



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: August 19, 2022

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1004238 - Screened-In Porch

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the August 17, 2022 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Alfred Pknkney
Address: 7307 Willow Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



GENERAL NOTES:

- 1) ALL WORK SHALL BE PERFORMED IN A WORKMANLIKE MANNER AND IN ACCORDANCE WITH LOCAL BUILDING AND ZONING CODES. CONTRACTOR SHALL NOTIFY ARCHITECT SHOULD ANY VIOLATIONS APPEAR WITHIN THE INTENT OF THE DRAWINGS.
- 2) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL LICENSING, PERMITTING, AND INSPECTION FEES RELATED TO THE FULL COMPLETION OF THE PROJECT. PROVIDE OWNER WITH COPIES OF ALL APPROVED INSPECTIONS AND CERTIFICATIONS OF OCCUPANCY UPON COMPLETION OF THE PROJECT. CONTRACTOR SHALL PROVIDE OWNER WITH RELEASE OF LIENS FROM ALL SUBCONTRACTORS AT APPLICATION FOR FINAL PAYMENT.
- 3) CONTRACTOR SHALL BE LICENSED IN THE STATE OF MARYLAND AND SHALL PROVIDE THE OWNER WITH A COPY OF CURRENT INSURANCE FOR GENERAL LIABILITY. CONTRACTOR SHALL MAINTAIN LICENSE AND INSURANCE IN GOOD STANDING FOR THE DURATION OF THE PROJECT. ALL SUBCONTRACTORS SHALL ALSO BE LICENSED AND INSURED FOR GENERAL LIABILITY IN THEIR APPROPRIATE DISCIPLINES.
- 4) BEFORE SUBMITTING A PRICE PROPOSAL FOR THIS WORK, THE CONTRACTOR AND SUBCONTRACTORS SHALL CAREFULLY EXAMINE THE CONTRACT DOCUMENTS AND BECOME ACQUAINTED WITH THE SITE, ALL GOVERNING CODES, ORDINANCES, AND CONDITIONS OF THE WORK. NO EXTRAS WILL BE ALLOWED DUE TO FAILURE TO UNDERSTAND THE CONDITIONS INVOLVED.
- 5) ITEMS NOT TO BE INCLUDED IN THE CONTRACT ARE NOTES AS "N.I.C." (NOT IN CONTRACT). ALL OTHER ITEMS SHALL BE INCLUDED IN THE PROJECT PRICE.
- 6) ALTERNATE PRICING/ALLOWANCES FOR ITEMS NOT YET IDENTIFIED SHALL BE CONVEYED TO THE CONTRACTOR IN ORDER TO ADJUST THE BID AS REQUIRED.
- 7) CONTRACTOR SHALL COORDINATE THE WORK OF ALL TRADES, INCLUDING THOSE ITEMS WHICH ARE N.I.C. VERIFY LOCATIONS OF UTILITIES AND EXISTING CONDITIONS. NOTIFY THE OWNER OR ARCHITECT OF CONDITIONS DIFFERING FROM THOSE INDICATED IN THE DRAWINGS.
- 8) CONTRACTOR SHALL IDENTIFY AND BE RESPONSIBLE FOR ALL EXISTING FIELD MEASUREMENTS. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ARCHITECT'S ATTENTION IMMEDIATELY. NO CHANGES OR SUBSTITUTIONS SHALL BE MADE UNLESS APPROVED BY THE ARCHITECT. DO NOT SCALE DRAWINGS. DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- 9) THE CONTRACTOR SHALL REPORT ANY DISCREPANCIES IN PLANS AND DETAILS TO THE ARCHITECT OR OWNER AT ONCE. IN THE ABSENCE OF THE ARCHITECT, INTERPRETATION OF THE CONTRACT DOCUMENTS SHALL BE BY THE OWNER.
- 10) CALL "MISS UTILITY" BEFORE DIGGING. CONTRACTOR SHALL NOTIFY OPERATOR WHO MAINTAINS UNDERGROUND UTILITY LINES IN THE AREA OF THE PROPOSED EXCAVATION TO MARK UTILITY LOCATION PRIOR TO COMMENCEMENT OF EXCAVATION OR DEMOLITION.
- 11) THE CONTRACTOR SHALL BE RESPONSIBLE FOR CARTING AWAY ALL DEBRIS AND SHALL LEAVE THE SITE FREE AND CLEAR OF ALL CONSTRUCTION MATERIALS.
- 12) CONTRACTOR SHALL BE RESPONSIBLE FOR HOUSEHOLD PEST AND RODENT CONTROL THROUGHOUT THE DURATION OF THE PROJECT.
- 13) SITE PLAN INFORMATION WAS TAKEN FROM EXISTING PLAT HELD BY THE OWNER.
- 14) THE DRAWINGS GENERAL PROVISIONS FOR DRAINING RAINWATER FROM THE SITE AND ROOF. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ROOF DRAINAGE AND FINAL GRADING, INCLUDING PAVEMENT AND LAWN AREAS SO THAT WATER EITHER RUNS AWAY FROM STRUCTURES NATURALLY OR IS PIPED TO DAYLIGHT OR STORM DRAINAGE.
- 15) ALL STRUCTURES AND MATERIALS SCHEDULED FOR DEMOLITION SHALL BE REMOVED FROM THE SITE IN THEIR ENTIRETY. ANY DAMAGED CAUSED TO EXISTING MATERIALS AND STRUCTURES SHALL BE CORRECTED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ADEQUATE SUPPORT FOR ANY PARTS OF THE BUILDING WHERE STRUCTURAL MEMBERS ARE SCHEDULED TO BE REPLACED. COORDINATE ALL DEMOLITION WITH NEW WORK.
- 16) DEMOLITION OR EXCAVATION MAY REVEAL CONDITIONS OTHER THAN THOSE ASSUMED ON THE CONSTRUCTION DOCUMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO NOTIFY THE ARCHITECT OR OWNER AT ONCE IF THAT OCCURS.
- 17) WHERE EXISTING OPENING ARE SCHEDULED TO BE REMOVED, THE STRUCTURAL AND WEATHER-RESISTANT INTEGRITY SHALL BE RESTORED. BOTH EXTERIOR AND INTERIOR FINISHED SURFACES SHALL BE RESTORED TO MATCH EXISTING.
- 18) ALL DIMENSIONS ON PLANS SHALL BE TAKEN TO FRAMING MEMBERS UNLESS NOTED OTHERWISE. WHERE NEW WORK ADJUTS TO EXISTING CONSTRUCTION, DIMENSIONS SHOWN SHALL BE TAKEN FROM EXISTING FINISHED SURFACE TO NEW FRAMING.
- 19) CONTRACTOR SHALL NOTIFY ARCHITECT TO VERIFY WALL PLACEMENT IN CRITICAL AREAS WHEN CHALK LINE LAYOUT HAS BEEN COMPLETED.
- 20) ARCHITECT'S USE OF "MATCH EXISTING" SHALL MEAN MATCH EXISTING AS CLOSELY AS POSSIBLE USING COMMONLY AVAILABLE MATERIALS IN ACCORDANCE WITH THE INTENT OF THE DRAWINGS.
- 21) PROVIDE SOLID BLOCKING FOR ALL FIXTURES TO BE SECURED TO WALLS AS REQUIRED.
- 22) THE PLUMBING AND ELECTRICAL DRAWINGS ARE SCHEMATIC AND INDICATE THE SYSTEMS TO BE USED. ALL NECESSARY EQUIPMENT AND ACCESSORIES SHALL BE PROVIDED TO FULFILL THE INTENT OF THE DRAWINGS.
- 23) CONTRACTOR SHALL BE RESPONSIBLE FOR THE MODIFICATION OF EXISTING HVAC AS REQUIRED FOR NEW CONSTRUCTION AND FOR DESIGN OF NEW SYSTEM. CONTRACTOR TO COORDINATE ALL HVAC AND PLUMBING ROUTING THROUGH CONCEALED SPACES.
- 24) SELECTIONS OF FINISHES INCLUDING PAINT FINISHES PAINT COLOR SHALL BE BY THE ARCHITECT OR OWNER. INSTALLATION SHALL BE BY CONTRACTOR.
- 25) CONTRACTOR SHALL FURNISH OWNER WITH APPLICABLE MAINTENANCE AND WARRANTY INFORMATION FOR ALL EQUIPMENT, APPLIANCES, FIXTURES, AND MATERIALS INSTALLED DURING CONSTRUCTION.

