



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: September 19, 2022

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission Historic

SUBJECT: Area Work Permit #997512 - Building Addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the July 13, 2022 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Ali Kahn
Address: 7317 Willlow Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



Kitchen & Wood Stoop Addition: Kahn/Fincham Residence

7317 Willow Avenue, Takoma Park, MD 20912

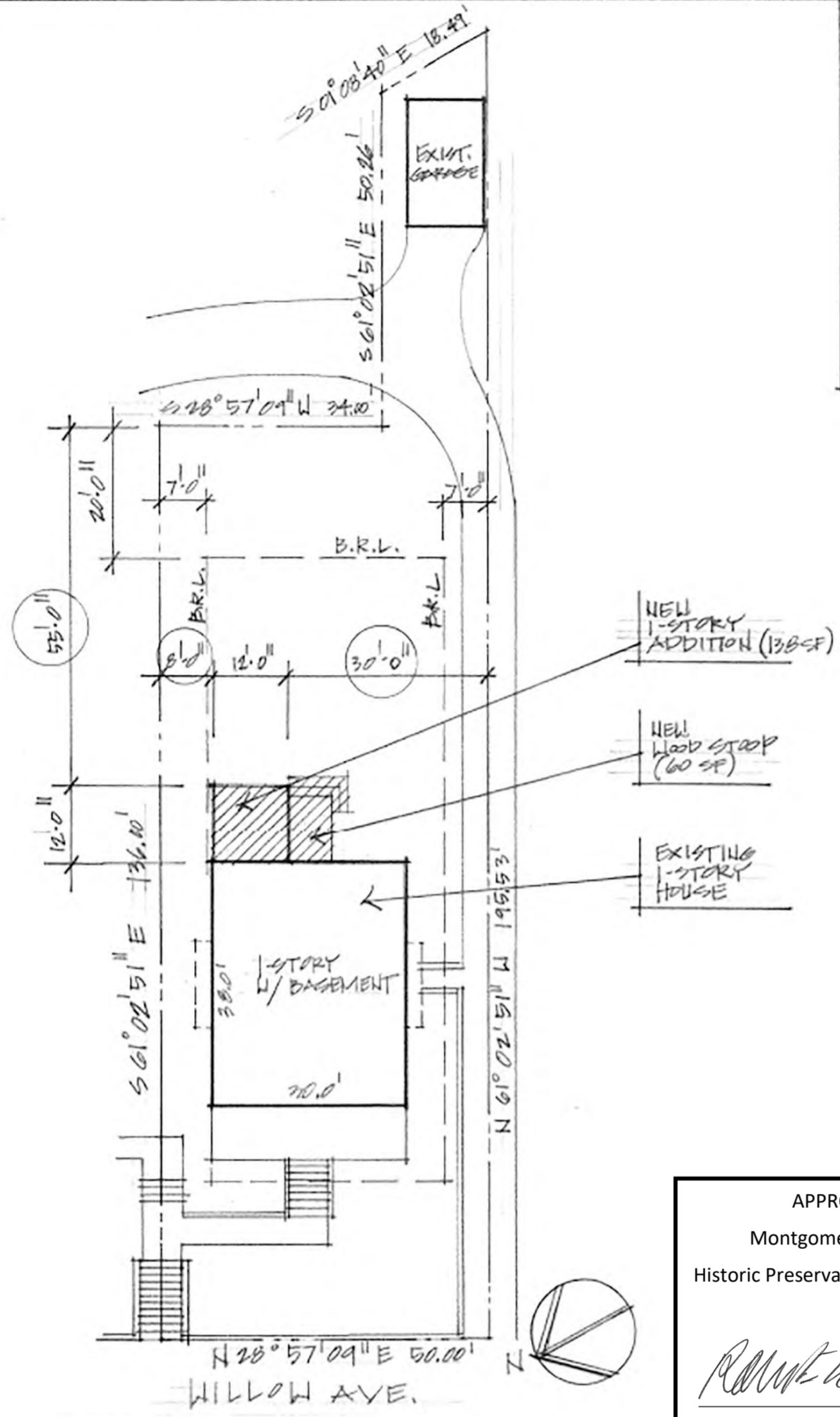


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Vitullo Architecture Studio, PC
7016 Woodland Ave.
Takoma Park, MD 20912
(301)806-6447 cell

Kahn/Fincham Residence
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Takoma Park, MD 20912

COVER



APPROVED
Montgomery County
Historic Preservation Commission

Richard J. Vitullo

REVIEWED
By Dan.Bruechert at 1:11 pm, Sep 19, 2022

Site Plan

1" = 20'-0"

House/Site Information:

Lot: Part of 22 Block: 8
Subdivision: B.F. Gilbert's Addition to Takoma Park
Address: 7317 Willow Ave., Takoma Park, MD 20912
Year built: 1923 Zoning: R-60
Historic District: Takoma Park

Project Information:
Kitchen addition (144 SF), with new wood stoop (60 SF) and step to grade.
HAWP approved: 7/13/2022.

Residential Code Information:
All construction shall be in conformance with the International Residential Code (IRC), 2018 Edition, as Amended by Mont. Co., Reg. 31-19, adopted 5/20/2020.

AREA CALCULATIONS	
EXISTING:	
Lot Area:	7698 s.f.
Lot Coverage/Building Area (House + Garage):	1092 s.f.
% of Lot Coverage:	14.2%
PROPOSED:	
Lot Coverage/Building Area (net gain, interior space):	144 s.f.
Total Lot Coverage:	1236 s.f.
% of Lot Coverage:	16%
TOTAL NET NEW ROOF AREA:	144 s.f.

GENERAL CONSTRUCTION NOTES:

