



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: September 23, 2022

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #997563 - Porch and Deck Construction, Fenestration Alteration

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the July 13, 2022 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Kenny & Marcos Vaena
Address: 7212 Cedar Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



MUNICIPAL STAMPS

DEMOLITION KEYNOTES:

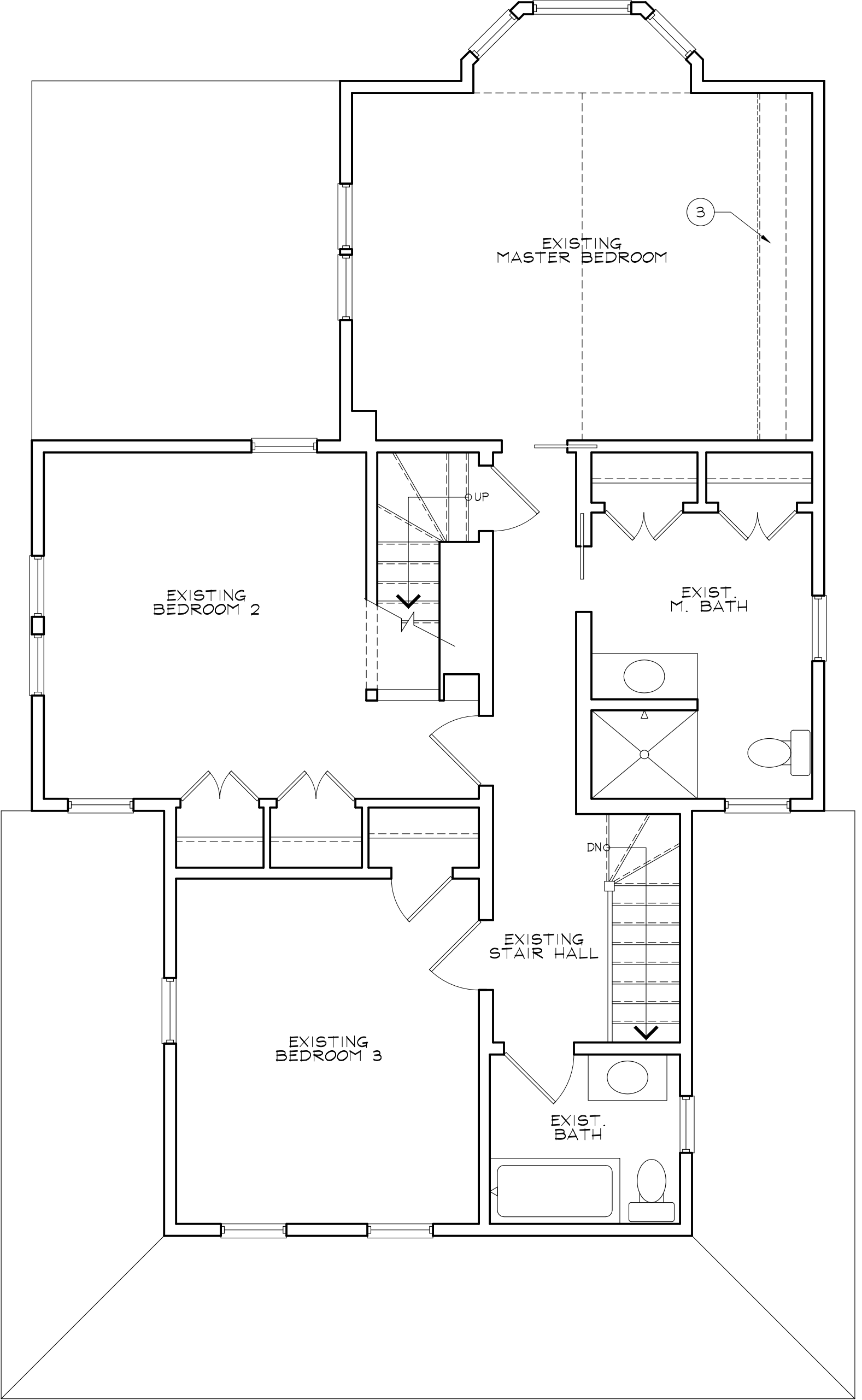
- ① EXISTING WINDOW TO BE REMOVED
- ② EXISTING FRENCH DOOR TO BE REMOVED & SAVED TO BE RE-USED
- ③ EXISTING BUILT-IN TO BE REMOVED
- ④ NEW NEW OPENING IN EXISTING MASONRY WALL FOR NEW DOOR
- ⑤ PARTIAL DEMO OF EXISTING EXTERIOR DECK AND STEPS PER PROPOSED DESIGN
- ⑥ DEMO EXISTING EXTERIOR STORAGE - REMOVE LATTICE SCREENING AND POSTS

SAUL ARCHITECTS
 8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
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REVISIONS

VAENA RESIDENCE
 ADDITION AND RENOVATION
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GENERAL DEMO NOTES

- 1. DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE DEMOLITION WORK IN A GENERAL MANNER.
- 2. EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.
- 3. SEAL OFF UNDISTURBED AREAS OF THE BUILDING FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS. SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.
- 4. EXISTING CONCEALED ELEMENTS WERE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSAL.
- 5. ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER. PROTECT ANY STORED ITEMS TO BE RE-USED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC.
- 6. ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.



PROFESSIONAL CERTIFICATION:
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APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]

REVIEWED
 By Dan.Bruechert at 2:50 pm, Sep 23, 2022

FLOOR PLAN LEGEND

- EXISTING WALL TO REMAIN
- NEW INT. 2X4 STUD WALL, U.N.O.
- NEW EXT. 2X4 STUD FURRED WALL R-13 MIN. INSULATION
- NEW EXTERIOR 2X6 STUD WALL; R-20 MIN. INSULATION
- NEW 8" CONC. MASONRY WALL
- NEW BRICK MASONRY WALL OR PIER
- EXISTING WALL TO BE REMOVED
- EXISTING ITEM TO BE REMOVED
- CEILING HEIGHT INDICATOR

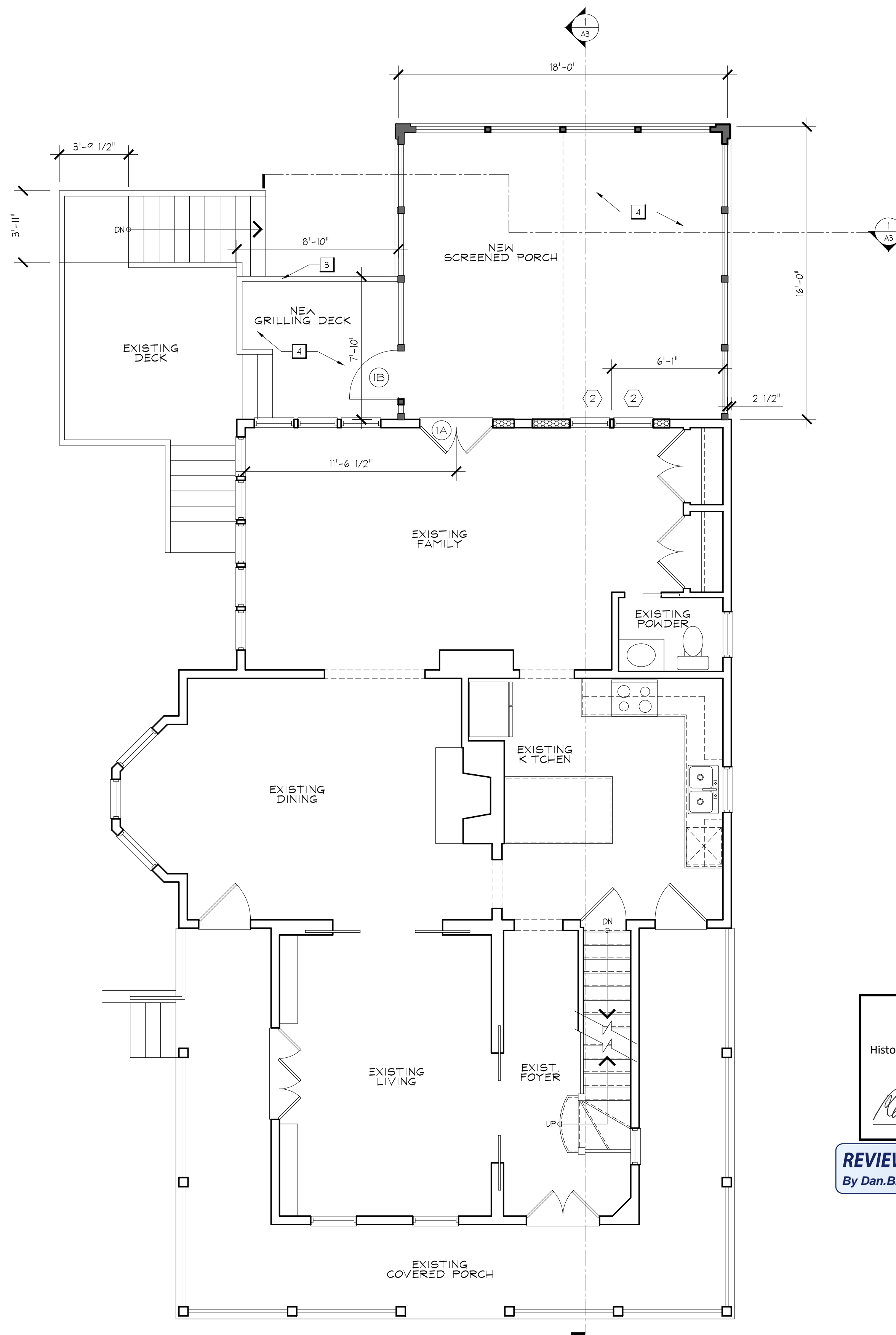
PROJECT NUMBER: 20063

PRINTING LOG	
DATE	PURPOSE
06.30.21	PRE-DESIGN
09.09.22	PERMIT SET

EXISTING/DEMO FLOOR PLANS

A1.1

1 EXISTING/DEMO SECOND FLOOR PLAN
 A1.1 1/4" = 1'-0"



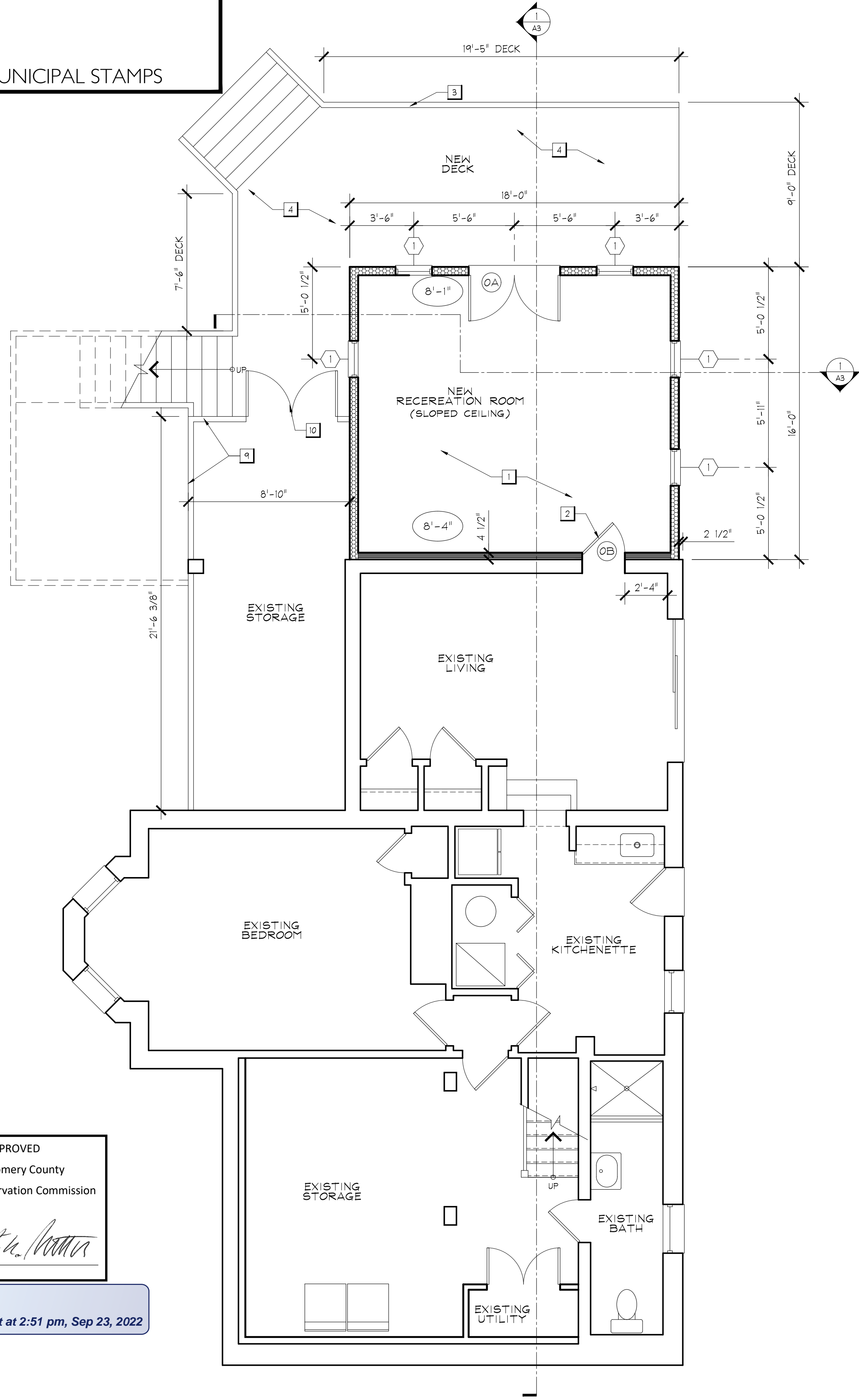
2 PROPOSED FIRST FLOOR PLAN
A1.2 1/4" = 1'-0"

MUNICIPAL STAMPS

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 2:51 pm, Sep 23, 2022



1 PROPOSED BASEMENT PLAN
A1.2 1/4" = 1'-0"

FLOOR PLAN KEYNOTES:

- 1 NEW HARDWOOD FLOORING - SELECTED BY OWNER
- 2 NEW DOOR OPENING
- 3 NEW 36" HIGH DECK GUARDRAIL
- 4 NEW PT DECKING BOARDS
- 5 NEW GUTTER TO MATCH EXISTING HOUSE
- 6 DOWNSPOUT - MATCH EXISTING HOUSE
- 7 NEW 30 YEAR ARCHITECTURAL ROOF SHINGLE - COLOR SELECTED BY OWNER
- 8 CLOSET ORGANIZATION TO BE DESIGNED OR SELECTED BY OWNER
- 9 NEW LATTICE SCREENING TO MATCH EXIST EXTERIOR STORAGE SPACE
- 10 NEW LATTICE SCREENED SWINGING DOORS

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GENERAL NOTES:

- 1. ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY ON NEW WALLS, AND TO FACE OF FINISH OF EXISTING WALLS.
- 2. ANGLED WALLS ARE 45° TO ADJACENT WALLS, U.N.O.
- 3. DOORS TO BE LOCATED 4" FROM WALL ON HINGE SIDE OR CENTER OF THE SPACE, U.N.O.

FLOOR PLAN LEGEND

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	NEW INT. 2X4 STUD WALL, U.N.O.
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	NEW BRICK MASONRY WALL OR PIER
	EXISTING WALL TO BE REMOVED
	EXISTING ITEM TO BE REMOVED
	CEILING HEIGHT INDICATOR

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PROPOSED FIRST AND SECOND FLOOR PLANS

A1.2

WINDOW SCHEDULE								
SYMB	MANUFACTURER	TYPE	MATERIAL	APPROX. UNIT SIZE	WINDOW DETAILS			REMARKS
					HEAD	JAMB	SILL	
(1)	TBD	DOUBLE HUNG	WOOD	24" X 48"				QUANTITY = 5
(2)	TBD	CASEMENT	WOOD	24" X 48"				QUANTITY = 2

- HARDWARE AND FINISH TO BE SELECTED BY OWNER
- ALL WINDOWS TO BE ALUMINUM CLAD UNITS WITH 7/8" SIMULATED DIVIDED LITES AS SHOWN IN THE ELEVATION DRAWINGS
- TRANSOM UNITS TO HAVE 7/8" SIMULATED DIVIDED LITES AS SHOWN IN THE ELEVATION DRAWINGS
- DOUBLE GLAZING, LOW E GLASS WITH ARGON
- ARCHITECT TO REVIEW FINAL WINDOW ORDER BEFORE PURCHASING

DOOR SCHEDULE									
DOOR NO.	ROOM NAME	DOOR SIZE	DOOR TYPE	HDWR SET	THRESH	DOOR DETAILS			REMARKS
						HEAD	JAMB	SILL	
BASEMENT FLOOR									
0A	RECREATION ROOM	PR. 2'-6" x 6'-8"	DOUBLE SWING	2	ALUM.	-	-	-	WOOD FRENCH DOORS SELECTED BY OWNER
0B	RECREATION ROOM	2'-4" x 6'-8"	SWING	5	NONE	-	-	-	SOLID WOOD DOOR TO MATCH EXISTING
FIRST FLOOR									
1A	KITCHEN	EXIST.	DOUBLE SWING	EXIST.	EXIST.	-	-	-	EXISTING FRENCH DOORS RE-USED IN NEW LOCATION
1B	SCREENED PORCH	2'-8" X 6'-8"	SWING	1	NONE	-	-	-	NEW SCREENED DOOR
SECOND FLOOR									
2A	MASTER W.I.C	2'-0" x 6'-8"	POCKET	4	NONE	-	-	-	SOLID WOOD DOOR TO MATCH EXISTING
2B	MASTER W.I.C	2'-0" x 6'-8"	POCKET	4	NONE	-	-	-	SOLID WOOD DOOR TO MATCH EXISTING

HARDWARE SETS: (ALL HARDWARE FINISHES TO BE SELECTED BY OWNER)

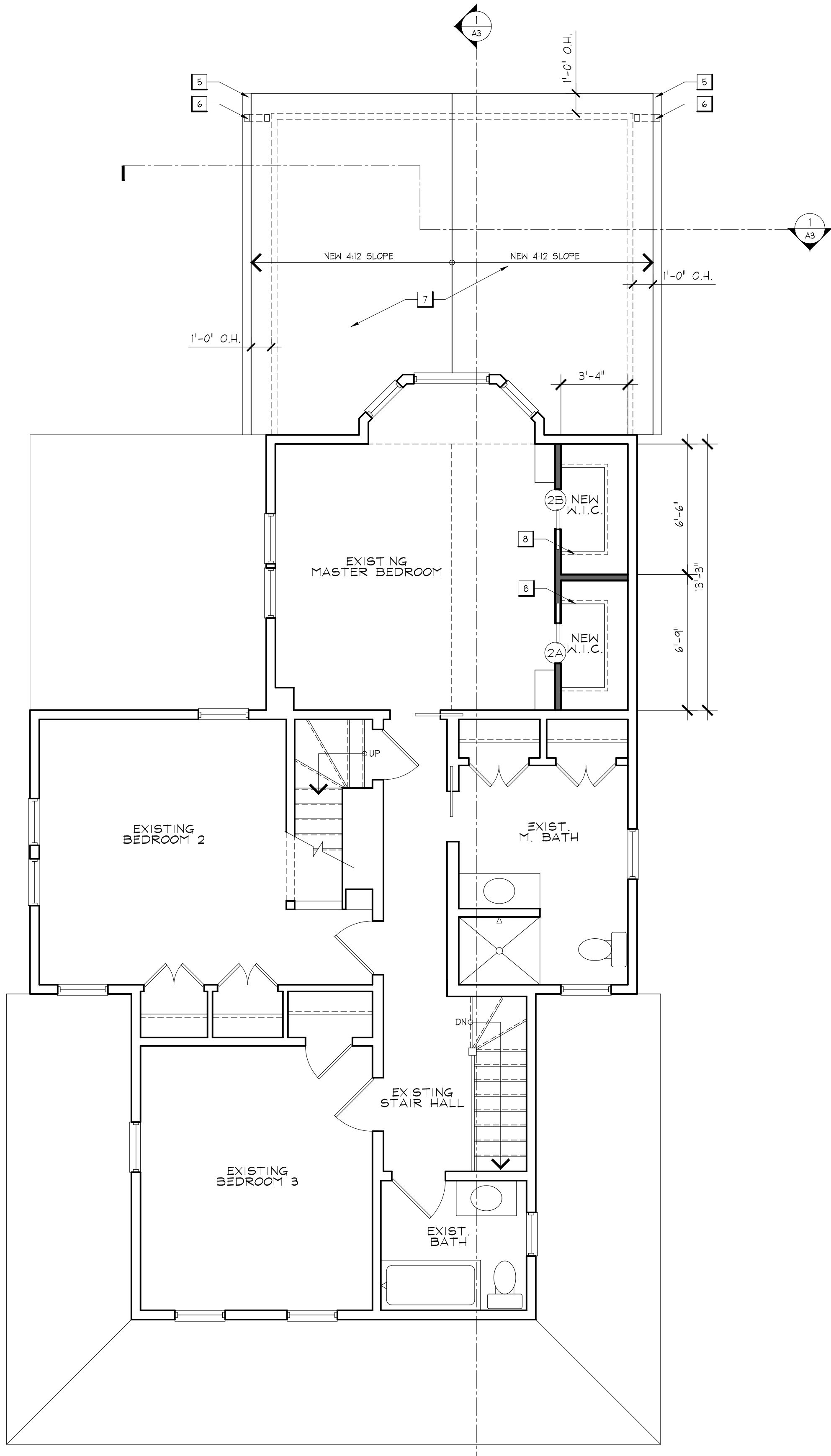
- (2) 3.5" HINGES; PASSAGE LATCH
- (2) 3.5" HINGES EACH DOOR; PLAIN DUMMY KNOB EACH DOOR
- (2) 3.5" HINGES; PRIVACY LOCK
- POCKET DOOR HARDWARE WITH LOCK
- (2) 3.5" HINGES; PLAIN DUMMY KNOB
- (3) 3.5" HINGES EACH DOOR; ENTRY LOCK AND DEADBOLT
- DUTCH DOOR HARDWARE PER MANUFACTURER
- CUSTOM SLIDING BARN DOOR HARDWARE PER MANUFACTURER