The above drawings and specifications, and the ideas, designs and arrangements represented thereby are and shall remain the property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person for any purpose other than for the specific project for which they have been prepared and developed without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence and acceptance of these restrictions.

Written dimensions on these drawings shall have precedence over scaled dimensions. Contractors shall verify, and be responsible for, all dimensions and conditions on the job and this office must be notified on any variations from the dimensions and conditions shown by these drawings. Shop details must be submitted to this office for approval before proceeding with fabrication.

SCREEN PORCH ADDITION TO THE PINKNEY-SOMMERS RESIDENCE

7307 WILLOW AVENUE
TAKOMA PARK, MD 20912



OWNER
PAM SOMMERS & FRED PINKNEY
7307 WILLOW AVENUE
TAKOMA PARK, MD 20912
301.233.8558

CONTRACTOR
JUST GENERAL CONTRACTORS
1208 15TH AVENUE
TAKOMA PARK, MD 20912
202.215.8224
MHIC #142794
EXP. 03/05.2025

SCOPE OF WORK:

SCREENED PORCH ADDITION OVER EXISTING DECK

DRAWING LIST

- C001 COVER SHEET
- G001 PLAT / SITE PLAN
- G002 SCOPE OF WORK AND SPECIFICATIONS
- D001 DEMOLITION PLAN & ELEVATIONS
- A001 FOUNDATION & DECK FRAMING PLAN
- A002 PARTIAL FIRST FLOOR & ROOF FRAMING PLAN
- A003 ROOF FRAMING PLAN / STRUCTURAL NOTES
- A004 ROOF PLAN AND BUILDING SECTION DETAILS
- A005 EXTERIOR ELEVATIONS & RC / LIGHTING PLAN

ARCHITECT
WILETS ARCHITECTURE, LLC
8009 HAMILTON SPRING ROAD
BETHESDA, MD 20817
301.980.4823 - SCOTT WILETS, AIA

STRUCTURAL ENGINEER
NEUBAUER CONSULTING ENGINEERS
4701 SANGAMORE ROAD, SUITE N290
BETHESDA, MD 20816
301.263.2727
MD License No. XXXXX, Expiration Date: XX/XX/XX

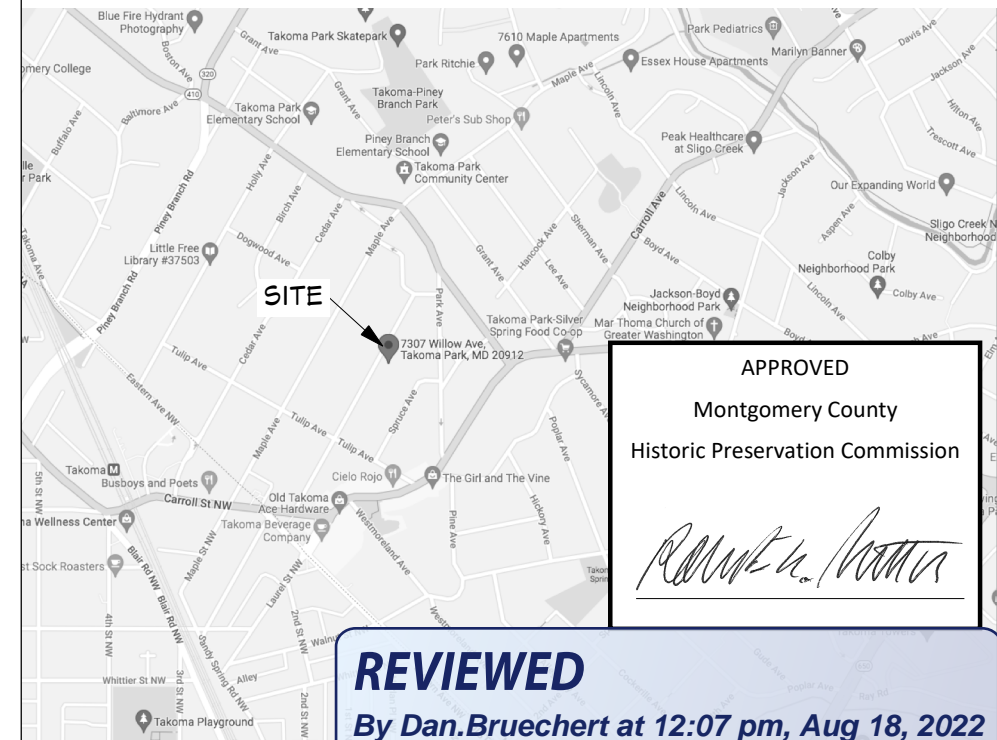
WILETS ARCHITECTURE
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EXISTING
03-11-2022
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SYMBOLS

	FINISH SIDING		FINISH INTERIOR
	SHEATHING & SUBFLOOR		FINISH FLOOR & TRIM
	EXPANSION JOINT		PLYWOOD
	METAL ANCHORS & TIES		FRAMING MEMBER
	RIGID INSULATION		FRAMING CUT END
	CMU		BATT INSULATION
	BRICK		WIRE MESH
	CONCRETE		MEMBRANE/VAPOR BARRIER
	SAND		WEEP HOLE
	GRAVEL		FLASHING
			EARTH

VICINITY MAP



PINKNEY-SOMMERS PORCH
7307 WILLOW AVENUE
TAKOMA PARK, MD 20912

COVER SHEET

C001

STORAGE
28'-6" X 22'-9"

CRAWLSPACE
13'-2" X 17'-11"

EXISTING FRAMING
AND CONCRETE
PIERS TO REMAIN

MAINTAIN EXISTING
THROUGH-BOLTED
P.T. LEDGER-V.I.F.