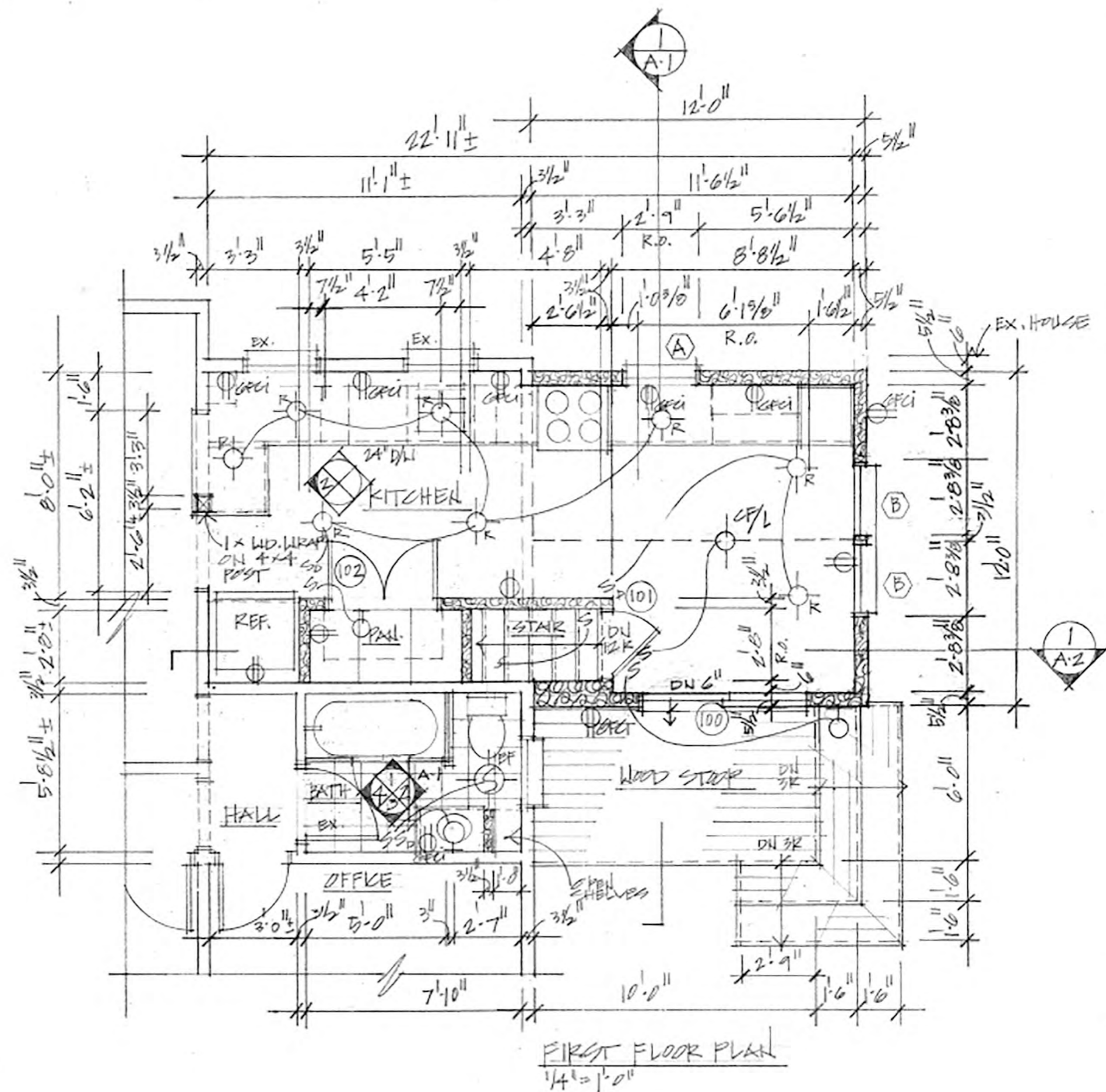
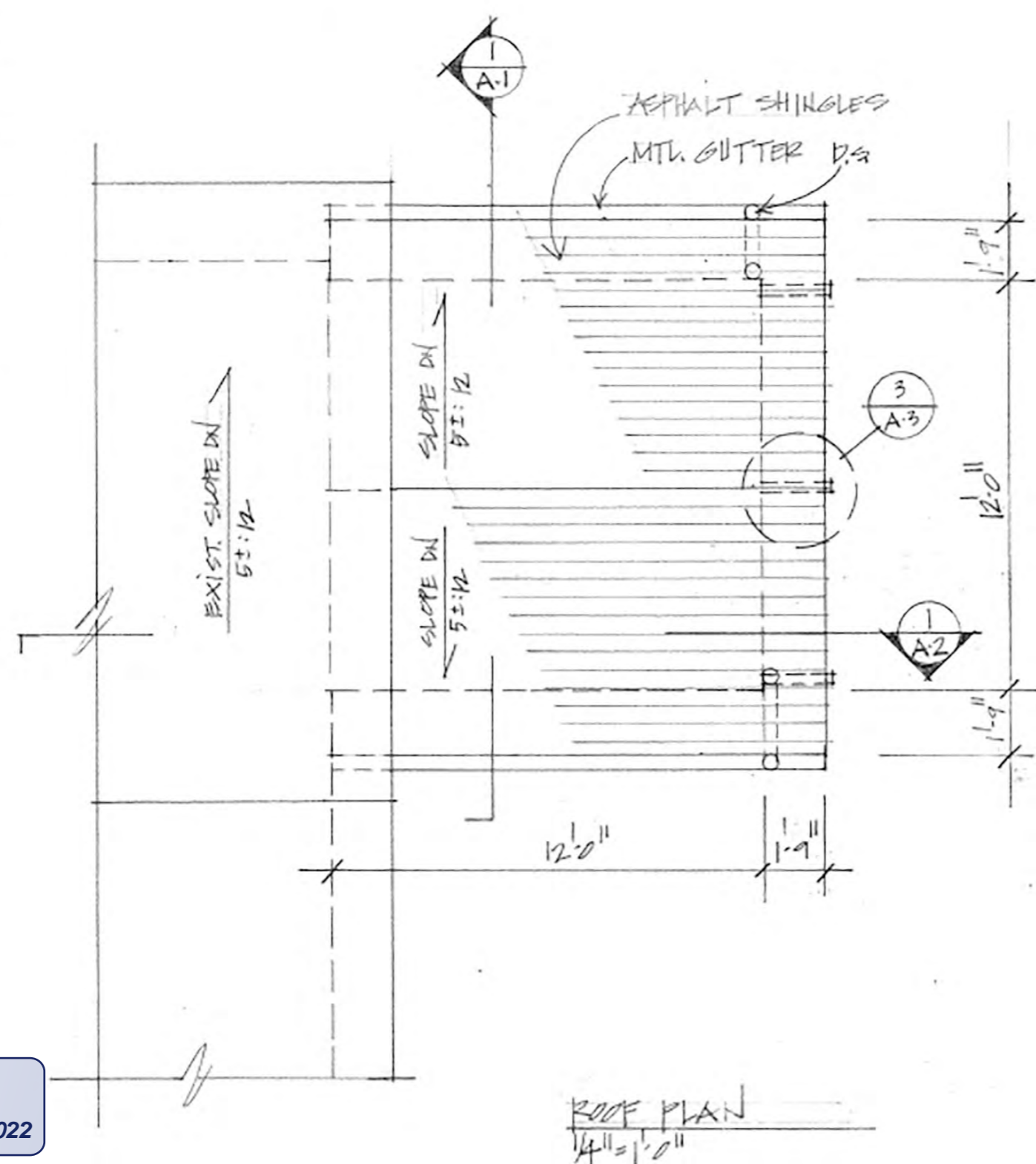
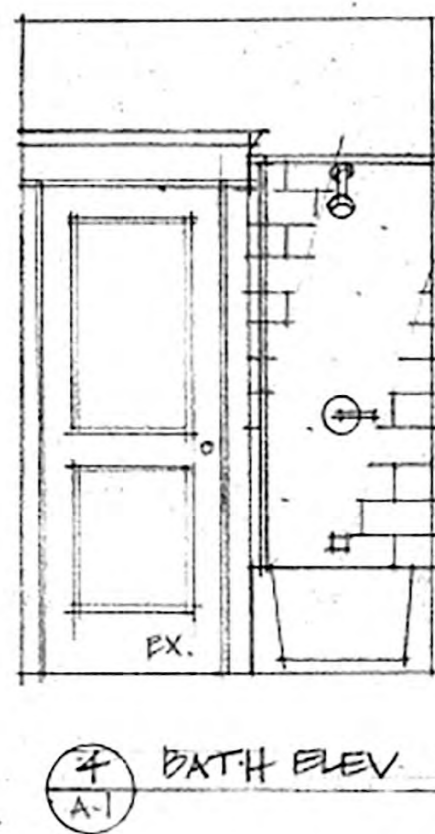
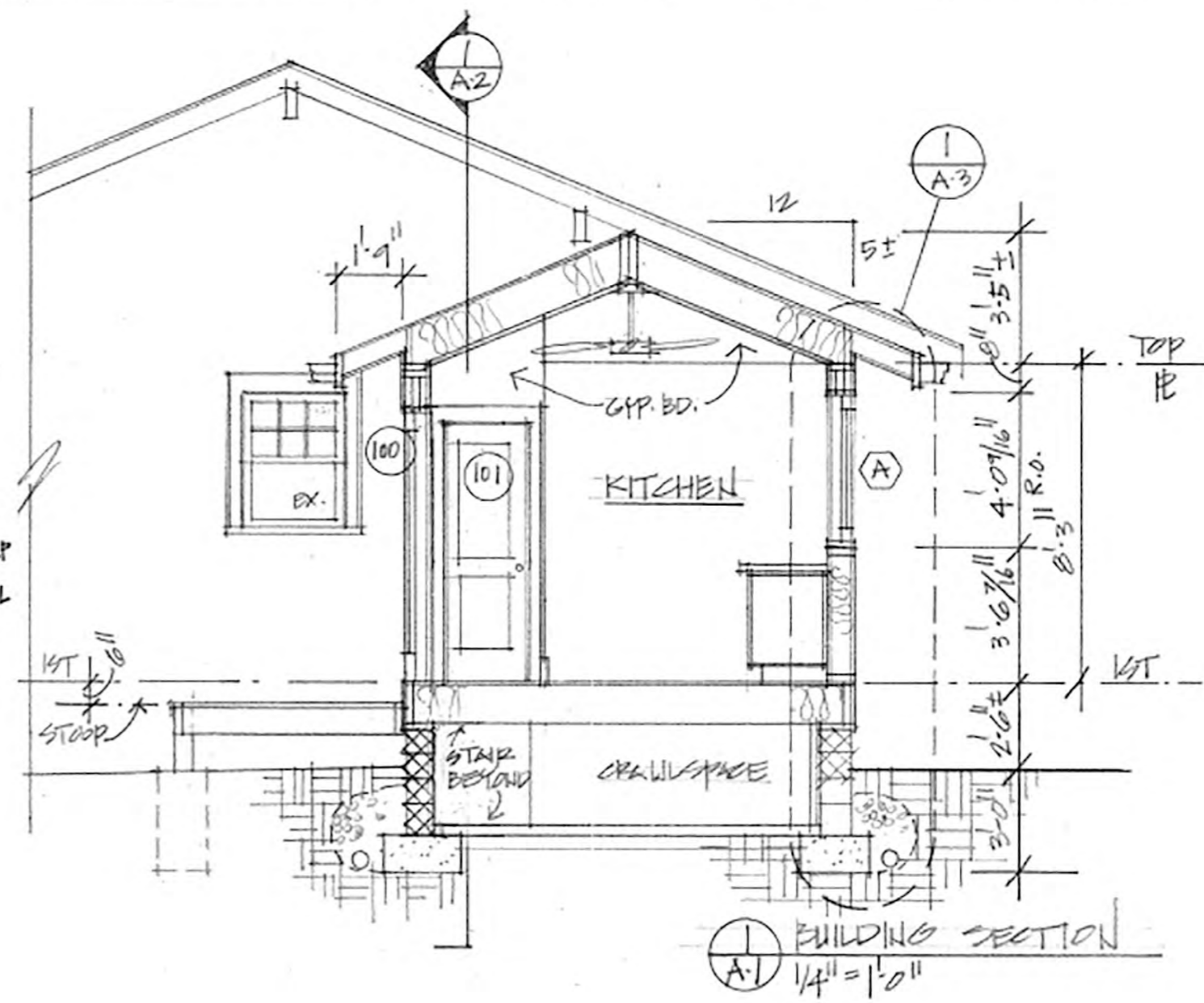
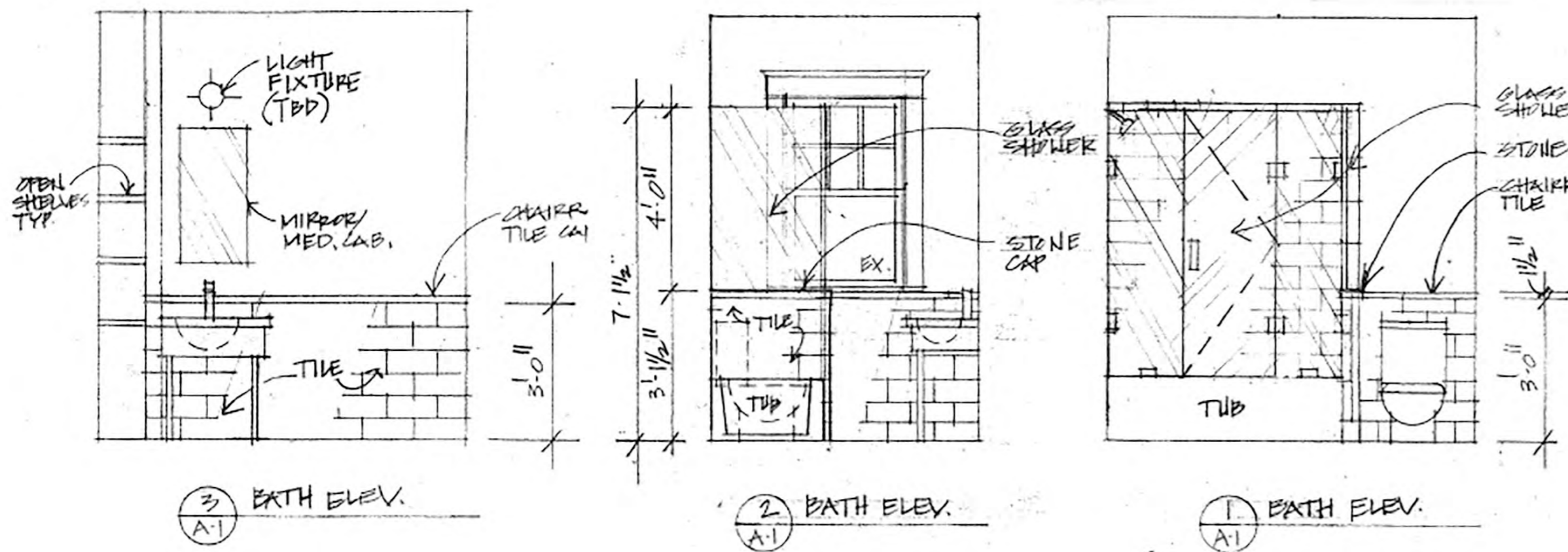
- 1st Floor:** This addition and renovation of the kitchen space will add one new plumbing fixture unit, the dishwasher. No new plumbing fixture units are being added to the bathroom, only replacements for existing fixtures will be installed.
- These drawings are to show only materials and layout of the design; means and methods are to be determined by contractor. The contractor shall fully acquaint him/herself with the conditions relating to construction and labor so that he/she understands the issues relating to the execution of the work.
- Contractor shall provide all materials, labor and equipment and pay all freight charges, taxes, and handling of materials necessary for the full implementation of the work herein described on these drawings unless noted otherwise.
- Contractor to verify all dimensions and assumed conditions in the field; bring any discrepancies, omissions, ambiguities or conflicts to the attention of the architect and owner as soon as possible before proceeding with any of this work in question.
- Contractor to notify architect if any existing pipes, ducts, or structural elements (or any other relevant item) that are revealed by demolition and are scheduled to be removed or re-routed for the new plan are determined to be not easily moved, or removed.
- Contractor to notify architect and/or structural engineer if any existing wood joists, sheathing, studs, etc. are damaged or deteriorated from termites, water, etc.
- All construction will meet or exceed all applicable building and health codes, unless a code modification approval is granted.
- The owner's written authorization will be required before any work is executed or materials ordered that involve a change from the original specifications affecting the contract price.
- All plan dimensions on drawings are set to edge of framing members; all finishes are not taken into account unless otherwise noted. If dimension is taken to a finish surface, it shall be noted as "FINISH DIMENSION", "FIN. DIM.", or "CLEAR DIM."
- Solid blocking required under posts or any bearing from above to solid bearing below; match bearing area of post above to bearing below; cut bearing blocks to minimum 1/16" deeper than joists.
- Install solid blocking in walls for receipt of plumbing fixtures, accessories (towel bars, toilet paper holders, etc.), hardware, cabinets, etc., as necessary; verify rough-in dimensions for plumbing fixtures prior to framing of posts, studs, beams and joists.
- All wood in contact with masonry/concrete surfaces shall be pressure-treated; install sill gasket underneath all sill plates.