MUNICIPAL STAMPS

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 2:39 pm, Sep 23, 2022



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- NEW PT DECKING BOARDS
- NEW GUTTER TO MATCH EXISTING HOUSE
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PROPOSED ROOF PLAN AND DOOR/WINDOW SCHEDULE

A1.3

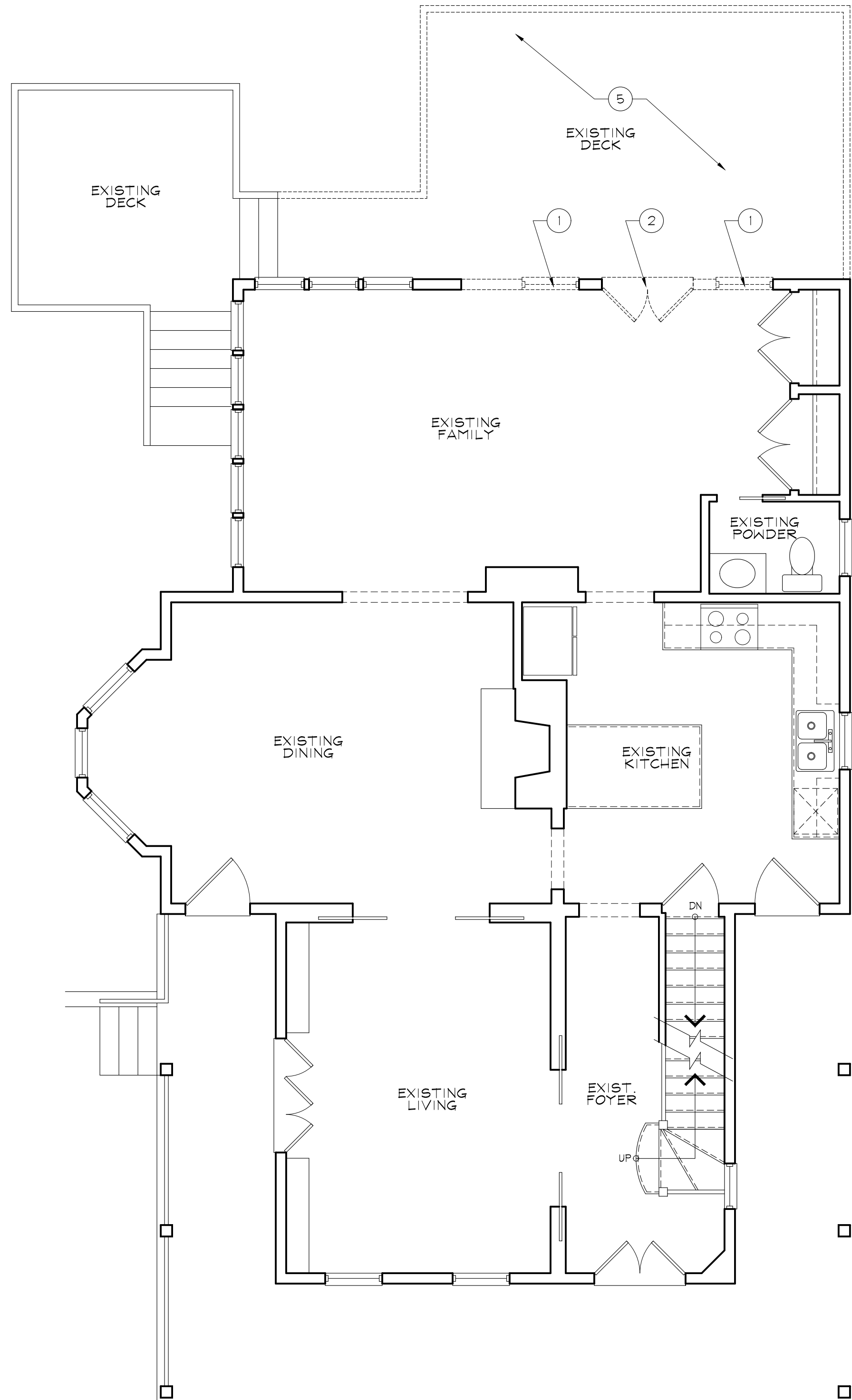
2 PROPOSED SECOND FLOOR PLAN
A1.2 1/4" = 1'-0"

APPROVED
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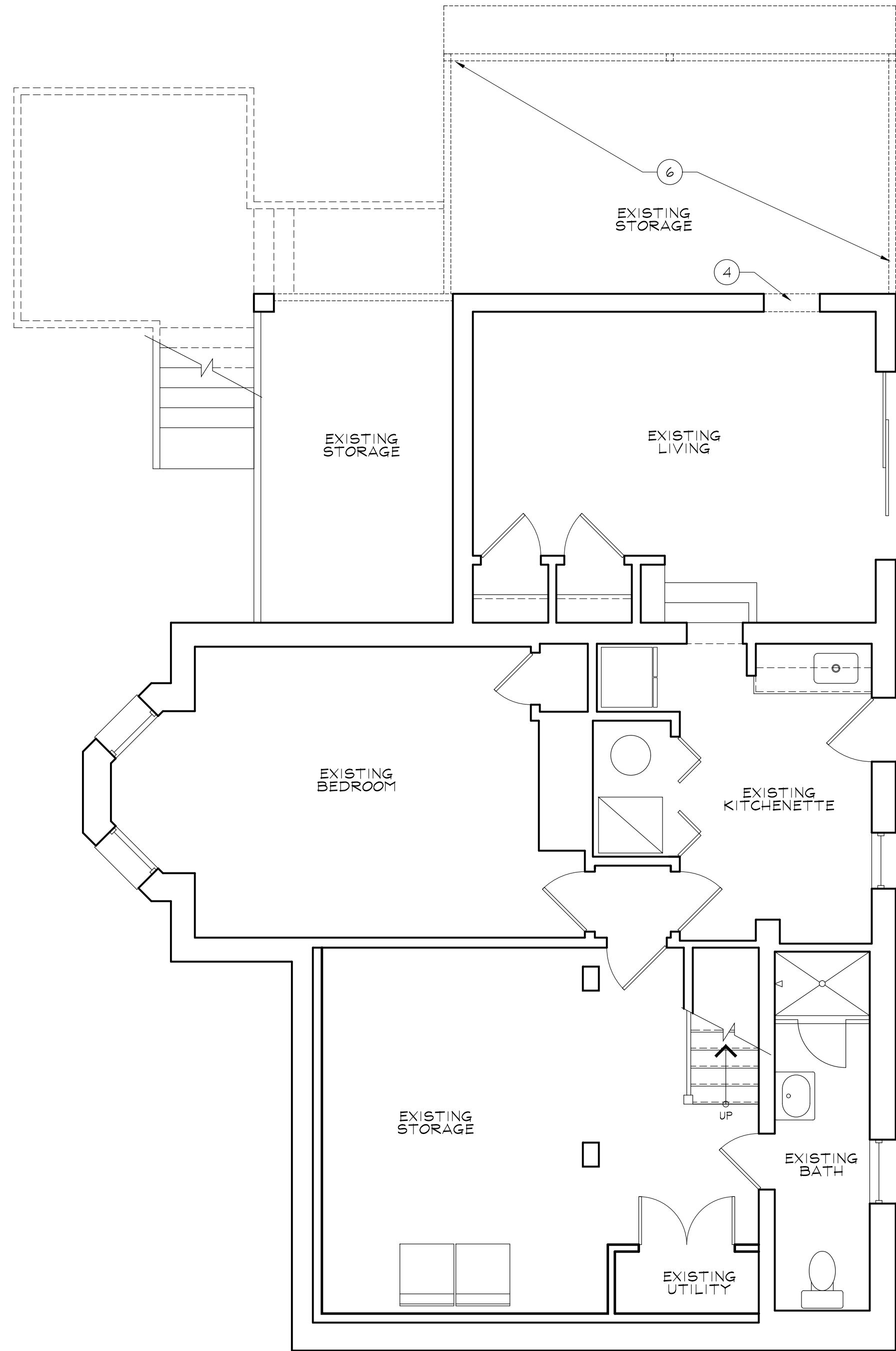


REVIEWED
 By Dan.Bruechert at 2:38 pm, Sep 23, 2022

MUNICIPAL STAMPS



2 EXISTING/DEMO FIRST FLOOR PLAN
 A1 1/4" = 1'-0"



1 EXISTING/DEMO BASEMENT PLAN
 A1 1/4" = 1'-0"

DEMOLITION KEYNOTES:

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EXISTING/DEMO FLOOR PLANS

A1

MUNICIPAL STAMPS

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EXTERIOR
 ELEVATIONS

A2.1

APPROVED
 Montgomery County
 Historic Preservation Commission

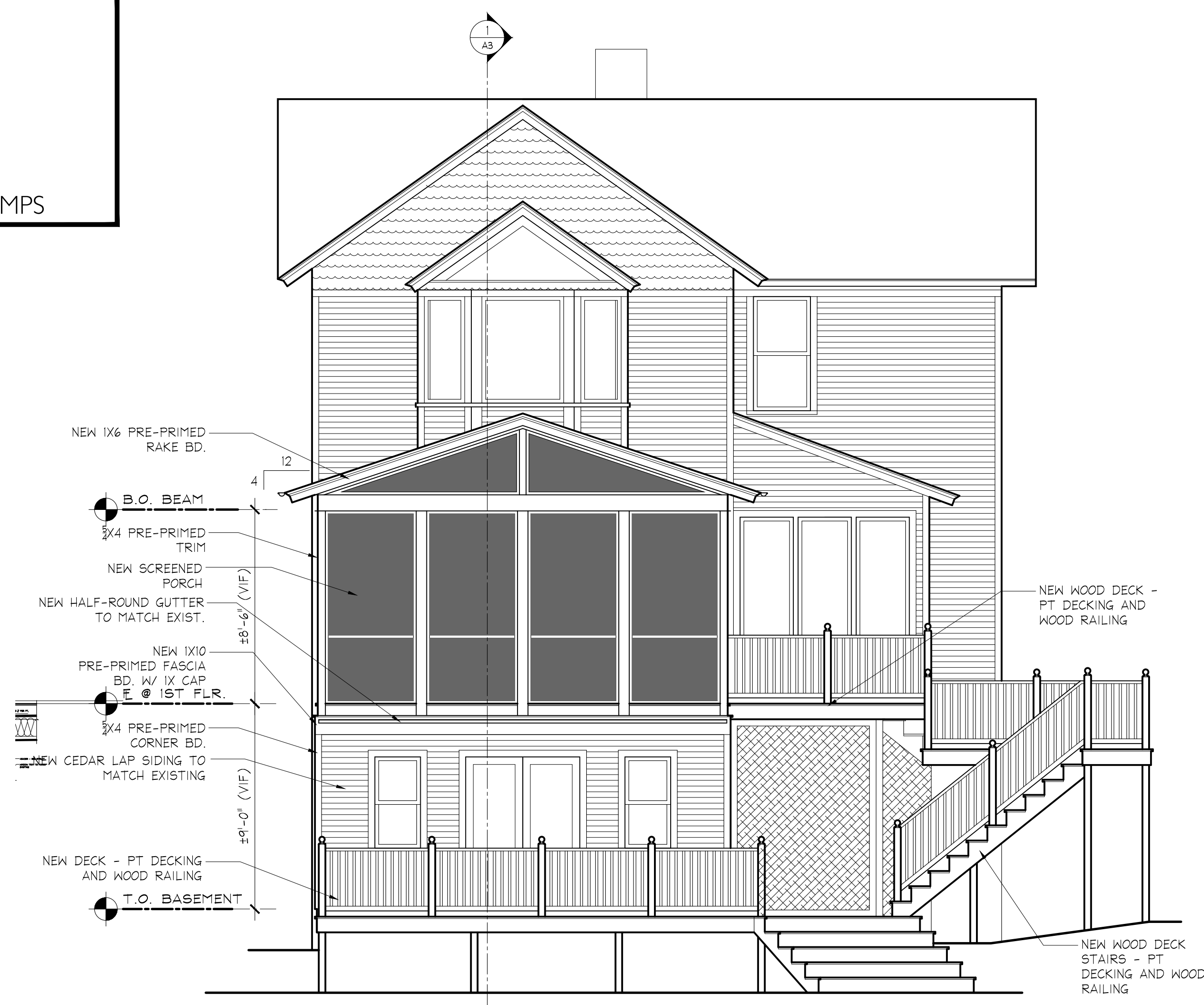
[Signature]

REVIEWED
 By Dan.Bruechert at 2:50 pm, Sep 23, 2022



1 PROPOSED SIDE (SOUTH) ELEVATION
 A2.1 1/4" = 1'-0"

MUNICIPAL STAMPS



1 PROPOSED REAR ELEVATION
 A2 1/4" = 1'-0"



2 PROPOSED SIDE (NORTH) ELEVATION
 A2 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

REVIEWED
 By Dan.Bruechert at 2:37 pm, Sep 23, 2022

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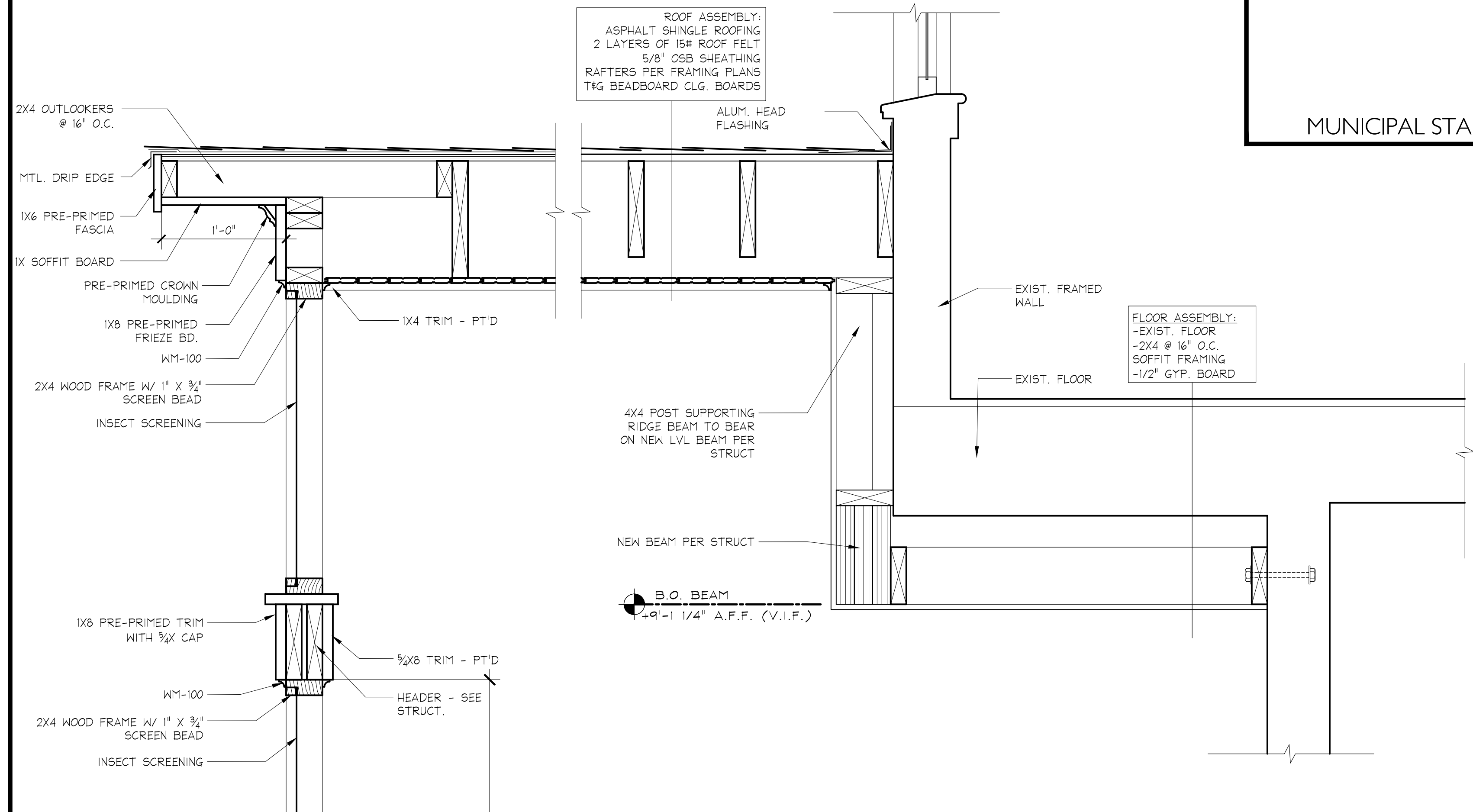
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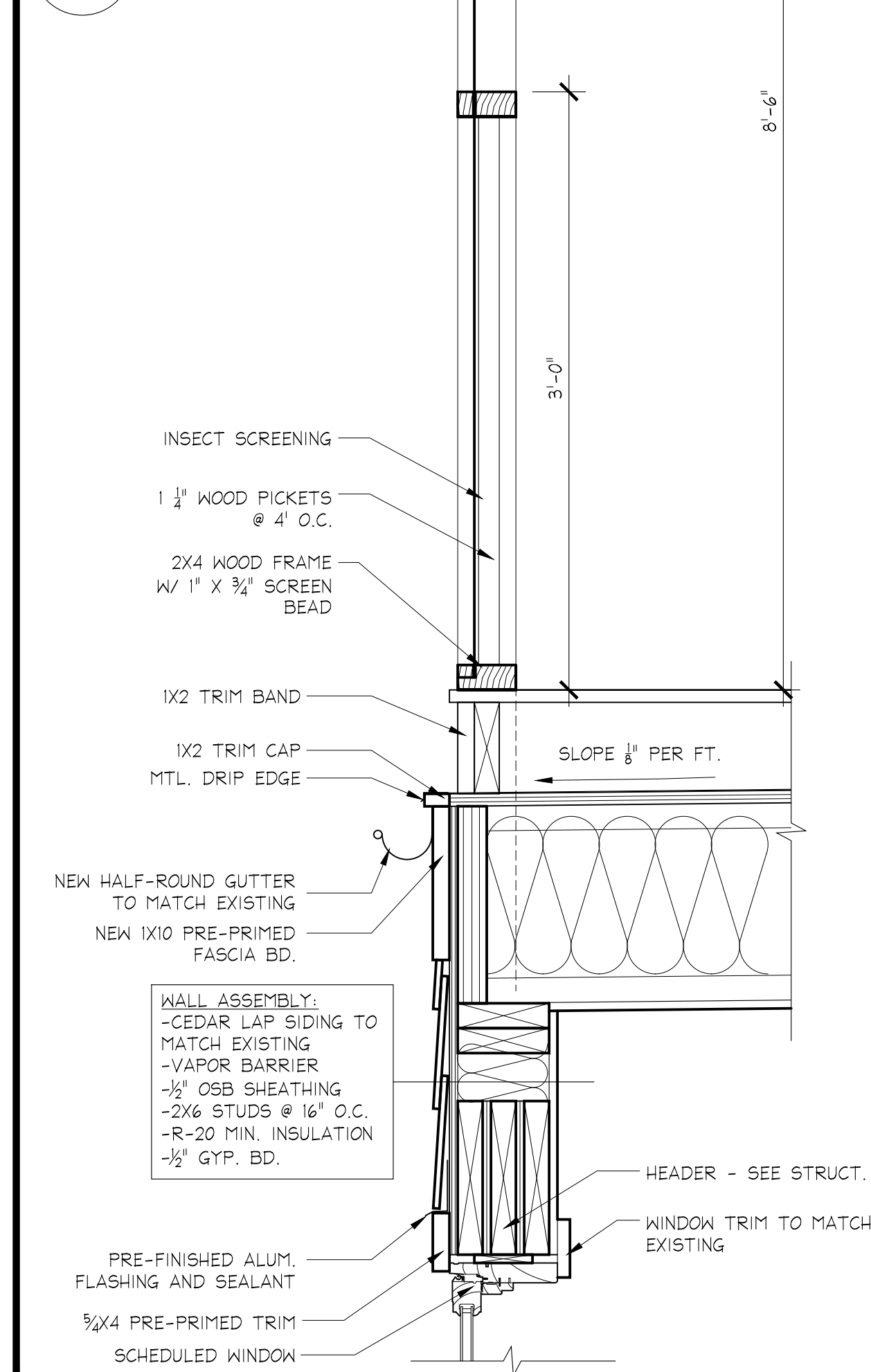
EXTERIOR ELEVATIONS

