



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: February 6, 2023

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission Historic

SUBJECT: Area Work Permit #999274 - Rear deck

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** by HPC Staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Chris Merchant
Address: 7320 Willow Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



New Wood Deck in Rear Yard: Mody/Merchant Residence

7320 Willow Avenue, Takoma Park, MD 20912

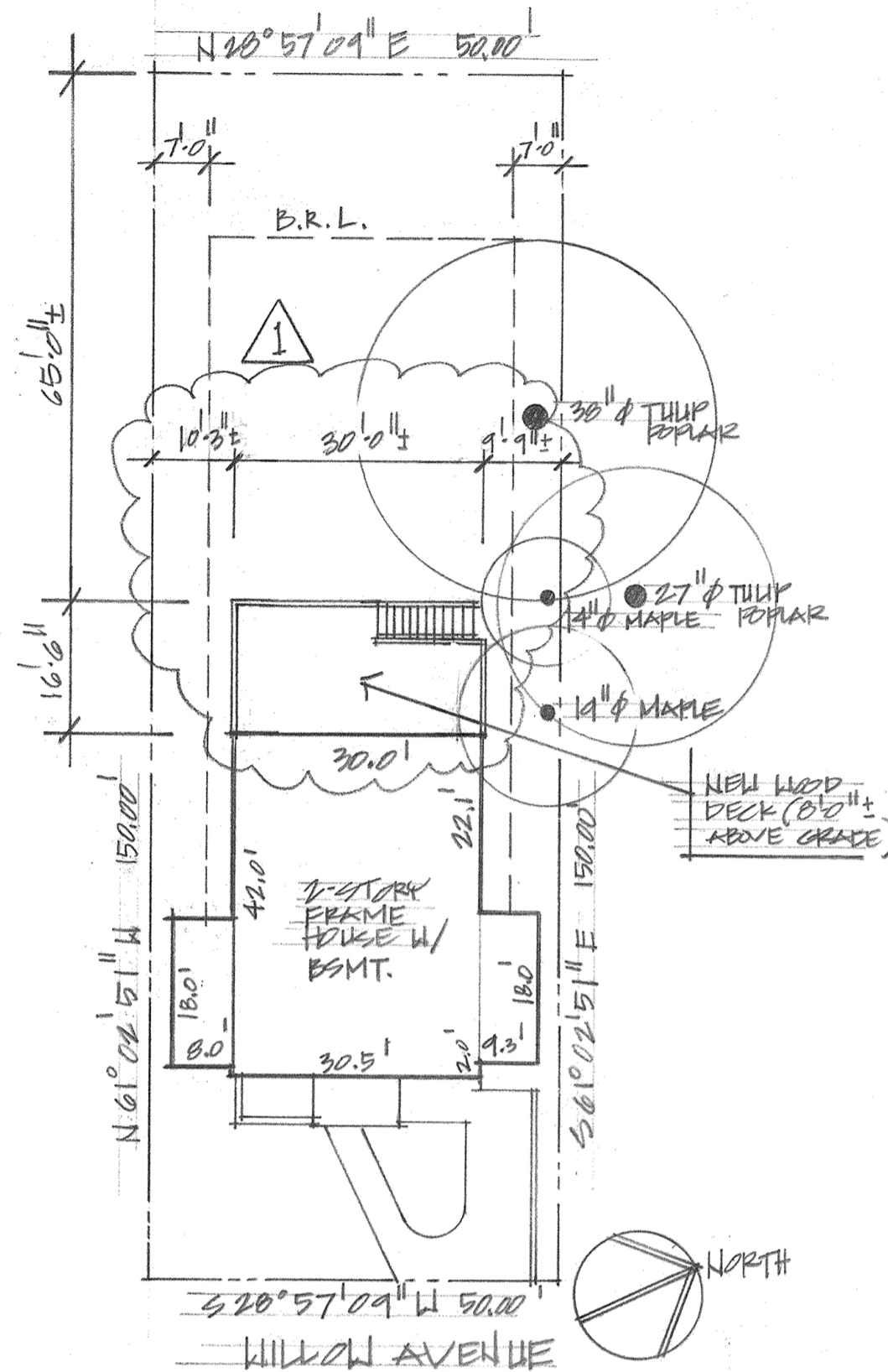


Professional Certification:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
License #: 8221-R, Exp. Date: 7/22/2024

Vitullo Architecture Studio, PC
7016 Woodland Ave.
Takoma Park, MD 20912
(301)806-6447 cell

Mody/Merchant Residence
7320 Willow Ave.
Takoma Park, MD 20912

COVER



Site Plan

1" = 20'-0"

House/Site Information:

Lot: 20 Block: 9
Subdivision: L & E Addition to Takoma Park
Address: 7320 Willow Ave., Takoma Park, MD 20912
Year built: 1928 Zoning: R-60
Historic District: Takoma Park

Project Information:

Wood deck addition (495 SF), with new wood stairs to grade.
Original HAWP approved: 8/17/2022

Residential Code Information:

All construction shall be in conformance with the International Residential Code (IRC), 2018 Edition, as Amended by Mont. Co., Reg. 31-19, adopted 5/20/2020.

