



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: February 17, 2023

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1002085: Below grade alterations, retaining walls, patio, and driveway alteration and tree removal

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the August 17, 2022 HPC meeting, with **Revisions Approved** by staff on February 17, 2023.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Lee Levin
Address: 15001 Barnesville Road, Boyds

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION

HAWP #: _____ at: _____

submitted on: _____

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by *Michelle K...* on _____. The approval memo and stamped drawings follow.

NOTES

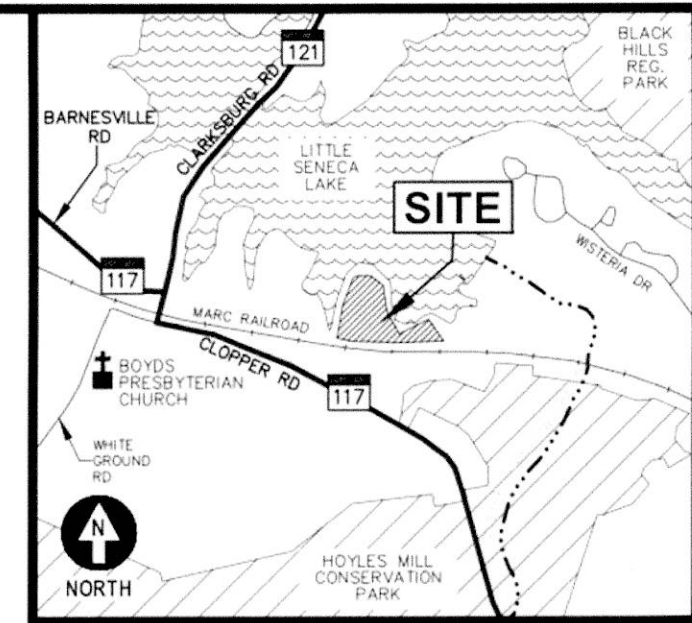
1. Boundary information based on a survey performed by CAS Engineering, dated December, 2021, without the benefit of a title report.
2. Property shown on Tax Map EU122.
3. Property shown on WSSC 200' sheet 227NW14.
4. Flood Zone "X" per F.E.M.A. Firm Maps, Community Panel No. 24031CD170D.
5. Site is located in the Seneca Creek watershed.
6. Location of septic system is approximate and based on available records from Montgomery County.

REVIEWED
By Michael Kyne at 12:05 pm, Feb 17, 2023

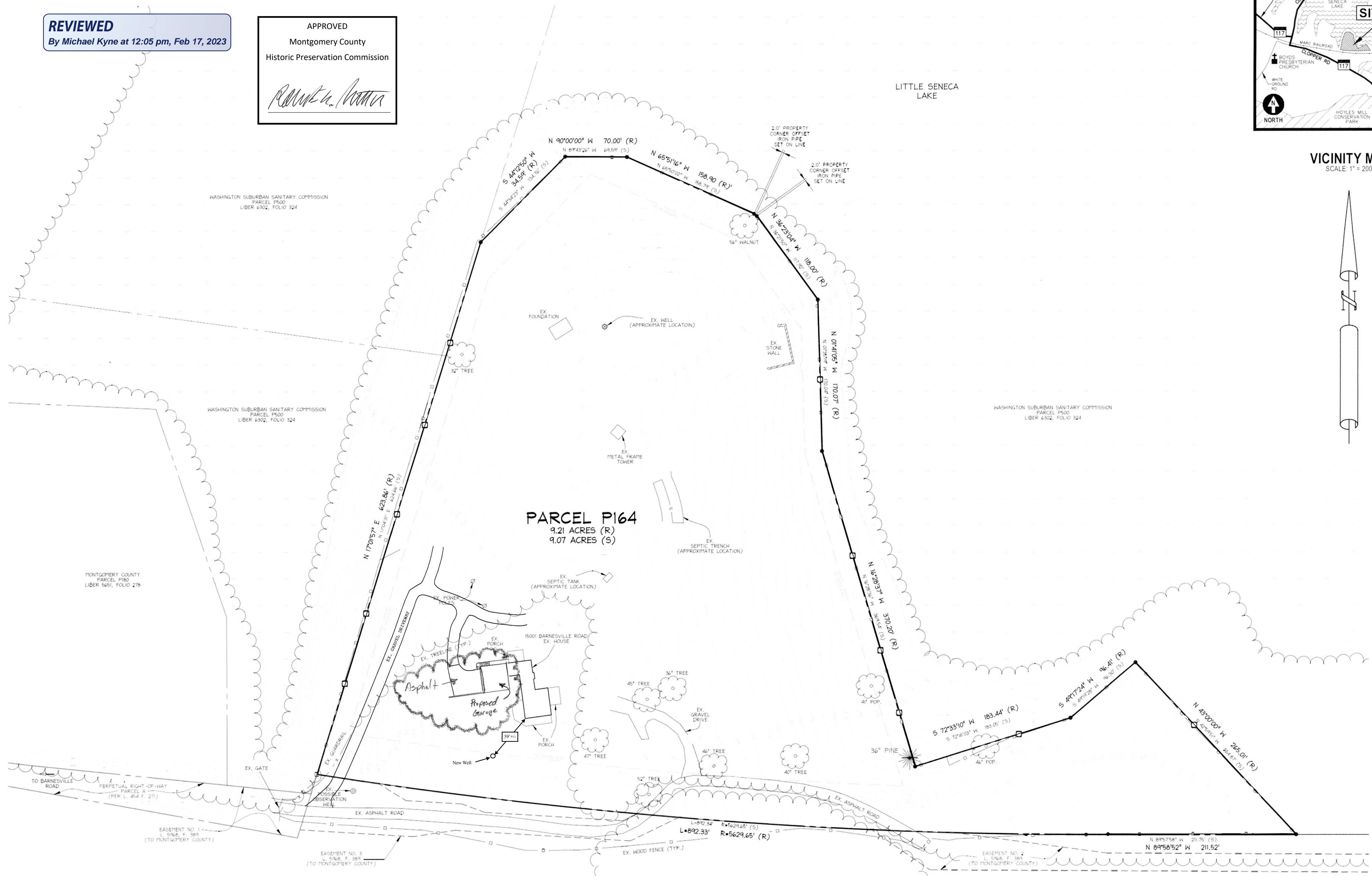
APPROVED
Montgomery County
Historic Preservation Commission
Robert A. ...