- Contractor shall not backfill against walls until supporting floors are securely in place; brace all walls until adequately supported by structure. Backfill of walls shall be performed by lightweight equipment, with a maximum of 1-ton total weight allowed within the critical zone (defined as beginning at eh base of the wall and widening out from wall at a 1:1 slope (45-degree angle).
- New doors, windows and hardware, are to be provided and installed by contractor; verify window and door manufacturers' rough opening dimensions prior to framing.
- In all newly exposed existing 2 x 4 furring or walls at exterior, insert insulation in any combination of closed cell foam/rockwool/batts for R-13, minimum.
- In all newly exposed existing roof rafters, and/or ceiling joists below rafters, where an R-49 insulation level is impossible to achieve, insert insulation in any combination of closed cell foam/rockwool/batts for R-30, minimum, given that the maximum area for the R-30 insulation shall be limited to 500 sf or 20% of the total insulated ceiling area (See IRC 2015 N1102.2.2). At new exterior walls, (2 x 6), insert insulation to R-20, minimum.
- If house-wrap and or building paper is used, apply and lap in a shingle-fashion so that upper courses lap over lower courses; any window and door flashing is integrated into this system in the same manner. Apply Z-flashing at all heads and apply pan flashing at all sills.
- All new or existing wall surfaces are to be prepared for painting to be smooth and free of cracks, peeling paint, etc.; walls to be primed and painted (2 coats, min.) with color to be selected by owner.
- Any new flooring material (tile, etc.) to be selected by owner, installed by contractor. Make surface smooth and flat for receipt of new flooring.
- Install new hard-wired interconnected AC-powered smoke and CO detectors as per drawings and per code, as necessary.
- All electrical outlets in bath, kitchen (except refrigerator) and at exterior to be ground fault circuit interrupters (GFCI); in all rooms (except kitchens), all-fault circuit interrupters (AFCI) to be installed.
- Upgrade electrical service (as nec.) to provide sufficient power for new fixtures, appliances, etc.
- Electrical switches (dimmers, toggles, etc.), and telephone/modem to be approved by owner, installed by contractor. All decorative light fixtures to be selected by owner, installed by contractor.
- All recessed light enclosures and junction boxes installed in thermal/insulated ceilings shall be IC-rated for insulation contact and are to be sealed against air infiltration. Seal all openings in box with fire-rated foam (3M Fire Block Foam FB-Foam; meets ASTM E 84 Class 1).

