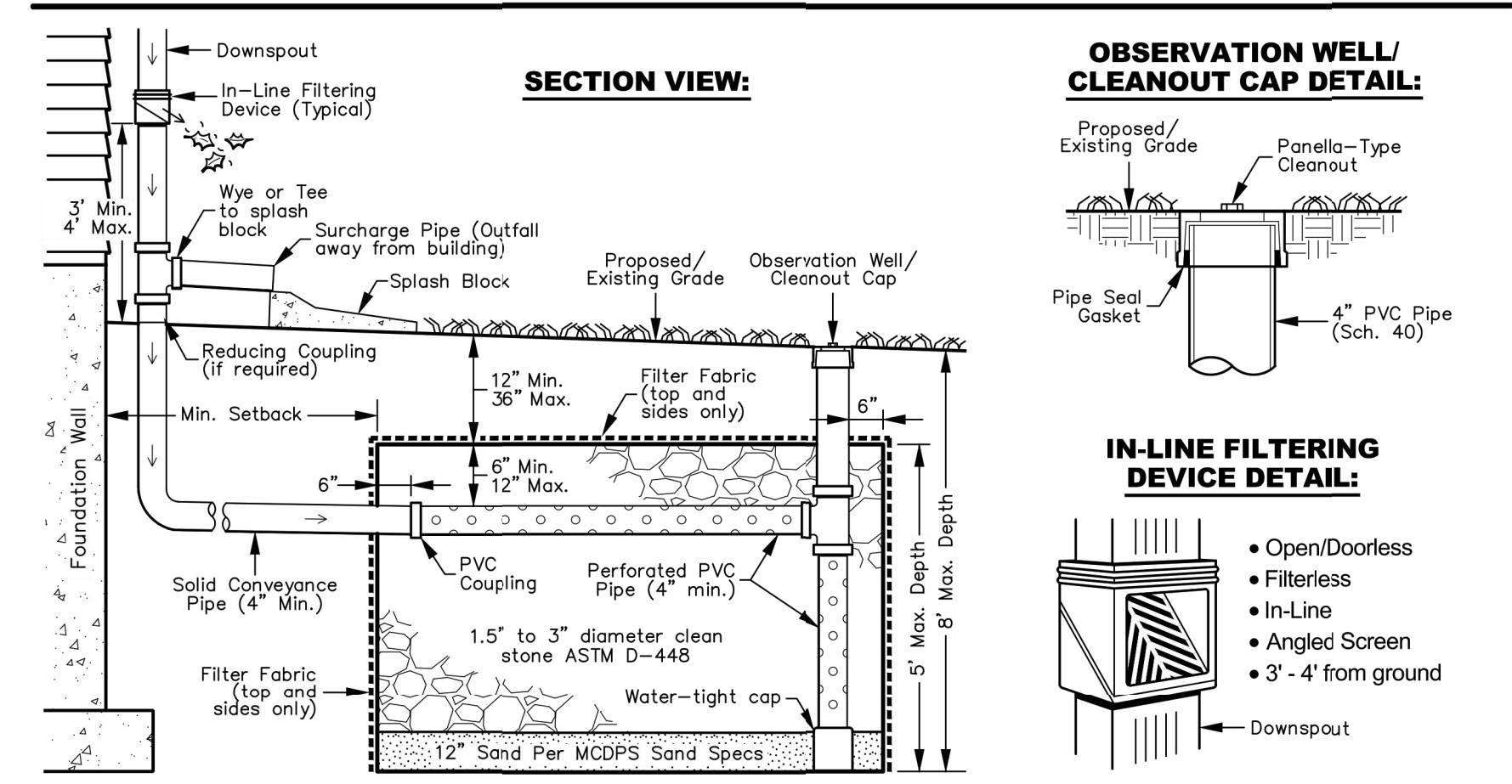
COVER SHEET AND ZONING ANALYSIS

CS

MUNICIPAL STAMPS

GENERAL NOTES:

1. Dry wells may receive water from roof downspouts only.
2. Length, width, and depth of each dry well is to be as specified by the design engineer on the approved plan.
3. Manufactured sand is not acceptable. Refer to the MCDPS Sand Specifications.
4. With the inspector's approval, dry well locations may be field adjusted for site conditions. All adjustments must meet the minimum setbacks.
5. Impermeable liners may be used when specified by the design engineer and shown on the plan.
6. Overflow pipes may be used when specified by the design engineer and shown on the plan. They shall be set at a minimum 2% slope. If the outfall is to daylight the outfall invert shall be shown.
7. Pop-up emitters may be used when specified by the design engineer and shown on the plan.



LAYOUT GUIDANCE:

- Downspouts shall be shown on the plan view.
- Conveyance pipe(s) from the downspout(s) to the dry well shall be shown on the plan view, including connections from other downspouts. Standard, readily-available bends shall be used at couplings.
- When possible there should be only one conveyance pipe entering the dry well. It should be centered and should enter at 90 degrees.
- The interior 6" PVC perforated pipe shall be designed and shown on the plan to maximize distribution within the dry well.
- When a dry well's length is greater than its width, consider locating the perforated pipe along the longest dimension.
- The observation well with cleanout cap shall be shown on the plan view.

MINIMUM SETBACKS:

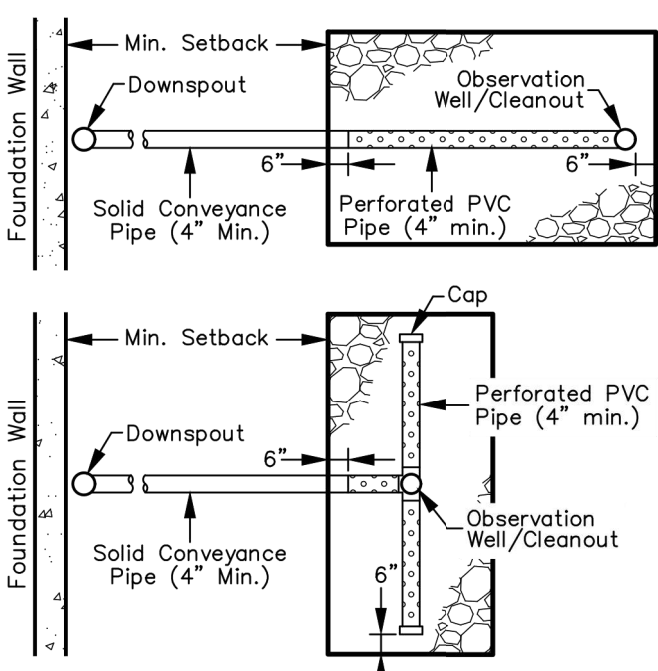
- 5 feet from property lines, Zero from R/W
- 10 feet from slab-on-grade buildings/pools
- 15 feet from buried foundations
- 15 feet from another dry well
- 30 feet from septic trench or tank
- 100 feet from primary well location or open loop geothermal well
- 50 feet from alternate well location or closed loop geothermal well
- So as to avoid basement seepage
- In accordance with other county requirements