E1
Elevation 1

DN

UP

S1
Cross Section 1

GARAGE
17'-6" X 11'-7"

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED

By Dan.Bruechert at 12:07 pm, Aug 18, 2022

1
D01 EXISTING DECK FRAMING PLAN
SCALE: 3/16" = 1'-0"



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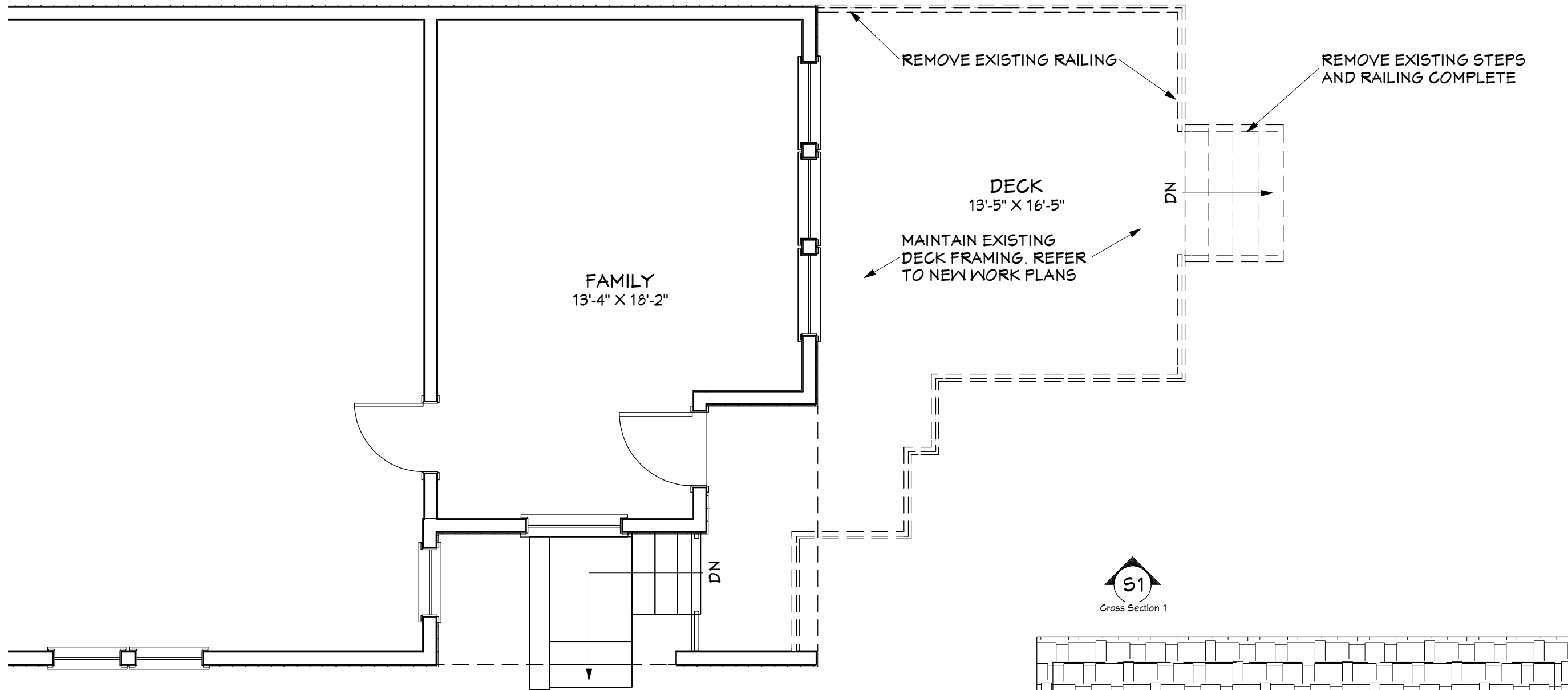
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PINKNEY-SOMMERS PORCH

7307 WILLOW AVENUE
TAKOMA PARK, MD 20912

FOUNDATION/
FRAMING PLAN

D001



E1
Elevation 1

S1
Cross Section 1

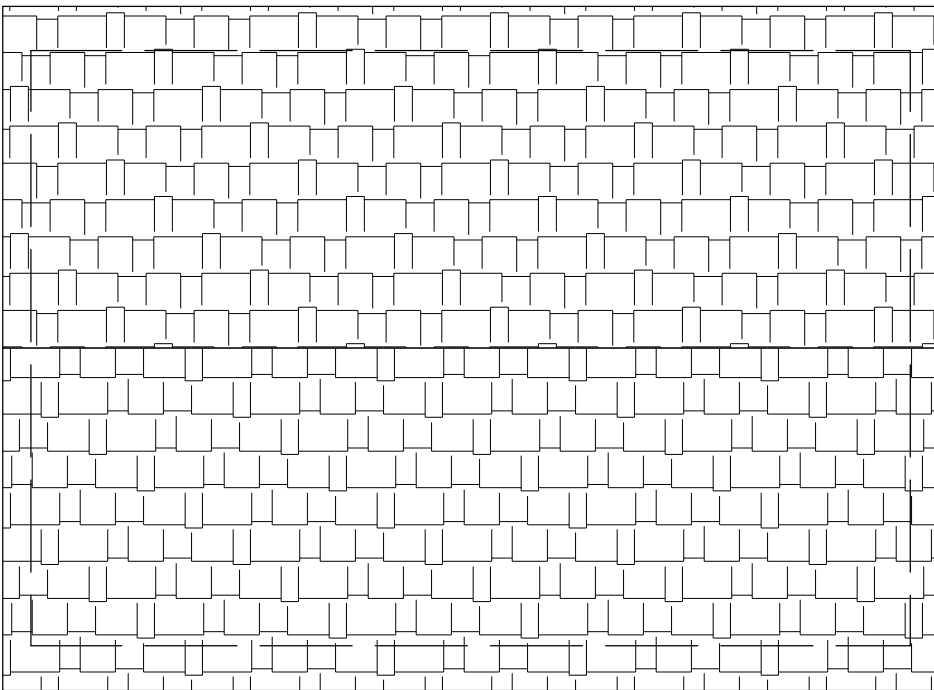
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[Signature]

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1
D002 FIRST FLOOR/DECK DEMOLITION PLAN
SCALE: 3/16" = 1'-0"