SPECIFICATIONS:

- Undercabinet lighting:** lengths to be determined for full illumination of lighted surfaces; insert lights to fit entire length of collar tie; use all accessories, power supplies and dimming modules as required. Accepted manufacturers, or equivalent:
 - Armacor RibbonFlex: Pro Accent Lighting/White LED Tape Light for Indirect lighting. (18 LEDs per foot: Model #RF3528060);
 - Vaya Free Form Tunable White: IP40, 2700K Model #316-200019-02
- Toilet:** Toto "Drake II" CST7454CEFG; elongated bowl, two-piece toilet, or equivalent.
- Bath Faucets:** Grohe EuroStyle, Parkfield or Cosmopolitan lines are recommended styles.
- Medicine Cabinet/Mirror:** Jensen Recessed-Mount Medicine Cabinet/Frameless Mirror (with "pencil edge"), in Basic White: Model #R835P34WH (16"W x 36"H), or equivalent.
- Exhaust Fan (for Bath):** Panasonic WhisperGreen 80 cfm Ceiling Mounted Fan #FV-08VKS2, or equivalent.
- Exterior wall/roof sheathing:** Huber Engineered Woods LLC, "Zip System" combination wall sheathing, water-resistive barrier, and air barrier, thicknesses as specified in drawings: 7/16" for wall sheathing, 5/8" for roof sheathing.

All other selections by owner and/or architect TBD.

