



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: August 23, 2022

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1001471: HVAC installation

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** by historic preservation staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Andrea Batch
Address: 198 Market Street, Brookeville

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION

HAWP #: _____ at: _____
submitted on: _____
has been reviewed and determined that the proposal fits into the following category/categories:

- Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;
Installation of vents or venting pipes in locations not visible from the public right-of-way;
New gutters and downspouts;
Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;
Removal of accessory buildings that are not original to the site or non-historic construction;
Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;
Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;
Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;
Installation of storm windows or doors that are compatible with the historic resource or district;
Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;
Construction of fences that are compatible with the historic site or district in material, height, location, and design;
Fence is lower than 48" in front of rear wall plane;

- Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;
Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;
Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;
Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;
Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);
Installation of car charging stations in any location on a property or in the right-of-way;
Installation of satellite dishes;
Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.
Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;
Replacement tree required as a condition; and,
Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by [Signature] on _____. The approval memo and stamped drawings follow.



FOR STAFF ONLY:
HAWP# 1001471
DATE ASSIGNED _____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: Andrea Batch
Address: 198 Market Street
Daytime Phone: 202-907-6157

E-mail: andrea.c.batch@gmail.com
City: Brookeville Zip: 20833
Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____
Address: _____
Daytime Phone: _____

E-mail: _____
City: _____ Zip: _____
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes / District _____
 No / Individual _____
Is there a map of the easement, and documentation from the Easement Holder? Yes No

REVIEWED

By Michael Kyne at 4:56 pm, Aug 23, 2022

APPROVED
Montgomery County
Historic Preservation Commission



Are other Planning and/or Hearing Examiner Approvals /Reviews (Conditional Use, Variance, Record Plat, etc.?) If YES, include in supplemental information.

Building Number: 198 Street: Market Street
Town/City: Brookeville Nearest Cross Street: North Street
Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|---|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input checked="" type="checkbox"/> Other: <u>HVAC Condensation Fan</u> |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

7/26/2022
Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

198 Market Street, Brookeville, MD 20833 is the Mill Worker's Cottage, one of three such structures built in the 1790s by town founder Richard Thomas to attract mill hands and other skilled workers to Brookeville. Like the Miller's Cottage across the street, it is banked into the hillside to provide ground level access to the basement kitchen with access to the first floor from the top of the hill basement kitchen with access to the first floor from the top of the hill onto what was originally an open recessed porch. There was probably a mill worker living here in 1814. The building is a one story stone structure presently covered in aluminum siding except for the stone foundation, visible at the ground level entrance on the north facade. The building has 6 over 6 windows, a standing seam tin roof, and was a 19th century inn.

Description of Work Proposed: Please give an overview of the work to be undertaken:

We have just closed in the settlement of this property on July 22, 2022. We would like to install a mini-split HVAC system in the house. As a mini-split system is a ductless option, it is perhaps the least intrusive options for HVAC, and according to the historic floor restoration specialist we will be contracting, lack of climate control could interfere with restoration of the floors in the interior, especially in light of the recent heat wave. The only notable exterior element of the HVAC system---as would be the case with any type of HVAC system except for in-window units, which are ugly, face the street, and detract from the historic quality of the house---is the need for a condensation fan. We will contract with an HVAC installation specialist who has expressed an appreciation for historic properties, and who will install the fan in a discreet position on a side of the house that is not facing the street. Once the fan is installed, we will plant shrubs around it to conceal it from public view even from a side of the house not facing the street. Timeliness for approval of this application would be strongly appreciated, as we must move in during the month of August, but cannot do it before the floor restoration is complete, and beyond the floor restoration we are worried for our health and safety if we are forced to move in without proper climate control, as we would be risking heat stroke if another heat wave hits during the coming month.

REVIEWED

By Michael Kyne at 4:56 pm, Aug 23, 2022

APPROVED

Montgomery County

Historic Preservation Commission



Work Item 1: Mini-split HVAC (condensation fan on exterior)

Description of Current Condition: There is currently no HVAC system installed at 198 Market Street. There is one in-window AC unit in a window facing the street.

Proposed Work: We will install a min-split HVAC system with the condensation fan in a discreet position on a side of the house that is not facing the street. Once the fan is installed, we will plant shrubs around it to conceal it from public view even from a side of the house not facing the street. We will, at this point, remove the unsightly in-window AC unit that is currently in the window on a side of the house facing the street.