A2

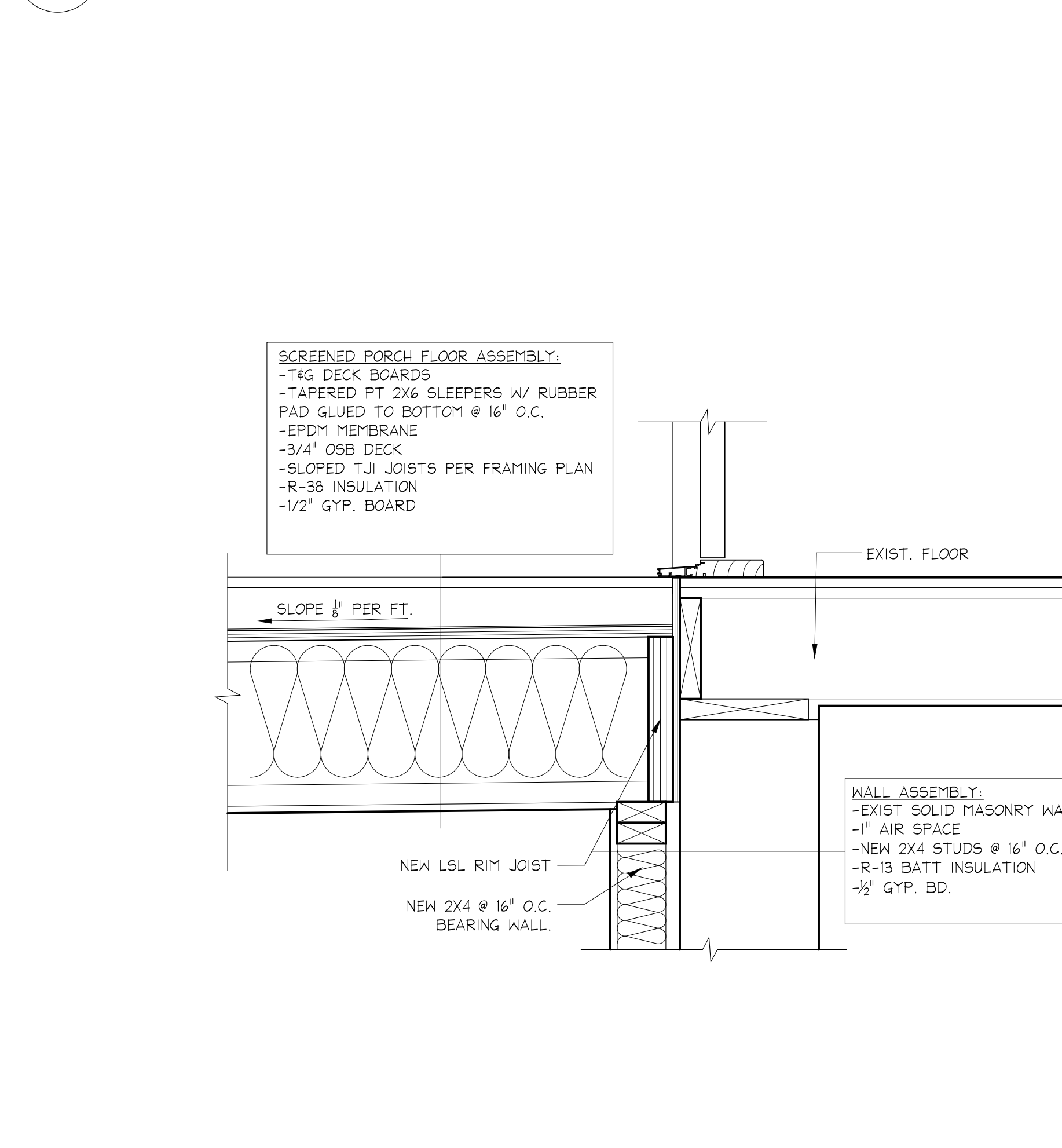


6 SCREENED PORCH GABLE DETAIL
A3.1 1 1/2" = 1'-0"

4 SCREENED PORCH ROOF @ EXIST. WALL
A3.1 1 1/2" = 1'-0"



5 SCREENED PORCH FLOOR DETAIL
A3.1 1 1/2" = 1'-0"



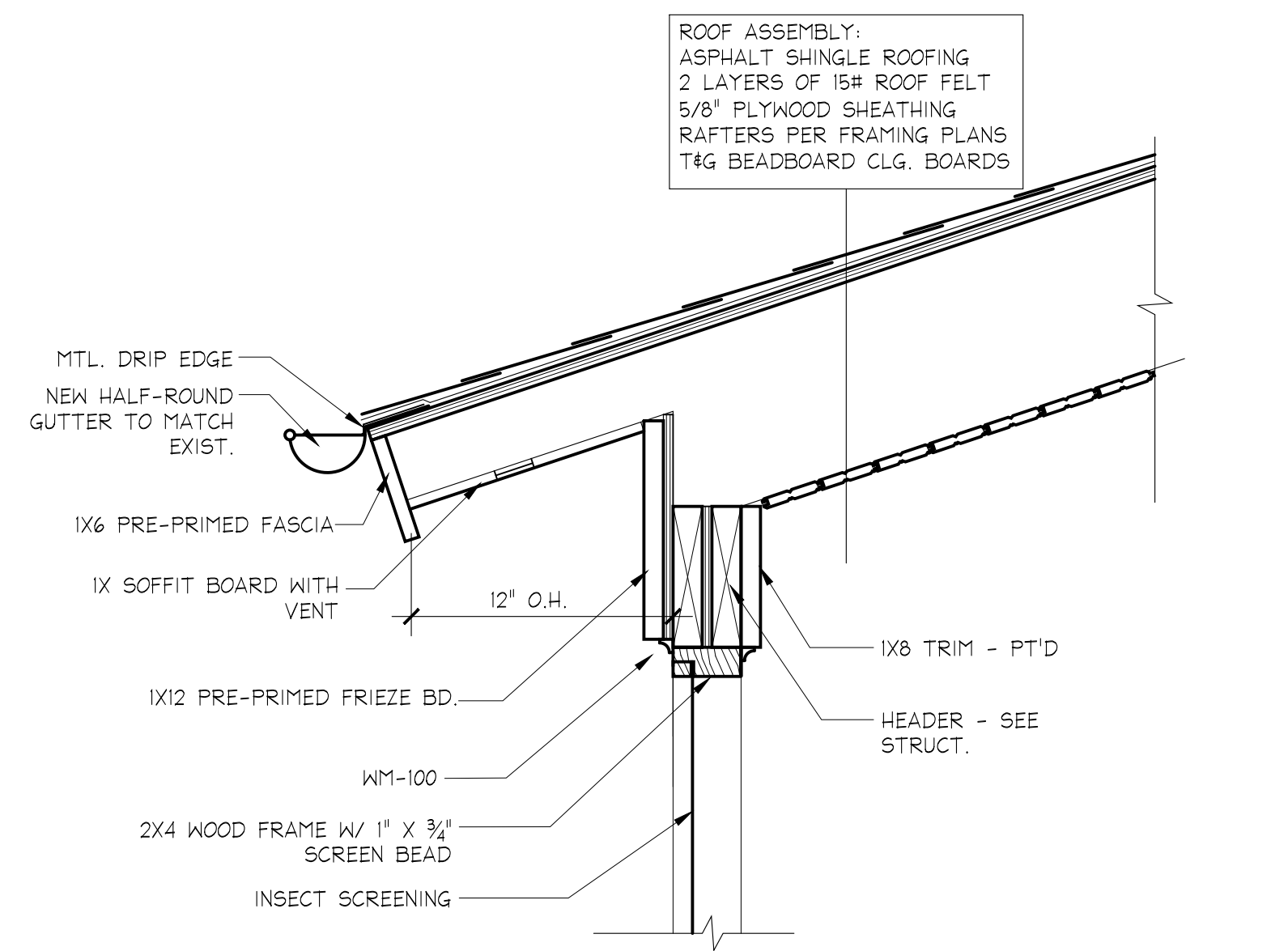
3 SCREENED PORCH FLOOR DETAIL @ HOUSE
A3.1 1 1/2" = 1'-0"

MUNICIPAL STAMPS

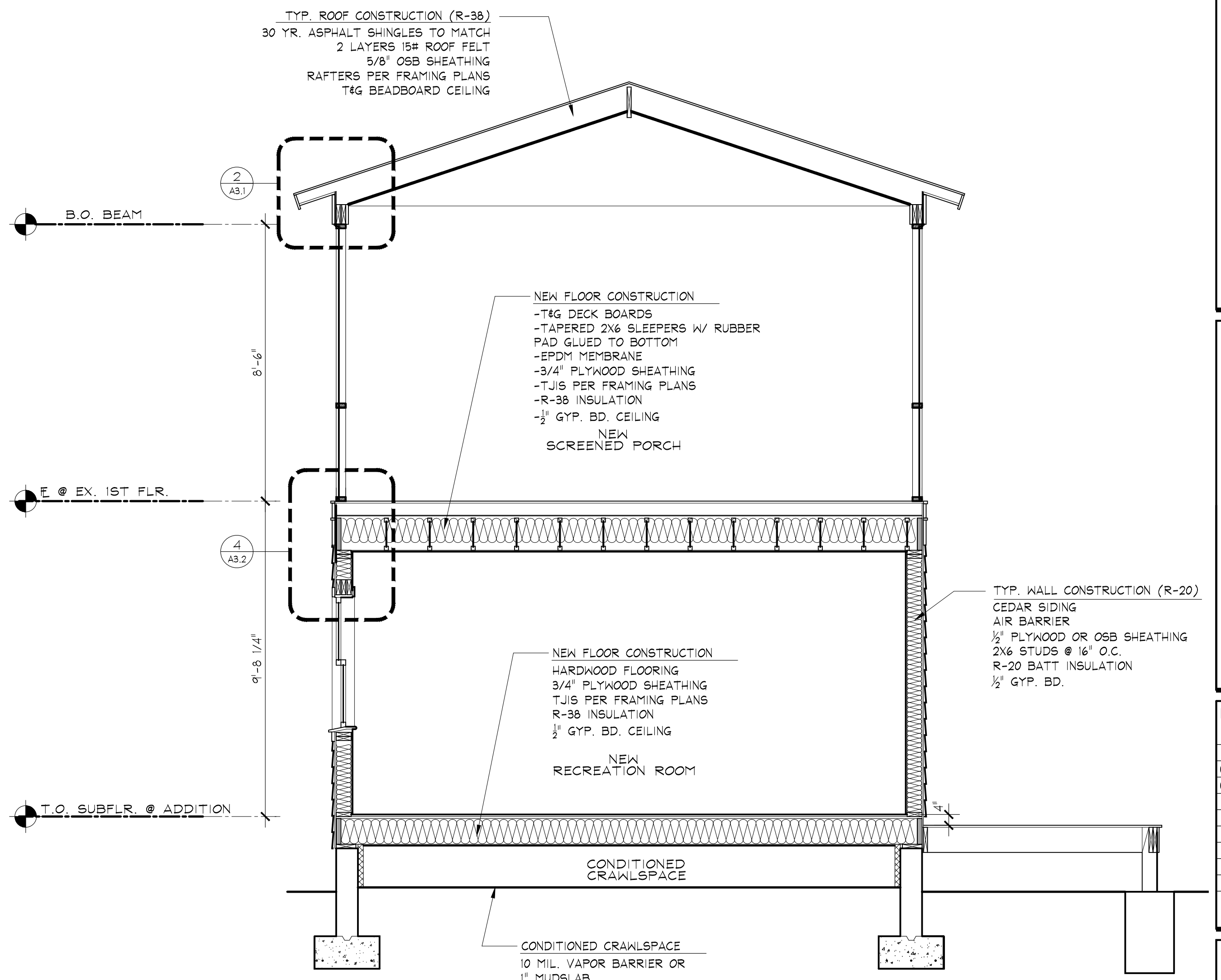
APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 2:37 pm, Sep 23, 2022



2 SCREENED PORCH EAVE DETAIL
A3.1 1 1/2" = 1'-0"



1 BUILDING SECTION THRU ADDITION
A3.1 3/8" = 1'-0"

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BUILDING SECTION AND DETAILS

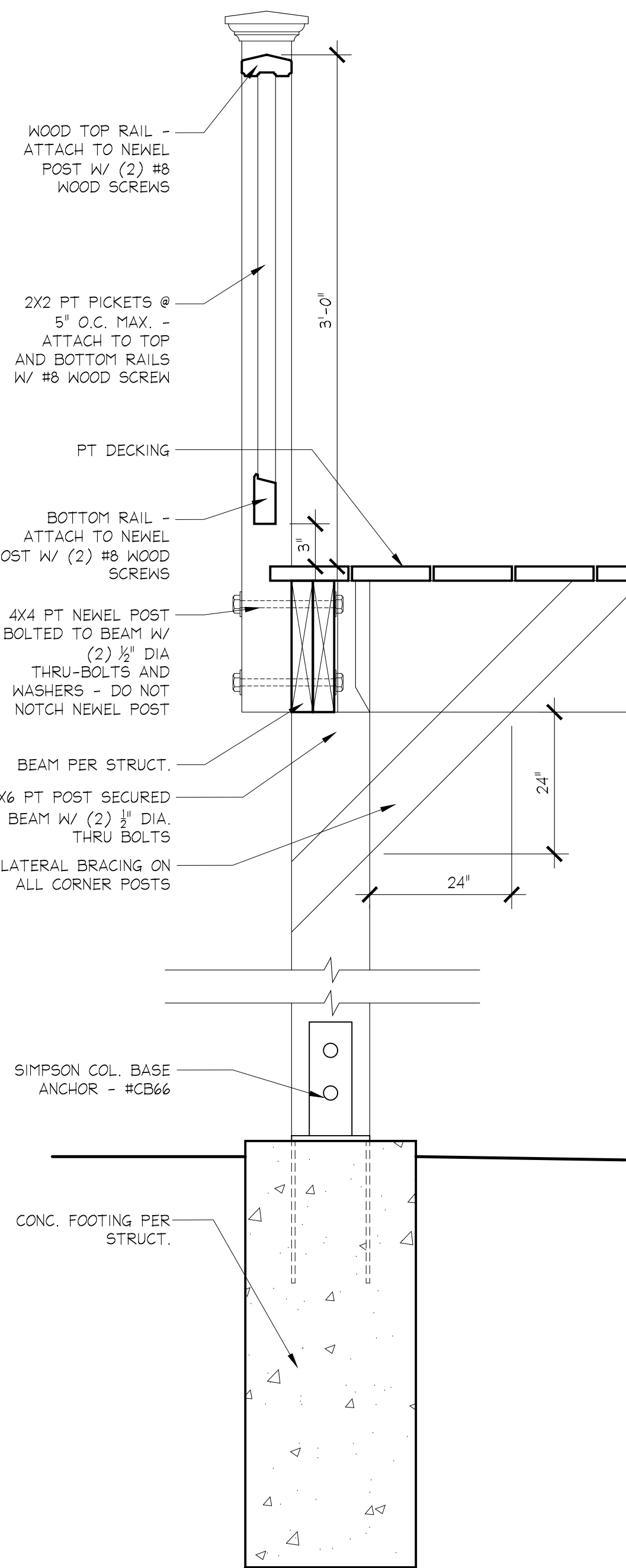
A3.1

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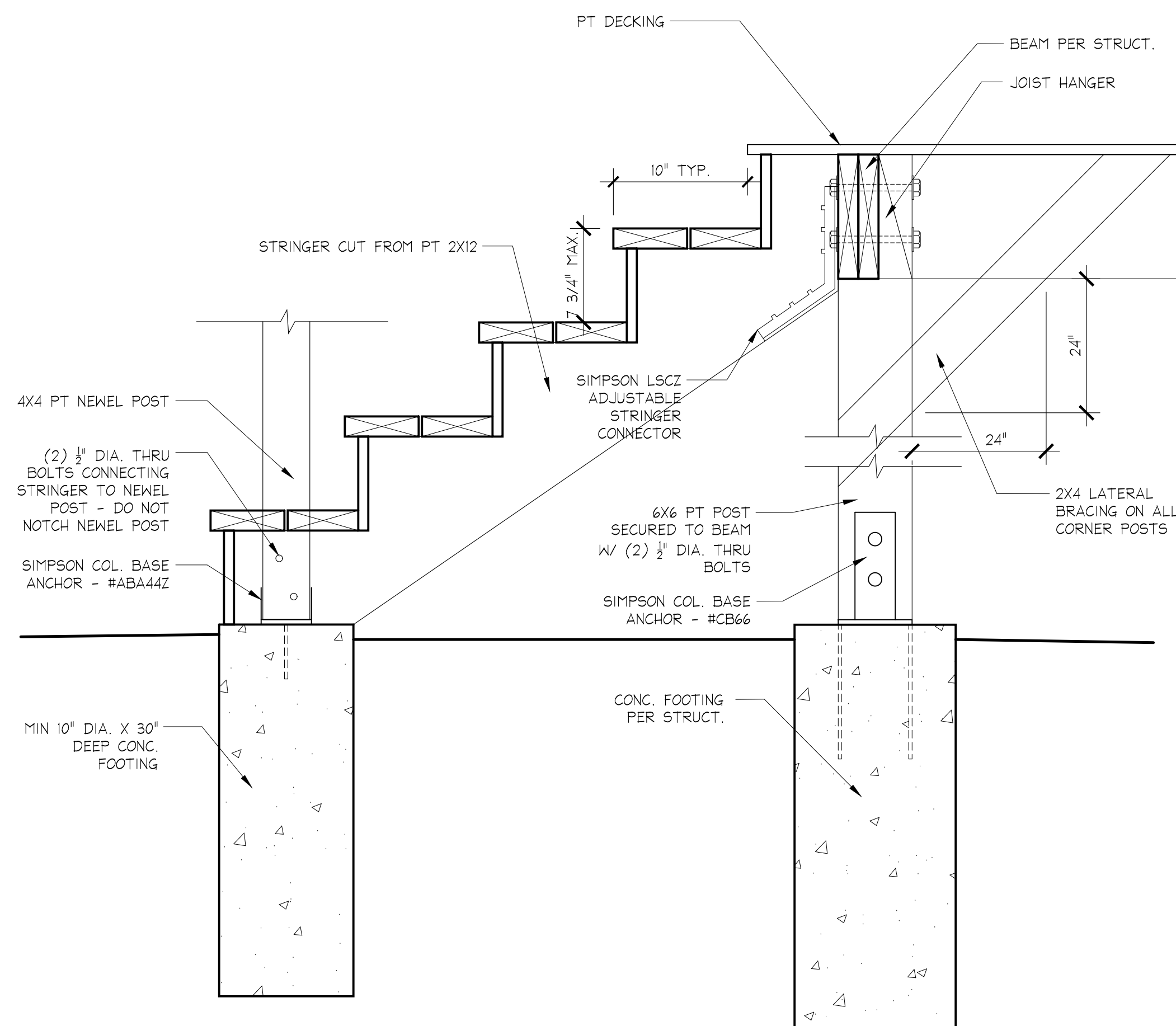