8.5.12



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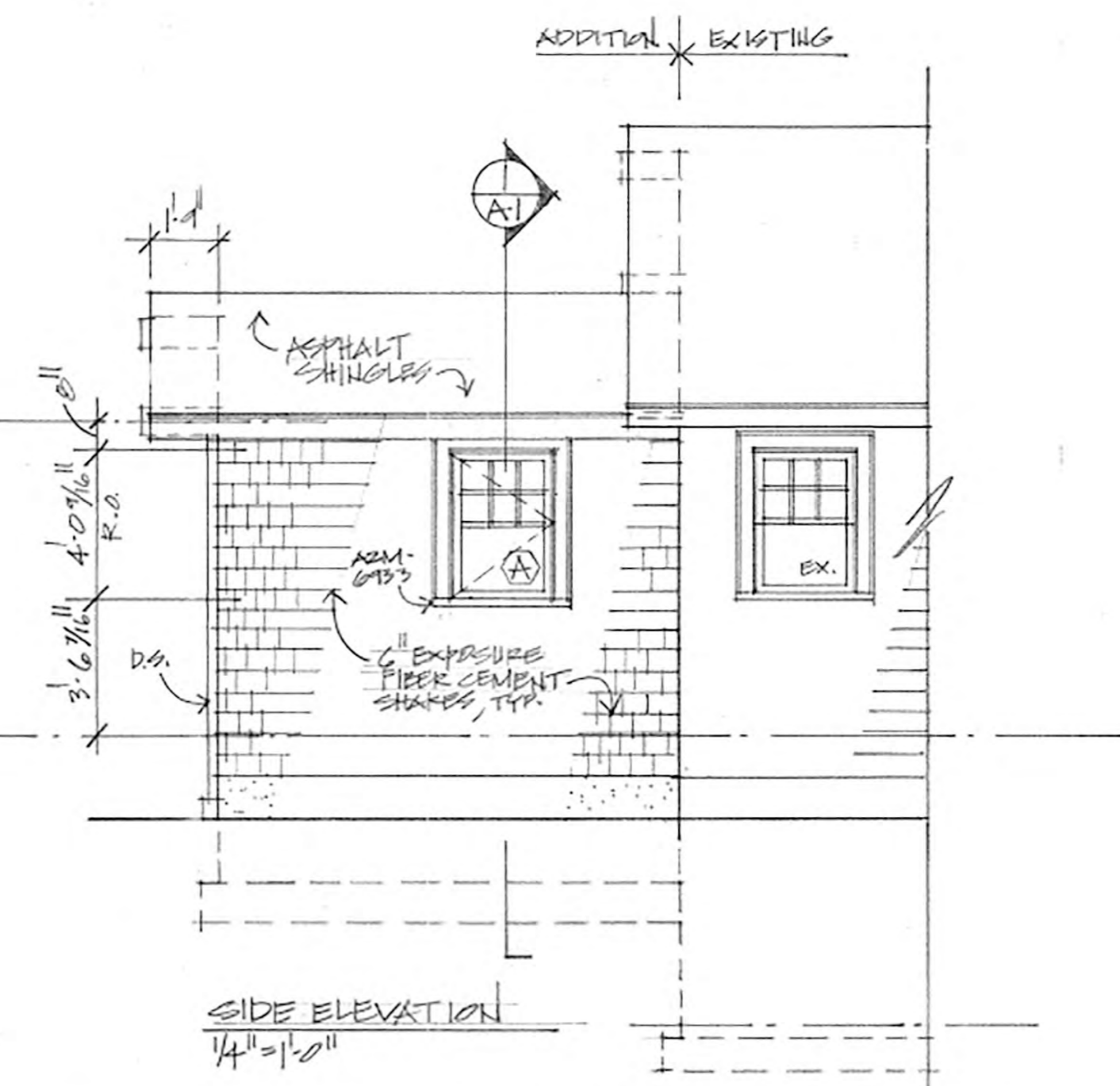
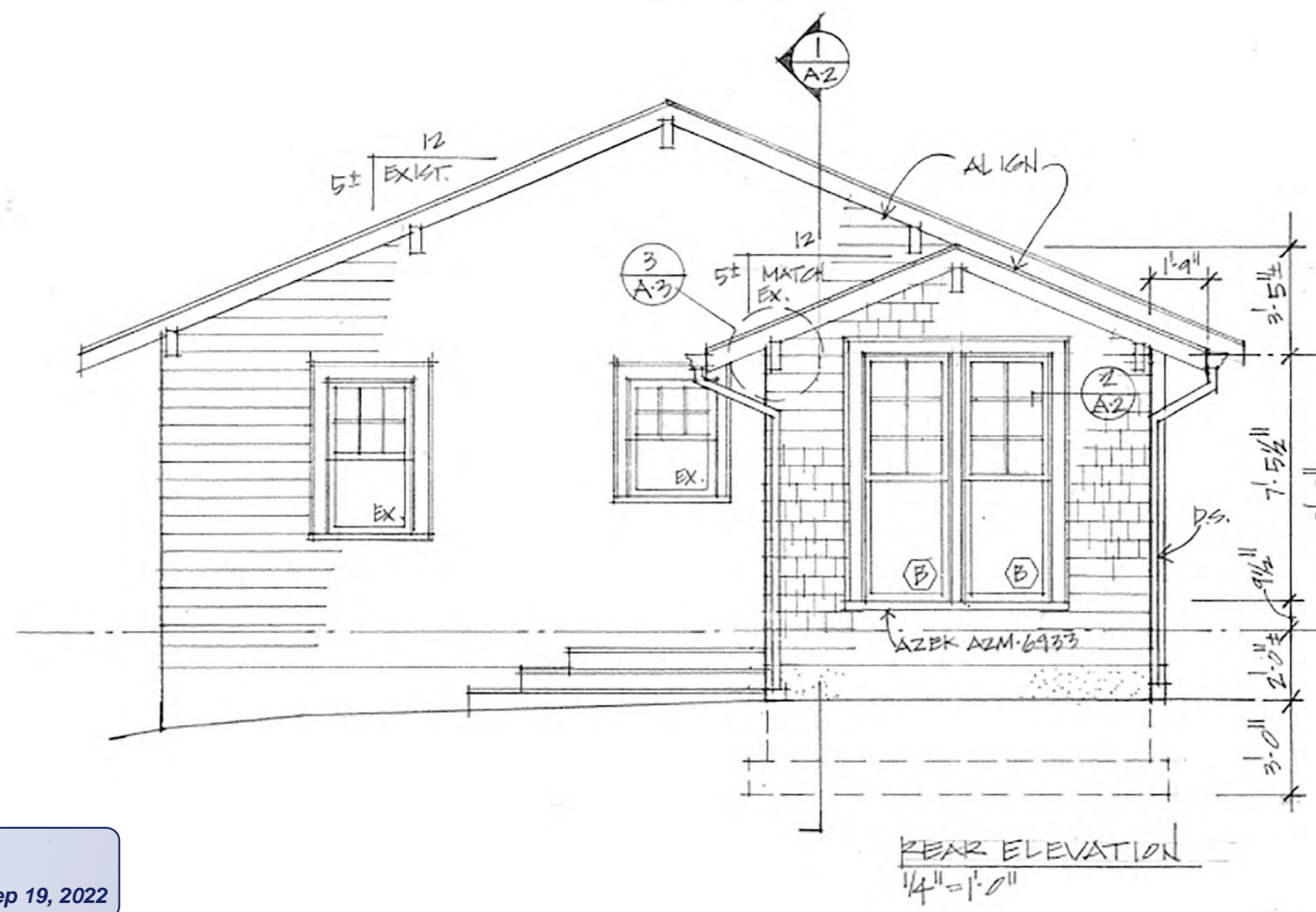
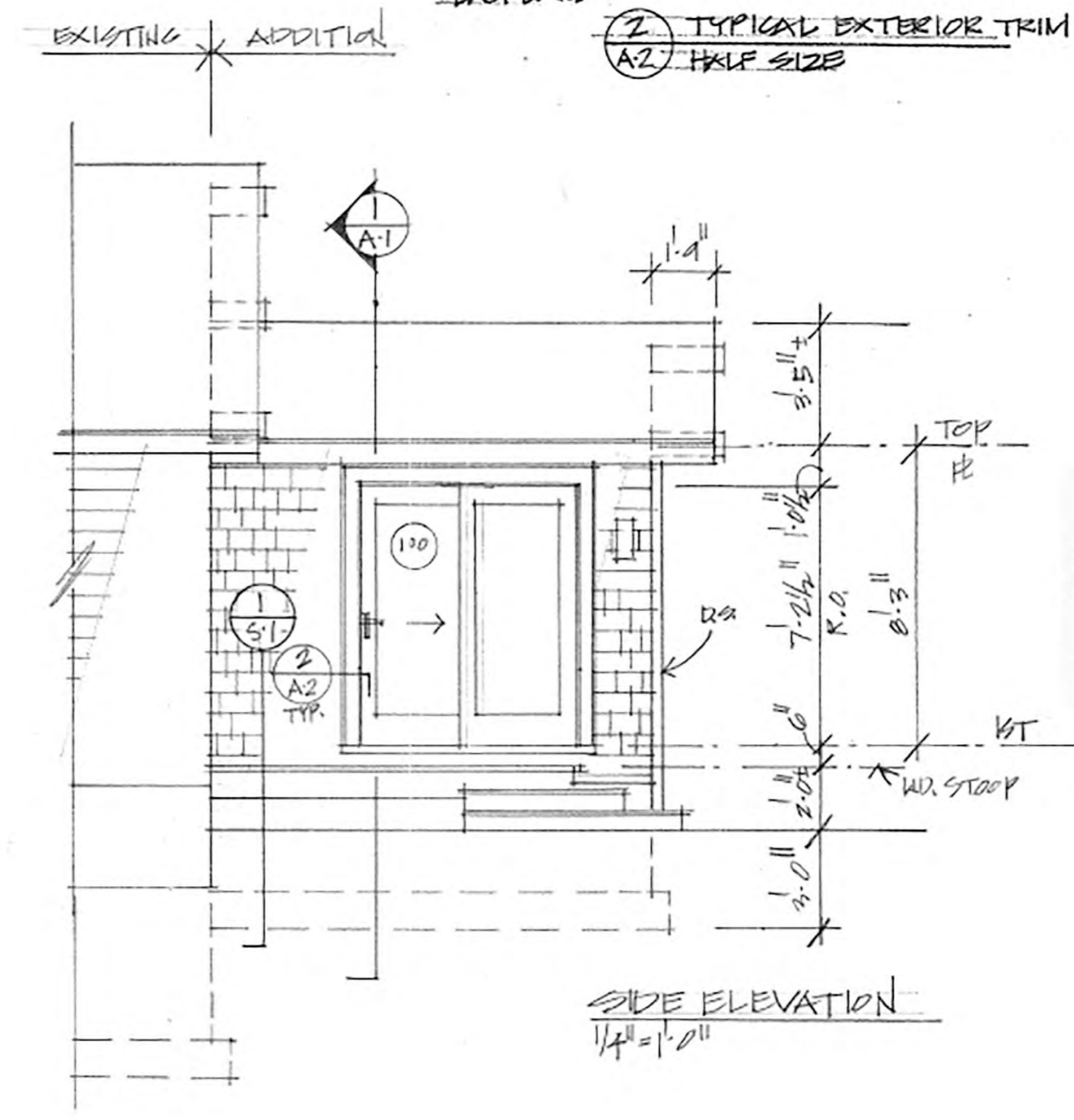
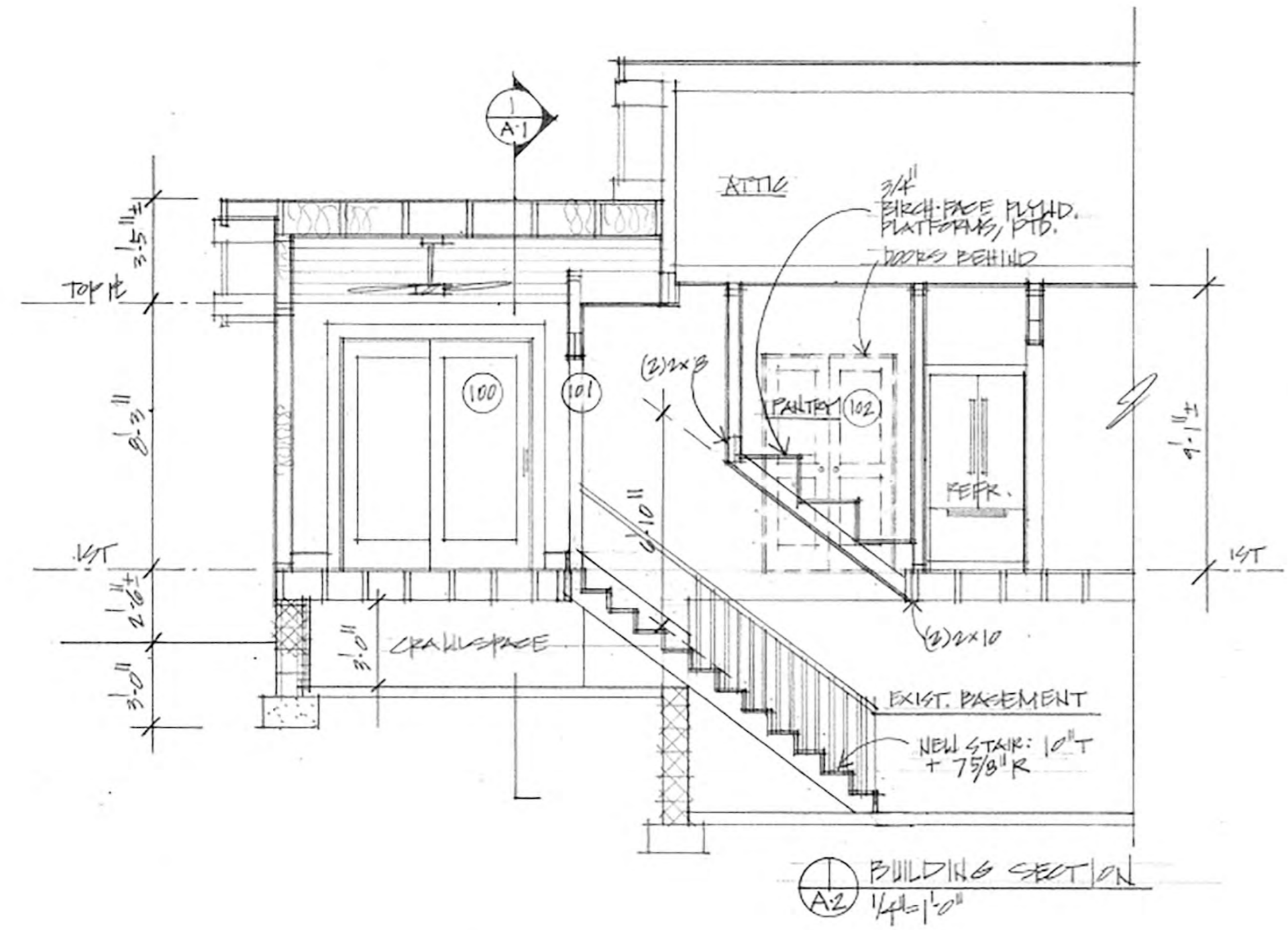
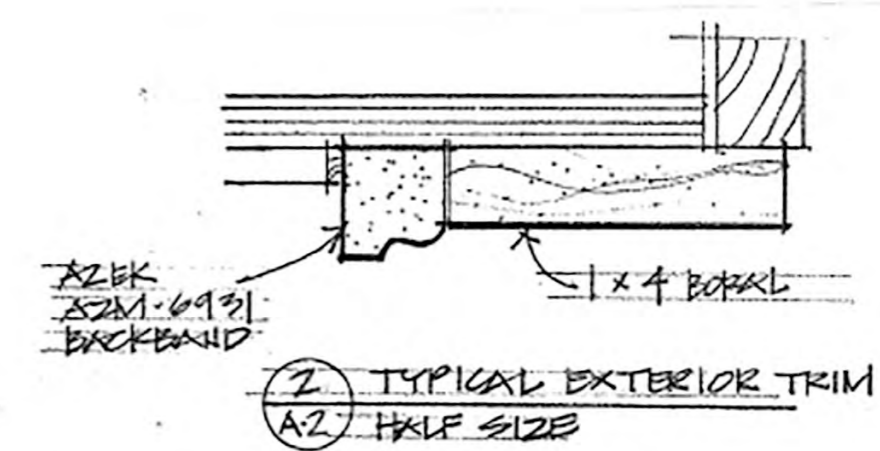
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Takoma Park, MD 20912
(301) 806-6447 cell