Work Item 2: _____

Description of Current Condition:

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By Michael Kyne at 4:56 pm, Aug 23, 2022

Proposed Work:

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Historic Preservation Commission


Work Item 3: _____

Description of Current Condition:

Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/Parking Area	*	*		*	*	*	*
Grading/Excavation/Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

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By Michael Kyne at 4:56 pm, Aug 23, 2022

APPROVED
Montgomery County
Historic Preservation Commission





DEPARTMENT OF PERMITTING SERVICES

Marc Elrich
County Executive

Mitra Pedoeem
Director

HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 7/26/2022

Application No: 1001471
AP Type: HISTORIC
Customer No: 1442366

Comments

It has been extremely hot during the heat wave and we are worried about damage to the house resulting from a lack of climate control. We are restoring the floors on the interior and the heat interferes with restoration. We must move in during August, but cannot until HVAC and floor work is complete.

Affidavit Acknowledgement

The Homeowner is the Primary applicant
This application does not violate any covenants and deed restrictions

Primary Applicant Information

Address 198 Market ST
Brookeville, MD 20833-2522
Homeowner Batch (Primary)

Historic Area Work Permit Details

Work Type ADD
Scope We would like to install a mini-split HVAC system in our house. This would require installing a small condensation fan on the exterior, which we would of Work have placed on a side of the house not facing the street. We will camouflage the condensation fan with shrubs.

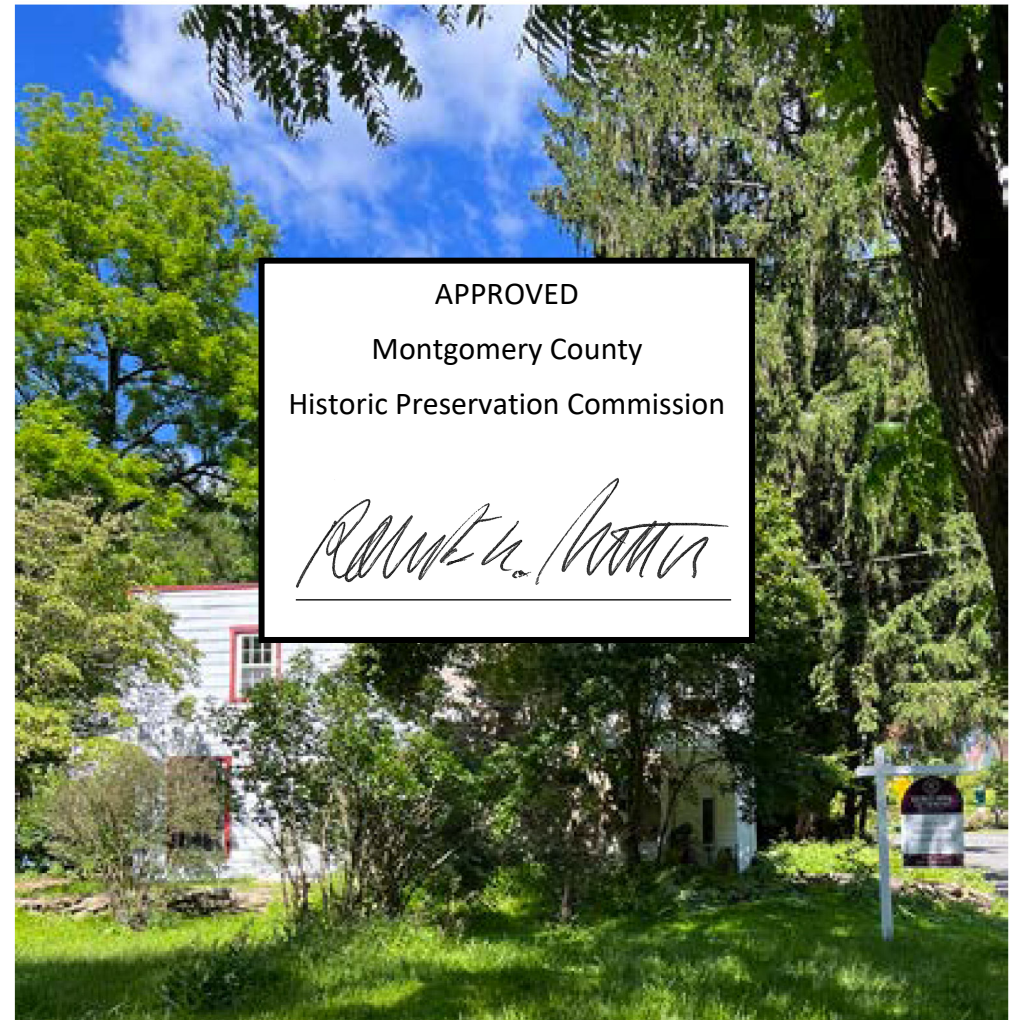
REVIEWED
By Michael Kyne at 4:56 pm, Aug 23, 2022