PERFORATED PVC PIPE:

- Schedule 40 PVC
- 3/8 Inch holes
- 4" on center
- 90° around pipe

EXAMPLE LAYOUTS* - PLAN VIEW:

* Design plans must show the layout of each dry well.



	MONTGOMERY COUNTY DEPARTMENT OF PERMITTING SERVICES WATER RESOURCES SECTION	DRY WELL FOR ROOF RUNOFF DETAIL	DATE: SEPTEMBER 2021
			SCALE: NONE

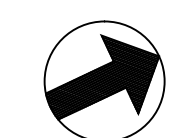
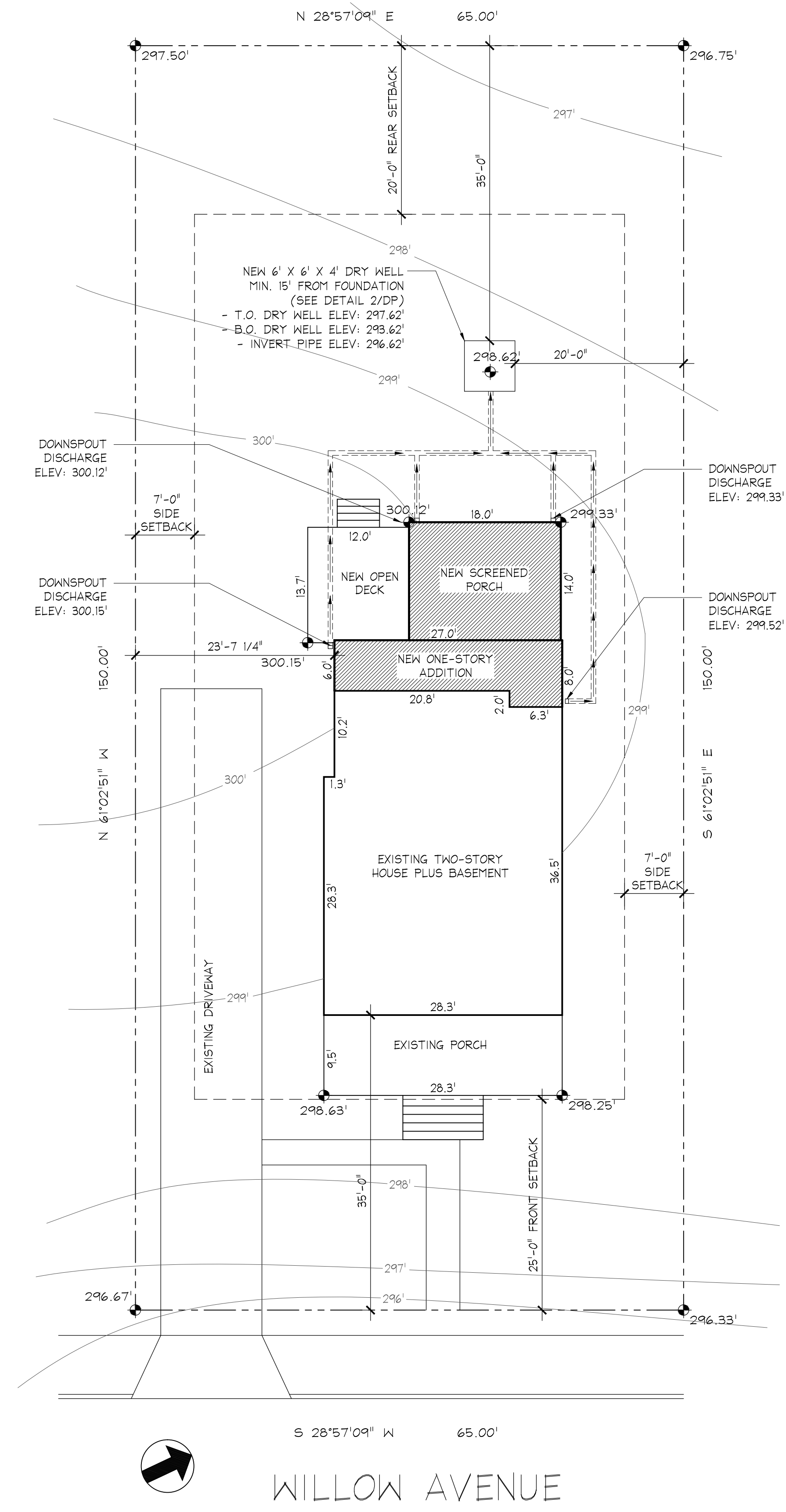
Linda Kobylski, Land Development Division Chief