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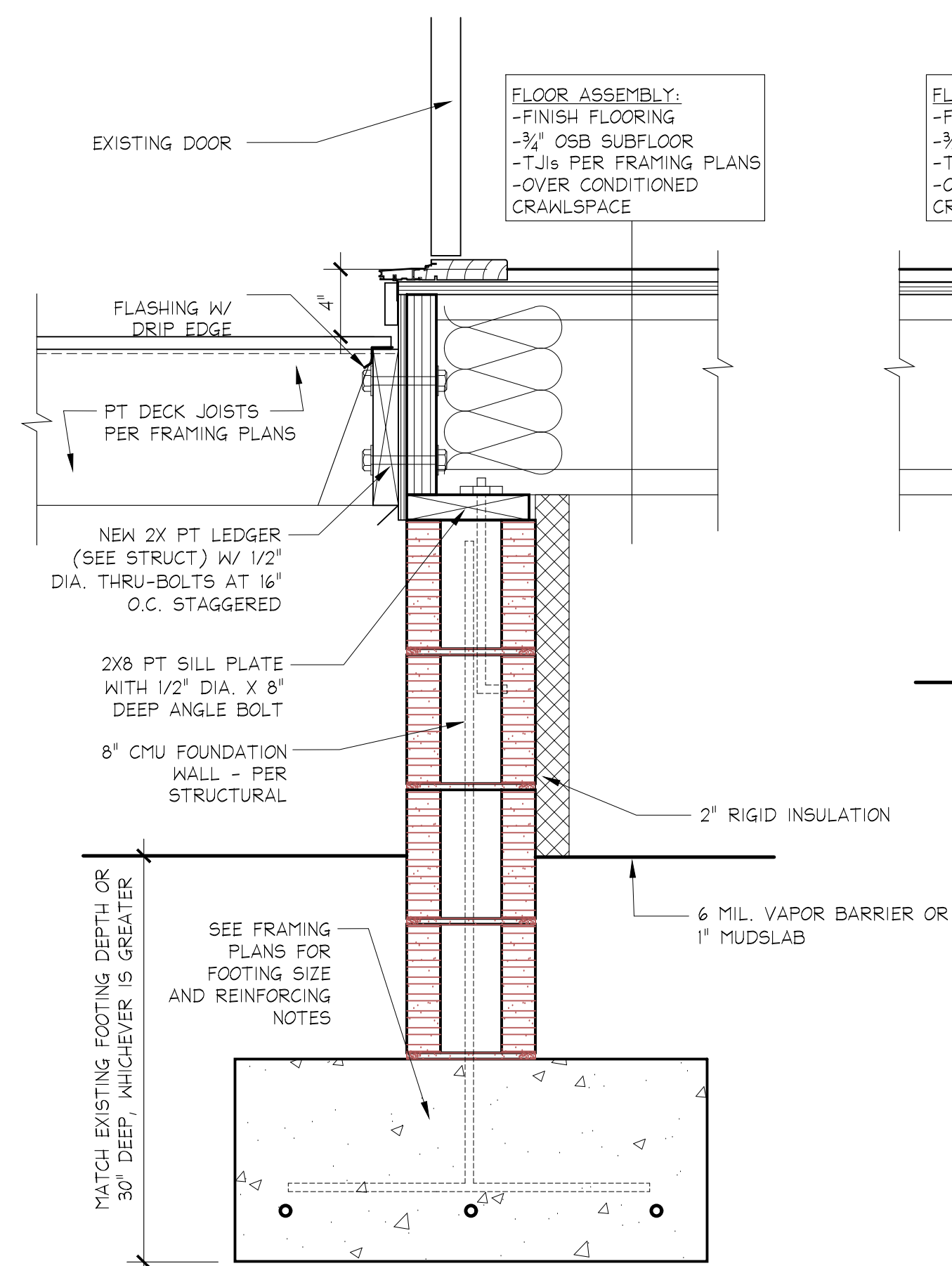
MUNICIPAL STAMPS



3 TYP. DECK RAILING DETAIL
A3.3 1 1/2" = 1'-0"

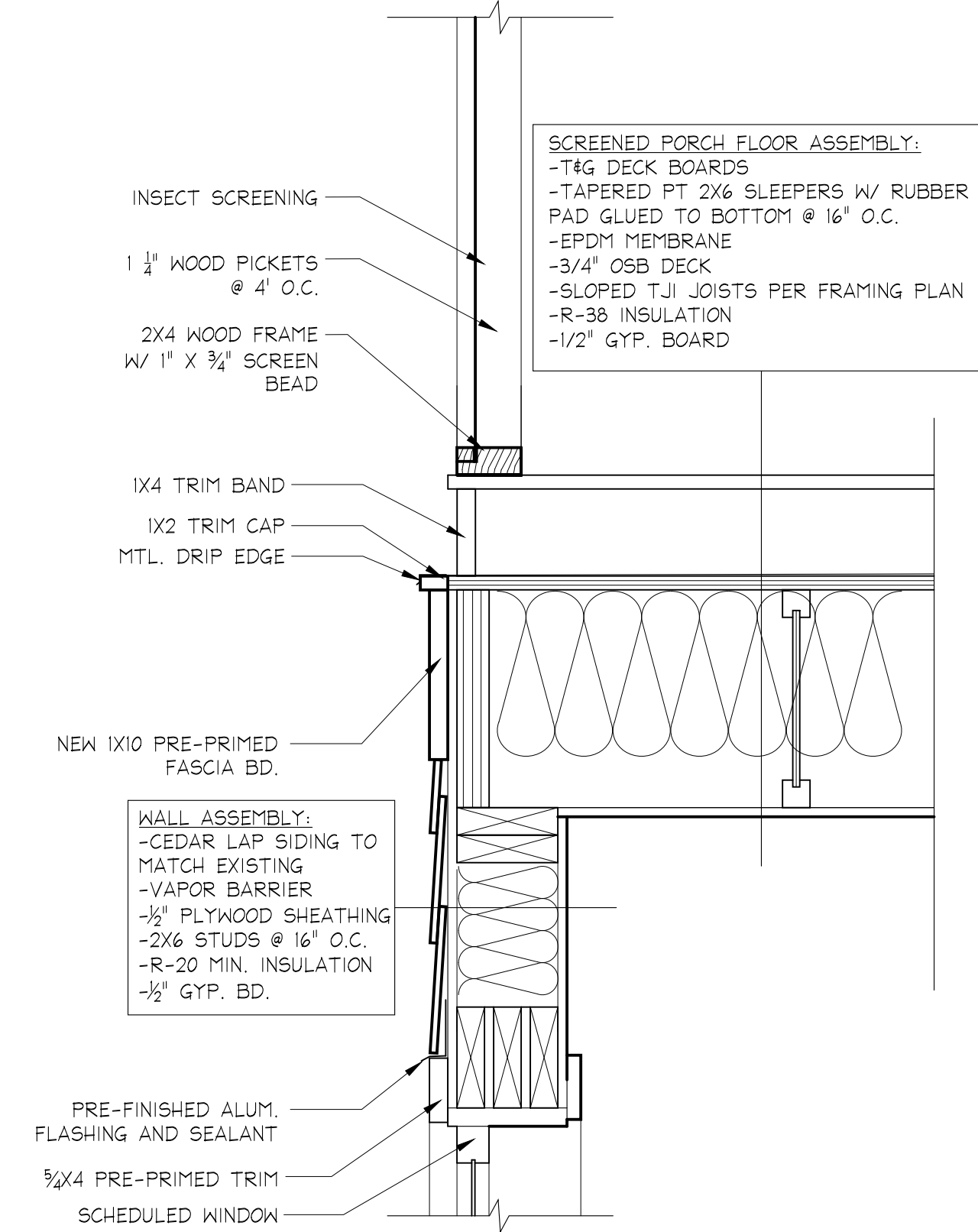


2 TYP. DECK STAIR DETAIL
A3.3 1 1/2" = 1'-0"



1 TYP. DECK CONNECTION DETAIL
A3.3 1 1/2" = 1'-0"

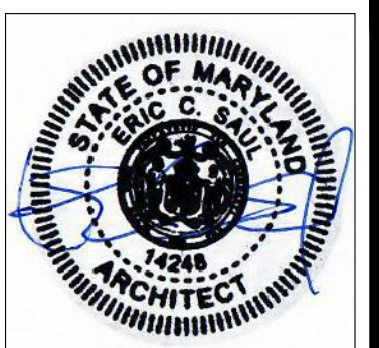
4 SCREENED PORCH FLOOR DETAIL @ HOUSE
A3.2 1 1/2" = 1'-0"



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REVISIONS

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ADDITION AND RENOVATION
7212 CEDAR AVENUE | TAKOMA PARK, MD 20912



PROFESSIONAL CERTIFICATION:
I, ERIC SAUL, HEREBY CERTIFY
THAT THESE DOCUMENTS WERE
PREPARED OR APPROVED BY ME,
AND THAT I AM A DULY LICENSED
ARCHITECT UNDER THE LAWS OF
THE STATE OF MARYLAND.
LICENSE NO. 14248, EXPIRATION
DATE JUNE 30, 2023

PROJECT NUMBER: 20063

PRINTING LOG	
DATE	PURPOSE
06.30.21	PRE-DESIGN
09.09.22	PERMIT SET

DECK DETAILS

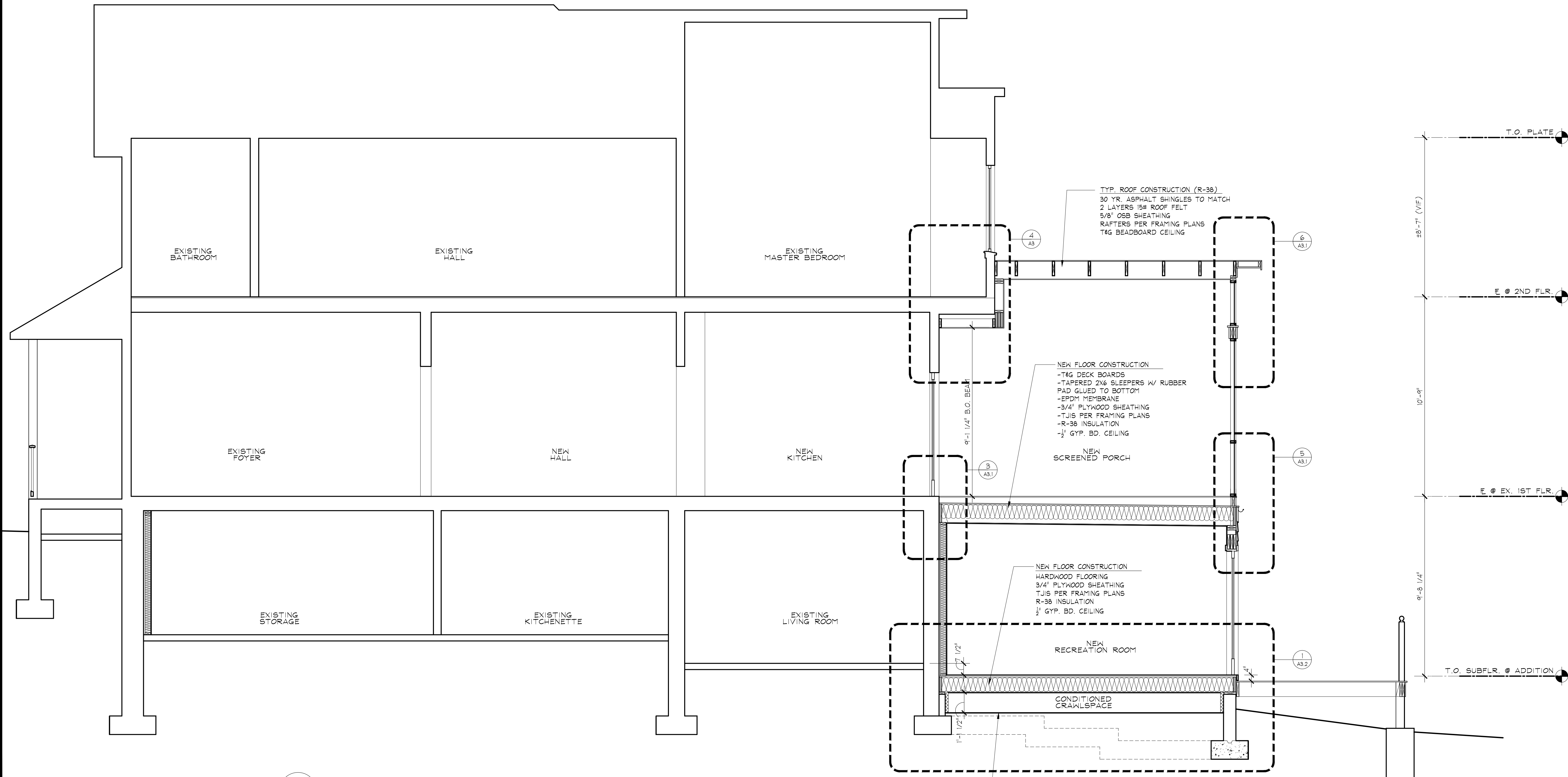
A3.2

APPROVED
 Montgomery County
 Historic Preservation Commission



REVIEWED
 By Dan.Bruechert at 2:46 pm, Sep 23, 2022

MUNICIPAL STAMPS



1 BUILDING SECTION
 A3 3/8" = 1'-0"

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REVISIONS

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 7212 CEDAR AVENUE | TAKOMA PARK, MD 20912

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BLDG. SECTIONS
 AND DETAILS

A3



MUNICIPAL STAMPS



VAENA RESIDENCE ADDITION AND RENOVATION

7212 CEDAR AVENUE | TAKOMA PARK, MD 20912

REVIEWED
By Dan.Bruechert at 2:45 pm, Sep 23, 2022

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COVER SHEET
AND SITE PLAN

CS

PROJECT TEAM

OWNERS:
KELLY AND MARCOS VAENA
7212 CEDAR AVENUE
TAKOMA PARK, MD 20912
(301)222-3275

ARCHITECT:
ERIC C. SAUL, RA
SAUL ARCHITECTS
8114 CARROLL AVENUE
TAKOMA PARK, MD 20912
(301) 270-0395

STRUCTURAL ENGINEER:
GEORGE GERBER, P.E.
1309 BALLANTRAE COURT
MCLEAN, VA 22101
(703) 442-0309

SHEET INDEX

ARCHITECTURAL	
CS	COVER SHEET
EE1	ENERGY EFFICIENCY
A1	EXISTING/DEMO FLOOR PLANS
A1.1	EXISTING/DEMO FLOOR PLANS
A1.2	PROPOSED 1ST AND 2ND FLOOR PLANS
A1.3	PROPOSED BASEMENT AND ROOF PLAN AND WINDOW/DOOR SCHEDULES
A2	EXTERIOR ELEVATIONS
A2.1	EXTERIOR ELEVATIONS
A3	BUILDING SECTION AND DETAILS
A3.1	BUILDING SECTION AND DETAILS
A3.2	DECK AND BALCONY DETAILS
A3.3	FRONT PORCH DETAILS
S1	FRAMING PLANS AND STRUCTURAL NOTES
S2	FRAMING PLANS AND DETAILS
S3	WIND BRACING DIAGRAM
E1	ELECTRICAL PLAN

GRAPHIC SYMBOLS

	SECTION CALLOUT SHEET NUMBER
	DETAIL CALLOUT SHEET NUMBER
	ELEVATION CALLOUT SHEET NUMBER
	DETAIL NUMBER SHEET NUMBER
	INTERIOR ELEVATION SHEET NUMBER
	SPOT ELEVATION
	WINDOW IDENTIFIER
	DOOR IDENTIFIER
	FLOOR HEIGHT IDENTIFIER
	KEYNOTE
	REVISION INDICATOR

CODE ANALYSIS

SCOPE OF WORK:
ADDITION AND RENOVATION OF AN EXISTING SINGLE FAMILY HOUSE. NEW TWO STORY REAR ADDITION W/ WALK-OUT BASEMENT AND NEW OPEN DECK. THE SECOND FLOOR OF THE ADDITION IS A SCREENED IN PORCH.

LOT: 16
BLOCK: 6

CODE: IRC 2018
ZONE: R-60
CONSTRUCTION TYPE: SB
NO. OF STORIES: 2 PLUS BASEMENT
SPRINKLERED: NO

DESIGN CRITERIA:
GROUND SNOW LOAD: 30 PSF
WIND SPEED: 115 MPH
SEISMIC DESIGN CATEGORY: B
WEATHERING: SEVERE
FROST DEPTH LINE: 30 IN.
TERMITE: MODERATE TO HEAVY
DECAY: SLIGHT TO MODERATE
WINTER DESIGN TEMP.: 13° F
ICE SHIELD UNDERLAYMENT REQ'D: YES
FLOOD HAZARDS: JULY 2, 1979
AIR FREEZING INDEX: 300
MEAN ANNUAL TEMP.: 55° F

ALLOWED HEIGHT: 2 1/2 STORIES: 30'-0" MEAN HEIGHT
PROPOSED HEIGHT: UNCHANGED

SETBACKS:
FRONT YARD: 25'-0"
SIDE YARD: 7'-0"
REAR YARD: 20'-0"

LOT AREA CALCULATIONS:
LOT SIZE: 37,868.0 SQ. FT. (100.0%)
MAX. LOT COVERAGE: 13,253.1 SQ. FT. (35.0%)
EXISTING COVERAGE: 1,226.4 SQ. FT. (3.2%)
PROPOSED COVERAGE: 1,587.5 SQ. FT. (4.8%)
INCREASED COVERAGE: 361.1 SQ. FT. (0.95%)

ADDITIONAL LOT COVERAGE		361.1 SQ. FT.
-------------------------	--	---------------

FLOOR LIVING AREA CALCULATIONS:
EXISTING FLOOR AREA:
BASEMENT: 1,112.8 SQ. FT.
FIRST FLOOR: 1,148.7 SQ. FT.
SECOND FLOOR: 1,028.7 SQ. FT.
TOTAL EXISTING: 3,290.2 SQ. FT.