LEGEND

- PS Iron Pipe Set for Property Corner or P.O.L.
- P.O.L. Stake Set
- PF Iron Pipe Found
- MF Monument Found
- (R) As Recorded
- (S) As Surveyed



VICINITY MAP
SCALE: 1" = 2000'



BALTIMORE & OHIO RAILROAD
(CSX TRANSPORTATION, INC.)
RIGHT-OF-WAY AND TRACK MAPS V08583 AND V 08584

SURVEYOR'S CERTIFICATE

I hereby certify to the best of my professional knowledge, information and belief, that this is a survey of the lands conveyed by Paxton E. Pickrell, Personal Representative of the Estate of Beulah S. Pickrell, unto Lee M. Levin, by deed dated October 13th, 2021, recorded October 27th, 2021 in Book 644567 at Page 53, among the Land Records of Montgomery County, Maryland.

Jeffrey A. Hammond
JEFFREY A. HAMMOND
Professional Land Surveyor, Maryland Reg. No. 21515, Exp. 07/13/2023



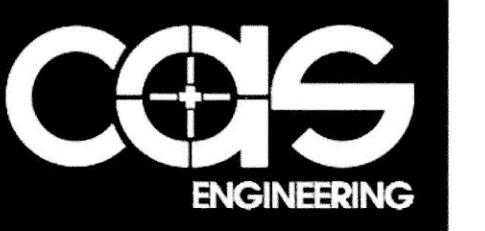
OWNER/APPLICANT

Lee Levin
100 N. Van Buren Street
Rockville, MD 20850
(301) 928-6102 Phone
leemail@gmail.com

CAS JOB NO.: 21-921
DATE: 12/2021

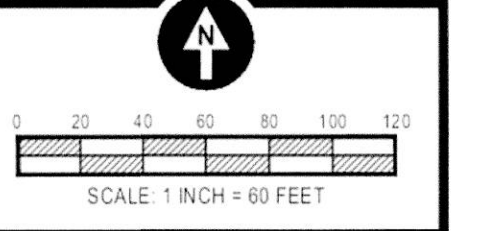
DATE	REVISION
12/30/21	PJS-Plat of Survey to Client, Builder, and Architect

Parcel 164, Friend in Need Hard Struggle
(2nd) Election District, Montgomery County, MD
15001 Barnesville Road
Boyd's, MD 20841



CAS ENGINEERING-MD
10 South Bentz Street
Frederick, Maryland 21701
301-607-8031 Phone
info@casengineering.com
www.casengineering.com

CAS ENGINEERING-DC, LLC
1001 Connecticut Avenue, NW, Suite 401
Washington, DC 20036
202-393-7200 Phone
info@cas-dc.com
www.cas-dc.com



SHEET TITLE:

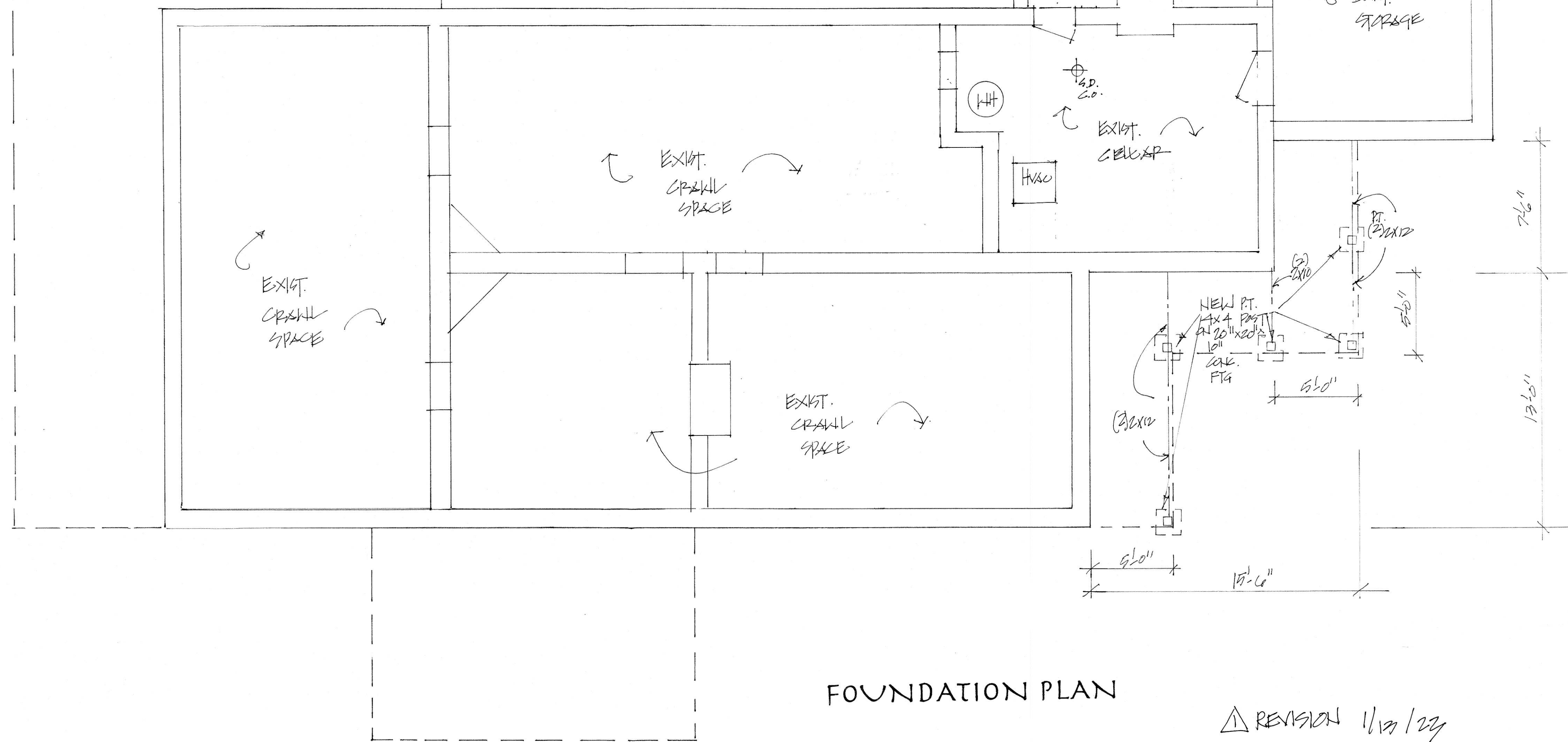
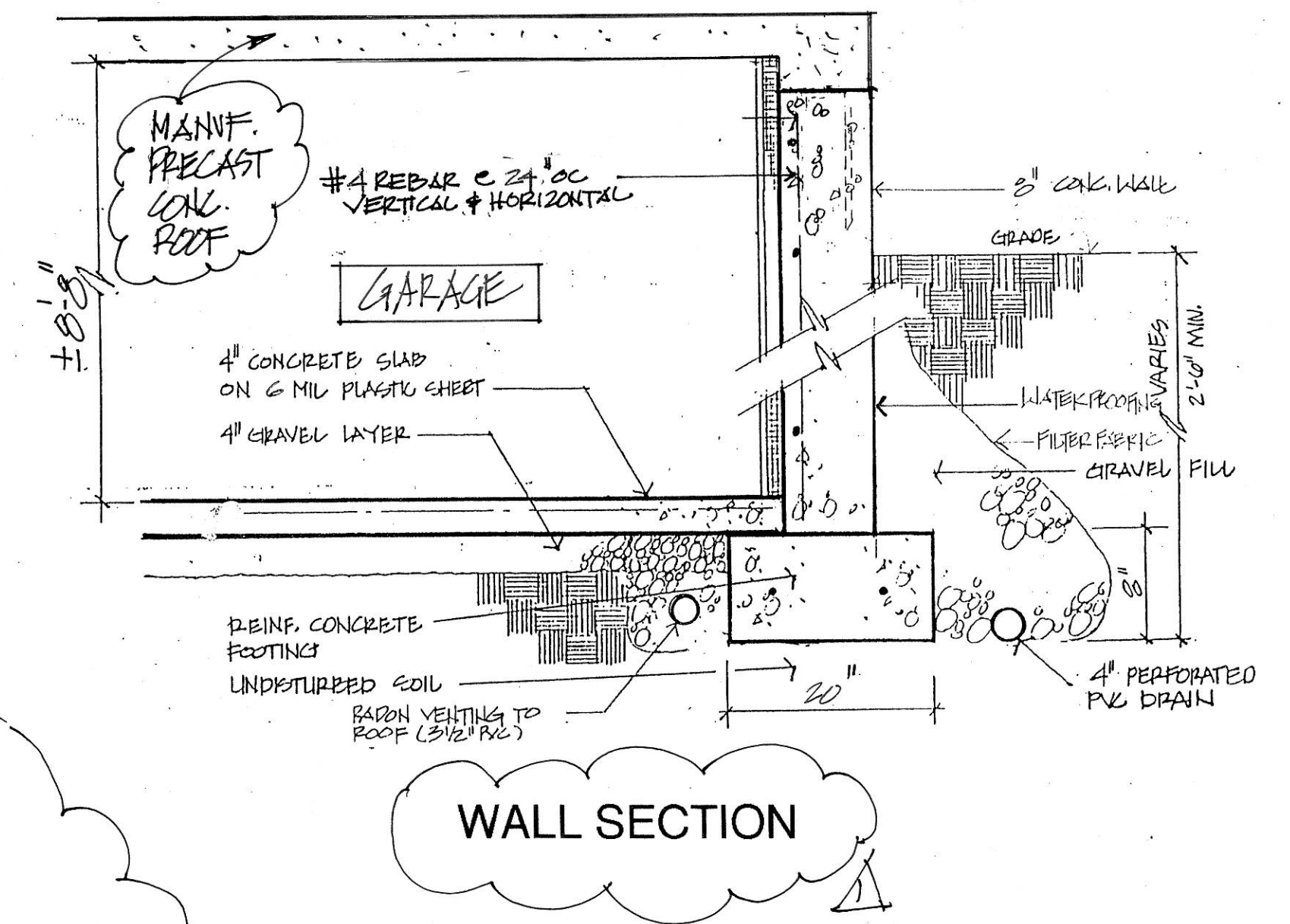