September 1, 2021

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 10:39 am, Aug 01, 2022



WILLOW AVENUE

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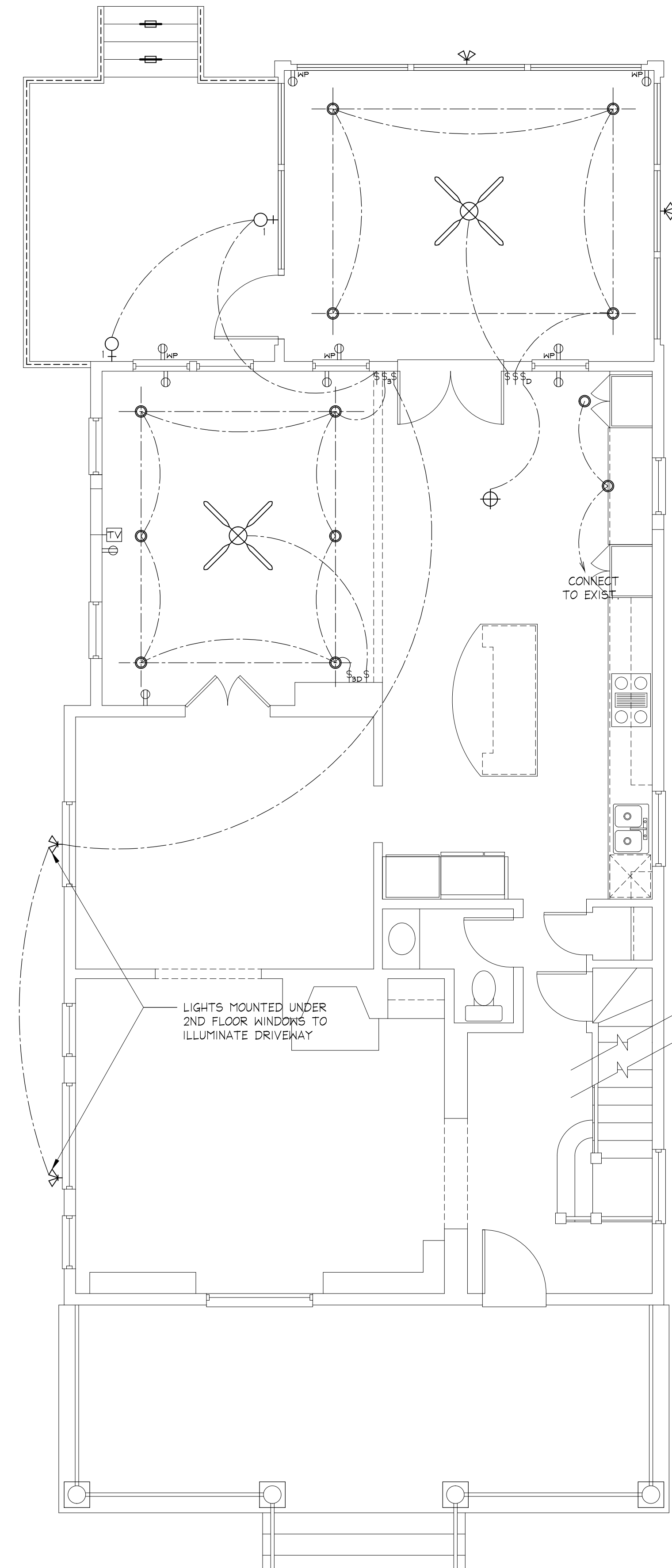
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PRINTING LOG	
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05.03.22	SD MEETING 2
07.11.22	PERMIT SET

DRAINAGE PLAN

DP

MUNICIPAL STAMPS



ELECTRICAL SYMBOLS

- ⌘ SWITCH
- ⌘₃ THREE-WAY SWITCH
- ⌘_J JAMB SWITCH
- ⌘_D SWITCH WITH DIMMER
- ⌘_{AS} AIR SWITCH FOR DISPOSAL
- ⌘ DUPLEX RECEPTACLE
- ⌘_{USB} DUPLEX RECEPTACLE W/ USB PORTS
- ⌘_Q QUADRUPLEX RECEPTACLE
- ⌘ SWITCHED OUTLET
- ⌘_{GFCI} GROUND FAULT PROTECTED RECEPTACLE
- ⌘_{WP} WATERPROOF RECEPTACLE
- ⌘_{220V} 220V RECEPTACLE
- ⌘_{FLR} FLOOR MOUNTED DUPLEX RECEPTACLE
- ⌘_{CLG} CEILING MOUNTED WIRELESS ACCESS POINT JACK
- ⌘_{TV} CABLE TELEVISION JACK W/ DUAL CAT6 DATA WIRING
- ⌘_T TELEPHONE JACK/INTERNET/DATA
- ⌘_{SD} SMOKE DETECTOR
- ⊕ SURFACE MOUNTED CEILING FIXTURE (OSCI)
- RECESSED CEILING FIXTURE
- ₁ RECESSED CEILING FIXTURE - RATED FOR WET LOCATION
- ₂ RECESSED WALL WASH FIXTURE
- ₃ WALL MOUNTED FIXTURE
- ₄ EXTERIOR WALL MOUNTED FIXTURE
- ₅ WALL SCONCE
- ⌘_F FLOODLIGHT
- ⌘_B BATHROOM EXHAUST FAN
- ⊗ CEILING FAN (OSCI)
- ▬ UNDER CABINET/OVER DOOR LED STRIP LIGHT
- ⌘_D DECK STEP LIGHT
- UNDER TOP RAIL LED ROPE LIGHTING

GENERAL ELECTRICAL NOTES:

1. ELECTRICAL LAYOUT TO MEET REQUIREMENTS OF THE CURRENT NATIONAL ELECTRICAL CODE.
2. SMOKE DETECTORS ARE TO BE HARDWIRED TOGETHER SO THAT ACTIVATION OF ONE DETECTOR ACTIVATES ALL. PROVIDE BATTERY BACK-UPS.
3. INSTALL CARBON MONOXIDE DETECTOR ON EACH FLOOR.

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 10:39 am, Aug 01, 2022

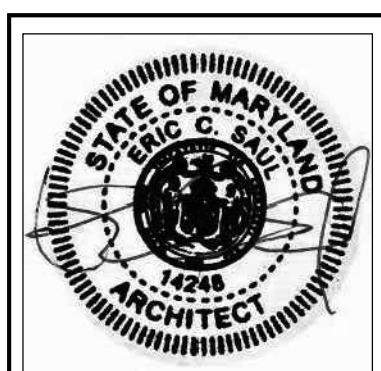
1 FIRST FLOOR ELECTRICAL PLAN
E1 1/4" = 1'-0"