AREA CALCULATIONS

EXISTING:

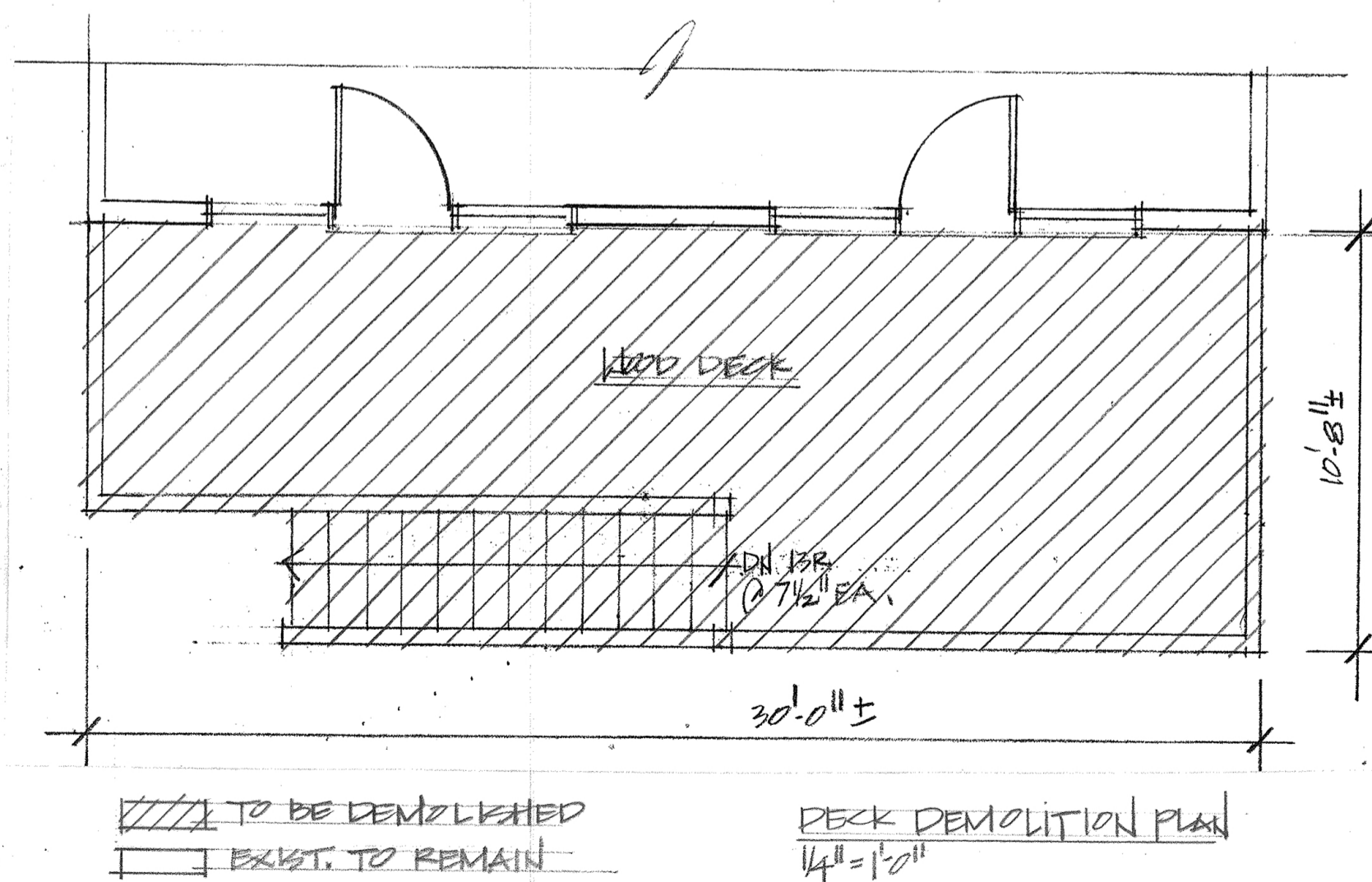
Lot Area:	7500 s.f.
Lot Coverage/Building Area (House):	1650 s.f.
(Wood Deck):	305 s.f.
Total Lot Coverage:	1956 s.f.
% of Lot Coverage (House + Deck):	26%

PROPOSED:

Lot Coverage/Building Area (Wood Deck/Stair):	495 s.f.
Total Lot Coverage:	2145 s.f.
% of Lot Coverage:	28.6%