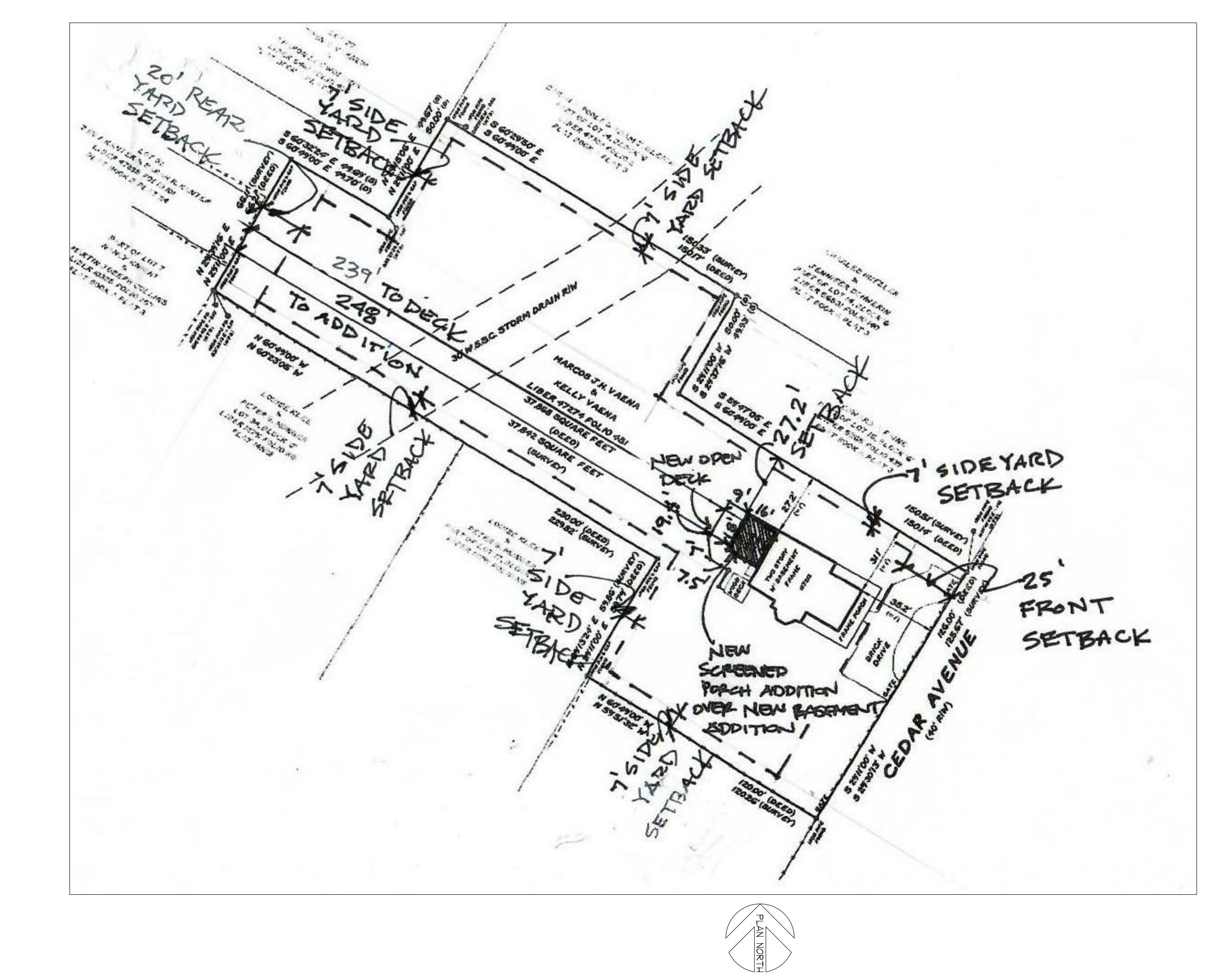
PROPOSED FLOOR AREA:
BASEMENT: 1,400.8 SQ. FT.
FIRST FLOOR: 1,148.7 SQ. FT.
SECOND FLOOR: 1,028.7 SQ. FT.
TOTAL PROPOSED: 3,578.2 SQ. FT.
% INCREASE: 288.0 SQ. FT. (8.7%)
SCREENED PORCH ADDITION: 288.0 SQ. FT.

TOTAL ADDITION		576 SQ. FT.
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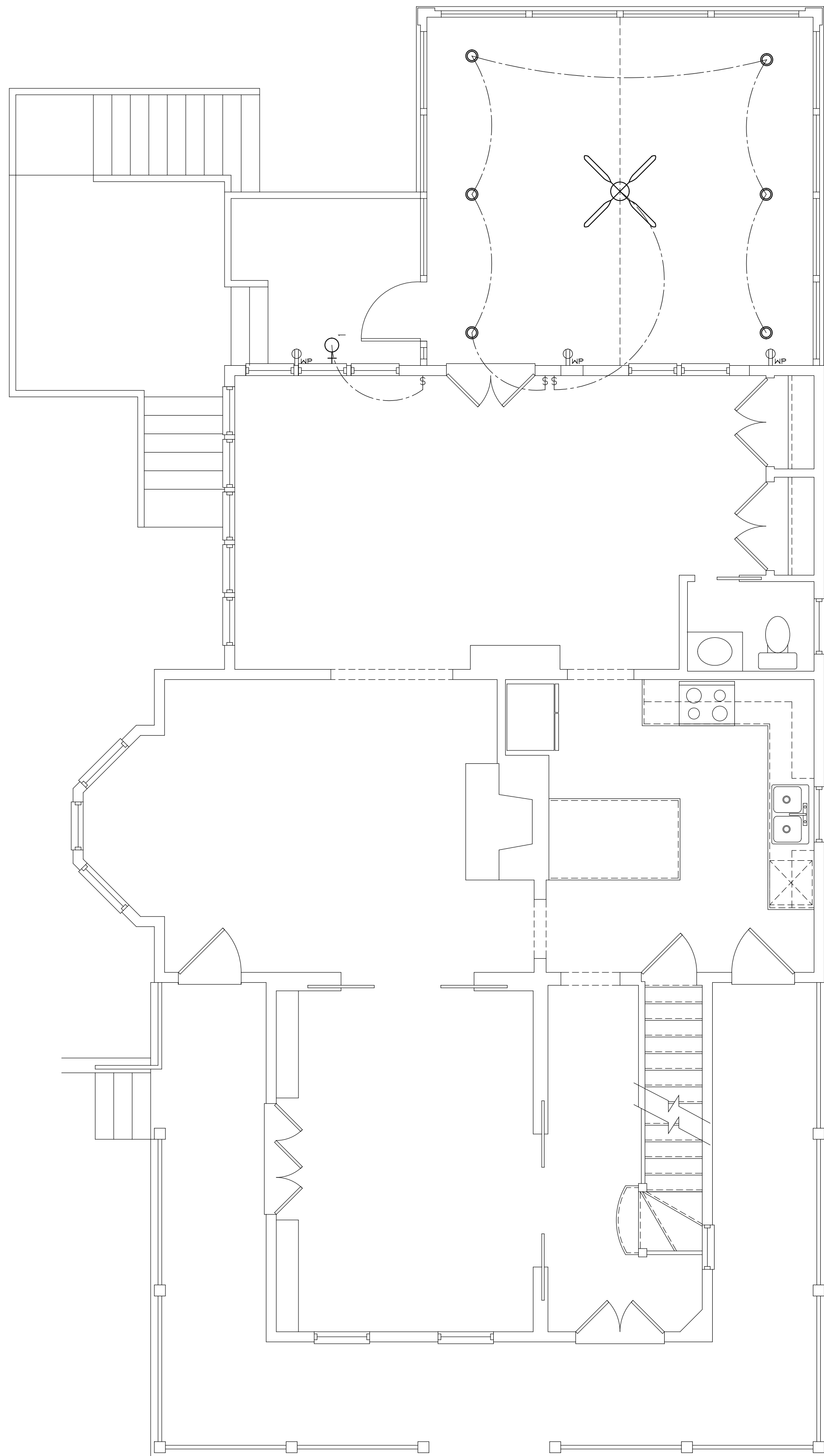
REMODELED FLOOR AREA:
BASEMENT: 20 SQ. FT.
FIRST FLOOR: 75 SQ. FT.
SECOND FLOOR: 48 SQ. FT.

TOTAL RENOVATION		143 SQ. FT.
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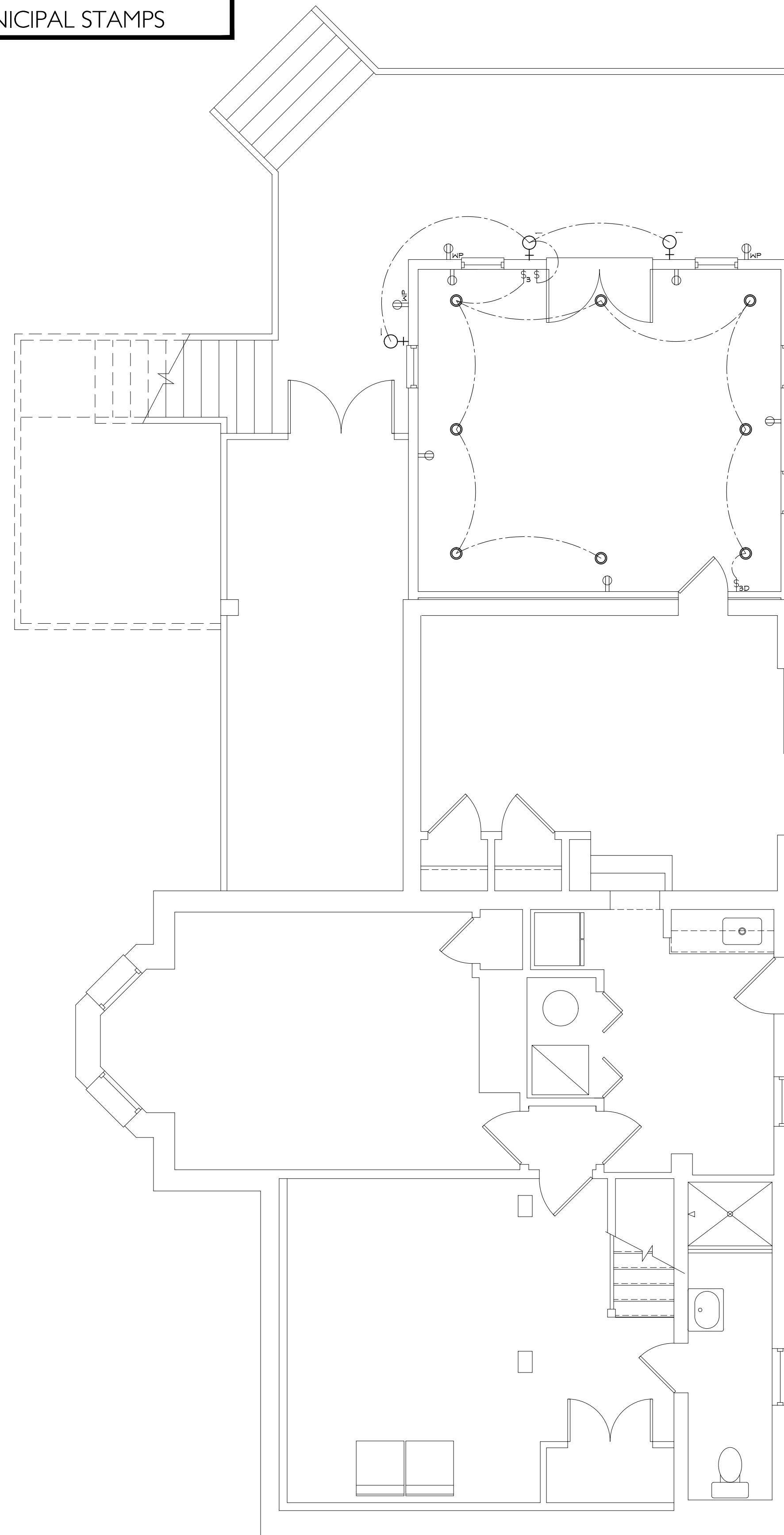
SITE PLAN: 1" = 30'-0"



MUNICIPAL STAMPS



2 FIRST FLOOR ELECTRICAL PLAN
E1 1/4" = 1'-0"



1 BASEMENT FLOOR ELECTRICAL PLAN
E1 1/4" = 1'-0"

ELECTRICAL SYMBOLS

- ⌘ SWITCH
- ⌘ THREE-WAY SWITCH
- ⌘ JAMB SWITCH
- ⌘ SWITCH WITH DIMMER
- ⌘ AIR SWITCH FOR DISPOSAL
- ⌘ DUPLEX RECEPTACLE
- ⌘ DUPLEX RECEPTACLE w/ USB PORTS
- ⌘ QUADRUPLUX RECEPTACLE
- ⌘ SWITCHED OUTLET
- ⌘ GROUND FAULT PROTECTED RECEPTACLE
- ⌘ WATERPROOF RECEPTACLE
- ⌘ 220V RECEPTACLE
- ⌘ FLOOR MOUNTED DUPLEX RECEPTACLE
- ⌘ CEILING MOUNTED WIRELESS ACCESS POINT JACK
- ⌘ CABLE TELEVISION JACK w/ DUAL CAT6 DATA WIRING
- ⌘ TELEPHONE JACK/INTERNET/DATA
- ⌘ SMOKE DETECTOR
- ⌘ SURFACE MOUNTED CEILING FIXTURE (OSCI)
- ⌘ RECESSED CEILING FIXTURE
- ⌘ RECESSED CEILING FIXTURE - RATED FOR WET LOCATION
- ⌘ RECESSED WALL WASH FIXTURE
- ⌘ WALL MOUNTED FIXTURE
- ⌘ EXTERIOR WALL MOUNTED FIXTURE
- ⌘ WALL SCONCE
- ⌘ FLOODLIGHT
- ⌘ BATHROOM EXHAUST FAN
- ⌘ CEILING FAN (OSCI)
- ⌘ UNDER CABINET/OVER DOOR LED STRIP LIGHT

GENERAL ELECTRICAL NOTES:

1. ELECTRICAL LAYOUT TO MEET REQUIREMENTS OF THE CURRENT NATIONAL ELECTRICAL CODE.
2. SMOKE DETECTORS ARE TO BE HARDWIRED TOGETHER SO THAT ACTIVATION OF ONE DETECTOR ACTIVATES ALL. PROVIDE BATTERY BACK-UPS.
3. INSTALL CARBON MONOXIDE DETECTOR ON EACH FLOOR.
4. WIRE ENTIRE HOUSE FOR INTERNET SERVICE.

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APPROVED
Montgomery County
Historic Preservation Commission

Eric C. Saul

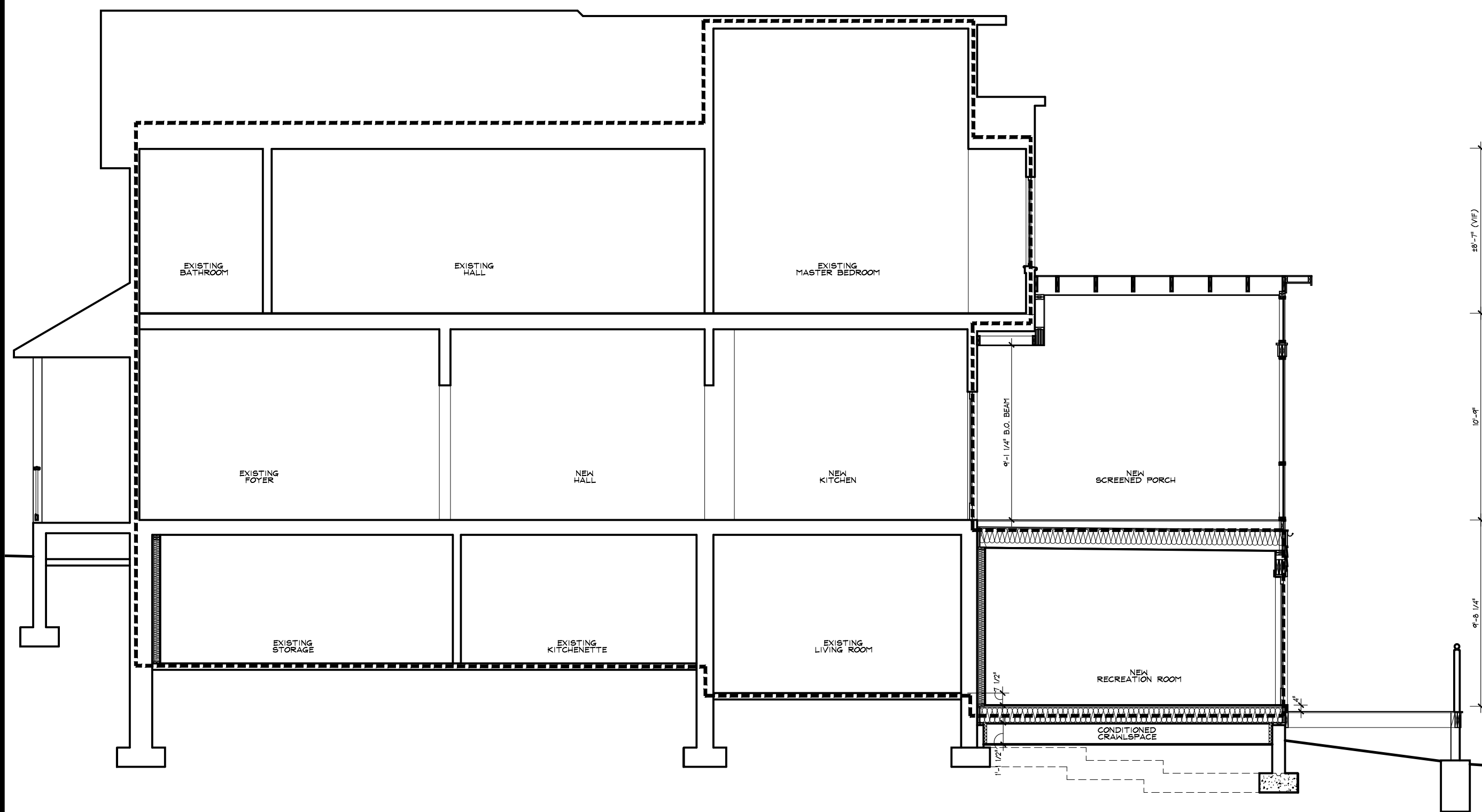
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By Dan.Bruechert at 2:44 pm, Sep 23, 2022

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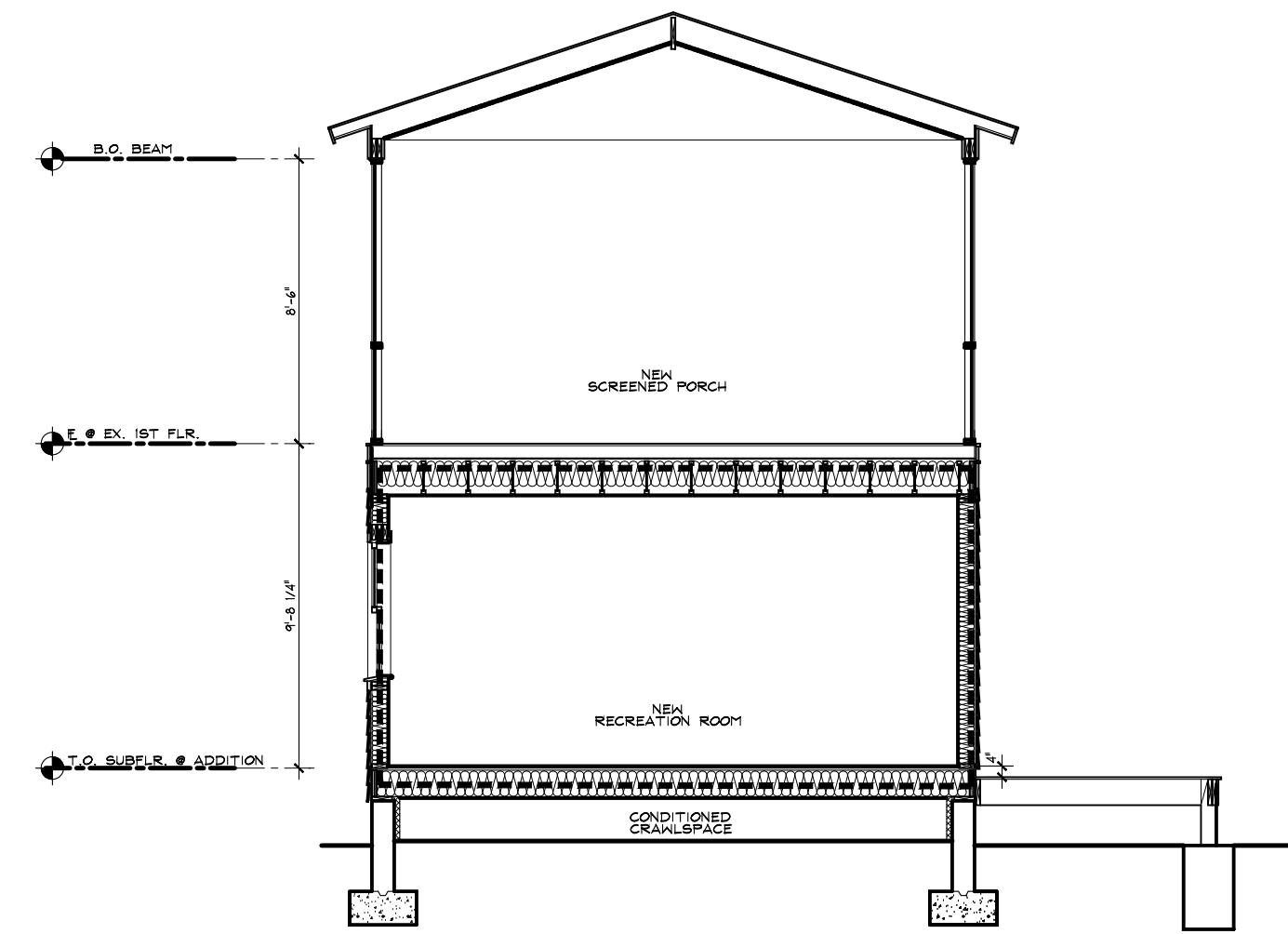
ELECTRICAL PLANS