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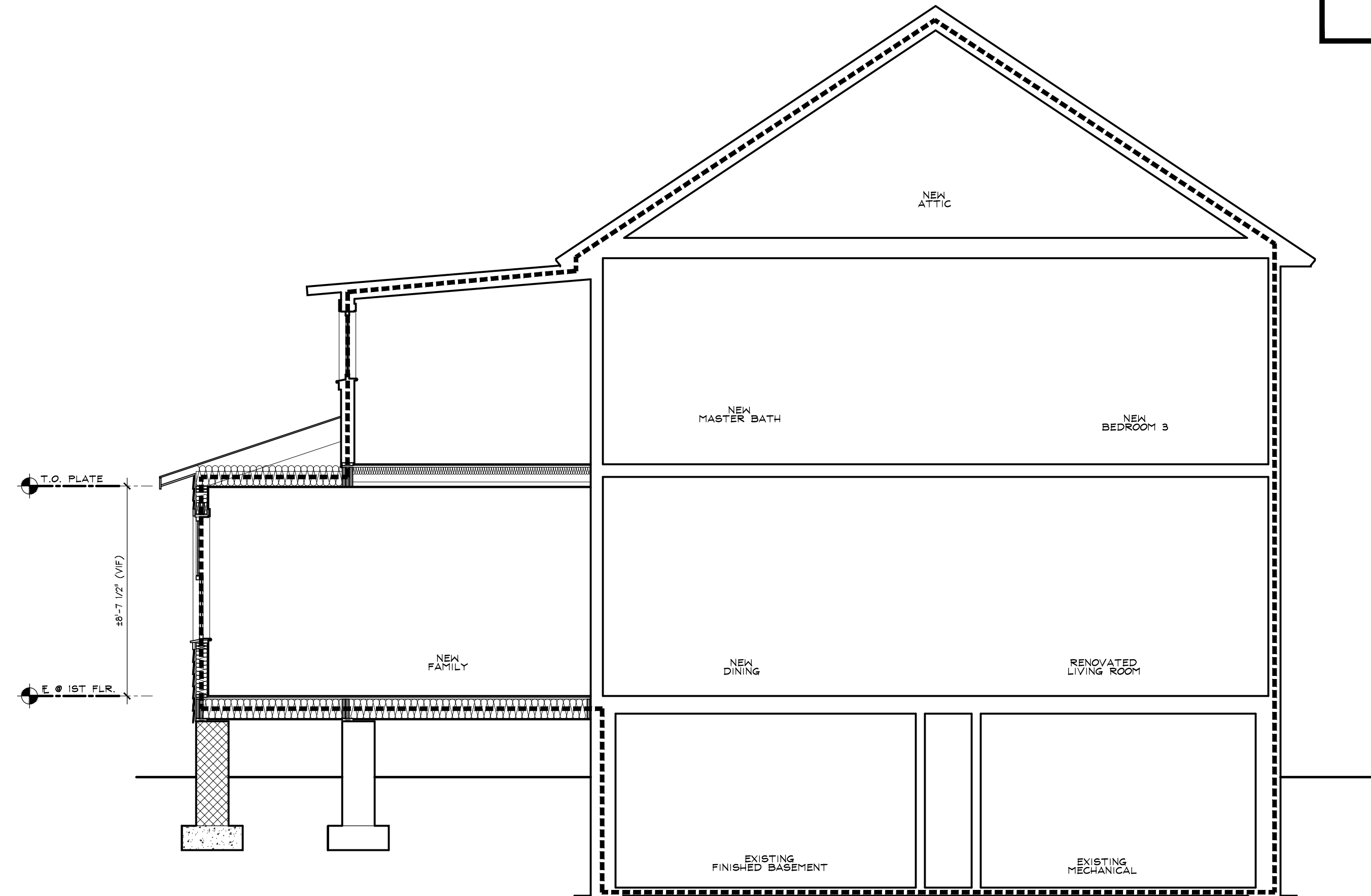
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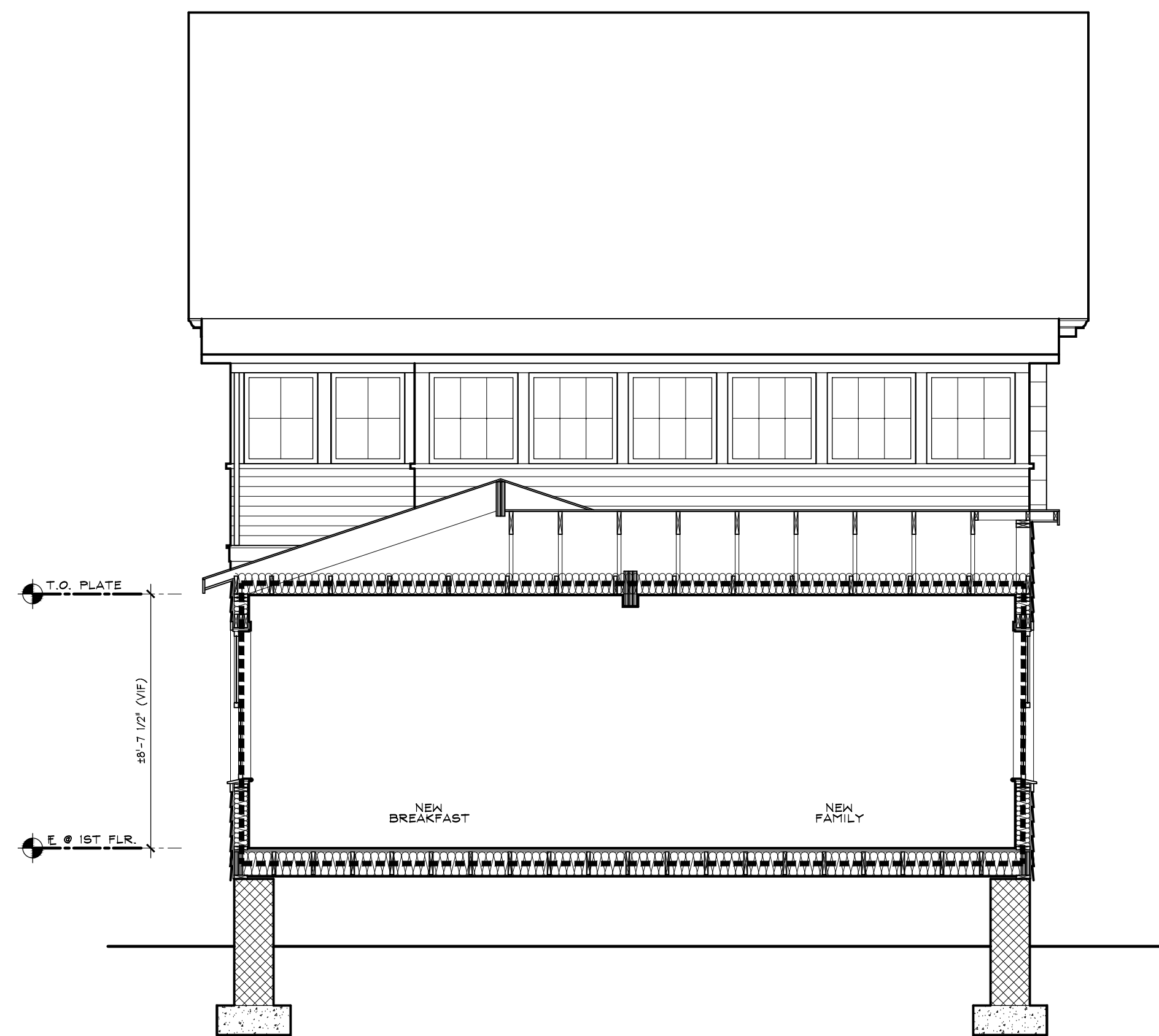
ELECTRICAL PLANS