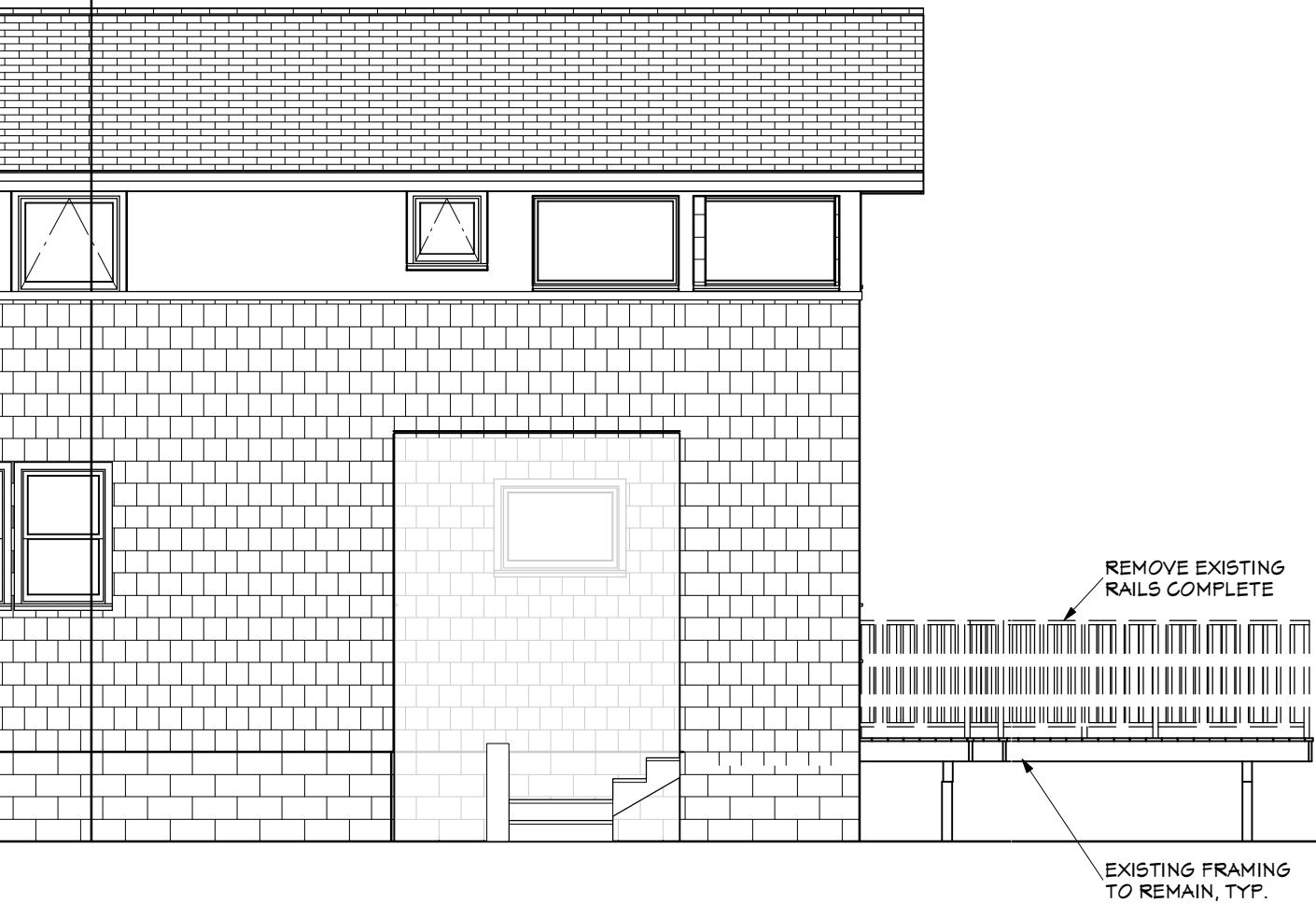
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PINKNEY-SOMMERS PORCH
7307 WILLOW AVENUE
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FIRST FLOOR/
DECK PLAN

D002



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1 SOUTH SIDE ELEVATION-DEMOLITION
 D003 SCALE: 3/16" = 1'-0"

2 EAST REAR ELEVATION-DEMOLITION
 D003 SCALE: 3/16" = 1'-0"

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PINKNEY-SOMMERS PORCH
 7307 WILLOW AVENUE
 TAKOMA PARK, MD 20912

EXTERIOR
 ELEVATIONS
 DEMOLITION
D003

STORAGE
28'-6" X 22'-9"

CRAWLSPACE
13'-2" X 17'-11"

1
A005

EXISTING
SWALE

(2)2x10 RIM
JOISTS, TYP.

EXISTING FRAMING AND
CONCRETE PIERS-V.I.F.

4x4 POSTS ON
18" SONOTUBE
FOUNDATIONS

EXISTING
DRAIN TILE

UP

DN

UP

FIG TREE

- SCOPE OF WORK:**
- *PROVIDE NEW SCREEN PORCH
 - *MAINTAIN EXISTING DECK FRAMING
FRAME ROOF AND WALLS INDEPENDENT OF
EXISTING DECK STRUCTURE AS FEASIBLE
 - *REPLACE DECKING WITH NEW
SUSTAINABLE WOOD SPECIES
(BASIS OF DESIGN: BLACK LOCUST)
 - *SHINGLE ROOF TO MATCH EXISTING
 - *NEW WOOD STAIRS DOWN TO YARD
 - *PROVIDE CABLE RAIL SYSTEM

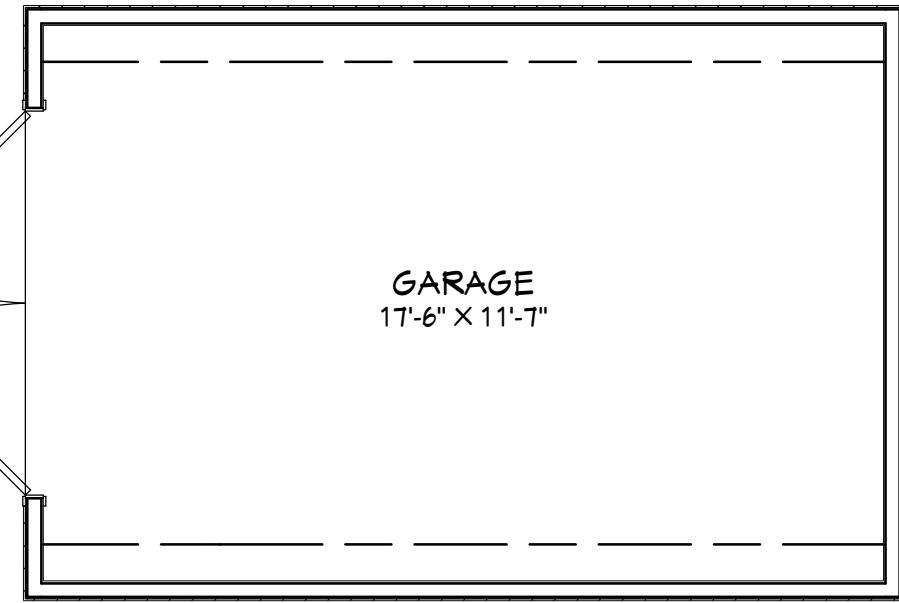
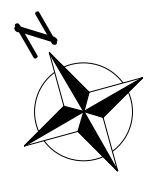
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1
A001

NEW FOUNDATION/FRAMING PLAN
SCALE: 1/4" = 1'-0"



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PINKNEY-SOMMERS PORCH
7307 WILLOW AVENUE
TAKOMA PARK, MD 20912

FOUNDATION & FRAMING PLAN

A001

EXISTING HOUSE

13'-9" +/-

FAMILY
13'-4" X 18'-2"