GENERAL CONSTRUCTION NOTES:

- These drawings are to show only materials and layout of the design; means and methods are to be determined by contractor. The contractor shall fully acquaint him/herself with the conditions relating to construction and labor so that he/she understands the issues relating to the execution of the work.
- Contractor shall provide all materials, labor and equipment and pay all freight charges, taxes, and handling of materials necessary for the full implementation of the work herein described on these drawings unless noted otherwise.
- Contractor to verify all dimensions and assumed conditions in the field; bring any discrepancies, omissions, ambiguities or conflicts to the attention of the architect and owner as soon as possible before proceeding with any of this work in question.
- Contractor to notify architect if any existing pipes, ducts, or structural elements (or any other relevant item) that are revealed by demolition and are scheduled to be removed or re-routed for the new plan are determined to be not easily moved, or removed.
- Contractor to notify architect and/or structural engineer if any existing wood joists, sheathing, studs, etc. are damaged or deteriorated from termites, water, etc.
- All construction will meet or exceed all applicable building and health codes, unless a code modification approval is granted.
- The owner's written authorization will be required before any work is executed or materials ordered that involve a change from the original specifications affecting the contract price.
- All plan dimensions on drawings are set to edge of framing members; all finishes are not taken into account unless otherwise noted. If dimension is taken to a finish surface, it shall be noted as "FINISH DIMENSION", "FIN. DIM.", or "CLEAR DIM."
- All wood in contact with masonry/concrete surfaces shall be pressure-treated; install sill gasket underneath all sill plates.
- All electrical outlets at exterior to be ground fault circuit interrupters (GFCI).
- Electrical switches (dimmers, toggles, etc.), and telephone/modem to be approved by owner, installed by contractor. All decorative light fixtures to be selected by owner, installed by contractor.



APPROVED
Montgomery County
Historic Preservation Commission

Richard J. Vitullo

REVIEWED
By Dan.Bruechert at 2:37 pm, Feb 06, 2023

GENERAL DEMOLITION NOTES:

- For removal of any lead paint, asbestos tile, etc., a certified asbestos or lead abatement professional must be used. Contractor to ensure that containment barriers are in place to keep debris and dust at a minimum; workers to utilize proper protection equipment from hazards.
- Remove and salvage (as per owners' request) existing light fixtures to implement new plan layout.
- Remove all electrical outlets, fixtures, smoke alarms, telephone wiring, exposed wiring, etc. that are to be replaced by new work.
- Dispose of all discarded material in a safe and clean manner.
- Protect all surfaces during demolition (and construction) from unnecessary damage.

REVISION: 2.6.2023

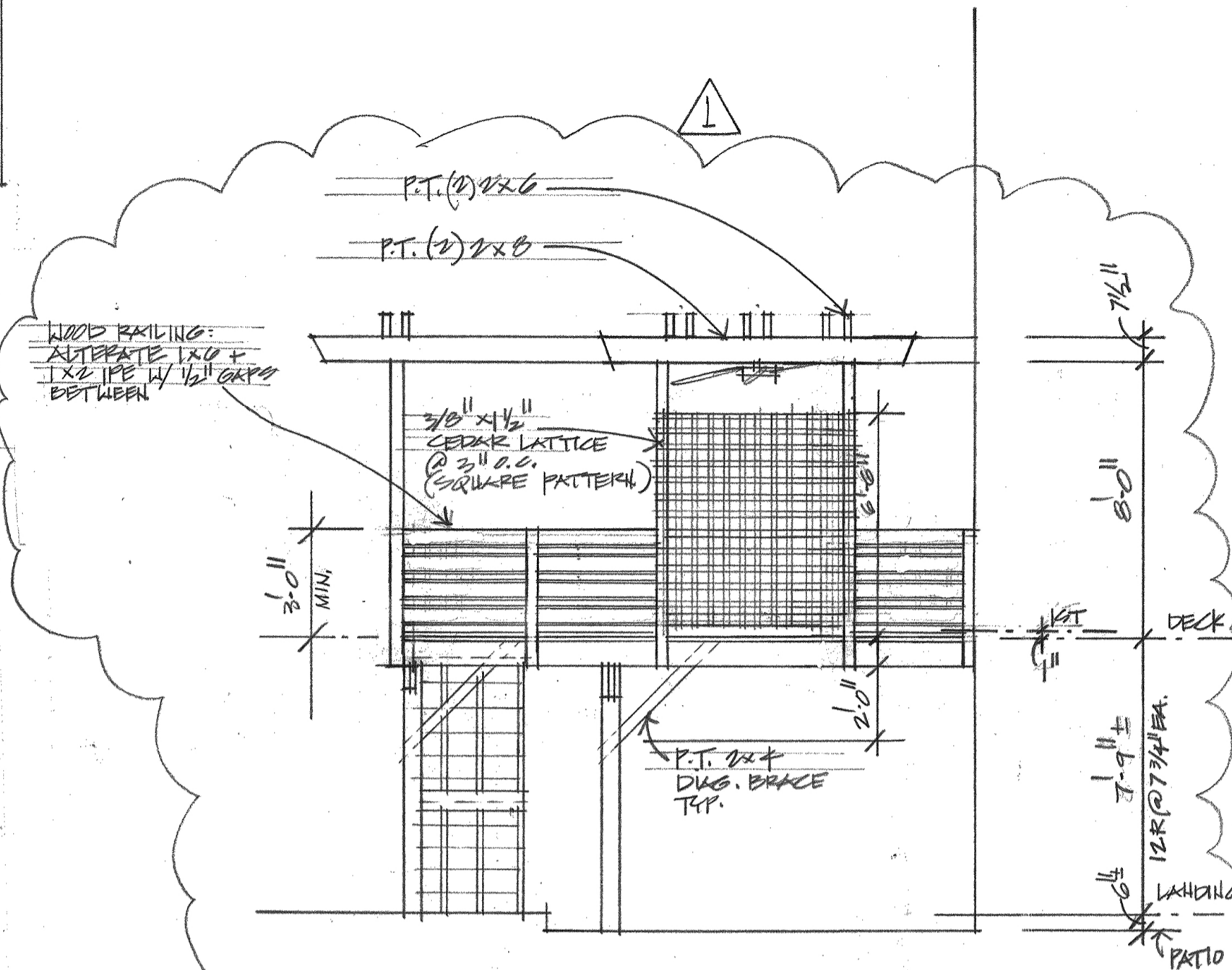
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Ronald K. Votter