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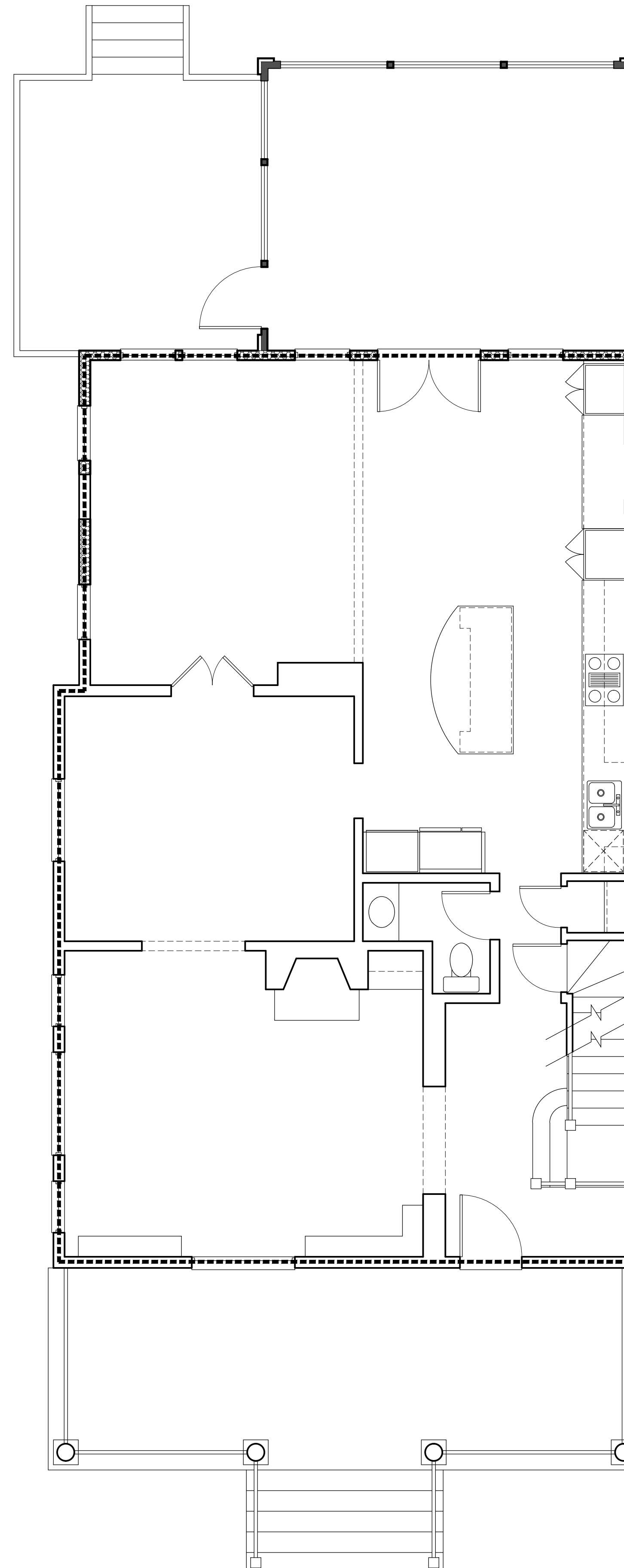
MUNICIPAL STAMPS



3 BUILDING ENVELOPE SECTION THRU ADDITION
EE1 1/4" = 1'-0"



2 LONGITUDINAL BUILDING ENVELOPE SECTION
EE1 1/4" = 1'-0"



1 FIRST FLOOR ENERGY PLAN
EE1 1/4" = 1'-0"

AIR LEAKAGE:

PER IRC: 402.4.2

BUILDING THERMAL ENVELOPE. THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:

1. ALL JOINTS, SEAMS AND PENETRATIONS
2. SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS
3. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING
4. UTILITY PENETRATIONS
5. DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE
6. KNEE WALLS
7. WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES
8. BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS
9. COMMON WALLS BETWEEN DWELLING UNITS
10. ATTIC ACCESS OPENINGS
11. RIM JOIST JUNCTION
12. OTHER SOURCES OF INFILTRATION