LINE OF EXISTING DECK

EXISTING PORCH
13'-5" X 19'-0"
PROVIDE NEW DECKING AS SCHEDULED

ROOF BRACKETS

REMOVE EXISTING STAIRS & RAILINGS COMPLETE

NEW 36" HIGH RAILING PER IRC 2018 SECTION R-312.1

EXISTING SUMP PUMP REMOVED BY OWNER

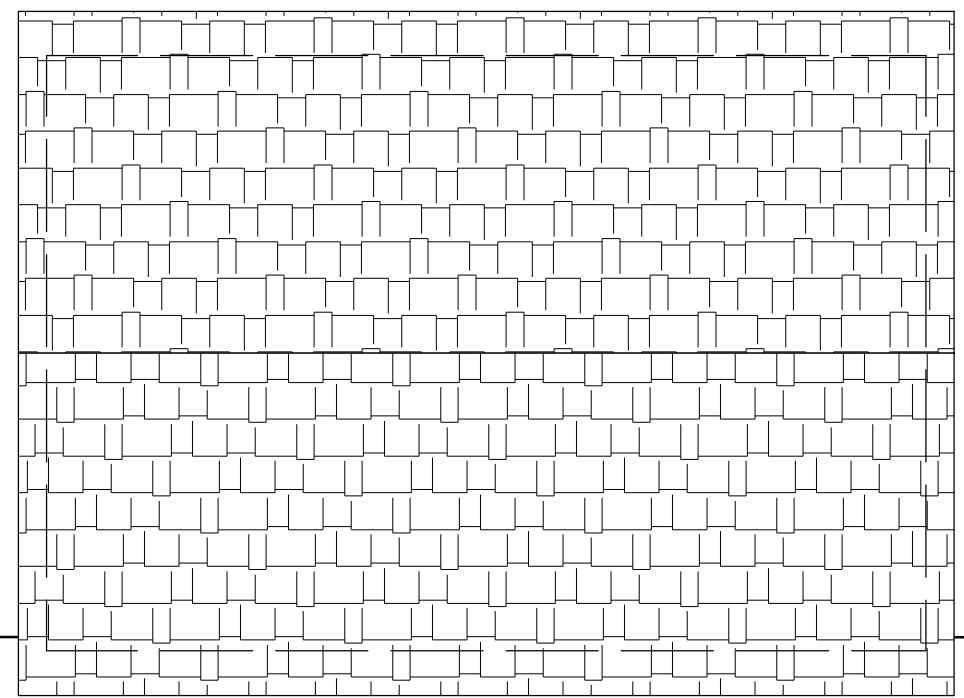
NEW SCREENED SURROUND AND ROOF POSTS INDEPENDENT AND OUTSIDE OF EXISTING DECK

NEW WOOD STAIRS
ALTERNATE: RAMP 1:12 SLOPE
PROVIDE GRASPABLE HAND RAILS @33"-36" H. PER IRC 2018 R-311.7.8

13'-8 1/2" +/-

GENERAL NOTE:
PER IRC 2018 102.7.1 ,ADDITIONS, ALTERATIONS, OR REPAIRS TO ANY STRUCTURE SHALL CONFORM TO THE REQUIREMENTS FOR A NEW STRUCTURE WITHOUT REQUIRING THE EXISTING STRUCTURE TO COMPLY WITH THE REQUIREMENTS OF THIS CODE, UNLESS OTHERWISE STATED. ADDITIONS, ALTERATIONS, OR REPAIRS SHALL NOT CAUSE AN EXISTING STRUCTURE TO BECOME UNSAFE OR ADVERSELY AFFECT THE PERFORMANCE OF THE BUILDING.

1 A002 FIRST FLOOR/NEW PORCH PLAN
SCALE: 1/4" = 1'-0"



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Historic Preservation Commission
[Signature]

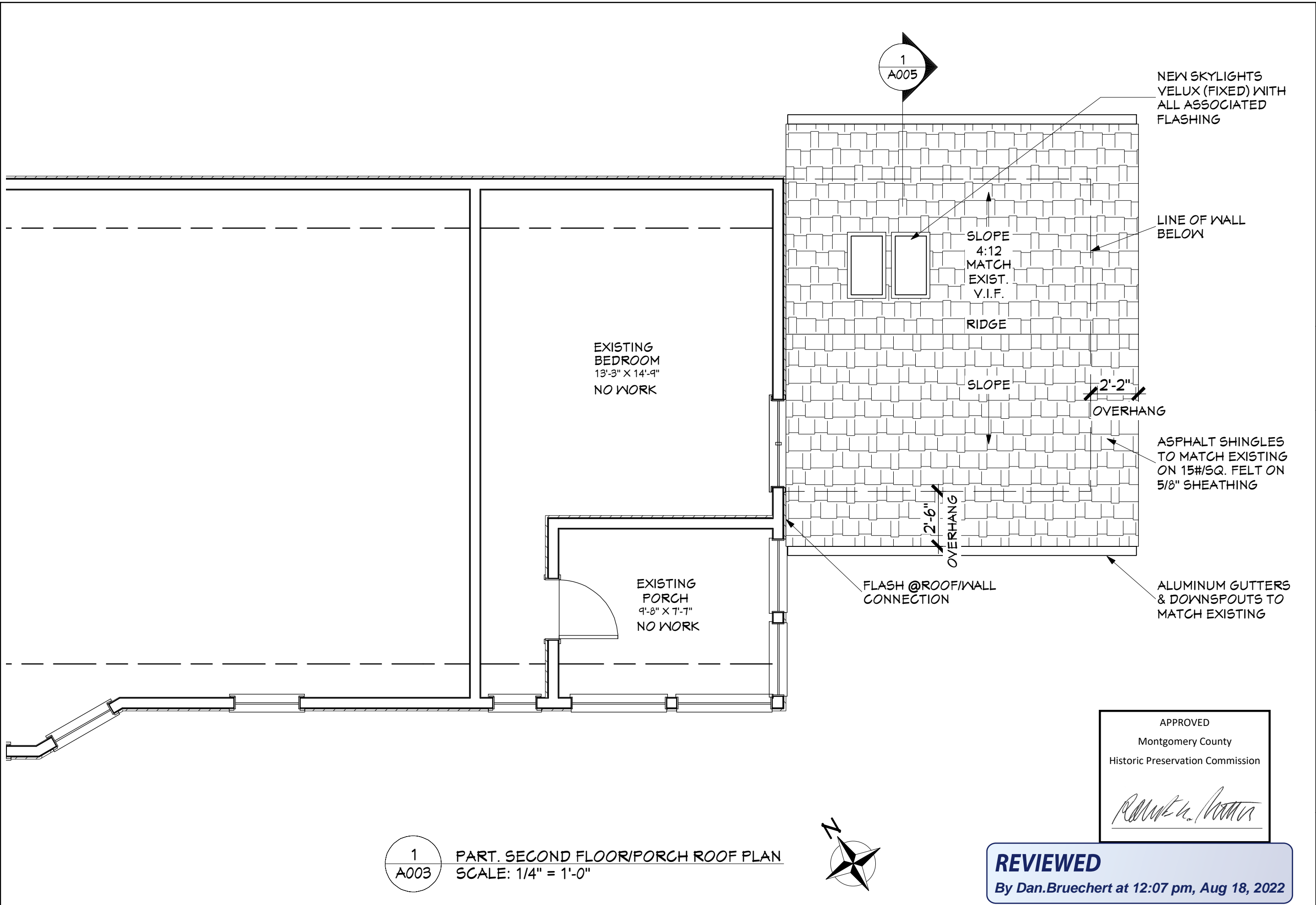
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PINKNEY-SOMMERS PORCH
7307 WILLOW AVENUE
TAKOMA PARK, MD 20912