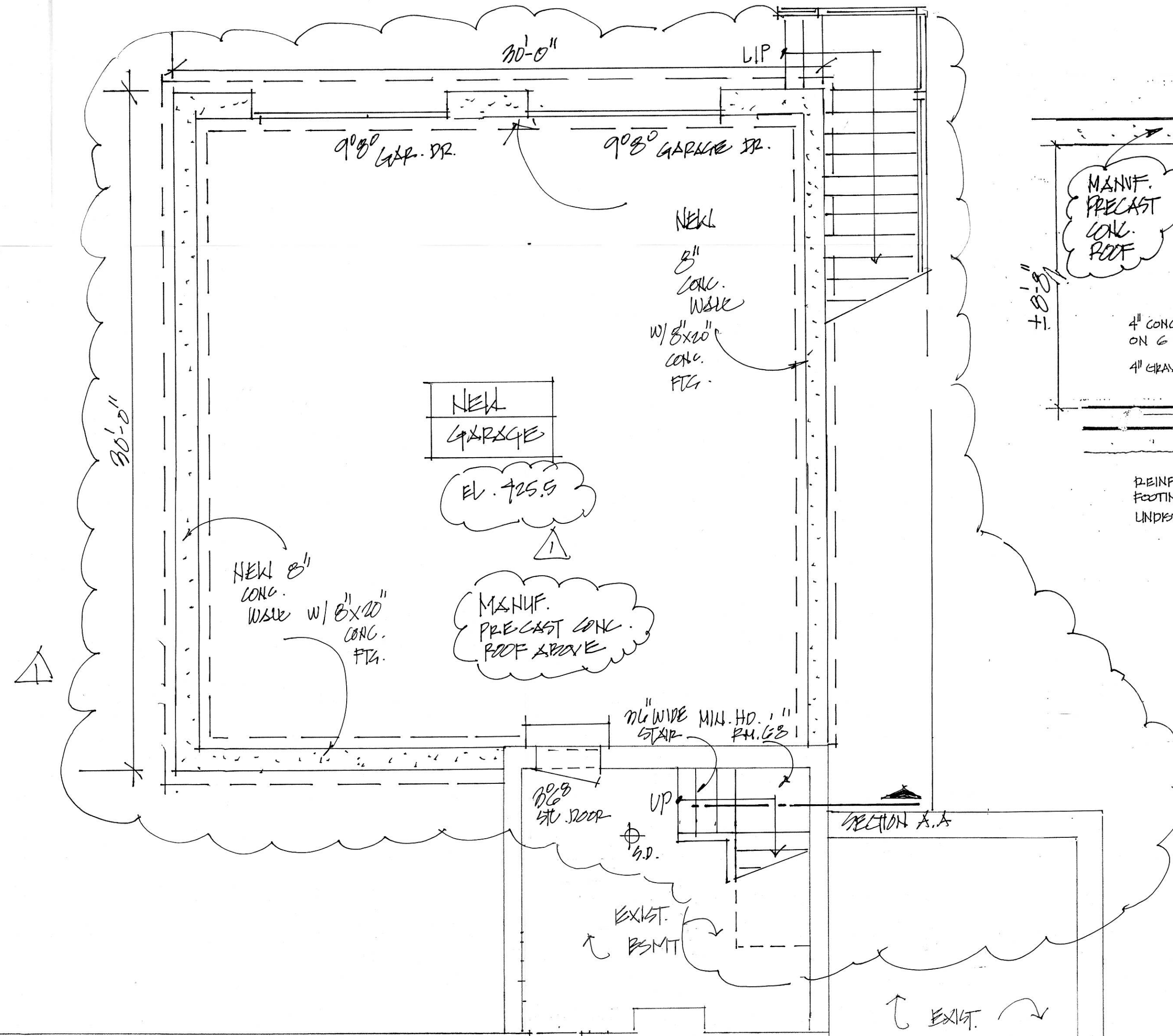
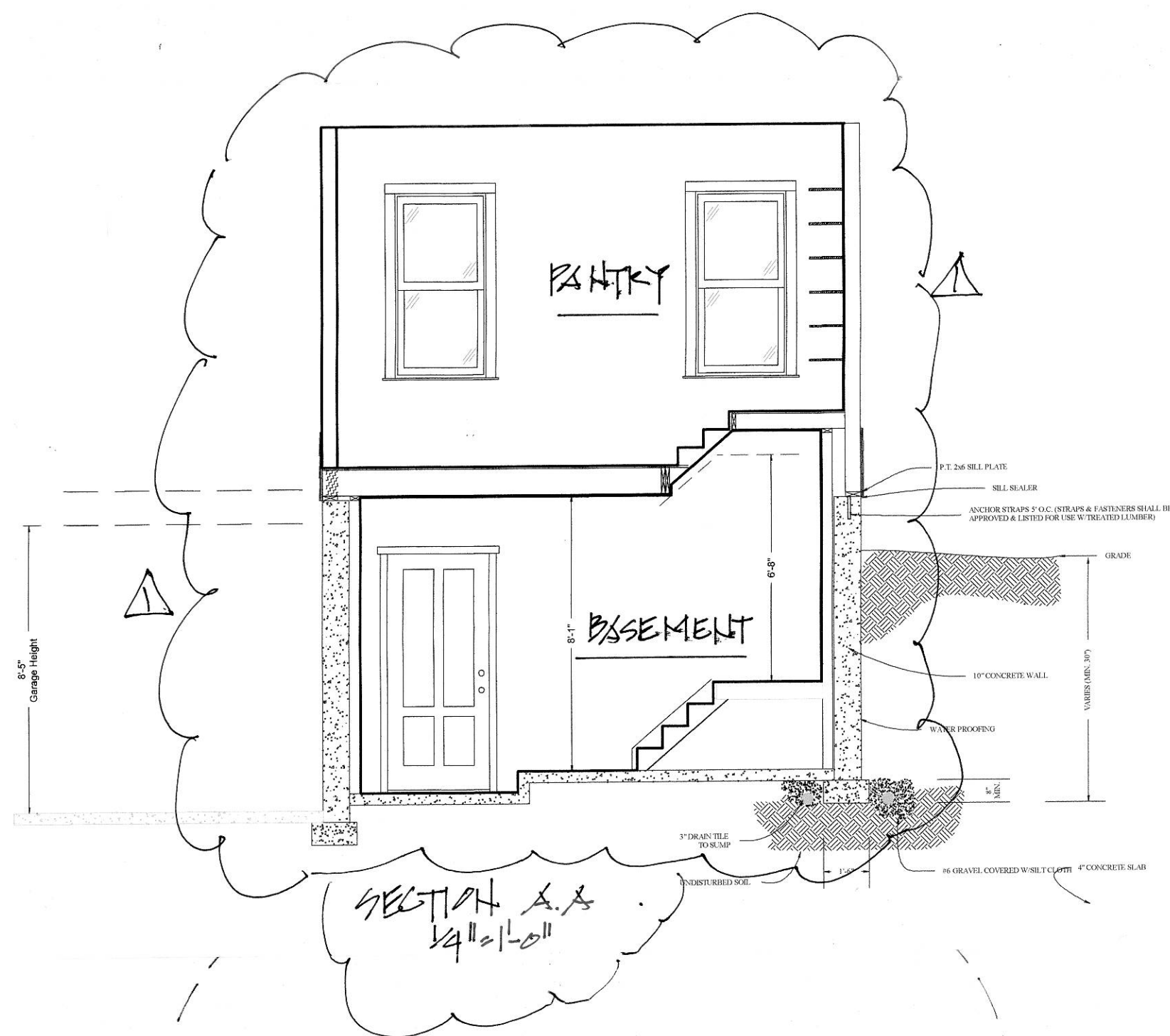
Plat of Survey