M1601.4 INSTALLATION.
DUCT INSTALLATION SHALL COMPLY WITH SECTIONS M1601.4.1 THROUGH M1601.4.7

M1601.4.1 JOINTS AND SEAMS
JOINTS OF DUCT SYSTEMS SHALL BE MADE SUBSTANTIALLY AIRTIGHT BY MEANS OF TAPES, MASTICS, LIQUID SELANTIS, GASKETING OR OTHER APPROVED CLOSURE SYSTEMS. CLOSURE SYSTEMS USED WITH RIGID FIBROUS GLASS DUCTS SHALL COMPLY WITH UL181A AND SHALL BE MARKED 181A-P FOR PRESSURE SENSITIVE TAPE, 181A-M FOR MASTIC OR 181A-H FOR HEAT-SENSITIVE TAPE. CLOSURE SYSTEMS USED WITH FLEXIBLE AIR DUCTS AND FLEXIBLE AIR CONNECTORS SHALL COMPLY WITH UL 181B AND SHALL BE MARKED 181B-FX FOR PRESSURE-SENSITIVE TAPE OR 181B-M FOR MASTIC. DUCT CONNECTIONS TO FLANGES OF AIR DISTRIBUTION SYSTEM EQUIPMENT OR SHEET METAL FITTINGS SHALL BE MECHANICALLY FASTENED. MECHANICAL FASTENERS FOR USE WITH FLEXIBLE NONMETALLIC AIR DUCTS SHALL COMPLY WITH UL 181B AND SHALL BE MARKED 181B-C. CRIMP JOINTS FOR ROUND METAL DUCTS SHALL HAVE A CONTACT LAP OF AT LEAST 1 1/2 INCHES (38MM) AND SHALL BE MECHANICALLY FASTENED BY