FIRST FLOOR/
PORCH PLAN
A002



1
A003 PART. SECOND FLOOR/PORCH ROOF PLAN
SCALE: 1/4" = 1'-0"



APPROVED
Montgomery County
Historic Preservation Commission
Robert A. Somers

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PINKNEY-SOMMERS PORCH
7307 WILLOW AVENUE
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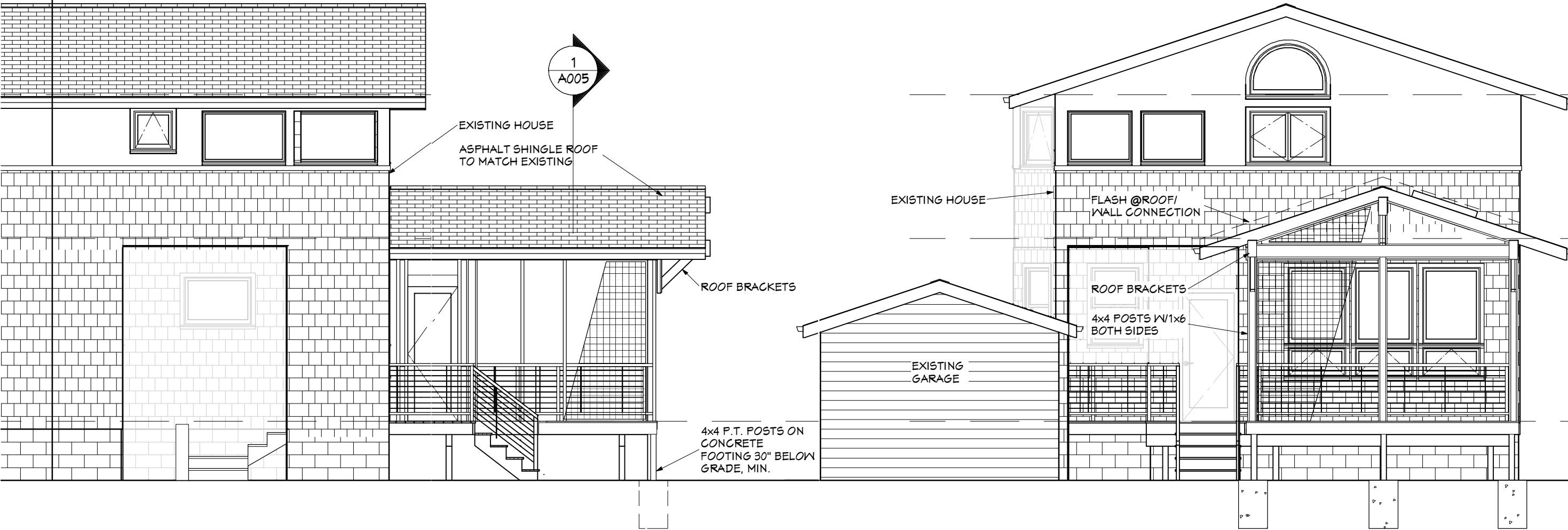
PORCH
ROOF PLAN
A003

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 Historic Preservation Commission



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By Dan.Bruechert at 12:07 pm, Aug 18, 2022



1 SOUTH SIDE ELEVATION
 A004 SCALE: 3/16" = 1'-0"

2 EAST REAR ELEVATION
 A004 SCALE: 3/16" = 1'-0"

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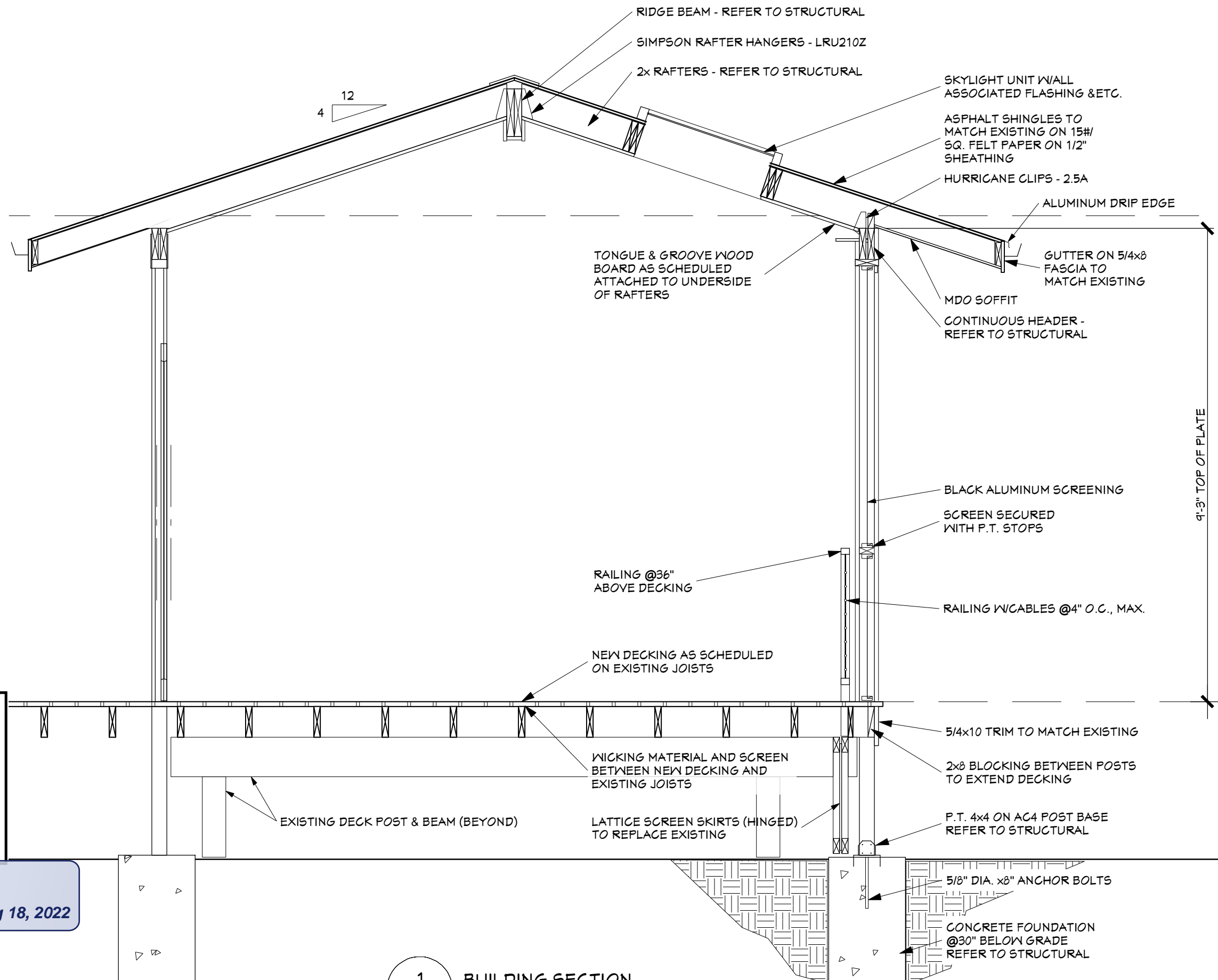
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PINKNEY-SOMMERS PORCH

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EXTERIOR
 ELEVATIONS

A004



RIDGE BEAM - REFER TO STRUCTURAL
 SIMPSON RAFTER HANGERS - LRU210Z
 2x RAFTERS - REFER TO STRUCTURAL

SKYLIGHT UNIT WALL
 ASSOCIATED FLASHING & ETC.
 ASPHALT SHINGLES TO
 MATCH EXISTING ON 15#/
 SQ. FELT PAPER ON 1/2"
 SHEATHING
 HURRICANE CLIPS - 2.5A
 ALUMINUM DRIP EDGE
 GUTTER ON 5/4x8
 FASCIA TO
 MATCH EXISTING
 MDO SOFFIT
 CONTINUOUS HEADER -
 REFER TO STRUCTURAL

TONGUE & GROOVE WOOD
 BOARD AS SCHEDULED
 ATTACHED TO UNDERSIDE
 OF RAFTERS

RAILING @36"
 ABOVE DECKING

NEW DECKING AS SCHEDULED
 ON EXISTING JOISTS

WICKING MATERIAL AND SCREEN
 BETWEEN NEW DECKING AND
 EXISTING JOISTS

LATTICE SCREEN SKIRTS (HINGED)
 TO REPLACE EXISTING

BLACK ALUMINUM SCREENING
 SCREEN SECURED
 WITH P.T. STOPS

RAILING W/CABLES @4" O.C., MAX.