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Montgomery County
Historic Preservation Commission


View:
Front of house
(no work will be done here)



View:
Side of house where
mini split pipes are proposed





Side of house plan
(Pipes will be white to match the house exterior, and will be covered with a slim duct covering, also white. They will be behind the large chimney here, and not visible from the front of the house. Mockup lines drawn in yellow for visibility.)



APPROVED
Montgomery County
Historic Preservation Commission
Robert H. [Signature]

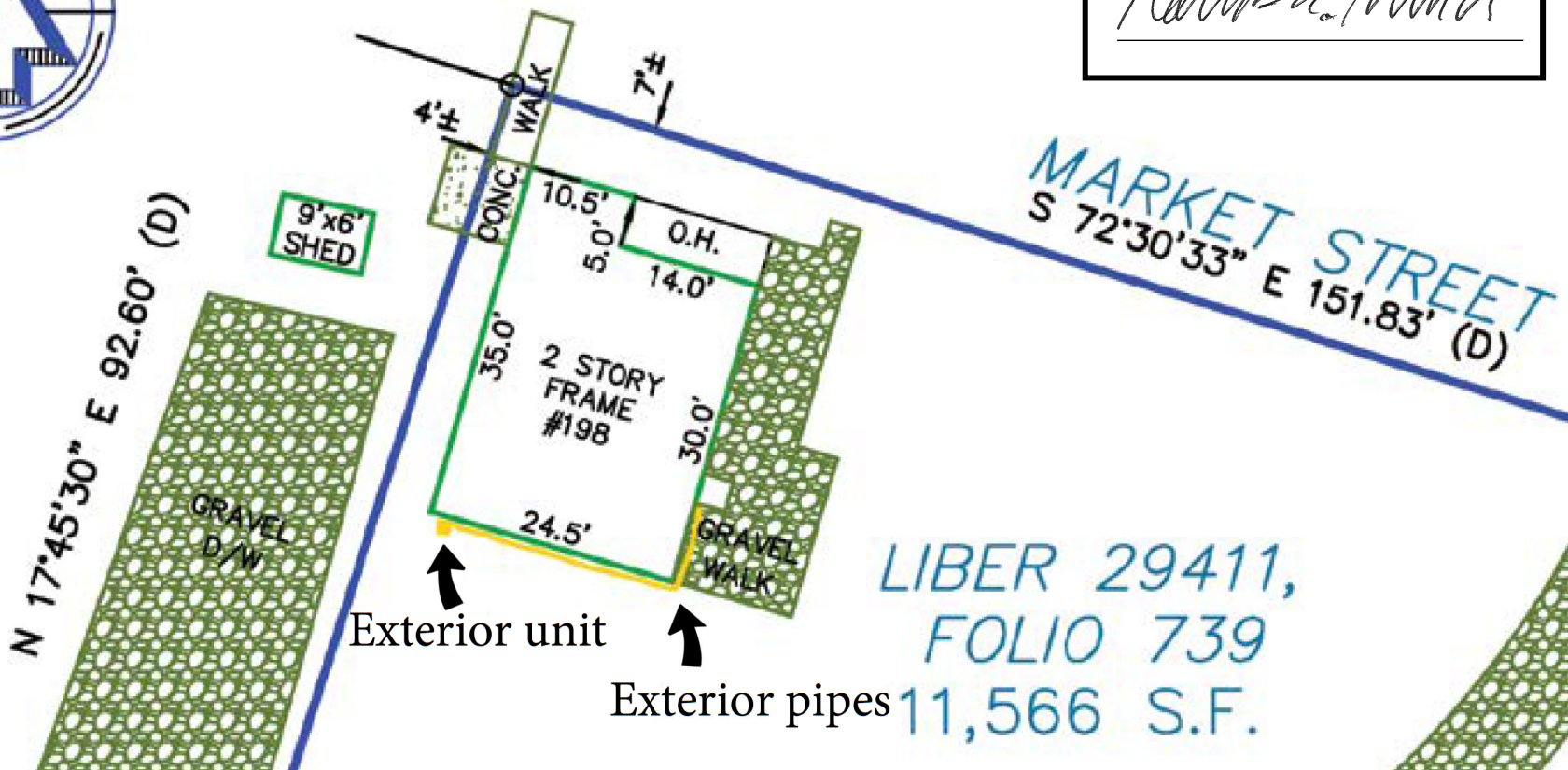
Back of house plan →
(X marks the exterior unit. It is hidden on the left side by a small stone wall, and can be covered on the front and right sides by a small stone wall or shrubbery - we are open to advising.)