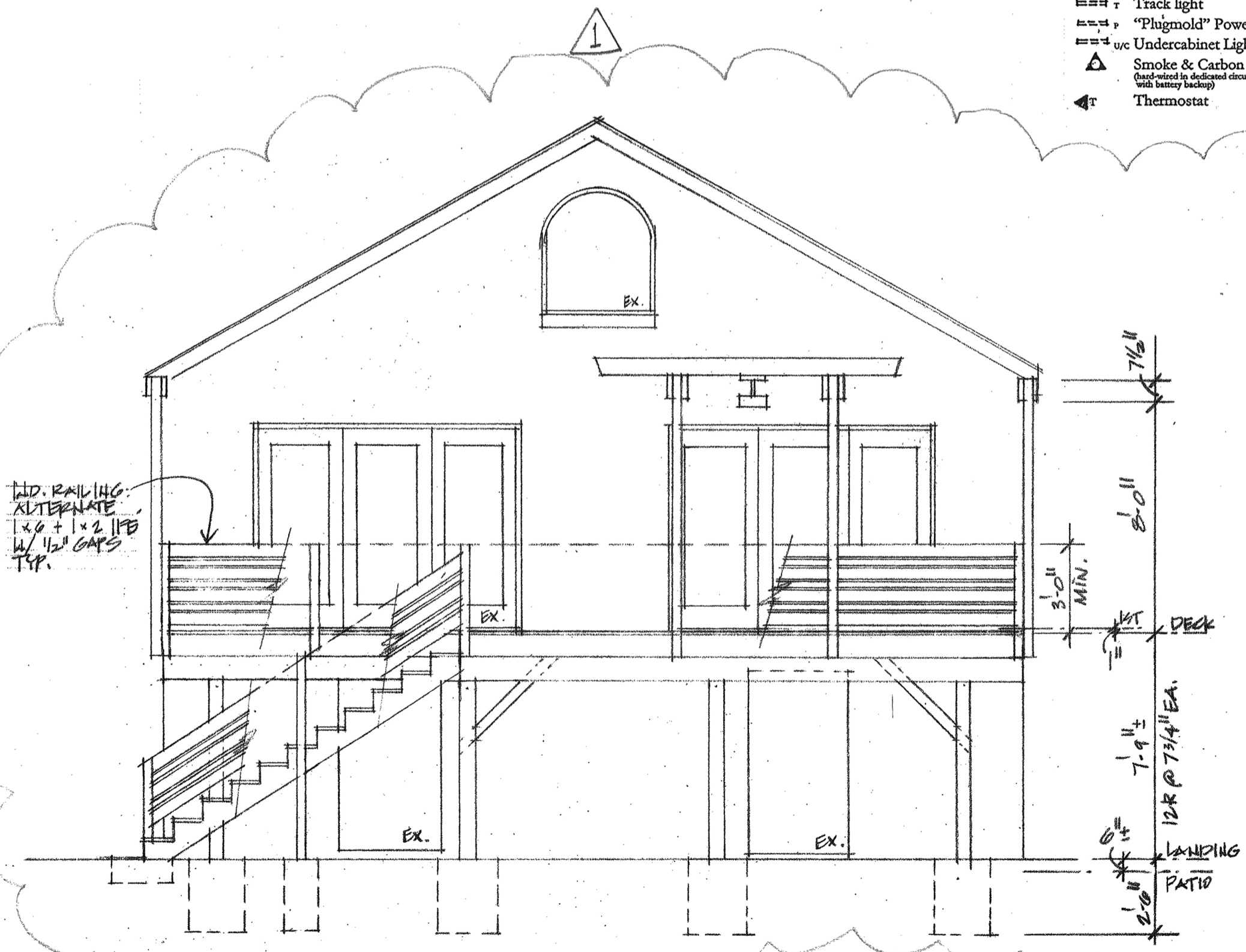
REVIEWED
 By Dan.Bruechert at 2:38 pm, Feb 06, 2023