Kahn/Fincham Residence
7317 Willow Avenue
Takoma Park, MD 20912
8.9.22

A-1

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Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 1:12 pm, Sep 19, 2022



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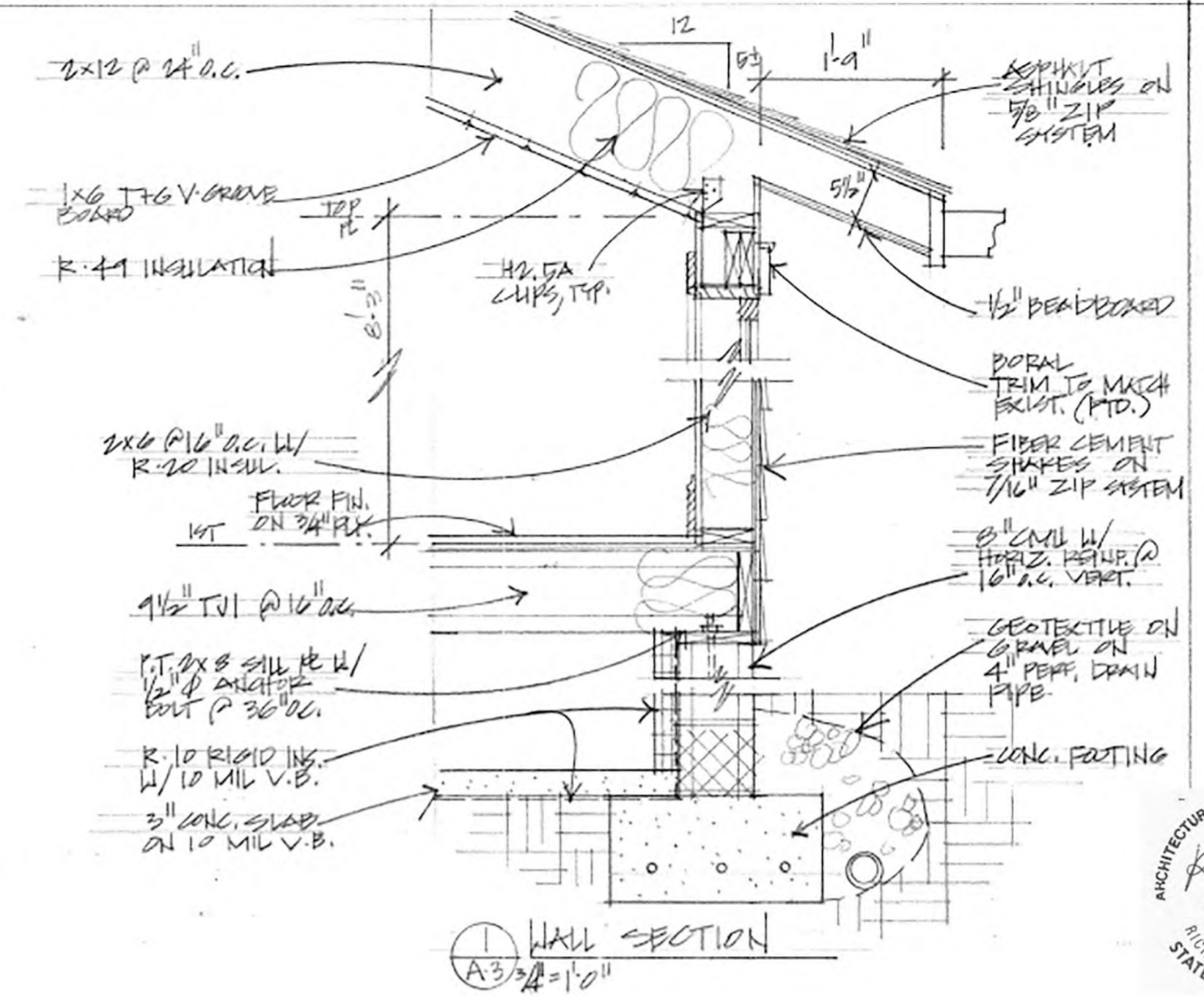
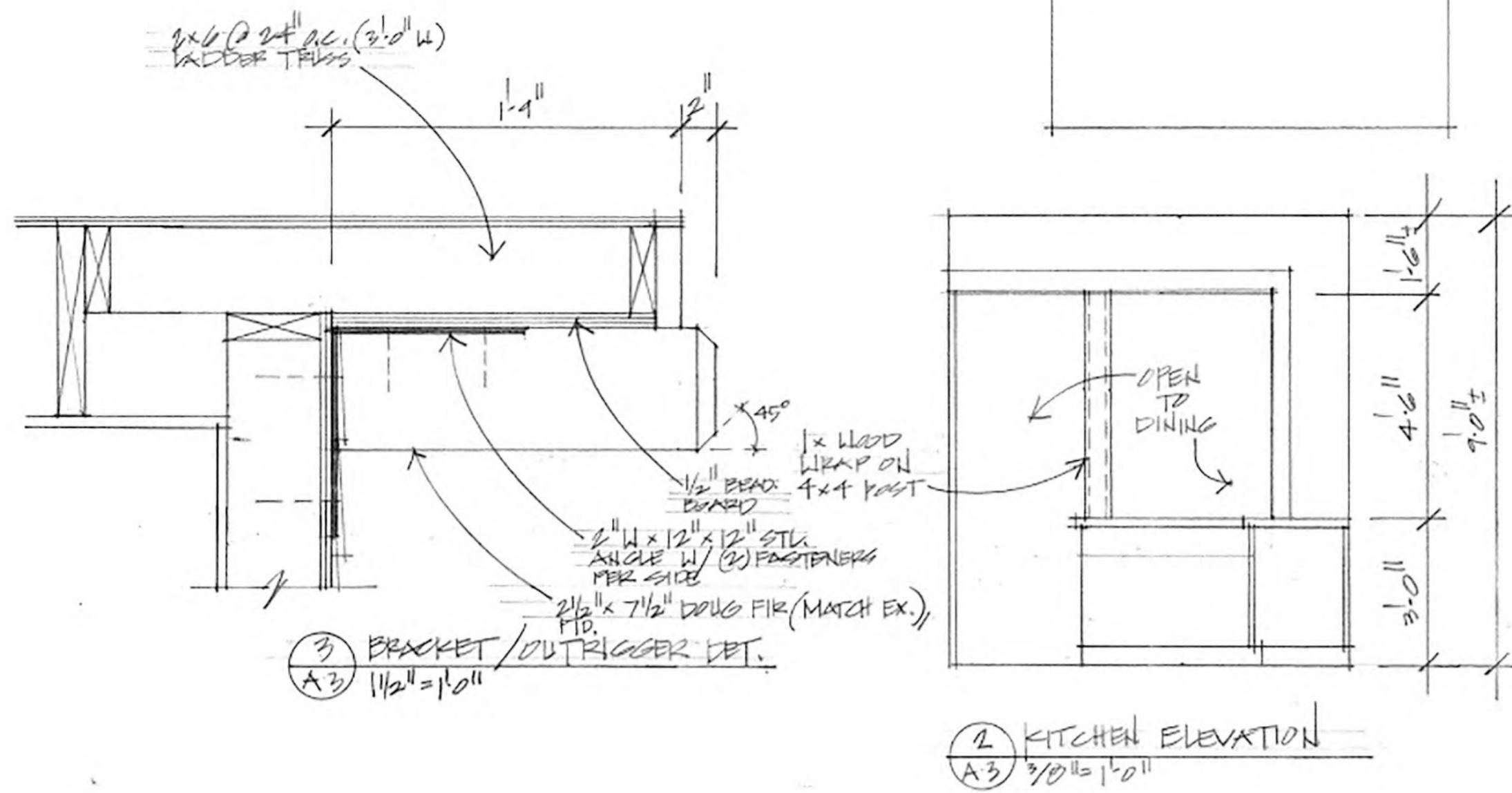
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6.5.22