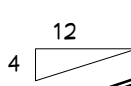
5/4x10 TRIM TO MATCH EXISTING

2x8 BLOCKING BETWEEN POSTS
 TO EXTEND DECKING

P.T. 4x4 ON AC4 POST BASE
 REFER TO STRUCTURAL

5/8" DIA. x8" ANCHOR BOLTS

CONCRETE FOUNDATION
 @30" BELOW GRADE
 REFER TO STRUCTURAL



9'-3" TOP OF PLATE

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 Montgomery County
 Historic Preservation Commission

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1
 A005 BUILDING SECTION
 SCALE: 1/2" = 1'-0"

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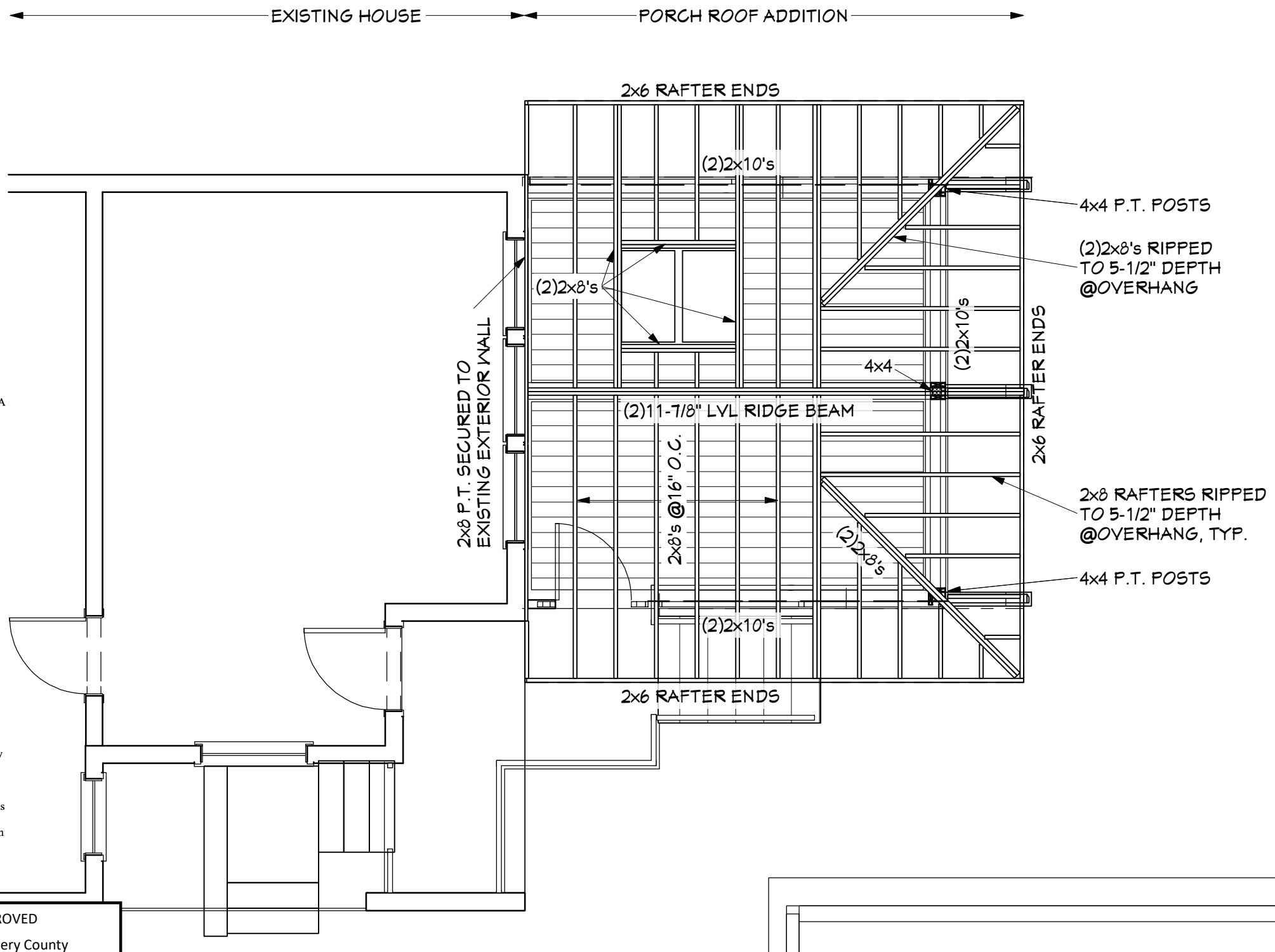
PINKNEY-SOMMERS PORCH
 7307 WILLOW AVENUE
 TAKOMA PARK, MD 20912

PORCH SECTION

A005

GENERAL NOTES

1. Design loads: Roof: 30 psf (snow)
Dead: 10 psf (u.n.o.)
Floors: 40 psf Living areas
30 psf Sleeping areas
Basic Wind Speed: 115mph, 3 sec gust
Seismic Design: Category B
2. Design Codes: IRC 2018, IBC 2018, ASCE/SEI 7-10 where applicable.
3. Assumed allowable soil bearing pressure: 2000 psf
4. Assumed equivalent fluid pressure of soil: 45 psf/ft
5. All footings to bear on undisturbed soil and a minimum of 30 inches below finished grade.
6. Interior use lumber to be No.2 SPF with $f_b = 875$ psi and $E = 1,400,000$ psi
7. Exterior use lumber to be No.2 SP with $f_b = 1,100$ psi and $E = 1,400,000$ psi and preservative treated in accordance with AWP Standard U1.
8. Concrete to be 3000 psi hard rock at 28 days.
9. Reinforcing steel to be ASTM A615 Grade 60 and placed in accordance with ACI Code.
10. Structural steel to be ASTM A36 fabricated in accordance with AISC Standards supplied and installed with one coat of red-oxide primer.
11. Contractor to provide fabrication and erection drawings for structural steel. Allow two weeks for review.
12. Welding of structural steel to be performed by AWS certified personnel in accordance with AWS D1.1 Code using E70XX rod.
13. All field welds to be cleaned and painted with red-oxide primer.
14. Manufactured lumber design values: $f_b = 2600$ psi and $E = 2,000,000$ psi
15. Wolmanized manufactured lumber design values: $f_b = 1,800$ psi and $E = 1,460,000$ psi under Service level 2.
16. All masonry lintels to have a minimum bearing of 4" on both ends. Double angles shall be installed back-to-back unless noted otherwise.
17. Window and door headers to be (3) 2x6's unless noted otherwise.
18. Joists below non-bearing partitions that equal or exceed 50% of the span shall be doubled.
19. Posts supporting sawn lumber beams and headers to be a minimum of (2) 2x4's.
20. Posts supporting manufactured lumber beams and headers to be a minimum of (3) 2x4's.
21. All truss and rafter ends to be secured to tops of walls/beams with hurricane clips (Simpson H2.5A or approved equal).
22. Appropriately sized joist hangers to be used where joists or rafters frame into beams.
23. Masonry mortar to conform to ASTM C270.
24. Concrete block manufacture to conform to ASTM C90 with a minimum prism strength of 1500 psi.
25. Brick manufacture to conform to ASTM C62.
26. Wood exterior walls to be 2x6's @16" on center.
27. Prefabricated truss manufacture and design to conform to ANSI/TPI 1 and WTCA standards. General contractor to provide truss layout plans and shop drawings to structural engineer for review and approval no less than 2 weeks before truss order is due.
28. All sheathing material to be APA-rated for the spans indicated. Minimum sheathing thicknesses required:
a. Roofs: 19/32"
b. Walls: 15/32"
c. Floors: 23/32" STURD-I-FLOOR
29. The use of adjustable, screw-type steel columns is NOT permitted.
30. Masonry grout to conform to ASTM C476
31. Tubular steel to conform to ASTM A501
32. All floor joists to have bridging/x-bracing at 7' o.c.
33. Bolts for ledger boards to be threaded rod manufactured in accordance with ASTM A36 or F1554 and installed with Powers AC-100+ Gold adhesive. See drawings for bolt diameters, embedments, spacings and locations. Bolts to be installed into solid back up only (either poured concrete, grout-filled CMU or solid brick).
34. Wall bracing shall be continuous sheathed wood structural panels per Section R602.10.4 of IRC 2015. Where wall bracing is insufficient, alternate means shall be provided and engineered per ASCE 7 for the above basic wind speed.
35. The design and installation of any temporary shoring of existing structure is the sole responsibility of the contractor. Temporary shoring may be required in order to support existing structure laterally as well as vertically.
36. Contractor to provide helical pile design calculations and shop drawings (to include method of fastening to new foundation) no less than 14 days prior to installation of piles. Design calculations to be stamped by a professional engineer registered in the project jurisdiction. Design and installation of piles to comply with ASCE 20-96 standard guidelines for the design and installation of pile foundations.