ELECTRICAL & LIGHTING LEGEND

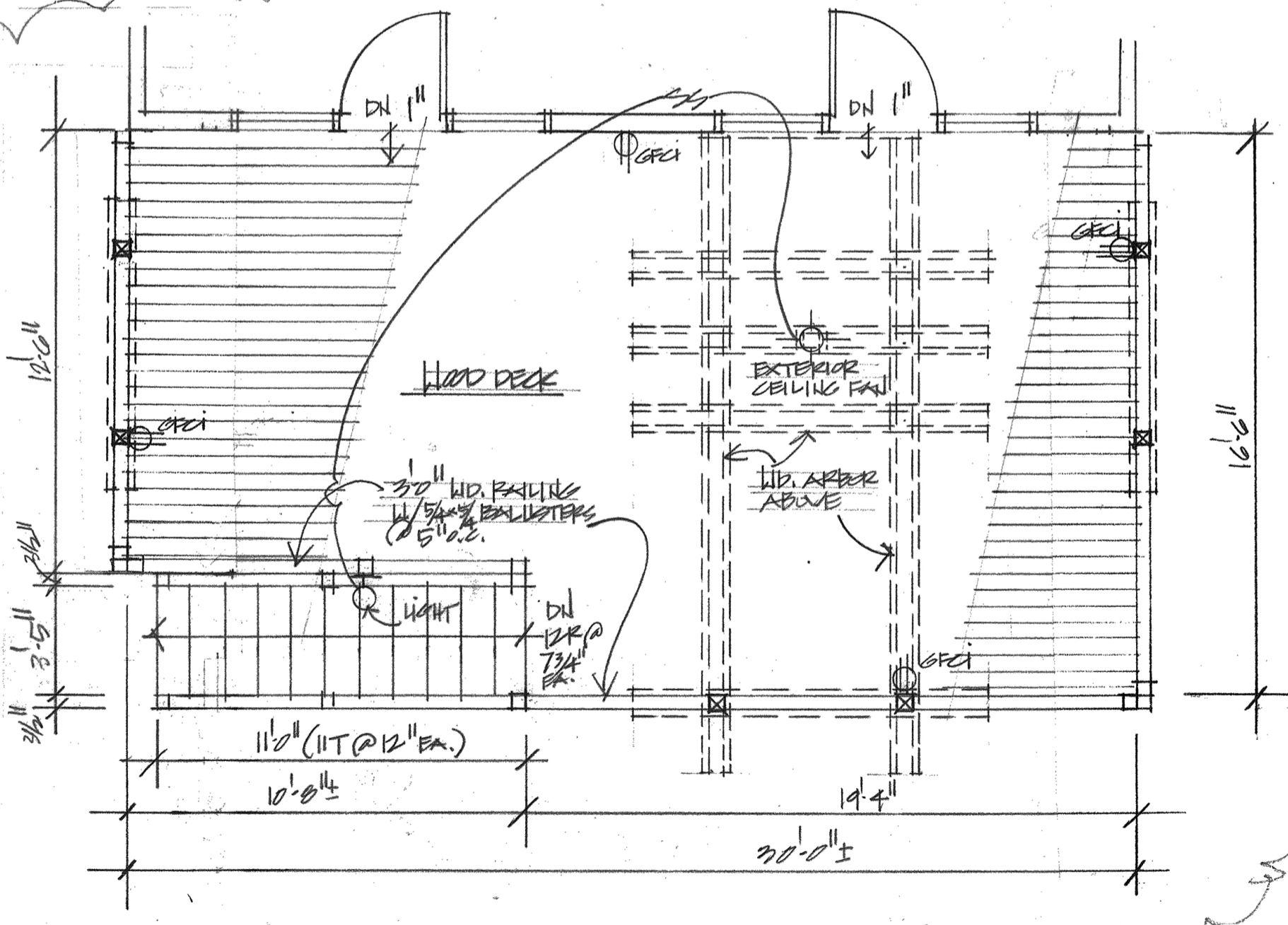
- "E" Indicates existing unit (light or outlet)
(All outlets to be made code-compliant)
- ⊕ Duplex Outlet/new
- ⊕ A/C Duplex Outlet/new/above counter
- ⊕ GFCI Duplex Outlet/new/GFCI
(All outlets in kitchens, baths, and exterior are to be GFCI)
- ⊕ AFCI Duplex Outlet/new/AFCI
(All-Fault Circuit Interrupter outlets for all but in Kitchens)
- ⊕ Double Duplex Outlet
- ⊕ F Duplex Floor Outlet
- ⊕ 240v Outlet
- ⊕ EF Exhaust Fan
- ⊕ EF/H Exhaust Fan/Heat
- ⊕ EF/H/L Exhaust Fan/Heat/Light
- ⊕ CF Ceiling Fan
- ⊕ CF/L Ceiling Fan/Light
- ⊕ PL Pendant Light Fixture
- ⊕ RLF Recessed Light Fixture
- ⊕ RLF/EX Recessed Light Fixture/Existing
- ⊕ RLF/EB Recessed Light Fixture/Eyeball
- ⊕ SMLF Surface Mounted Light Fixture
- ⊕ WMLF Wall Mounted Light Fixture/Sconce
- ⊕ WF Light Fixture /Waterproof
- ⊕ DF Dual Flood Light
- ⊕ DT Data/Telephone Jack
- ⊕ CT Coaxial/Cable TV
- ⊕ AS Audio Speaker
- S Switch
- S/D Switch/Dimmer
- S/3 Three-way Switch
- ⊕ TL Track light
- ⊕ PS "Plugmold" Power Strip
- ⊕ UCL Undercabinet Lights
- ⊕ SMD Smoke & Carbon Monoxide Detectors
(Must be wired to dedicated circuit, interconnected, with battery backup)
- ⊕ T Thermostat