FINISH SCHEDULE																
FIRST FLOOR																
ROOM	FLOORS		BASE/ WAINSCOT		WINDOW / DOOR TRIM			WALLS		CEILING		CEILING HEIGHT	Area +/- (Sq.Ft)	Remarks		
	Material	Finish	Material	Finish	Head Material	Jamb Material *	Plinth	Apron Material *	Finish	Material	Finish	Material	Finish			
Existing Kitchen	Finish TBD over Exist. Oak flooring	TBD	SM-66 or match exist.	Low VOC Paint	WM-412 (Sanitary)	WM-412 (Sanitary)	SM-15 (8 1/2" high)	WM-412 (Sanitary)	Low VOC Paint	1/2-inch gyp. bd.	Low VOC Paint	1/2-inch gyp. bd.	Low VOC Paint	9'-1" +/-	100	
New Kitchen Addition	Finish TBD over 3/4" subfloor	TBD	SM-66 or match exist.	Low VOC Paint	WM-412 (Sanitary)	WM-412 (Sanitary)	SM-15 (8 1/2" high)	WM-412 (Sanitary)	Low VOC Paint	1/2-inch gyp. bd.	Low VOC Paint	1/2-inch gyp. bd.	Low VOC Paint	8'-3" to 10'-3" +/-	110	
Pantry	Birch-face Plywd.	Low VOC Paint (gloss)	SM-66 or match exist.	Low VOC Paint	WM-412 (Sanitary)	WM-412 (Sanitary)	SM-15 (8 1/2" high)	WM-412 (Sanitary)	Low VOC Paint	1/2-inch gyp. bd.	Low VOC Paint	1/2-inch gyp. bd.	Low VOC Paint	9'-1" +/-	12	
Stairway	New Oak treads	High-Traffic Epoxy or Poly.	SM-66 or match exist.	Low VOC Paint	WM-412 (Sanitary)	WM-412 (Sanitary)	SM-15 (8 1/2" high)	WM-412 (Sanitary)	Low VOC Paint	1/2-inch gyp. bd.	Low VOC Paint	1/2-inch gyp. bd.	Low VOC Paint	Varies	25	
Bathroom	Porcelain/Ceramic Tile	n/a	Porcelain/Ceramic Tile	n/a	WM-412 (Sanitary)	WM-412 (Sanitary)	SM-15 (8 1/2" high)	WM-412 (Sanitary)	Low VOC Paint	1/2-inch water res. gyp. bd.	Low VOC Paint	1/2-inch water res. gyp. bd.	Low VOC Paint	Varies	45	Tile wainscot (see Bath elev.)

WINDOW SCHEDULE					Manufacturer- Windows: Marvin										
No.	Mfr. No.	Height, Unit (R.O.)	Width, Unit (R.O.)	Wall System	Window Type/Material	Glazing Type	Grille Structure	Mullion Divisions	Screens / Screen Door	Hardware	SHGC-value Total Unit	U-value Total Unit	Egress window	Quant.	Remarks
A	UWCA 3248 E	4'-0 1/16" (4'-0 9/16" R.O.)	2'-8" (2'-9" R.O.)	2 x 6	CASEMENT /wood interior ("WHITE" finish) & wood exterior	Insulating glass IG Low E2 w/ Argon	7/8" Wood SDL, w/ spacer bar	6-over-1	YES	Satin Taupe (Std.)	0.26	0.29	n/a	1	Operable
B	UWDH 2640 E	7'-5" (7'-5 1/2" R.O.)	2'-7 3/8" (2'-8 3/8" R.O.)	2 x 6	DOUBLE HUNG /wood interior ("WHITE" finish) & wood exterior	Insulating glass Low E II w/ Argon/ TEMPERED	7/8" Wood SDL, w/ spacer bar	4-over-4	YES	Satin Taupe (Std.)	0.26	0.29	n/a	2	
SUBTOTAL											0.26 avg.	0.29 avg.		3 units	
DOOR SCHEDULE					Manufacturer- Doors: Marvin/ TBD										
No.	Mfr. No.	Height, Unit (R.O.)	Width, Unit (R.O.)	Jamb Depth	Door Type / Material	Glazing Type	Grille Structure	Mullion Divisions	Screens / Screen Door	Exterior Color	SHGC-value Total Unit	U-value Total Unit	Swing direction (shown from outside room)	Quant.	Remarks
100	UWSFD 6070 XO	7'-2" (7'-2 1/2" R.O.)	6'-0 5/8" (6'-1 5/8" R.O.)	2 x 6	WOOD ULTIMATE SLIDING FRENCH DOOR/ wood interior ("WHITE" finish) & wood exterior	Insulating glass Low E II w/ Argon/ TEMPERED	NONE	NONE	TBD	n/a	0.23	0.29	XO	1	Exterior Door
101	TBD	6'-8" (6'-9" R.O.)	2'-6" (2'-8" R.O.)	2 x 4	Solid Wood 2-Panel SWING Door (Match Exist.)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Right Hand	1	Interior Door
102	TBD	6'-8" (6'-9" R.O.)	Pair of 2'-0" doors (4'-2" R.O.)	2 x 4	Solid Wood 2-Panel SWING Doors (Match Exist.)	n/a	n/a	n/a	n/a	n/a	n/a	n/a	Right/Left Hand	1	Interior Door
SUBTOTALS											0.23 avg.	0.29 avg.		3 units	
TOTALS											0.25 avg.	0.29 avg.		6 units	