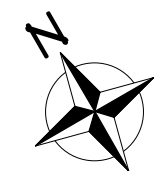


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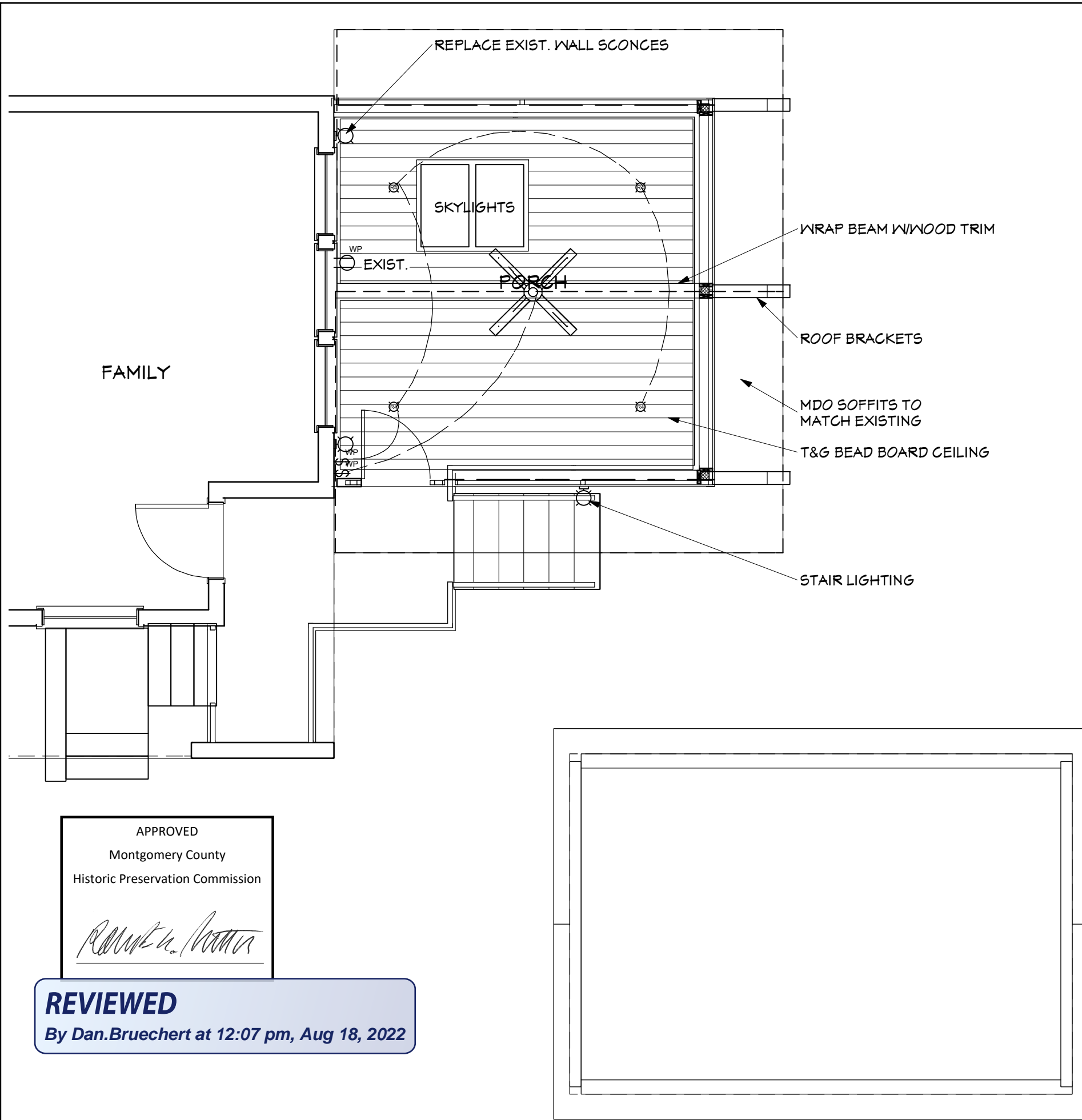
[Signature]

REVIEWED
By Dan.Bruechert at 12:07 pm, Aug 18, 2022

1
A006 ROOF FRAMING PLAN
SCALE: 1/4" = 1'-0"



EXISTING
03-11-2022
PRELIM PRICING
06-29-2022
CHECK SET
07-20-2022



ELECTRICAL - DATA - AUDIO LEGEND	
SYMBOL	DESCRIPTION
	Ceiling Fan
	Ventilation Fans: Ceiling Mounted, Wall Mounted
	Ceiling Mounted Light Fixtures: Surface/Pendant, Recessed, Heat Lamp, Low Voltage
	Wall Mounted Light Fixtures: Flush Mounted, Wall Sconce
	Chandelier Light Fixture
	Fluorescent Light Fixture
	240V Receptacle
	110V Receptacles: Duplex, Weather Proof, GFCI
	Switches: Single Pole, Weather Proof, 3-Way, 4-Way
	Switches: Dimmer, Timer
	Audio Video: Control Panel, Switch
	Speakers: Ceiling Mounted, Wall Mounted
	Wall Jacks: CAT5, CAT5 + TV, TV/Cable
	Telephone Jack
	Intercom
	Thermostat
	Door Chime, Door Bell Button
	Smoke Detectors: Ceiling Mounted, Wall Mounted
	Electrical Breaker Panel

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REVIEWED
 By Dan.Bruechert at 12:07 pm, Aug 18, 2022

1
 E001 REFLECTED CEILING/LIGHTING PLAN
 SCALE: 1/4" = 1'-0"



EXISTING
 03-11-2022
 PRELIM PRICING
 06-29-2022
 CHECK SET
 07-20-2022