SIDE ELEVATION
 1/4" = 1'-0"



REAR ELEVATION
 1/4" = 1'-0"



FIRST FLOOR (DECK) PLAN
 1/4" = 1'-0"

REV KADH: 2.6.2023



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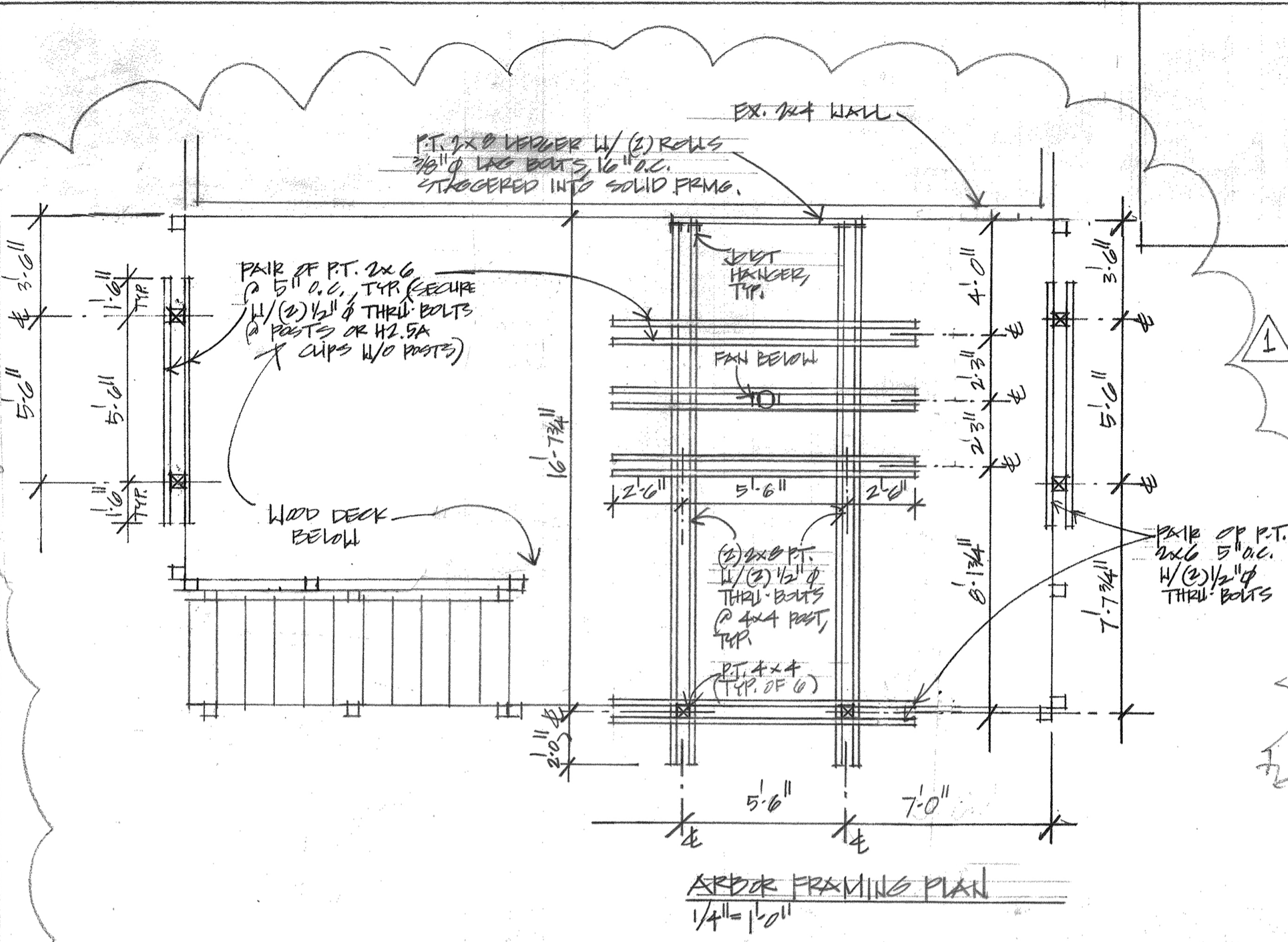
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8-17-22