1 OF 1

15001 Barnesville Road
Parcel 164, Friend in Need Hard Struggle
Plat of Survey

REVIEWED
By Michael Kyne at 12:05 pm, Feb 17, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Ronald A. ...



FOUNDATION PLAN

1/4" = 1'-0"

REVISION 1/17/23

1.05.22

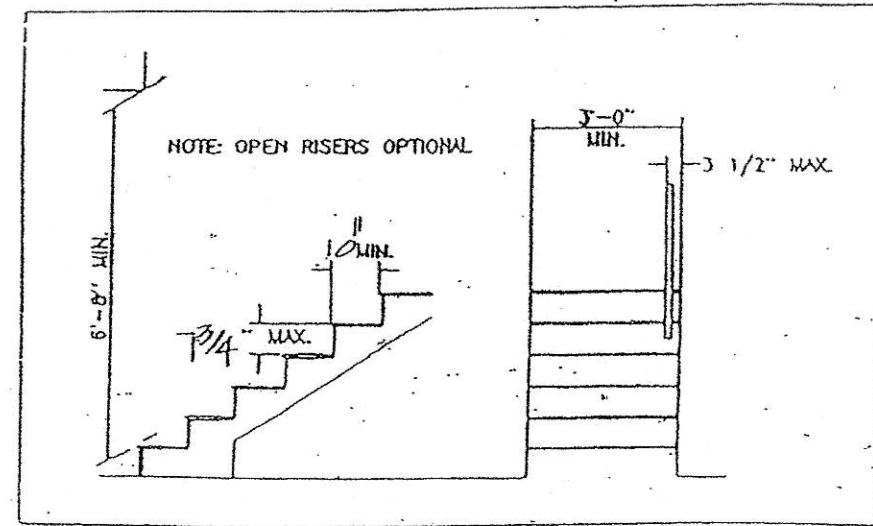


I certify that these documents were prepared or approved by me and that I am duly Licensed Architect under the laws of the State of Maryland.
License Number 7057 Exp. Date 5/5/2022