MEANS OF AT LEAST THREE SHEET-METAL SCREWS OR RIVETS EQUALLY SPACED AROUND THE JOINT. CLOSURE SYSTEMS USED TO SEAL METAL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

EXCEPTIONS:

1. SPRAY POLYURETHANE FOAM SHALL BE PERMITTED TO BE APPLIED WITHOUT ADDITIONAL JOINT SEALS.
2. WHERE A DUCT CONNECTION IS MADE THAT IS PARTIALLY INACCESSIBLE, THREE SCREWS OR RIVETS SHALL BE EQUALLY SPACED ON THE EXPOSED PORTION OF THE JOINT SO AS TO PREVENT A HINGE EFFECT.
3. CONTINUOUSLY WELDED AND LOCKING TYPE LONGITUDINAL JOINTS AND SEAMS IN DUCTS OPERATING AT STATIS PRESSURES LESS THAN 2 INCHES OF WATER COLUMN (500 PA) PRESSURE CLASSIFICATION SHALL NOT REQUIRE ADDITIONAL CLOSURE SYSTEMS.

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 10:40 am, Aug 01, 2022

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PROJECT NUMBER: 21090

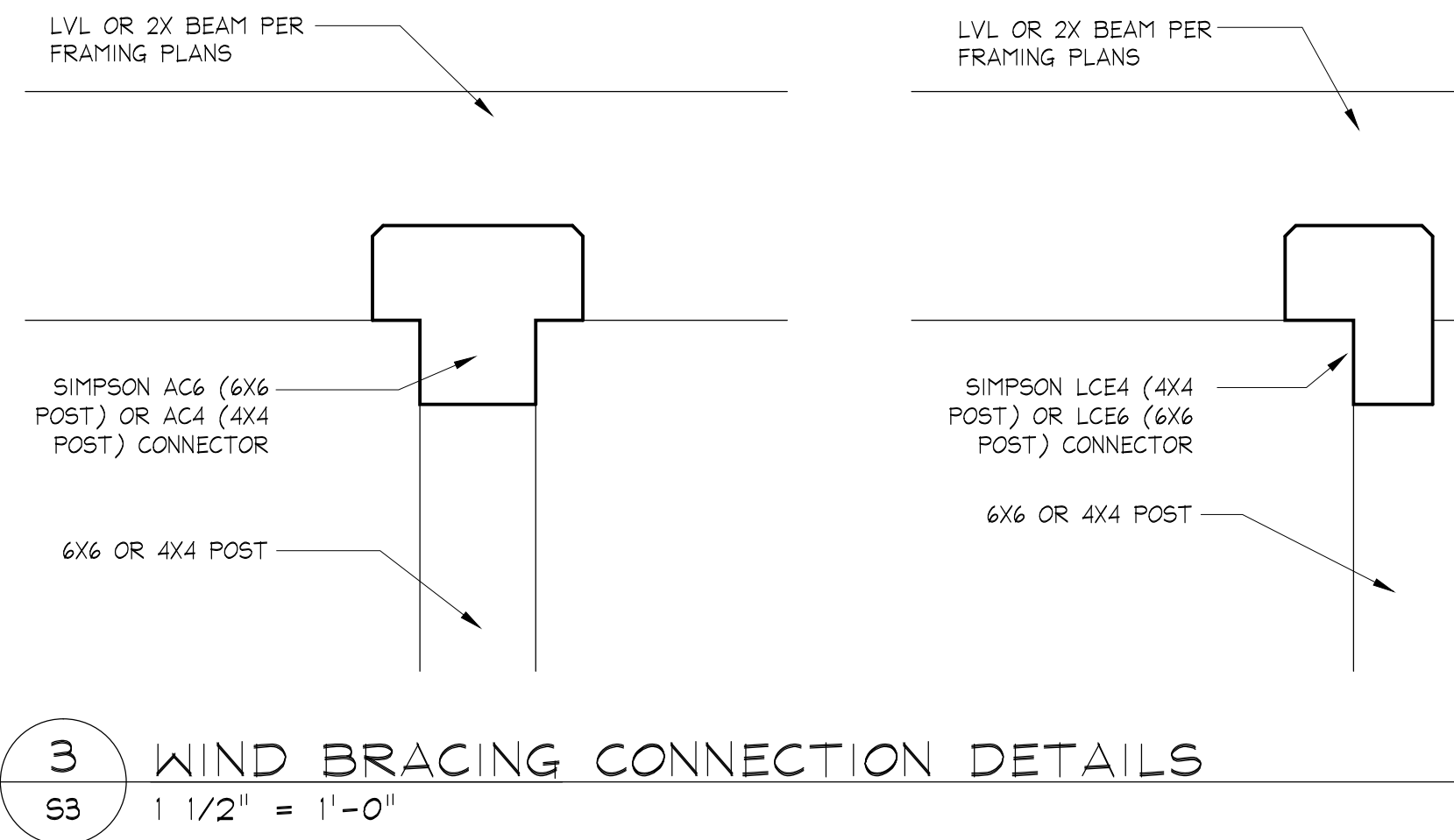
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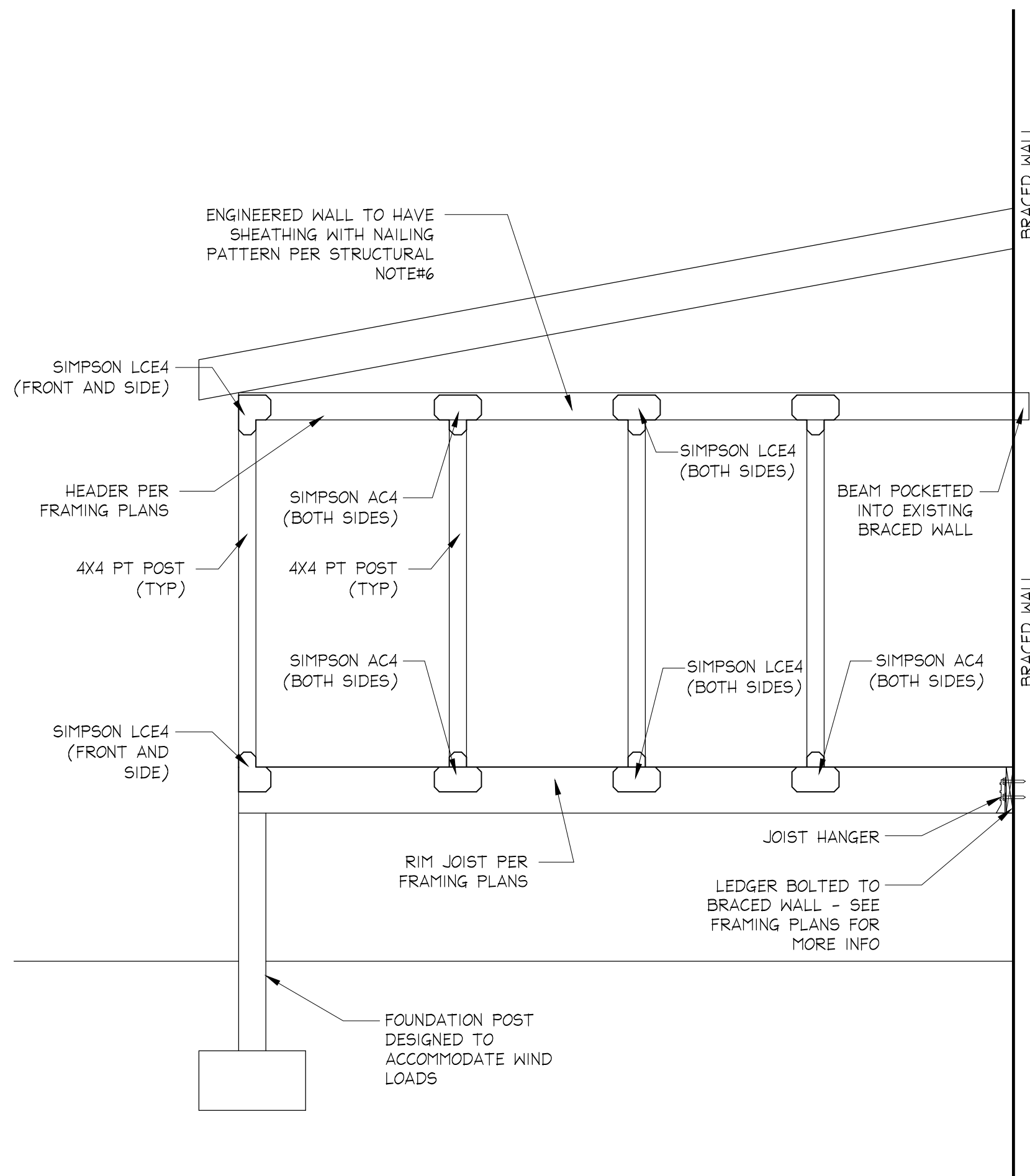
ENERGY EFFICIENCY COMPLIANCE