Note:

ATTACHED WOOD DECK

The wood deck shown on these drawings is based on the "Montgomery County Residential Typical Deck Details" (based on the 2018 International Residential Code). The 16'-6" x 30'-0" deck is attached to the main house via a secured wood ledger board. It is used in lieu of a structure designed by a certified structural engineer.

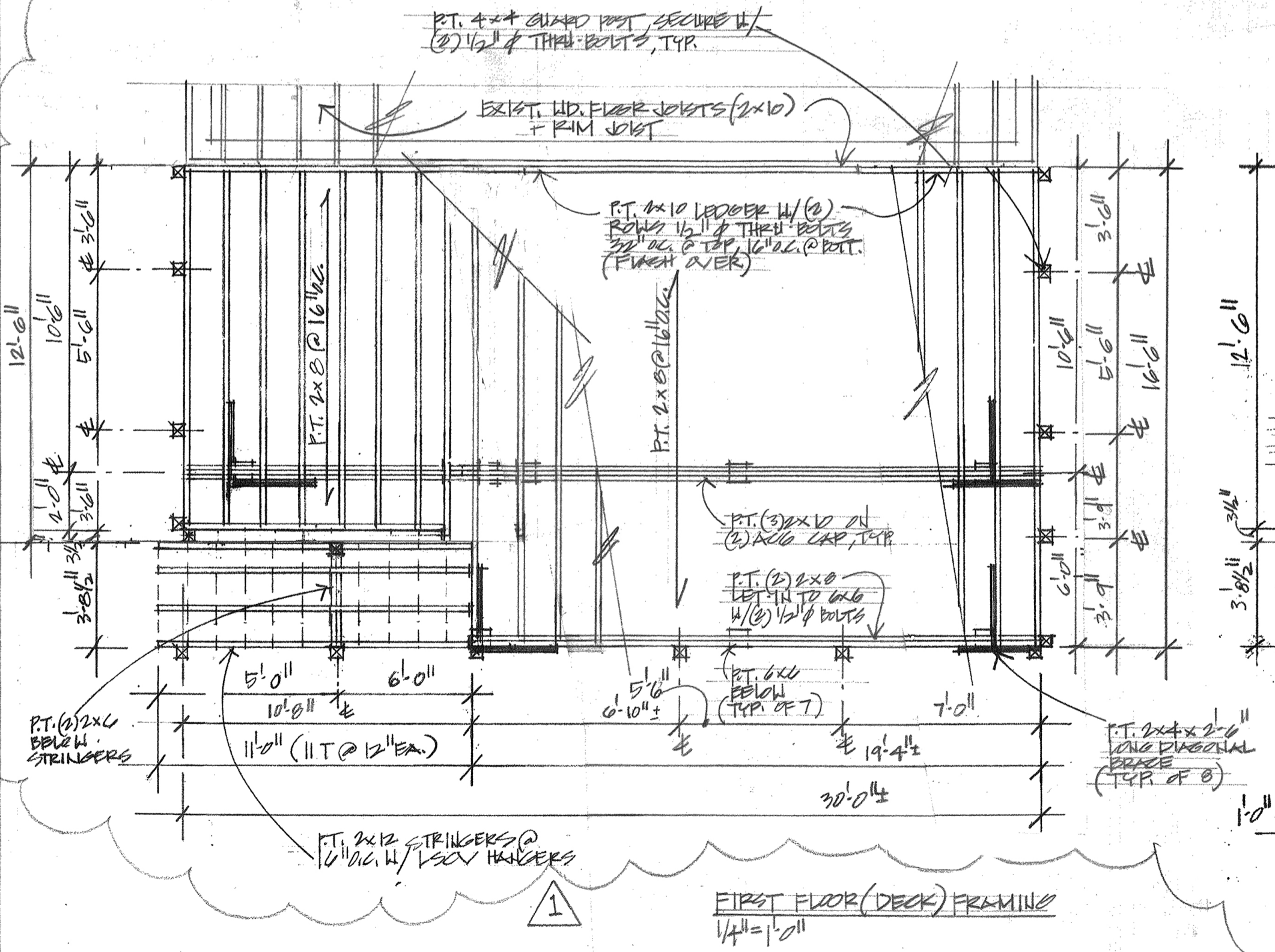


ARBOR FRAMING PLAN
1/4" = 1'-0"

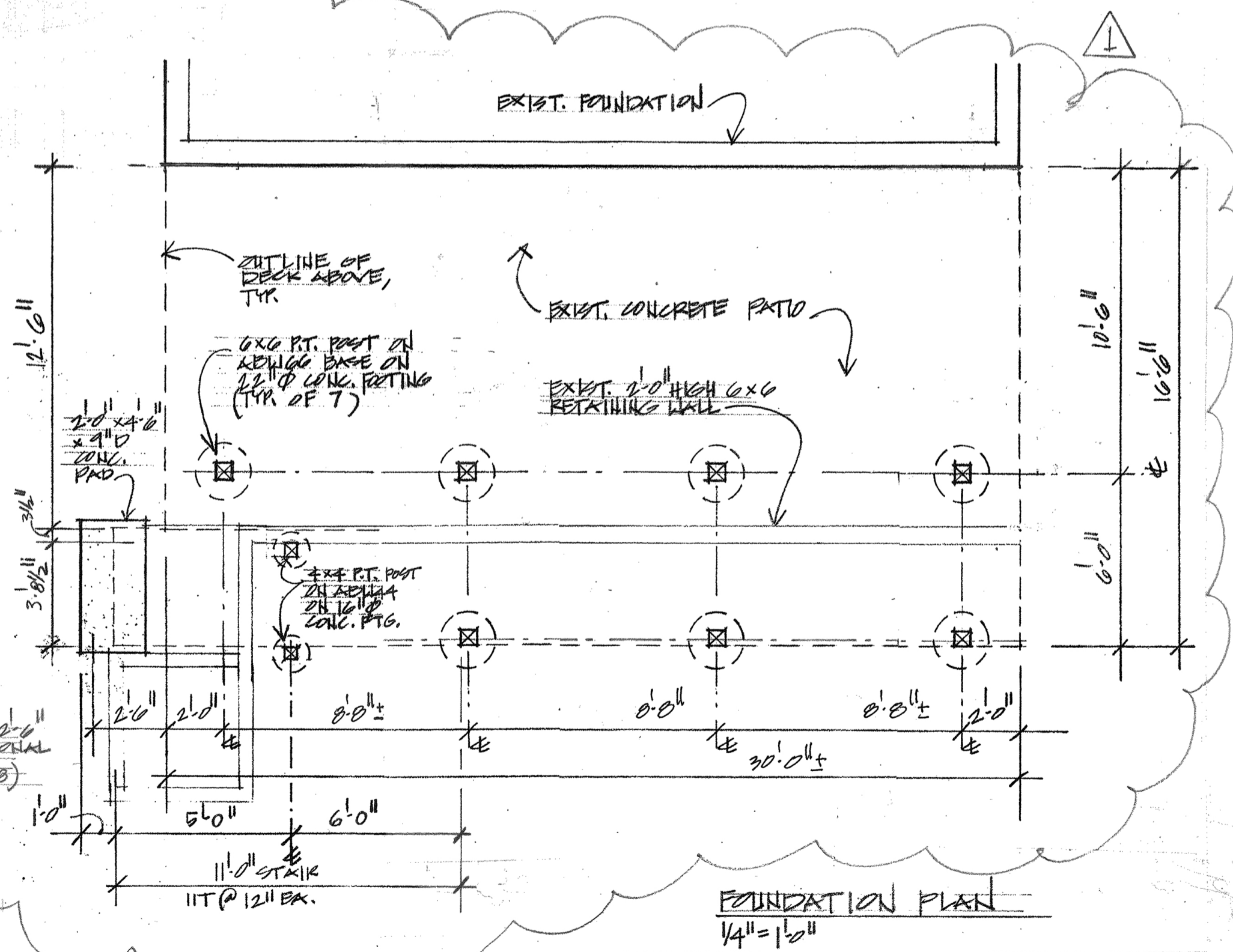
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FIRST FLOOR (DECK) FRAMING
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FOUNDATION PLAN
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