FOUNDATION PLAN

TIRTANADI ARCHITECT
15001 BARNESVILLE ROAD
BOYD, MARYLAND
CELL: 301-638-0311

HISTORIC
WINDERBORNE MANSION
15001 BARNESVILLE ROAD
BOYD, MARYLAND

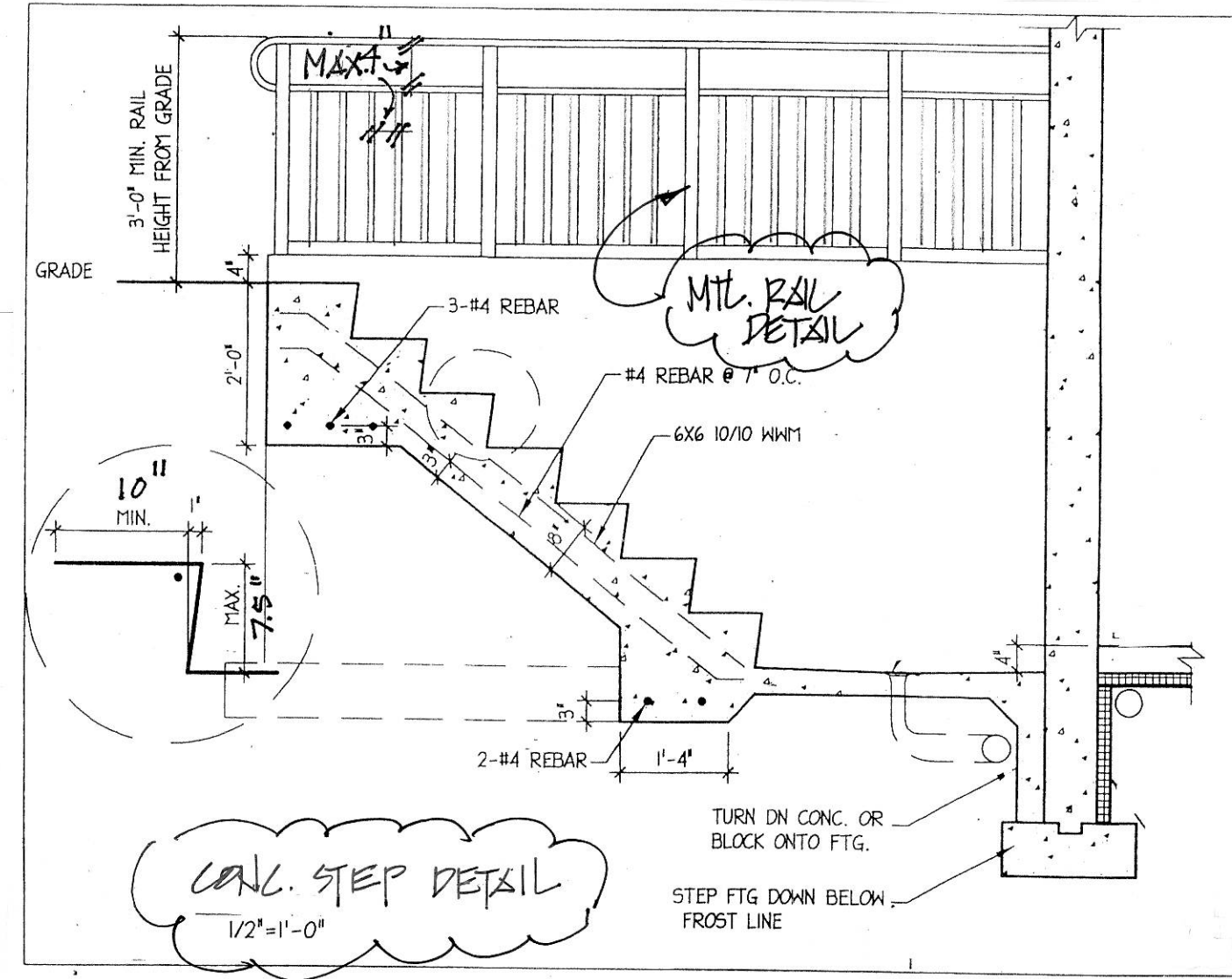


STAIR DETAIL

R311.5.6 Handrails. Handrails shall be provided on at least one side of each continuous run of treads or flight with four or more risers.

R311.5.6.1 Height. Handrail height, measured vertically from the sloped plane adjoining the tread nosing, or finish surface of ramp slope, shall be not less than 34 inches (864 mm) and not more than 38 inches (965 mm).

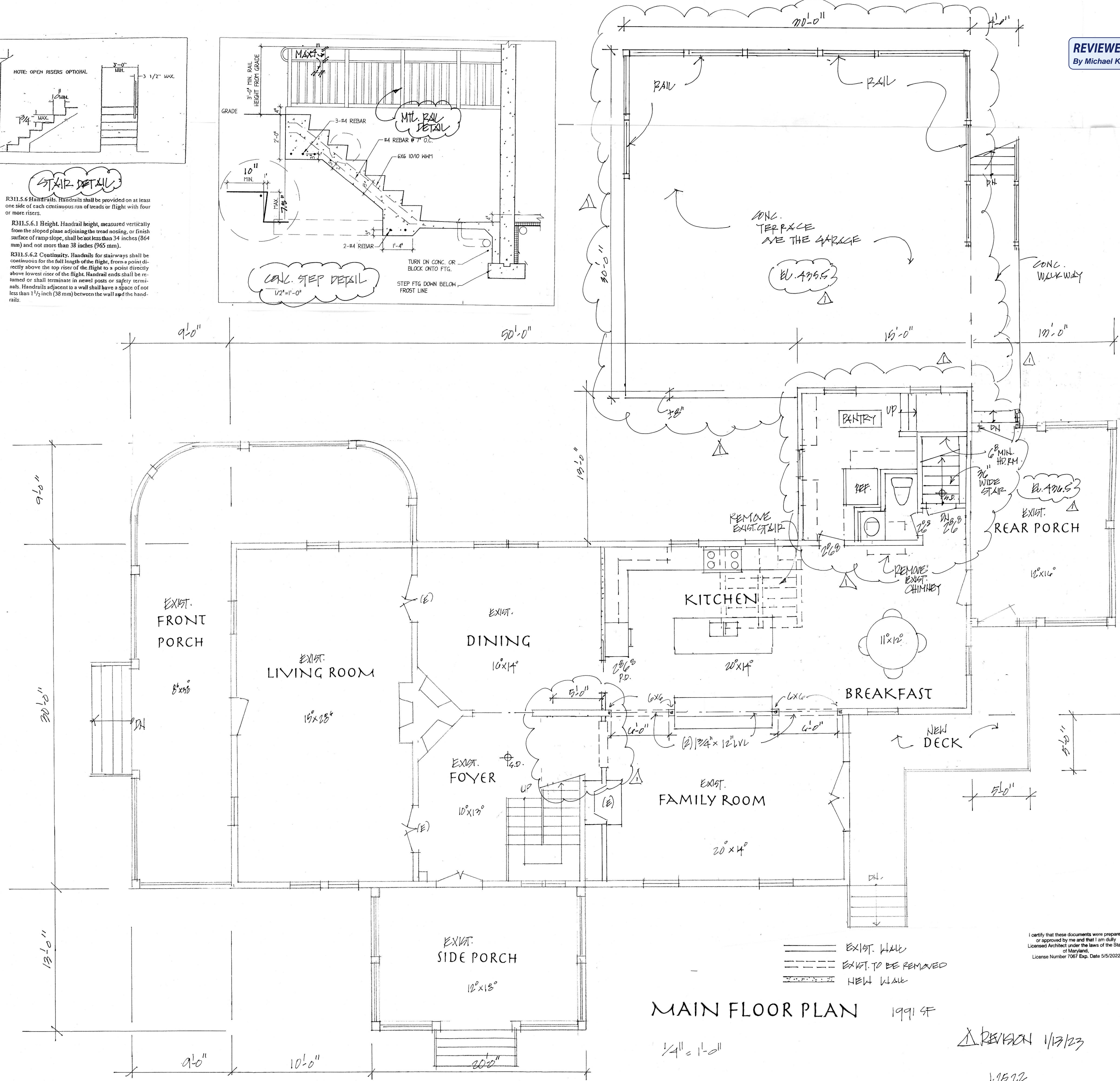
R311.5.6.2 Continuity. Handrails for stairways shall be continuous for the full length of the flight, from a point directly above the top riser of the flight to a point directly above the lowest riser of the flight. Handrail ends shall be returned or shall terminate in newel posts or safety terminals. Handrails adjacent to a wall shall have a space of not less than 1 1/2 inch (38 mm) between the wall and the handrails.