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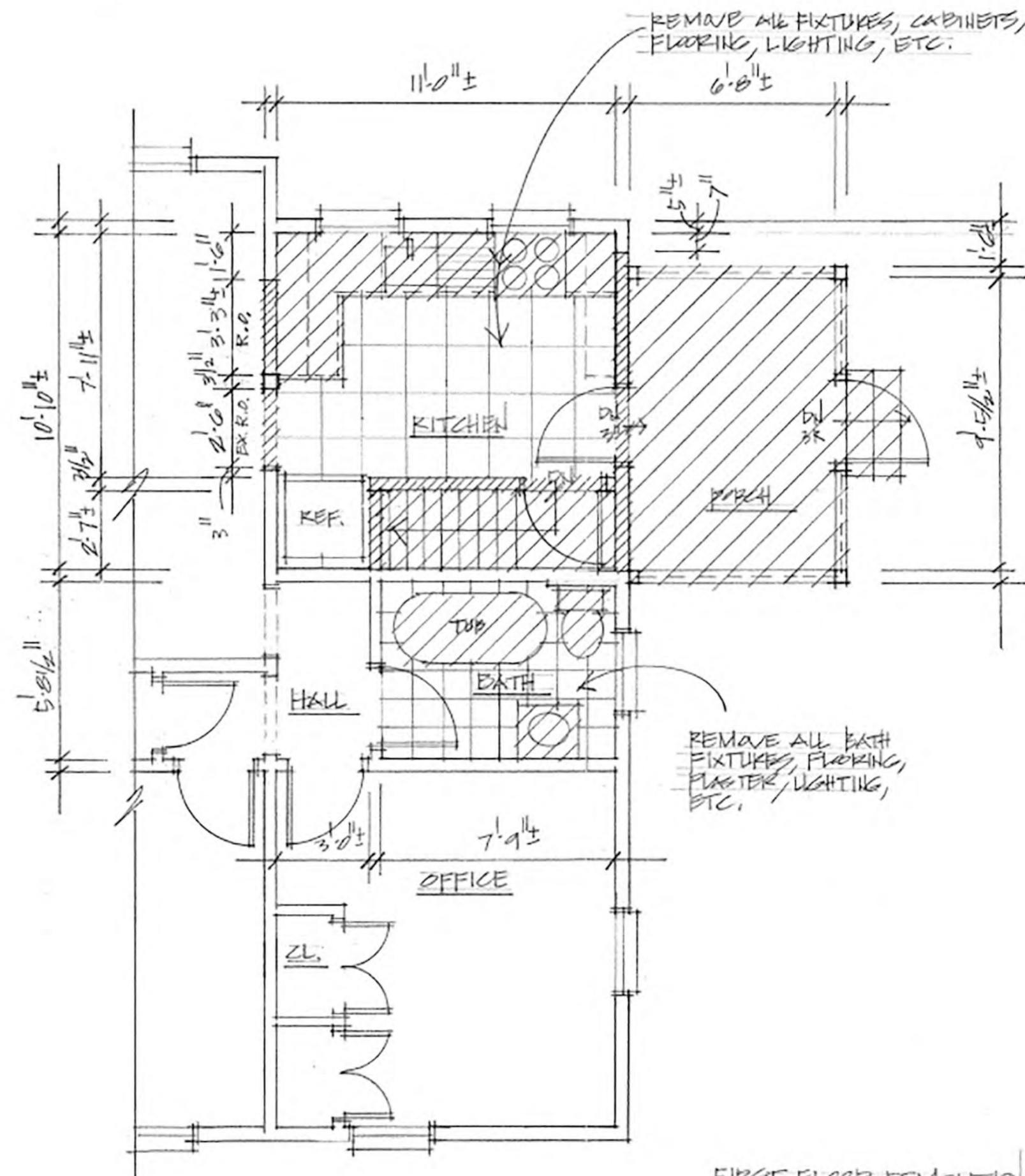
GENERAL DEMOLITION NOTES:

1. Remove any existing bath and/or kitchen cabinets, fixtures and/or appliances as necessary to implement new plan layout; save any items as per owners' request, and dispose of all others.
2. Remove/re-route plumbing (water supplies, drains, vents and gas lines, radiators, etc.) as necessary to accomplish new plan layout and to minimize their impact on the new space; cap off lines as necessary during construction. If any lines discovered cannot be moved/re-routed easily, notify architect to review solutions.
3. Remove all trim, gypsum board/plaster, doors, thresholds, flooring, etc. but only as necessary to implement new layout and design.
4. For removal of any lead paint, asbestos tile, etc., a certified asbestos or lead abatement professional must be used. Contractor to ensure that containment barriers are in place to keep debris and dust at a minimum; workers to utilize proper protection equipment from hazards.
5. Remove existing wall and/or floor construction as noted on plans as necessary to implement new layout; if walls are bearing walls, use temporary supports to re-direct loads until new bearing elements are constructed. (If walls or other elements that were previously assumed to be non-bearing are actually bearing, notify architect and/or engineer immediately.)
6. Remove and salvage (as per owners' request) existing light fixtures to implement new plan layout.
7. Remove all electrical outlets, fixtures, smoke alarms, telephone wiring, exposed wiring, etc. that are to be replaced by new work.
8. Dispose of all discarded material in a safe and clean manner.
9. Protect all surfaces during demolition (and construction) from unnecessary damage.



ELECTRICAL & LIGHTING LEGEND

- “E” Indicates existing unit (light or outlet)
(all outlets to be made code-compliant)
- ⊕ Duplex Outlet/new
- ⊕_{A/C} Duplex Outlet/new/above counter
- ⊕_{GFCI} Duplex Outlet/new/GFCI
(all outlets in kitchens, baths, and exterior are to be GFCI)
- ⊕_{AFCI} Duplex Outlet/new/AFCI
(All-Fault Circuit Interrupter outlets: for all but in Kitchen)
- ⊕_{DD} Double Duplex Outlet
- ⊕_F Duplex Floor Outlet
- ⊕₂₄₀ 240v Outlet
- ⊕_{EF} Exhaust Fan
- ⊕_{EF/H} Exhaust Fan/Heat
- ⊕_{EF/H/L} Exhaust Fan/Heat/Light
- ⊕_{CF} Ceiling Fan
- ⊕_{CF/L} Ceiling Fan/Light
- ⊕_P Pendant Light Fixture
- ⊕_R Recessed Light Fixture
- ⊕_R Recessed Light Fixture/Existing
- ⊕_{R/E} Recessed Light Fixture/Eyeball
- ⊕_{SM} Surface Mounted Light Fixture
- ⊕_W Wall Mounted Light Fixture/Sconce
- ⊕_{WP} Light Fixture /Waterproof
- ⊕_{DL} Dual Flood Light
- ⊕_{DSL} Data/Telephone Jack
- ⊕_{TV} Coaxial/Cable TV
- ⊕_{SP} Audio Speaker
- S Switch
- S_D Switch/Dimmer
- S₃ Three-way Switch
- ≡≡≡ T Track light
- ≡≡≡ P “Plugmold” Power Strip
- ≡≡≡_{U/C} Undercabinet Lights
- ⊕ Smoke & Carbon Monoxide Detectors
(hard-wired in dedicated circuit, interconnected, with battery backup)
- ⊕ T Thermostat



FIRST FLOOR DEMOLITION PLAN
1/10"

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