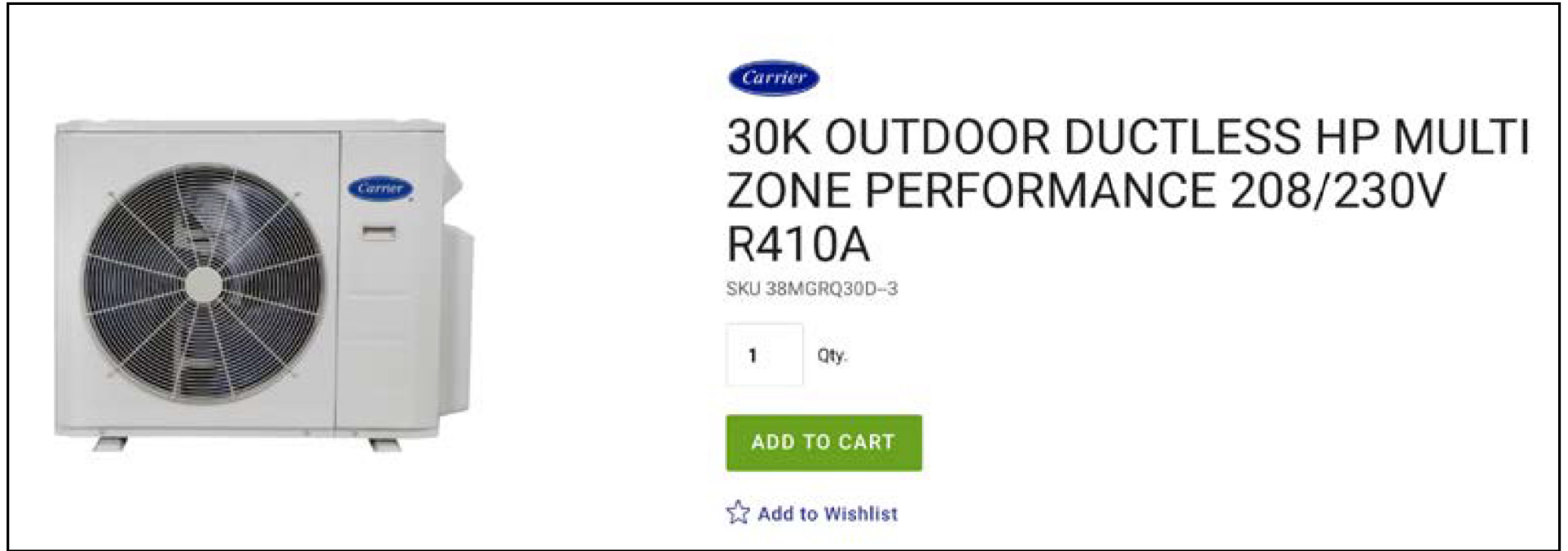


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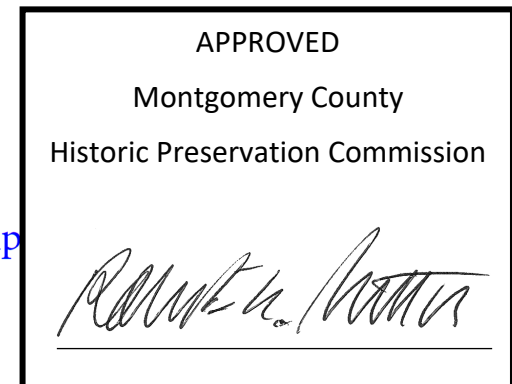
APPROVED
Montgomery County
Historic Preservation Commission
Ronald A. ...



Detail from boundary survey of the house where work is proposed to be done. Work area is highlighted in yellow.



Exterior unit
(Length: 15.2 inches,
Width: 37.24 inches,
Height: 31.89 inches)



REVIEWED

By Michael Kyne at 4:56 pm, Aug 23, 2022

link: <https://www.dcrne.com/product/carrier-2-5-tons-23-8-seer-ductless-heat-pump>