CONC. STEP DETAIL

REVIEWED
By Michael Kyne at 12:05 pm, Feb 17, 2023

APPROVED
Montgomery County
Historic Preservation Commission
R. M. ...



EXIST. WALL
EXIST. TO BE REMOVED
NEW WALL

MAIN FLOOR PLAN 1991 SF

1/4" = 1'-0"

REVISION 1/13/23

1.15.22



T. Tirtanadi

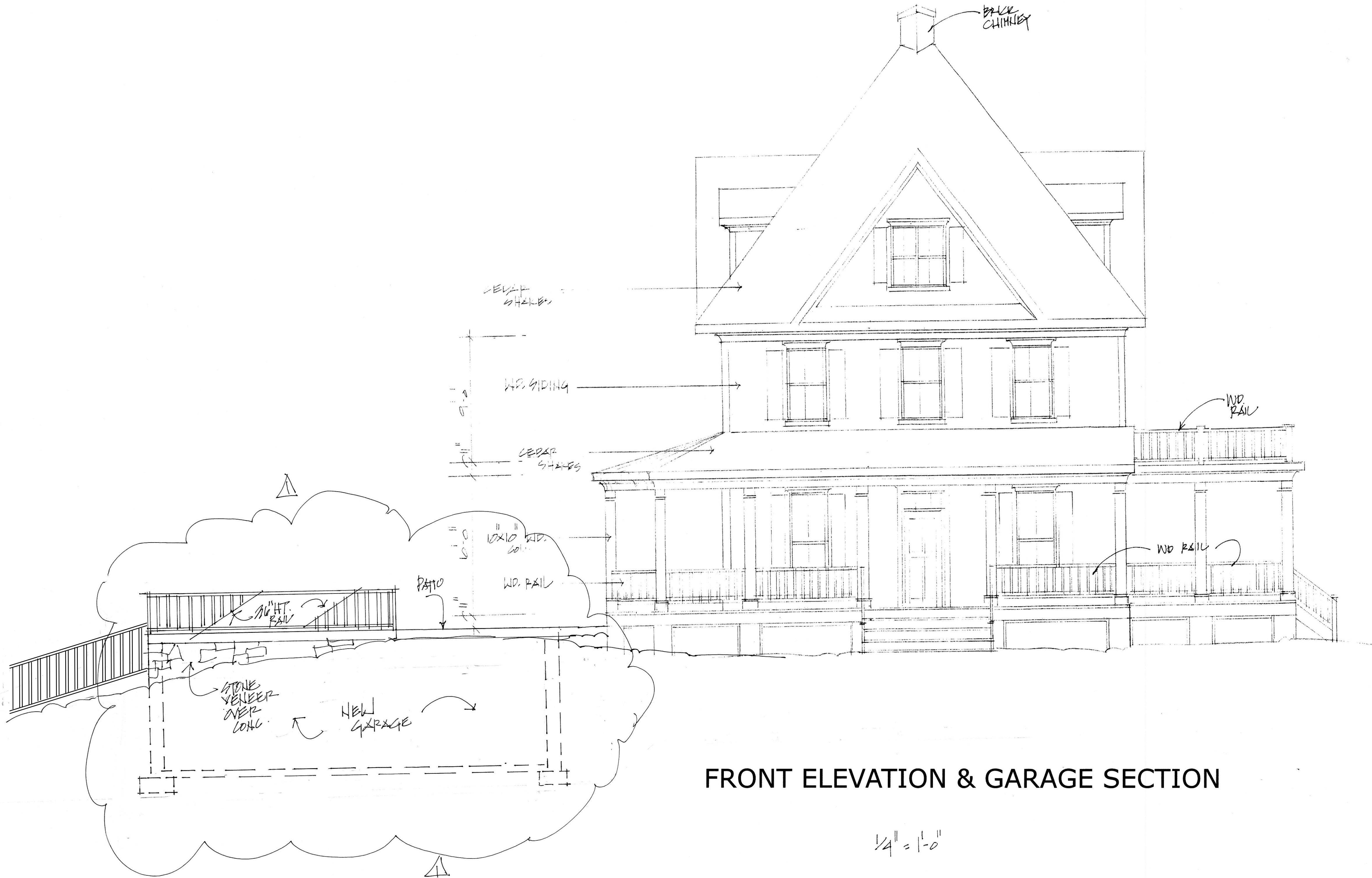
TIRTANADI ARCHITECT
1501 BARNESVILLE ROAD
BOYD, MARYLAND 20877
CELL: 301-938-0311

HISTORIC WINDERBOURNE MANSION
1501 BARNESVILLE ROAD
BOYD, MARYLAND

MAIN FLOOR PLAN

REVIEWED
By Michael Kyne at 12:05 pm, Feb 17, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert A. ...