E1

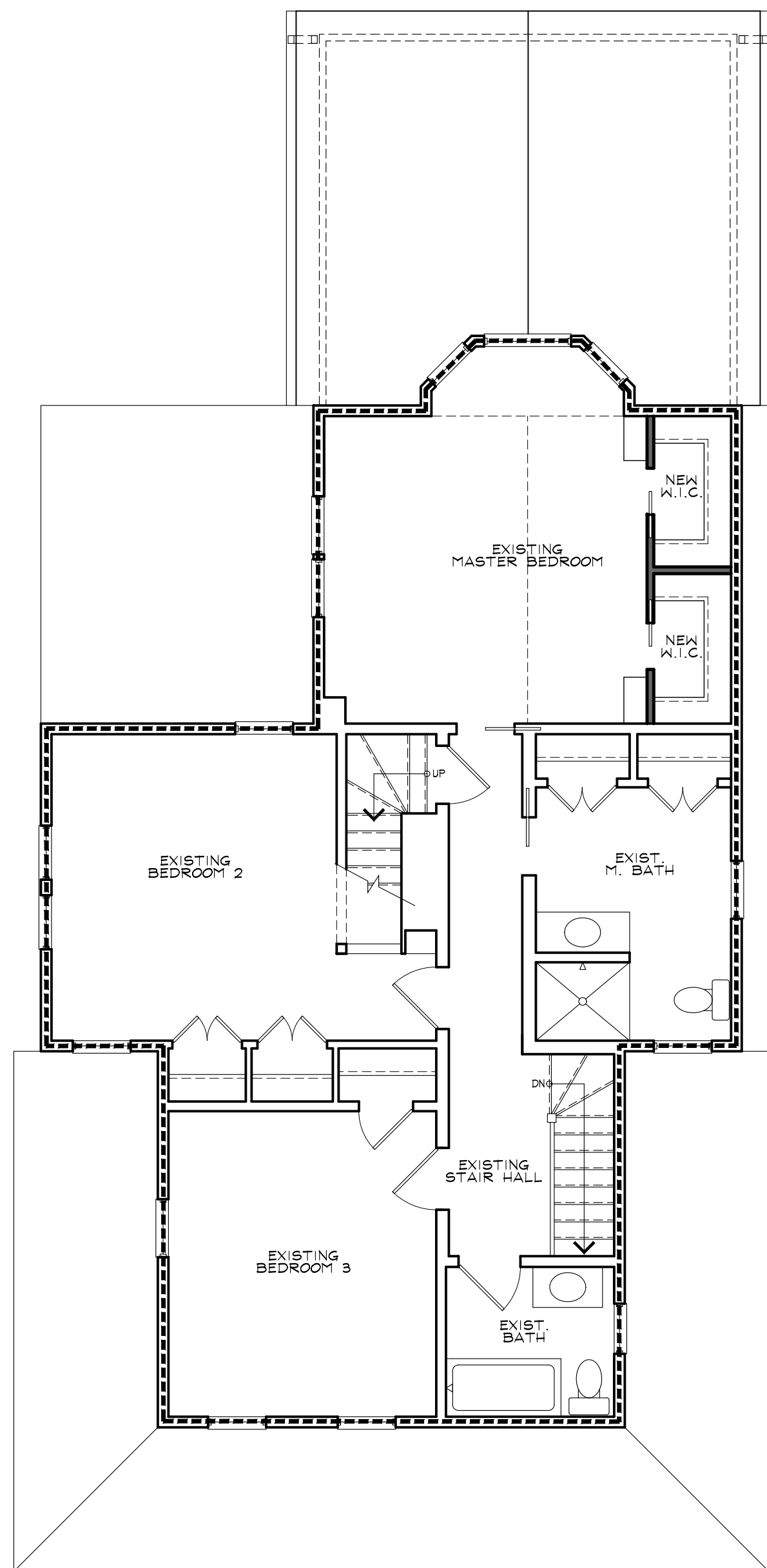


5 LONGITUDINAL BUILDING ENVELOPE SECTION
EE1 3/16" = 1'-0"

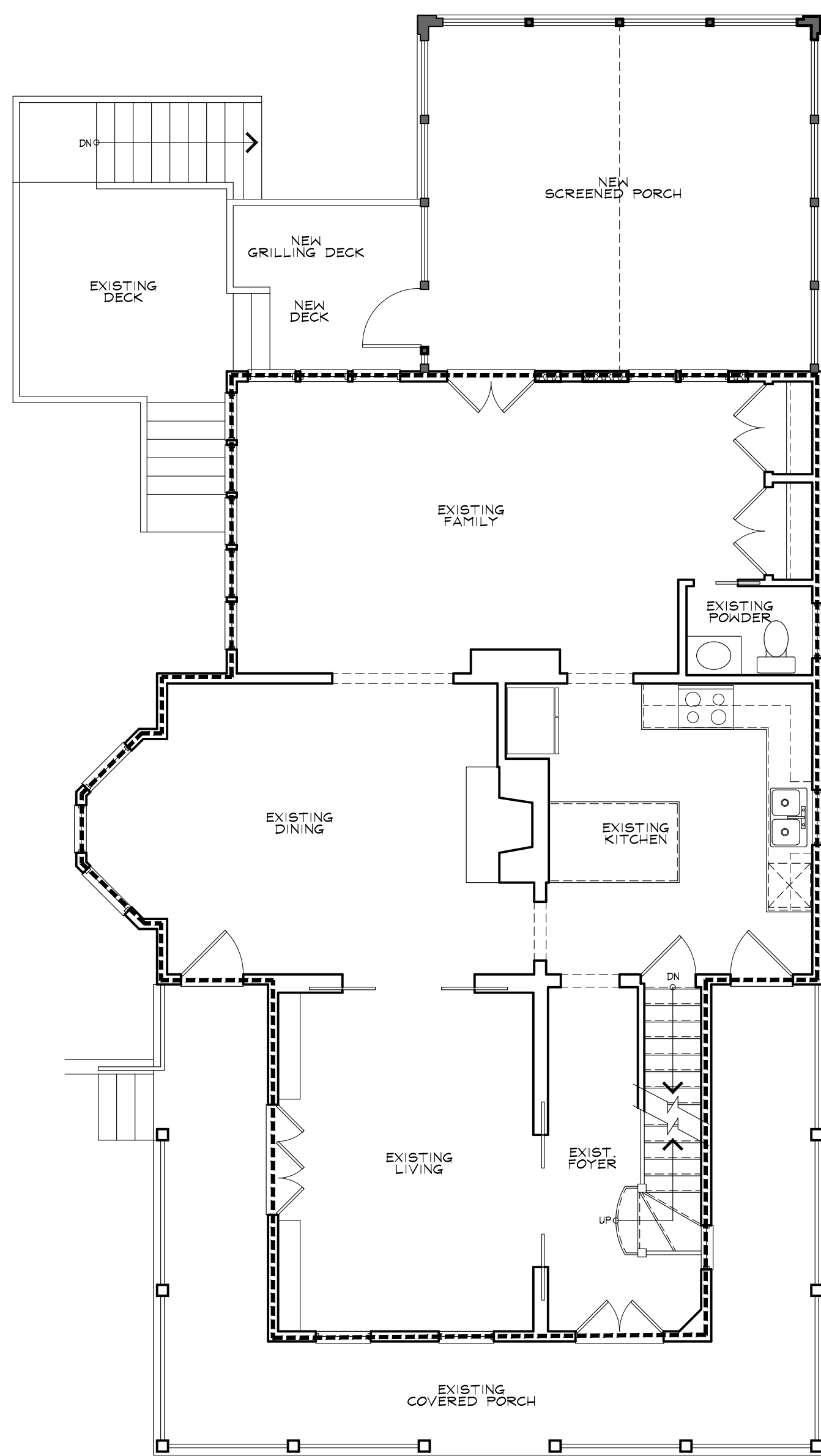
MUNICIPAL STAMPS



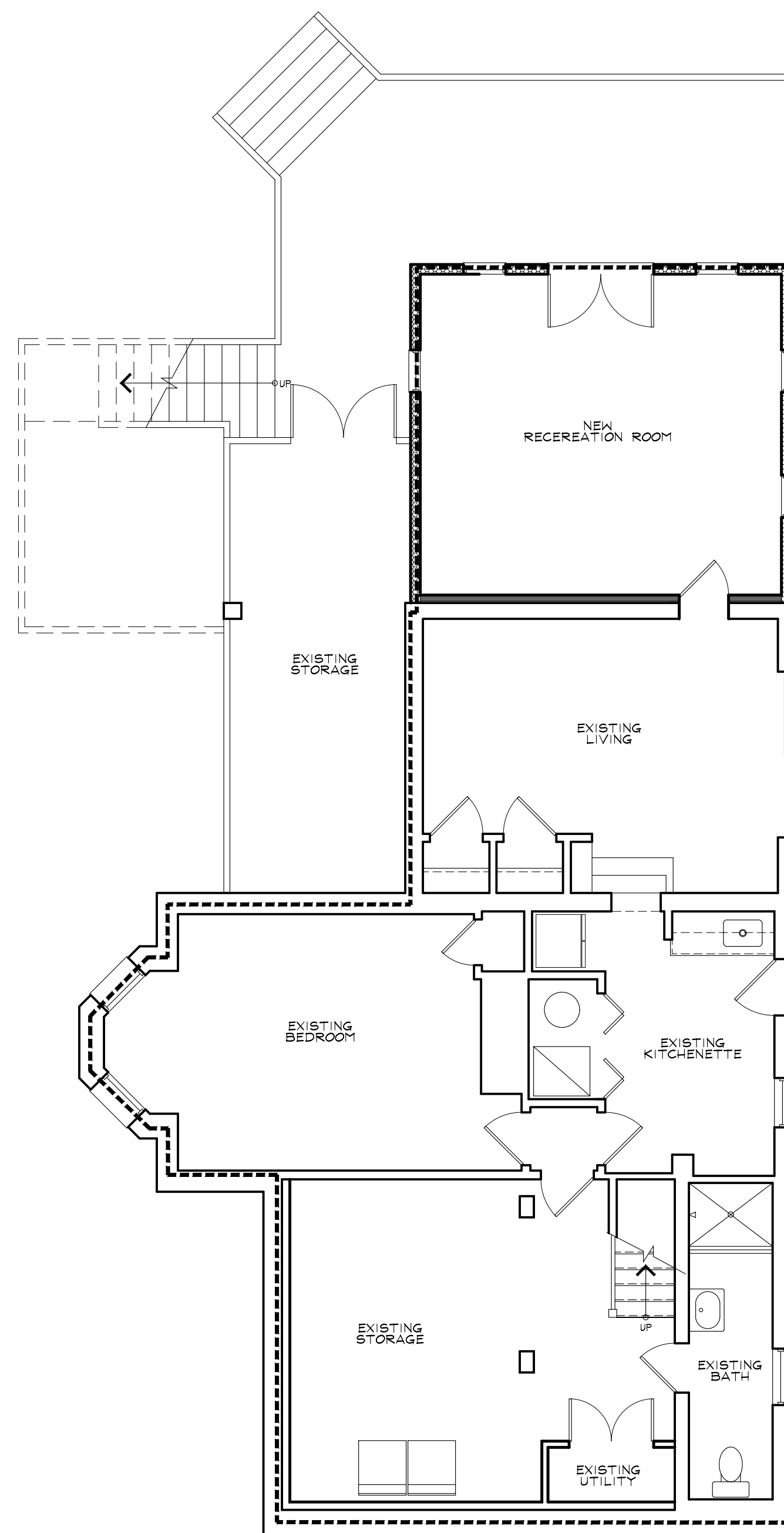
4 BUILDING ENVELOPE SECTION THRU ADDITION
EE1 3/16" = 1'-0"



3 SECOND FLOOR ENERGY PLAN
EE1 3/16" = 1'-0"



2 FIRST FLOOR ENERGY PLAN
EE1 3/16" = 1'-0"



1 BASEMENT ENERGY PLAN
EE1 3/16" = 1'-0"

AIR LEAKAGE:

PER IRC: 402.4.2

BUILDING THERMAL ENVELOPE, THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED, OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL, SUITABLE FILM OR SOLID MATERIAL:

1. ALL JOINTS, SEAMS AND PENETRATIONS
2. SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS
3. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING
4. UTILITY PENETRATIONS
5. DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE
6. KNEE WALLS
7. WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES
8. BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS
9. COMMON WALLS BETWEEN DWELLING UNITS
10. ATTIC ACCESS OPENINGS
11. RIM JOIST JUNCTION
12. OTHER SOURCES OF INFILTRATION

M1601.4 INSTALLATION SHALL COMPLY WITH SECTIONS M1601.4.1 THROUGH M1601.4.7

M1601.4.1 JOINTS AND SEAMS
JOINTS OF DUCT SYSTEMS SHALL BE MADE SUBSTANTIALLY AIRTIGHT BY MEANS OF TAPES, MASTICS, LIQUID SELANTS, GASKETING OR OTHER APPROVED CLOSURE SYSTEMS. CLOSURE SYSTEMS USED WITH RIGID FIBROUS GLASS DUCTS SHALL COMPLY WITH UL181A AND SHALL BE MARKED 181A-P FOR PRESSURE SENSITIVE TAPE, 181A-M FOR MASTIC OR 181A-H FOR HEAT-SENSITIVE TAPE. CLOSURE SYSTEMS USED WITH FLEXIBLE AIR DUCTS AND FLEXIBLE AIR CONNECTORS SHALL COMPLY WITH UL 181B AND SHALL BE MARKED 181B-FX FOR PRESSURE-SENSITIVE TAPE OR 181B-M FOR MASTIC. DUCT CONNECTIONS TO FLANGES OF AIR DISTRIBUTION SYSTEM EQUIPMENT OR SHEET METAL FITTINGS SHALL BE MECHANICALLY FASTENED. MECHANICAL FASTENERS FOR USE WITH FLEXIBLE NONMETALLIC AIR DUCTS SHALL COMPLY WITH UL 181B AND SHALL BE MARKED 181B-C. CRIMP JOINTS FOR ROUND METAL DUCTS SHALL HAVE A CONTACT LAP OF AT LEAST 1 1/8 INCHES (30MM) AND SHALL BE MECHANICALLY FASTENED BY MEANS OF AT LEAST THREE SHEET-METAL SCREWS OR RIVETS EQUALLY SPACED AROUND THE JOINT. CLOSURE SYSTEMS USED TO SEAL METAL DUCTWORK SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

EXCEPTIONS:

1. SPRAY POLYURETHANE FOAM SHALL BE PERMITTED TO BE APPLIED WITHOUT ADDITIONAL JOINT SEALS.
2. WHERE A DUCT CONNECTION IS MADE THAT IS PARTIALLY INACCESSIBLE, THREE SCREWS OR RIVETS SHALL BE EQUALLY SPACED ON THE EXPOSED PORTION OF THE JOINT SO AS TO PREVENT A HINGE EFFECT.
3. CONTINUOUSLY WELDED AND LOCKING TYPE LONGITUDINAL JOINTS AND SEAMS IN DUCTS OPERATING AT STATIS PRESSURES LESS THAN 2 INCHES OF WATER COLUMN (500 PA.) PRESSURE CLASSIFICATION SHALL NOT REQUIRE ADDITIONAL CLOSURE SYSTEMS.

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 2:43 pm, Sep 23, 2022

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ENERGY EFFICIENCY COMPLIANCE

EE1

MUNICIPAL STAMPS

STRUCTURAL NOTES:

- USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2018.
- LOADS- LIVE -FLOOR RESIDENTIAL - 40PSF; ROOF - 30 PSF - SNOW; WIND 115 MPH EXPOSURE B IMPORTANCE I
- FOUNDATIONS ARE DESIGNED FOR 2000 PSF SOIL. FOOTING BOTTOMS SHALL BE AT LEAST 30" BELOW GRADE AND A MINIMUM OF 12" INTO EXISTING NATURAL SOIL. EXISTING FOUNDATIONS ARE ADEQUATE FOR NEW LOADS
- CONCRETE - 3000 PSI @ 28 DAYS MINIMUM. REINFORCING STEEL ASTM A615 GRADE 60. USE ACI STANDARDS. CONC. FOUNDATION WALL REINFORCEMENT: #4 BARS @ 24" O.C. HORIZ. AND VERTICAL - EMBED 8" INTO FOOTING.
- FRAMING LUMBER SHALL BE STRUCTURAL GRADE, DOUGLAS FIR #2 OR STRONGER, Fb = 1200 PSI MINIMUM. USE HURRICANE CLIPS FOR ALL ROOF RAFTERS. USE MANUFACTURERS STANDARDS FOR MANUFACTURED LUMBER. LVL'S Fb=2650PSI, e=1.9M PSI
- BRACED WALL PANELS (BWP): 1/2" PLYWOOD PANELS 48" WIDE BY FULL STORY HEIGHT OR AS DIMENSIONED. 8d NAILS @ 6" O.C. ON EDGES AND 12" O.C. ON INTERMEDIATE STUDS. WIND LOADS ARE ACCOMMODATED BY CONTINUOUS SHEATHING METHOD AND SECTION R301.11.
- CONC. BLOCK REINFORCEMENT: USE #4 GAGE TRUSS-TYPE HORIZONTAL REINFORCEMENT EVERY OTHER COURSE (DUR-O-WALL OR EQUAL). VERTICAL REINFORCEMENT: #5 BARS @ 32" O.C. - NEEDED ONLY WHERE DIRT IS RETAINED ABOVE 36" HIGH. ALL CONC. BLOCK CELLS TO BE GROUT SOLID.
- STRUCTURAL STEEL SHALL BE ASTM A-36. USE AISC STANDARDS
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
- STRUCTURAL ENGINEER CERTIFIES THAT THE EXISTING STRUCTURE IS ADEQUATE TO HANDLE ADDITIONAL LOADS FROM THE ADDITION AND WILL PROVIDE CERTIFICATION DURING INSPECTION PROCESS.

ALL NEW EXTERIOR OPENINGS TO HAVE DOUBLE (3) 2X8 HEADERS, U.N.O.

POSTS UNDER HEADERS TO BE ONE KING AND ONE JACK STUD, U.N.O.

NEW DOUBLE WINDOWS TO HAVE TWO JACK STUDS BETWEEN.

EXISTING EXTERIOR OPENINGS TO HAVE A MINIMUM (3) 2X6 UP TO 36" WIDE (3) 2X8 UP TO 48" WIDE AND (3) 2X10 UP TO 60" WIDE.