EE1

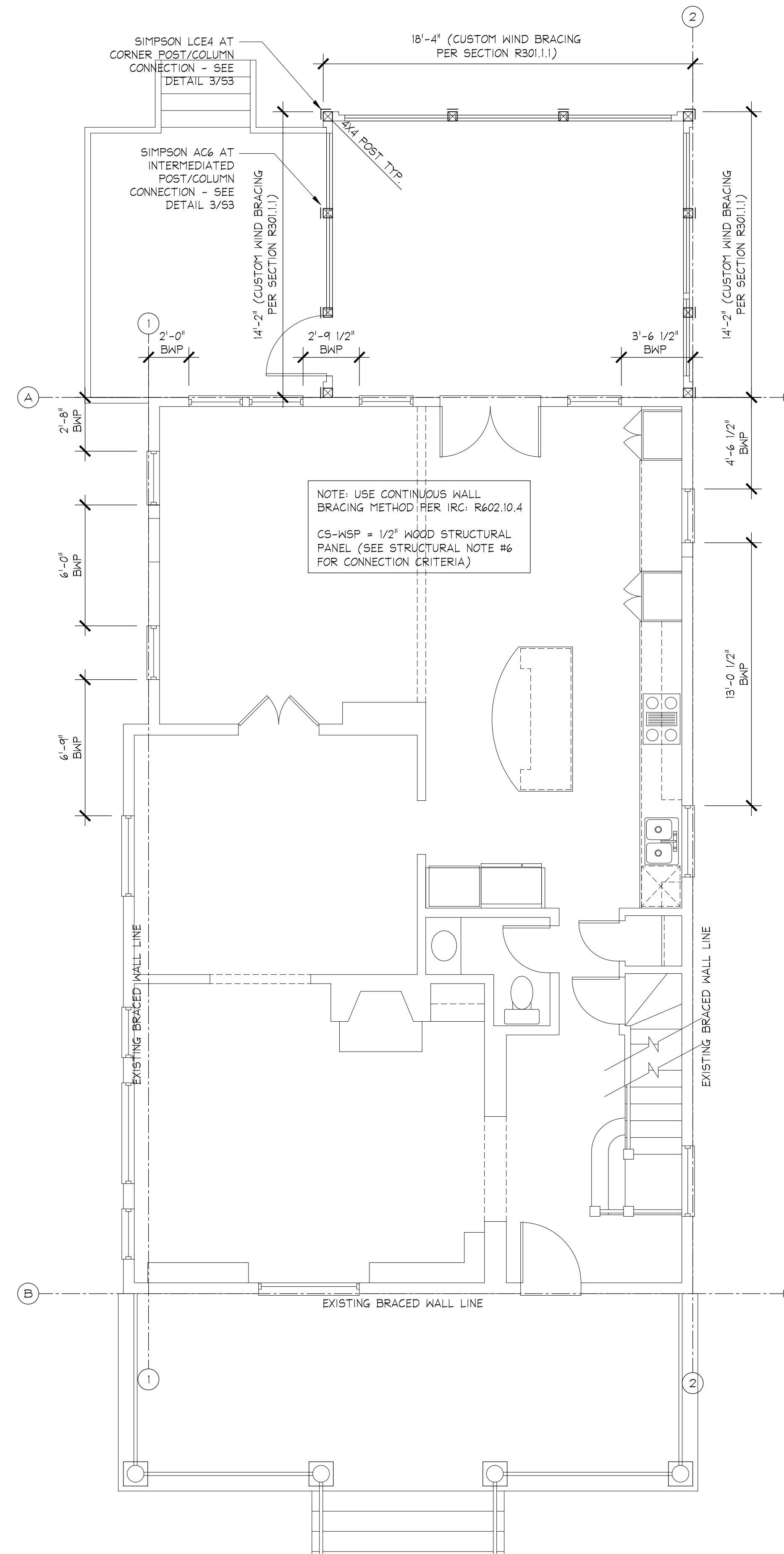
MUNICIPAL STAMPS



3 WIND BRACING CONNECTION DETAILS
S3 1 1/2" = 1'-0"



2 WIND BRACING ELEVATION DIAGRAM
S3 1/2" = 1'-0"



1 FIRST FLOOR WIND BRACING DIAGRAM
S3 1/4" = 1'-0"

STRUCTURAL NOTES:

- USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2018.
- LOADS- LIVE - FLOOR RESIDENTIAL - 40PSF; ROOF - 30 PSF - SNOW; WIND 115 MPH EXPOSURE B IMPORTANCE 1
- FOUNDATIONS ARE DESIGNED FOR 2000 PSF SOIL. FOOTING BOTTOMS SHALL BE AT LEAST 30" BELOW GRADE AND A MINIMUM OF 12" INTO EXISTING NATURAL SOIL. EXISTING FOUNDATIONS ARE ADEQUATE FOR NEW LOADS
- CONCRETE - 3000 PSI @ 28 DAYS MINIMUM. REINFORCING STEEL ASTM A615 GRADE 60. USE ACI STANDARDS. CONC. FOUNDATION WALL REINFORCEMENT: #4 BARS @ 24" O.C. HORIZ. AND VERTICAL - EMBED 8" INTO FOOTING.
- FRAMING LUMBER SHALL BE STRUCTURAL GRADE, DOUGLAS FIR #2 OR STRONGER. F_b = 1200 PSI MINIMUM. USE HURRICANE CLIPS FOR ALL ROOF RAFTERS. USE MANUFACTURERS STANDARDS FOR MANUFACTURED LUMBER. LVL'S F_b=2650PSI, e=1.9M PSI
- BRACED WALL PANELS (BWP): 1/2" PLYWOOD PANELS 48" WIDE BY FULL STORY HEIGHT OR AS DIMENSIONED. 8d NAILS @ 6" O.C. ON EDGES AND 12" O.C. ON INTERMEDIATE STUDS. WIND LOADS ARE ACCOMMODATED BY CONTINUOUS SHEATHING METHOD AND SECTION R301.1.1.
- CONC. BLOCK REINFORCEMENT: USE 9 GAGE TRUSS-TYPE HORIZONTAL REINFORCEMENT EVERY OTHER COURSE (DUR-O-WALL OR EQUAL). VERTICAL REINFORCEMENT: #5 BARS @ 32" O.C. - NEEDED ONLY WHERE DIRT IS RETAINED ABOVE 36" HIGH. ALL CONC. BLOCK CELLS TO BE BROUT SOLID.
- STRUCTURAL STEEL SHALL BE ASTM A-36. USE AISC STANDARDS
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
- STRUCTURAL ENGINEER CERTIFIES THAT THE EXISTING STRUCTURE IS ADEQUATE TO HANDLE ADDITIONAL LOADS FROM THE ADDITION AND WILL PROVIDE CERTIFICATION DURING INSPECTION PROCESS.

ALL NEW EXTERIOR OPENINGS TO HAVE DOUBLE (3) 2X8 HEADERS, U.N.O.
POSTS UNDER HEADERS TO BE ONE KING AND ONE JACK STUD, U.N.O.
NEW DOUBLE WINDOWS TO HAVE TWO JACK STUDS BETWEEN.
EXISTING EXTERIOR OPENINGS TO HAVE A MINIMUM (3) 2X6 UP TO 36" WIDE, (3) 2X8 UP TO 48" WIDE AND (3) 2X10 UP TO 60" WIDE.

NOTE: USE CONTINUOUS WALL BRACING METHOD (#3) PER IRC: R602.10.4
CS-WSP = 1/2" WOOD STRUCTURAL PANEL (SEE STRUCTURAL NOTE #6 FOR CONNECTION CRITERIA)

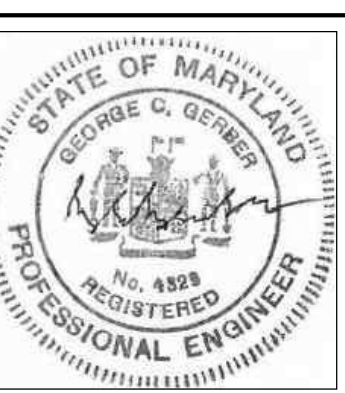
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Montgomery County
Historic Preservation Commission
Robert A. Norman

REVIEWED
By Dan.Bruechert at 10:40 am, Aug 01, 2022

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PROJECT NUMBER: 21090

PRINTING LOG	
DATE	PURPOSE
03.14.22	SD MEETING 1
05.03.22	SD MEETING 2
07.11.22	PERMIT SET

WIND BRACING DIAGRAM

S3