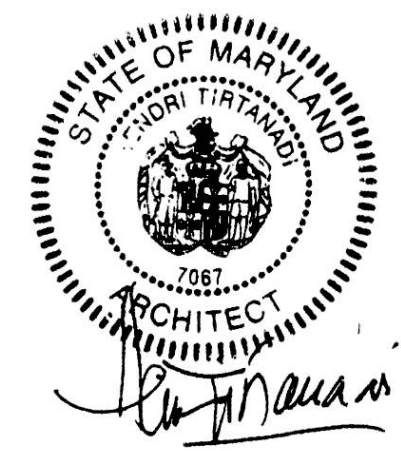


FRONT ELEVATION & GARAGE SECTION

1/4" = 1'-0"

Handwritten initials

I certify that these documents were prepared or approved by me and that I am duly Licensed Architect under the laws of the State of Maryland.
License Number 7067 Exp. Date 5/5/2022



HENRI TIRTANADI
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TIRTANADI ARCHITECT
4671 OAKMONT RD
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HISTORIC
WINDERBOURNE MANSION
15001 BARNESVILLE ROAD
BOYD, MARYLAND

REVISION 1/13/23

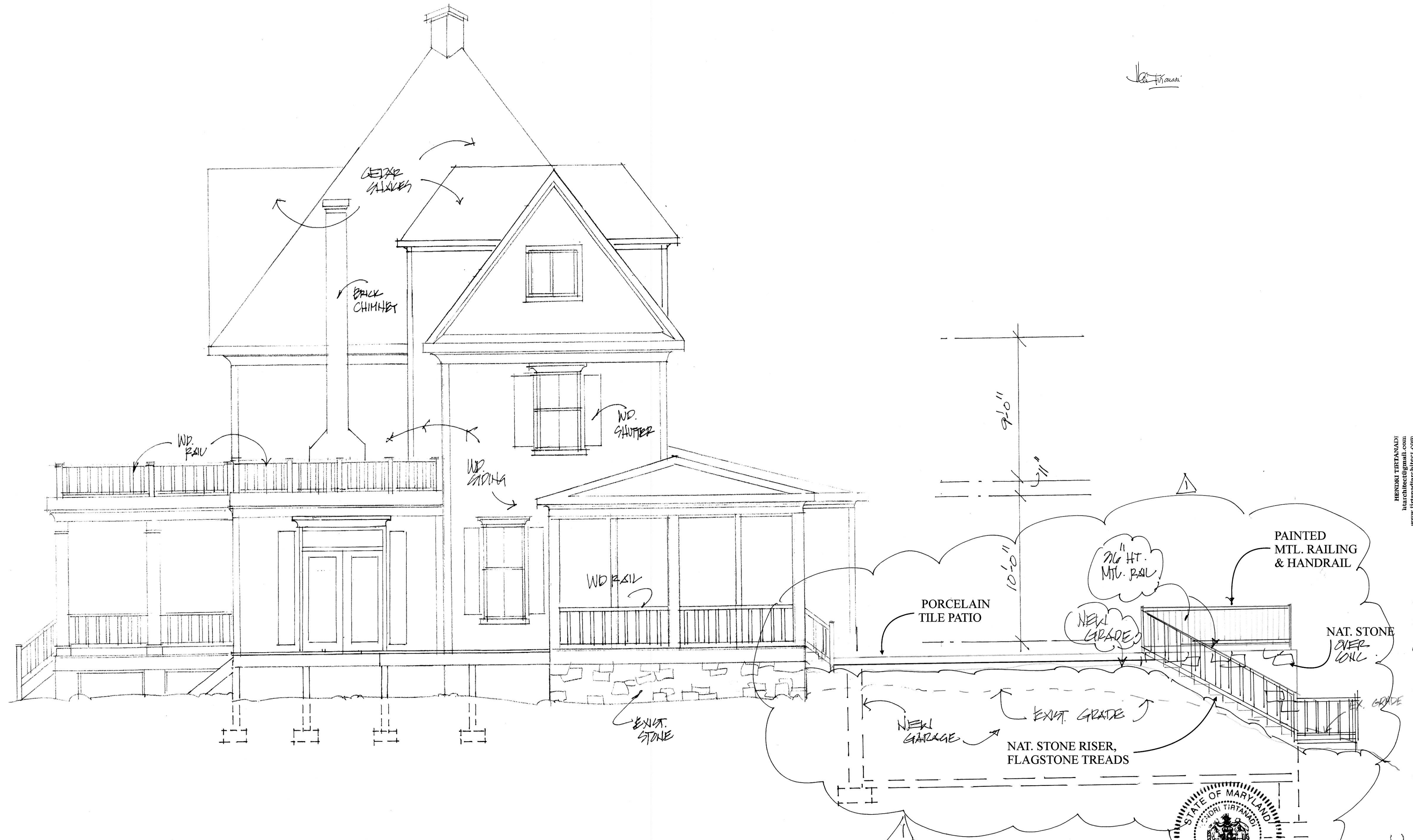
FRONT ELEVATION
GARAGE SECTION

A 7.1

1.05.22

REVIEWED
By Michael Kyne at 12:05 pm, Feb 17, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert A. ...



REAR ELEVATION

1/4" = 1'-0"

REVISION 1/13/23

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License Number 7067 Exp. Date 5/5/2022



REAR ELEVATION

HISTORIC
WINDERBOURNE MANSION
15001 BARNESVILLE ROAD
BOYD, MARYLAND

TIRTANADI ARCHITECT
9811 CALVERT ST.
GAITHERSBURG, MARYLAND 20877
CELL: 301-668-0071

REVIEWED
By Michael Kyne at 12:05 pm, Feb 17, 2023

APPROVED
Montgomery County
Historic Preservation Commission
Robert A. ...



LEFT SIDE ELEV.

1/4" = 1'-0"

REVISION 1/18/23

I certify that these documents were prepared or approved by me and that I am duly Licensed Architect under the laws of the State of Maryland.
License Number 7067 Exp. Date 5/5/2022



LEFT ELEVATION

HENRIE TIRTANADI
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BOYD, MARYLAND

1.15.22