NOTE: USE CONTINUOUS WALL BRACING METHOD (#3) PER IRC: R602.10.4

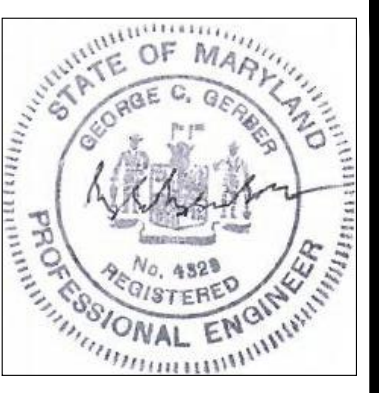
CS-WSP = 1/2" WOOD STRUCTURAL PANEL (SEE STRUCTURAL NOTE #6 FOR CONNECTION CRITERIA)

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APPROVED
 Montgomery County
 Historic Preservation Commission

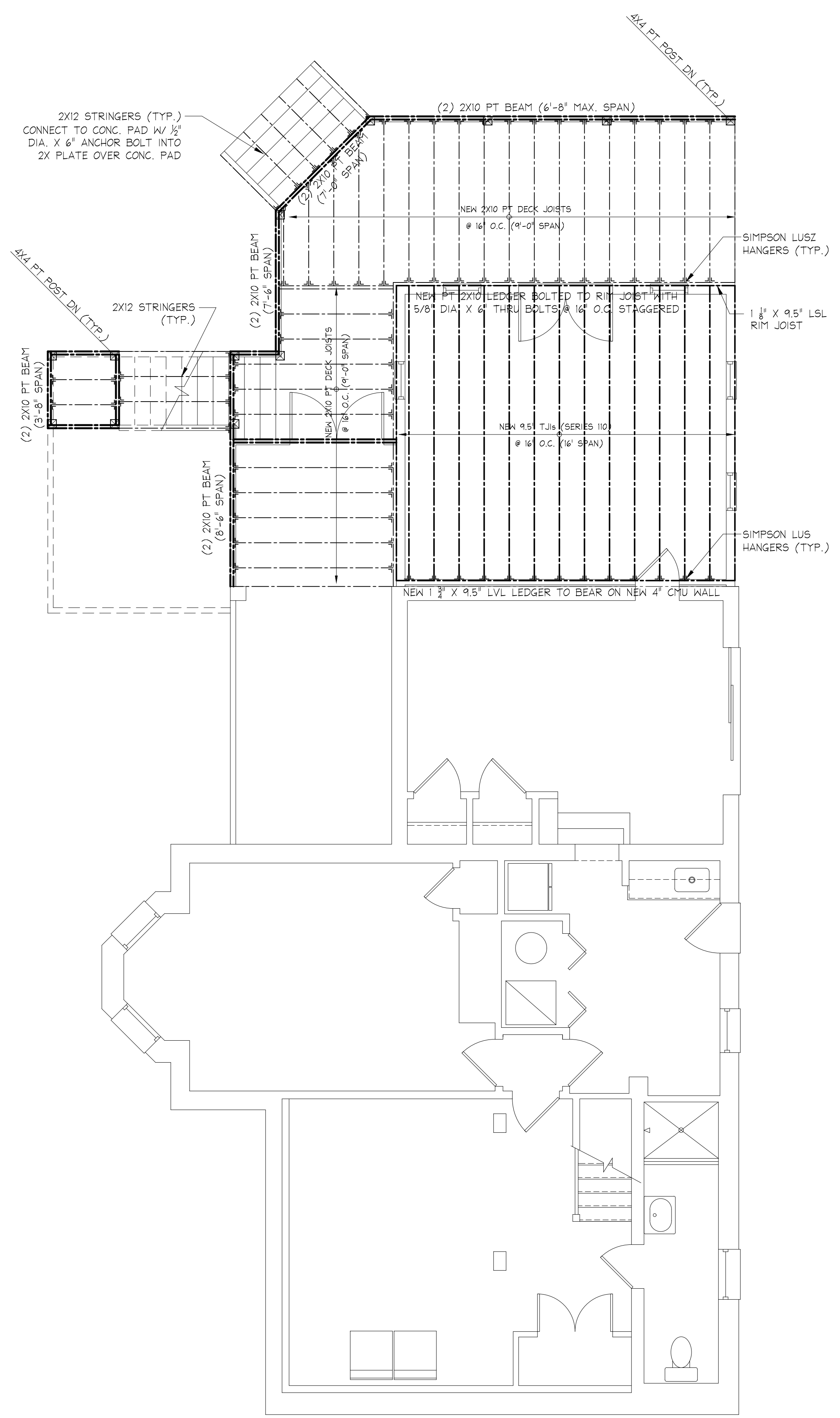
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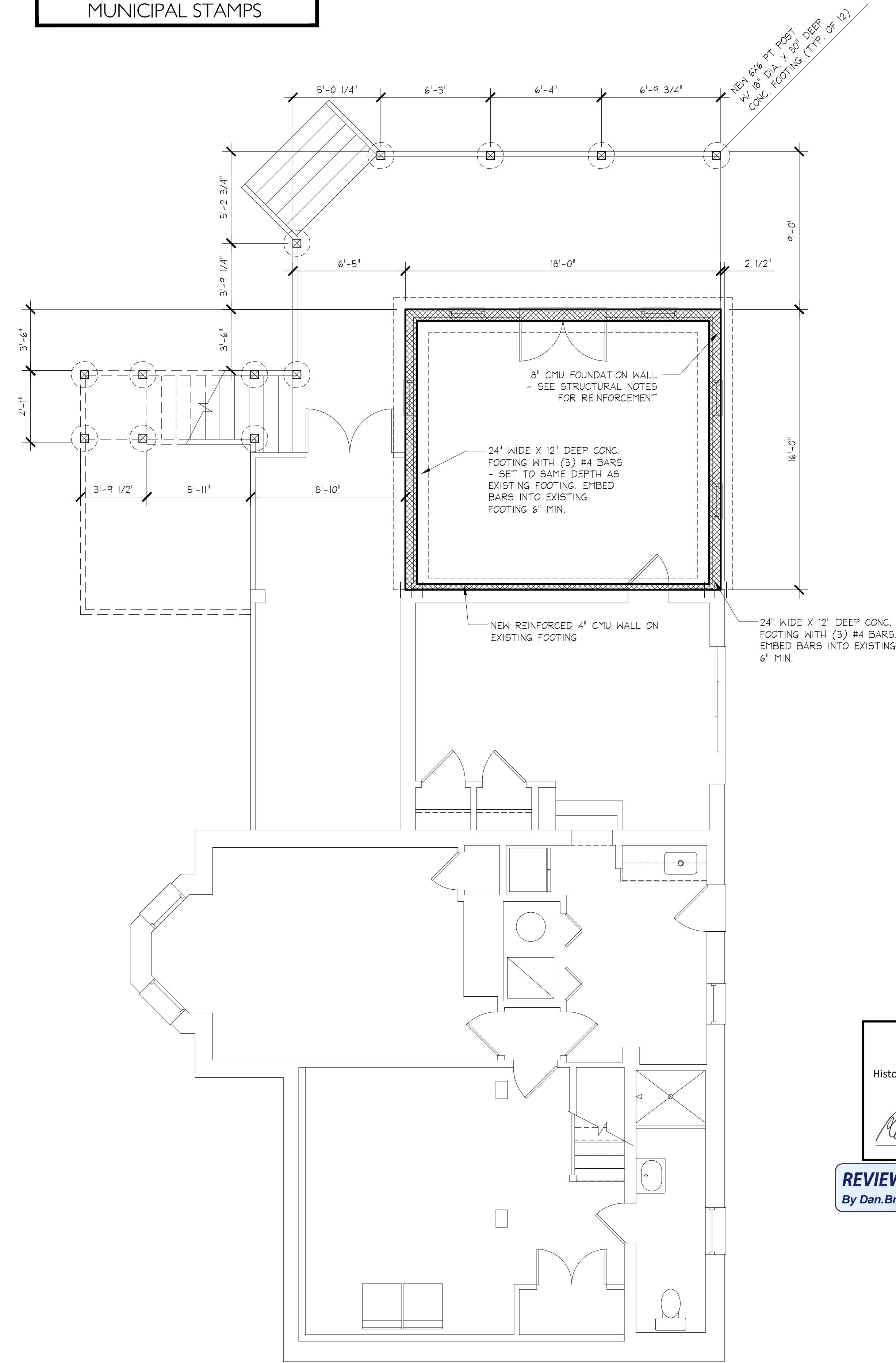
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STRUCTURAL PLANS

S1



2 BASEMENT FLOOR FRAMING PLAN
 1/4" = 1'-0"



1 FOUNDATION PLAN
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MUNICIPAL STAMPS

STRUCTURAL NOTES:

- USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2018.
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- BRACED WALL PANELS (BWP): 1/2" PLYWOOD PANELS 48" WIDE BY FULL STORY HEIGHT OR AS DIMENSIONED. 8d NAILS @ 6" O.C. ON EDGES AND 12" O.C. ON INTERMEDIATE STUDS. WIND LOADS ARE ACCOMMODATED BY CONTINUOUS SHEATHING METHOD AND SECTION R301.1.1.
- CONC. BLOCK REINFORCEMENT: USE 9 GAGE TRUSS-TYPE HORIZONTAL REINFORCEMENT EVERY OTHER COURSE (DUR-O-WALL OR EQUAL). VERTICAL REINFORCEMENT: #5 BARS @ 32" O.C. - NEEDED ONLY WHERE DIRT IS RETAINED ABOVE 36" HIGH. ALL CONC. BLOCK CELLS TO BE GROUT SOLID.
- STRUCTURAL STEEL SHALL BE ASTM A-36. USE AISC STANDARDS
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
- STRUCTURAL ENGINEER CERTIFIES THAT THE EXISTING STRUCTURE IS ADEQUATE TO HANDLE ADDITIONAL LOADS FROM THE ADDITION AND WILL PROVIDE CERTIFICATION DURING INSPECTION PROCESS.

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 POSTS UNDER HEADERS TO BE ONE KING AND ONE JACK STUD, U.N.O.
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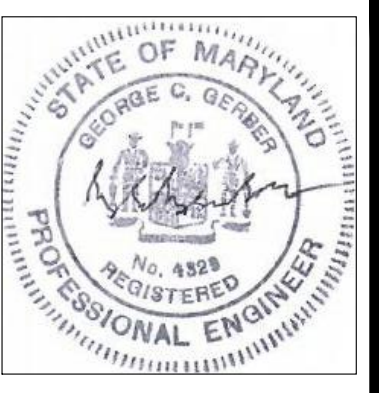
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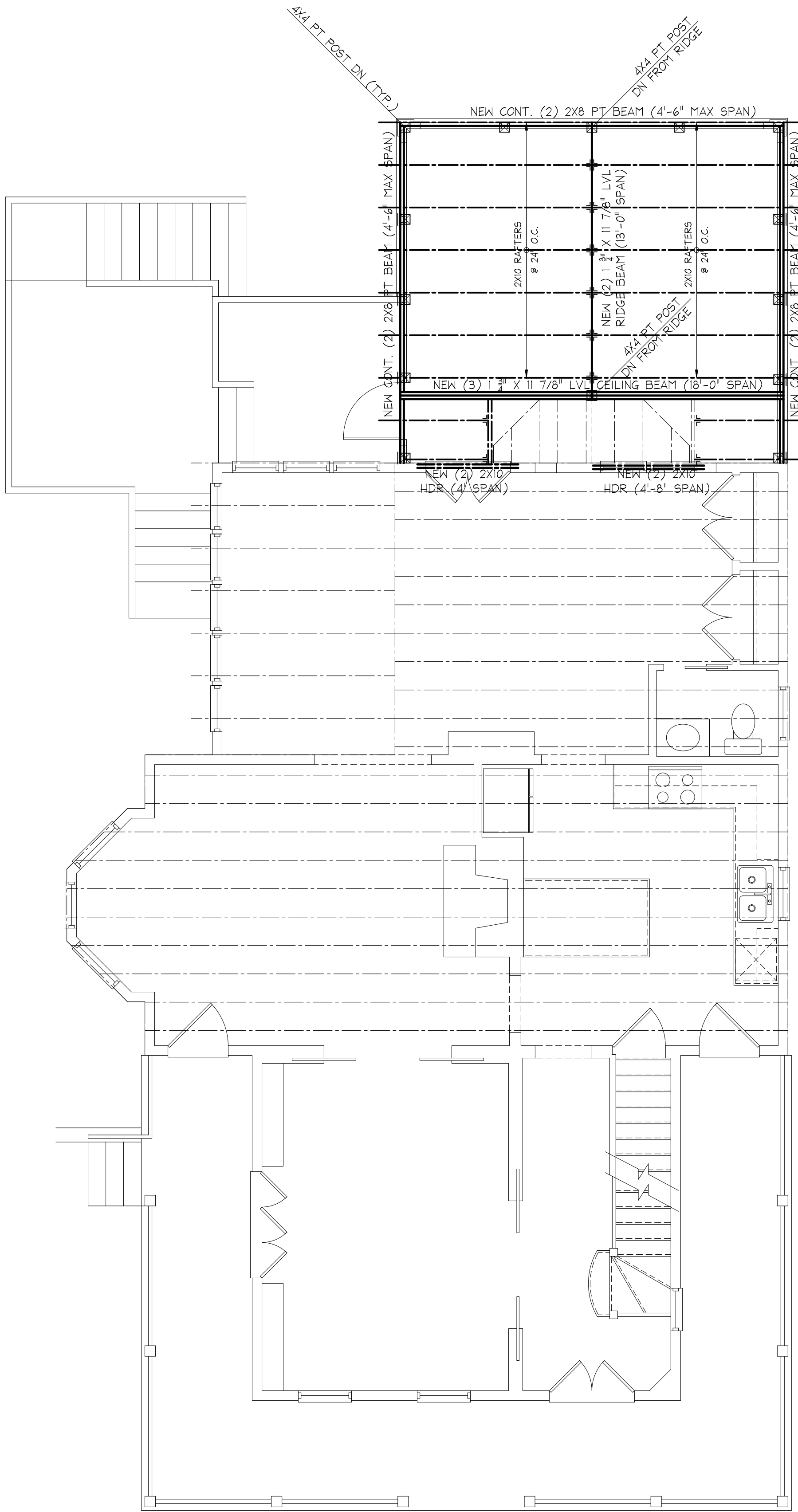
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 I, GEORGE GERBER, HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 4528, EXPIRATION DATE 12/28/2022

PROJECT NUMBER: 20063

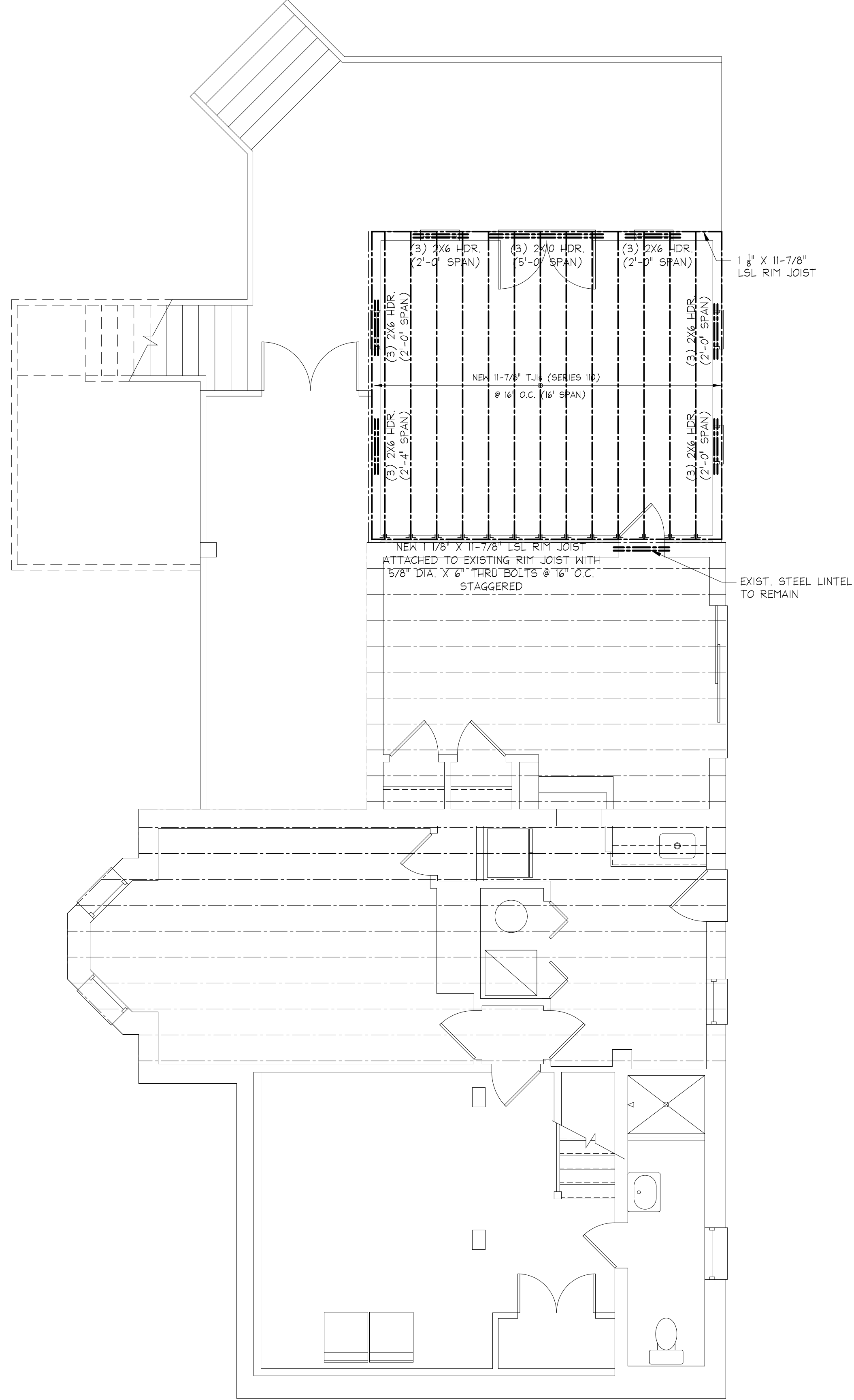
PRINTING LOG	
DATE	PURPOSE
04.30.21	PRE-DESIGN
09.09.22	PERMIT SET

STRUCTURAL FRAMING PLANS

S2



2 SECOND FLOOR / ROOF FRAMING PLAN
 1/4" = 1'-0"



1 FIRST FLOOR FRAMING PLAN
 1/4" = 1'-0"

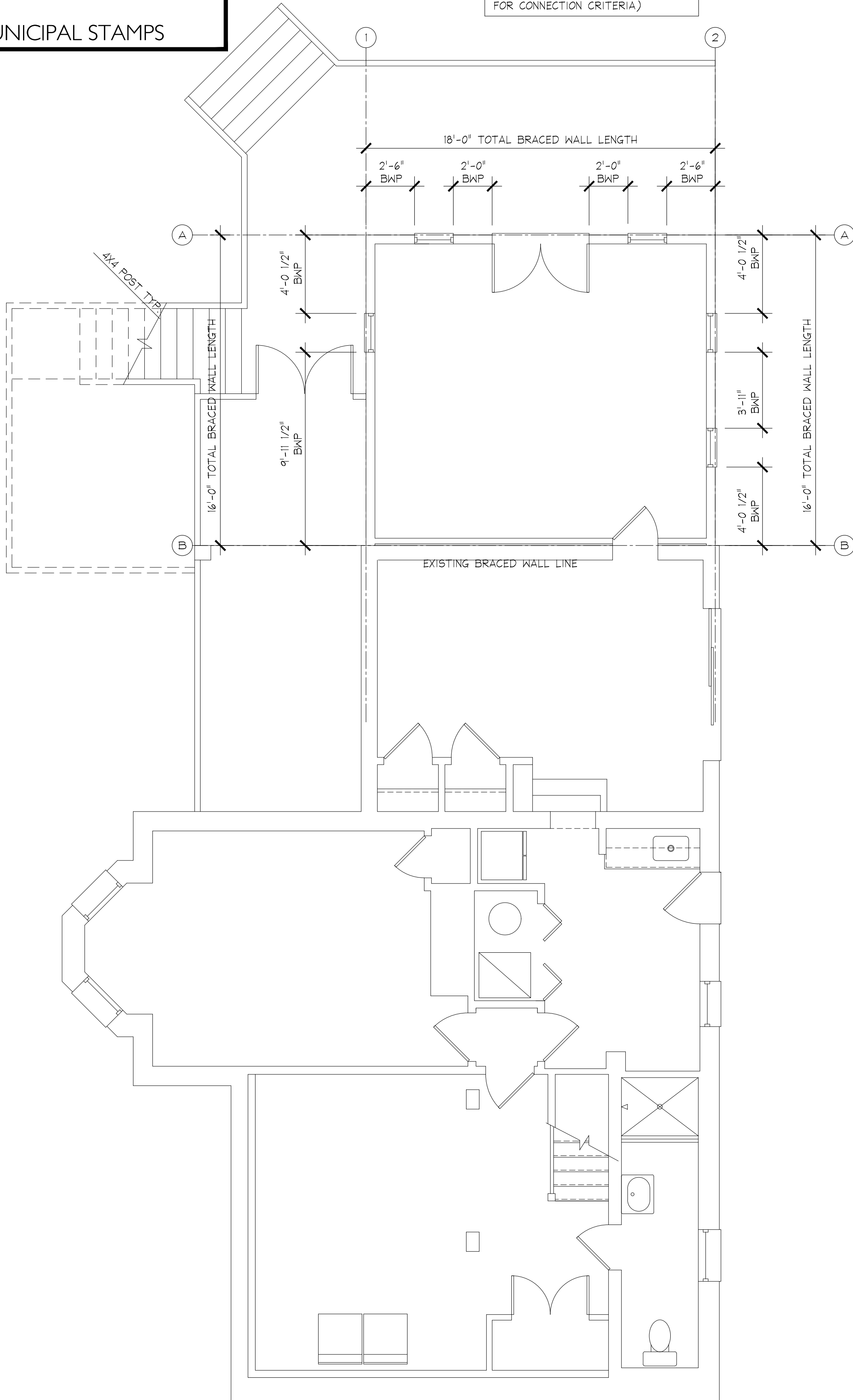
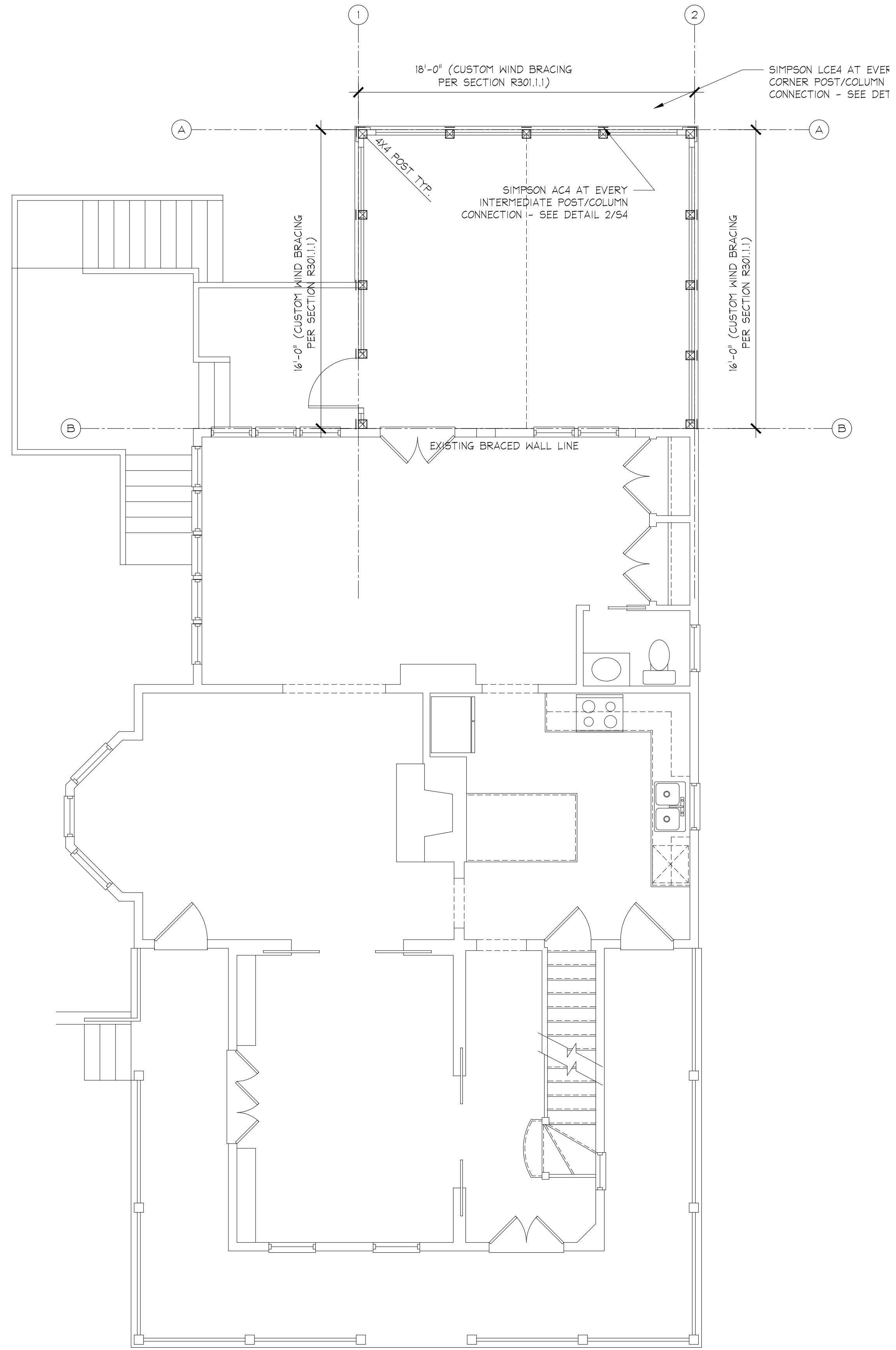
APPROVED
 Montgomery County
 Historic Preservation Commission

Robert A. Patton

REVIEWED
 By Dan.Bruechert at 2:40 pm, Sep 23, 2022

MUNICIPAL STAMPS

NOTE: USE CONTINUOUS WALL BRACING METHOD PER IRC: R602.10.4
 CS-WSP = 1/2" WOOD STRUCTURAL PANEL (SEE STRUCTURAL NOTE #6 FOR CONNECTION CRITERIA)



STRUCTURAL NOTES:

- USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2018.
- LOADS- LIVE -FLOOR RESIDENTIAL - 40PSF; ROOF - 30 PSF - SNOW; WIND 115 MPH EXPOSURE B IMPORTANCE 1
- FOUNDATIONS ARE DESIGNED FOR 2000 PSF SOIL. FOOTING BOTTOMS SHALL BE AT LEAST 30" BELOW GRADE AND A MINIMUM OF 12" INTO EXISTING NATURAL SOIL. EXISTING FOUNDATIONS ARE ADEQUATE FOR NEW LOADS
- CONCRETE - 3000 PSI @ 28 DAYS MINIMUM. REINFORCING STEEL ASTM A615 GRADE 60. USE ACI STANDARDS. CONC. FOUNDATION WALL REINFORCEMENT: #4 BARS @ 24" O.C. HORIZ. AND VERTICAL - EMBED 8" INTO FOOTING.
- FRAMING LUMBER SHALL BE STRUCTURAL GRADE, DOUGLAS FIR #2 OR STRONGER, Fb = 1200 PSI MINIMUM. USE HURRICANE CLIPS FOR ALL ROOF RAFTERS. USE MANUFACTURERS STANDARDS FOR MANUFACTURED LUMBER. LVL'S Fb=2650PSI, e=1.9M PSI
- BRACED WALL PANELS (BWP): 1/2" PLYWOOD PANELS 48" WIDE BY FULL STORY HEIGHT OR AS DIMENSIONED. 8d NAILS @ 6" O.C. ON EDGES AND 12" O.C. ON INTERMEDIATE STUDS. WIND LOADS ARE ACCOMMODATED BY CONTINUOUS SHEATHING METHOD AND SECTION R301.1.1.
- CONC. BLOCK REINFORCEMENT: USE 9 GAGE TRUSS-TYPE HORIZONTAL REINFORCEMENT EVERY OTHER COURSE (DUR-O-WALL OR EQUAL). VERTICAL REINFORCEMENT: #5 BARS @ 32" O.C. - NEEDED ONLY WHERE DIRT IS RETAINED ABOVE 36" HIGH. ALL CONC. BLOCK CELLS TO BE GROUT SOLID.
- STRUCTURAL STEEL SHALL BE ASTM A-36. USE AISC STANDARDS
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.
- STRUCTURAL ENGINEER CERTIFIES THAT THE EXISTING STRUCTURE IS ADEQUATE TO HANDLE ADDITIONAL LOADS FROM THE ADDITION AND WILL PROVIDE CERTIFICATION DURING INSPECTION PROCESS.

ALL NEW EXTERIOR OPENINGS TO HAVE DOUBLE (3) 2X8 HEADERS, U.N.O.

POSTS UNDER HEADERS TO BE ONE KING AND ONE JACK STUD, U.N.O.

NEW DOUBLE WINDOWS TO HAVE TWO JACK STUDS BETWEEN.

EXISTING EXTERIOR OPENINGS TO HAVE A MINIMUM (3) 2X6 UP TO 36" WIDE, (3) 2X8 UP TO 48" WIDE AND (3) 2X10 UP TO 60" WIDE.

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APPROVED
 Montgomery County
 Historic Preservation Commission

George G. Gerber

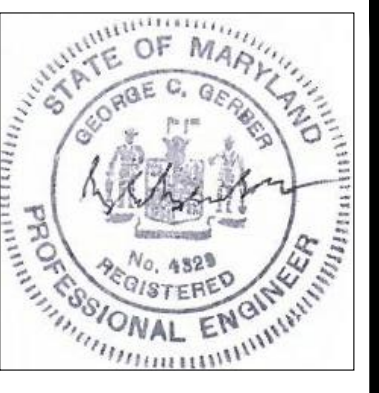
REVIEWED
 By Dan.Bruechert at 2:40 pm, Sep 23, 2022

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PROJECT NUMBER: 20063

PRINTING LOG	
DATE	PURPOSE
06.30.21	PRE-DESIGN
09.09.22	PERMIT SET

WIND BRACING DIAGRAM

S3

2 FIRST FLOOR WIND BRACING DIAGRAM
 53 1/4" = 1'-0"

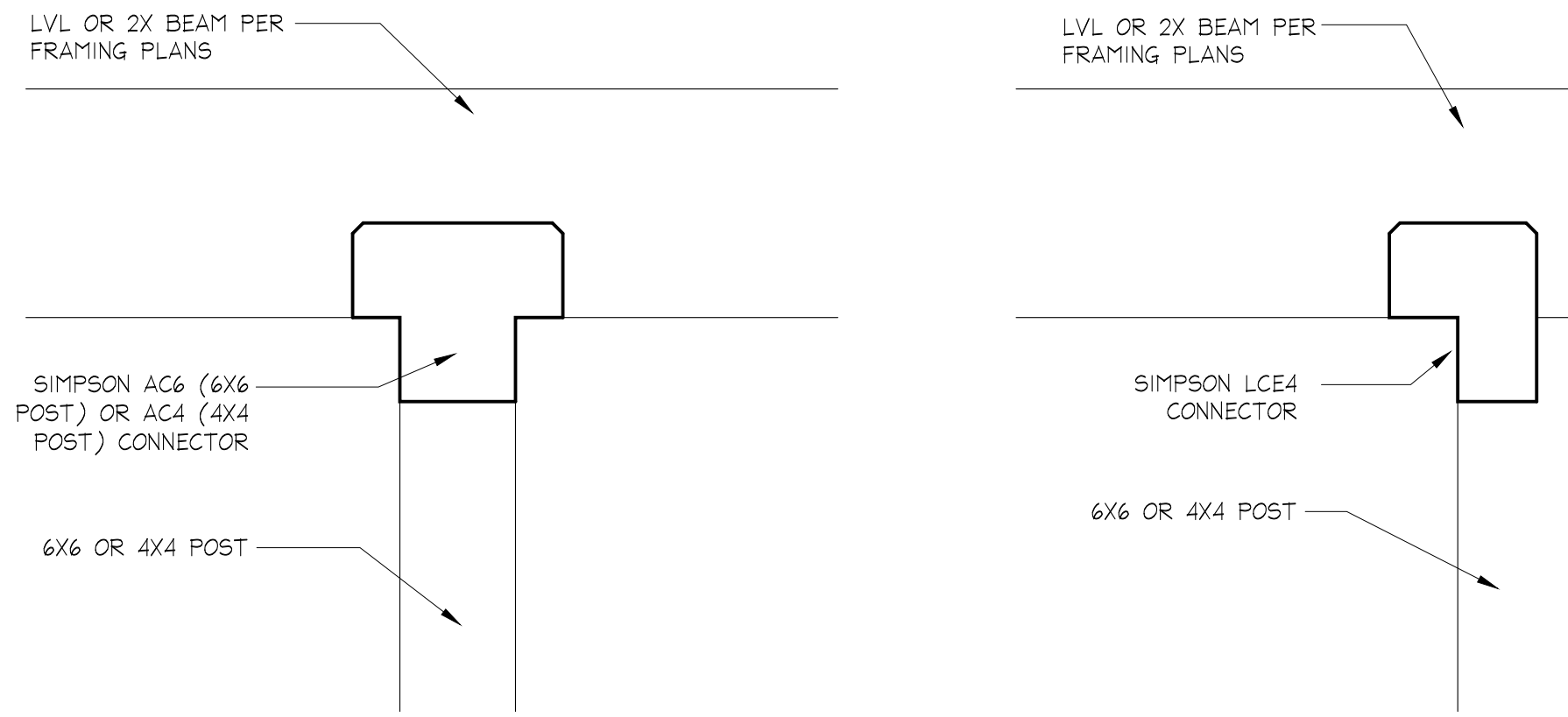
1 BASEMENT WIND BRACING DIAGRAM
 53 1/4" = 1'-0"

MUNICIPAL STAMPS

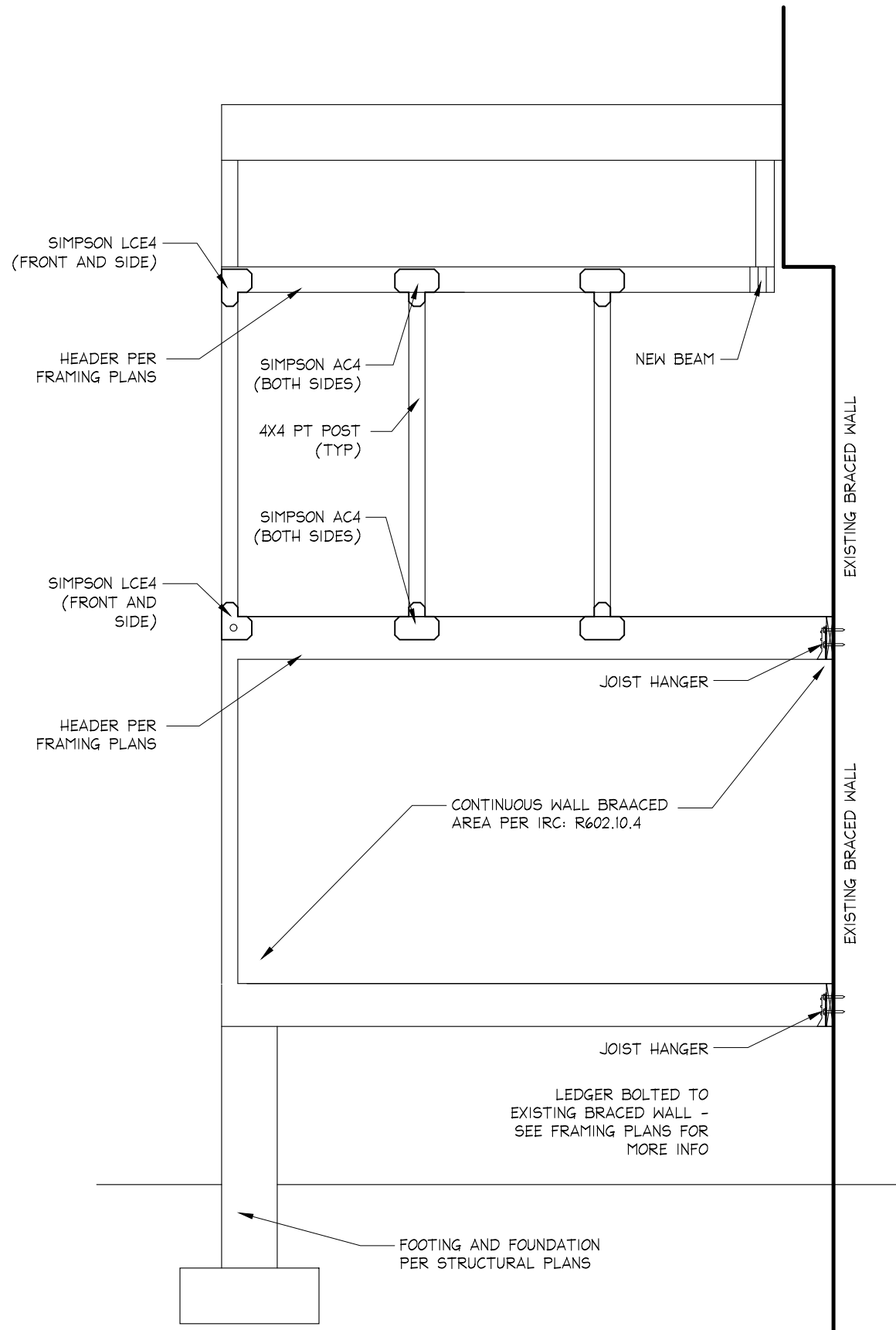
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Montgomery County
Historic Preservation Commission



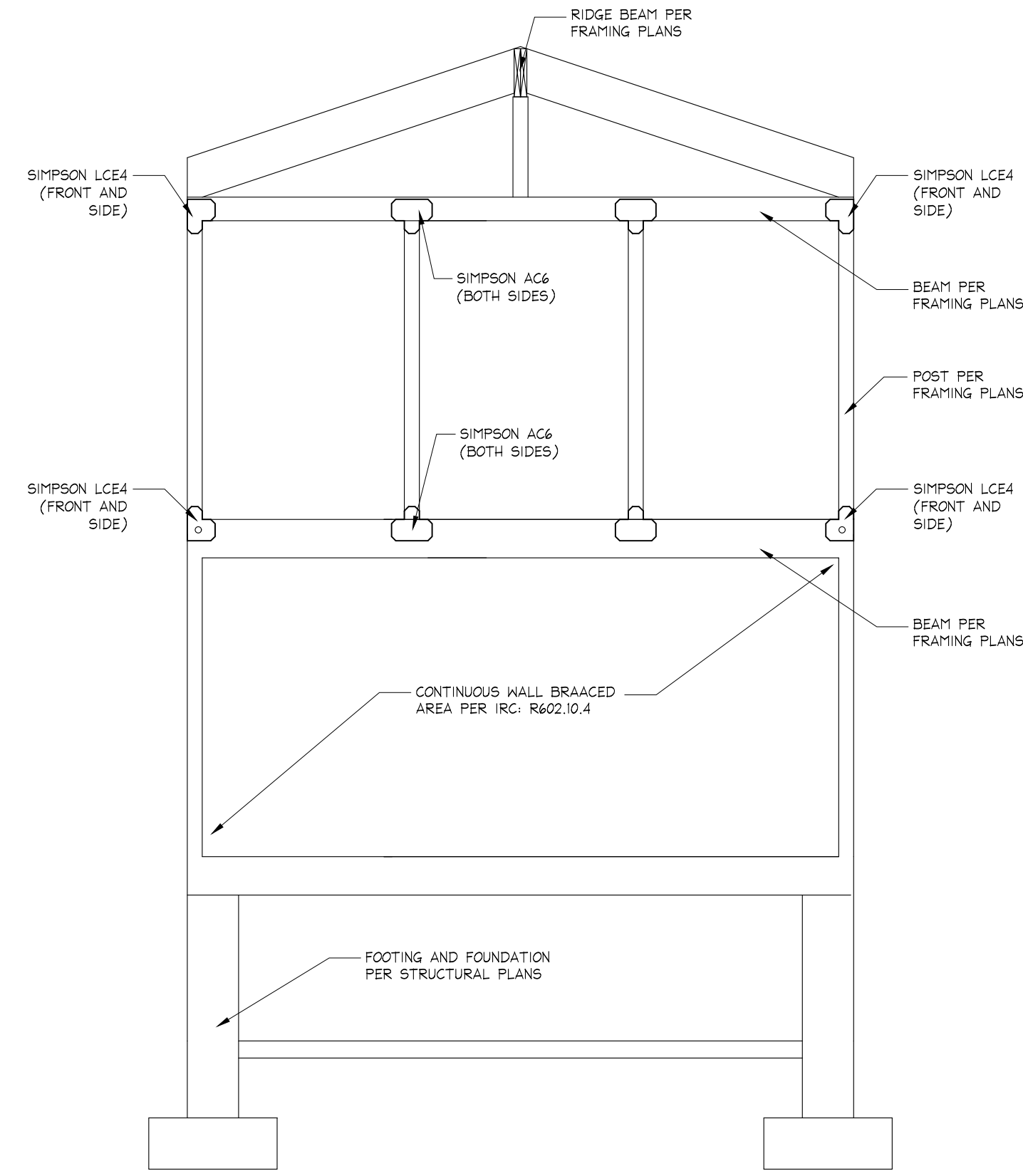
REVIEWED
By Dan.Bruechert at 2:41 pm, Sep 23, 2022



2 WIND BRACING CONNECTION DETAILS
S4 1 1/2" = 1'-0"



1 WIND BRACING CONNECTION ELEVATION
S4 1 1/2" = 1'-0"



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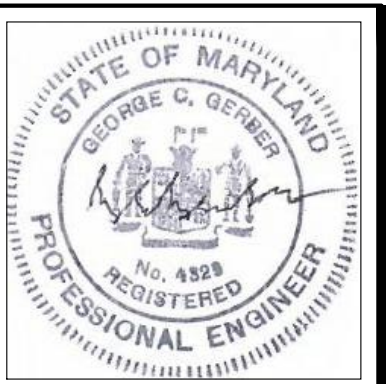
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WIND BRACING DIAGRAM

S4