



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: April 17, 2023

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #949997 & 955668 REVISION: Alterations to location and details of previously approved garage and colonnade

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the August 17, 2022 HPC meeting, with revisions approved by Staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Jacqueline & George Hinman (**Mark Giarraputo, Architect**)
Address: 9510 Hemswell Place, Potomac

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



GENERAL NOTES

- Boundary information and two-foot contour data are based upon surveys performed by CAS Engineering, dated July, 2020.
- Total lot area: Lot 64 = 73,309 sq. ft. (1.683 acres)
- Property is located on Tax Map GP122 and WSSC 200' Sheet 212NW08.
- Property is located on Soils Survey Map Number 23.
Soil type(s): 2UB, Glenelg-Urban Land Complex, HSG "B",
16D, Brinklow-Blocktown Channery Silt Loam, HSG "C".
- Flood zone "X" per F.E.M.A. Firm Maps, Community Panel Number 24031C0345D.
- Property is located in the Cabin John Creek Watershed.
- Water Category - 1, Sewer Category - 1
- Local utilities include:
Water / Sewer - Washington Suburban Sanitary Commission
Electric - PEPCO
Telephone - Verizon
Gas - Washington Gas
- Property is not located in a Special Protection Area.
- Property is a Master Plan Historic Individual Site (Kentsdale, 29/018-000A)
- Property is subject to the terms and conditions of MNCPPC Preliminary Plan 119891190 (Franciscan Property)
- This plan was created without the benefit of a title report.

ZONING DATA

- Zoning: R-200**
Minimum Lot Area = 20,000 sq. ft. Front B.R.L. = 40 ft.
Minimum Lot Width at R.W. = 25 ft. Rear B.R.L. = 30 ft.
Minimum Lot Width at B.R.L. = 100 ft. Side B.R.L. = 12 ft. min., 25 ft. total
- Verify (Non-Infill) lot coverage in accordance with the Zoning Ordinance.**
Coverage is the area of a lot or site occupied by a building, including an accessory building, structured parking, or other roofed structure such as a porch, patio, deck, or steps.
Coverage does not include paved areas such as a driveway, a pedestrian walkway, a bay window measuring 10 feet in width or less and 3 feet in depth or less, an uncovered porch or patio, deck, a swimming pool, or roof overhang.
Allowable Lot Coverage: 25% of total lot area.
Lot 64 = 73,309 sq. ft. (Per Plat)
73,309 x 0.25 = 18,327.25
Allowable area to be covered by buildings (including acc. buildings) = 18,327.25 sq. ft.
Total area covered by buildings = 10,788 sq. ft.
- Verify accessory structure height in accordance with the Zoning Ordinance.**
First floor elevation: 281.60 ft.
Height of accessory structure to highest point: 23.75 ft (23'-9" Per Arch.)
Elevation at highest point of accessory structure: 305.35 ft.
Average elevation along front of accessory structure: 279.20 ft.
Height of accessory structure to highest point = 305.35 - 279.20 = 26.15 feet
Allowable accessory structure height = 35 feet
Proposed height of accessory structure to highest point = 26.15 feet
- Verify accessory structure cumulative footprint areas in accordance with the Zoning Ordinance.**
Existing house, connection, 1-story building: 8,614 sq. ft.
Allowable cumulative footprint Accessory Buildings (50%): 4,307 sq. ft.
Existing pool house (including porch): 881 sq. ft.
Proposed Detached Garage (includes covered breezeway): 1,293 sq. ft.
Total Cumulative Footprint Area of Accessory Buildings: 2,174 sq. ft.
2,174 sq. ft. < 4,307 sq. ft.

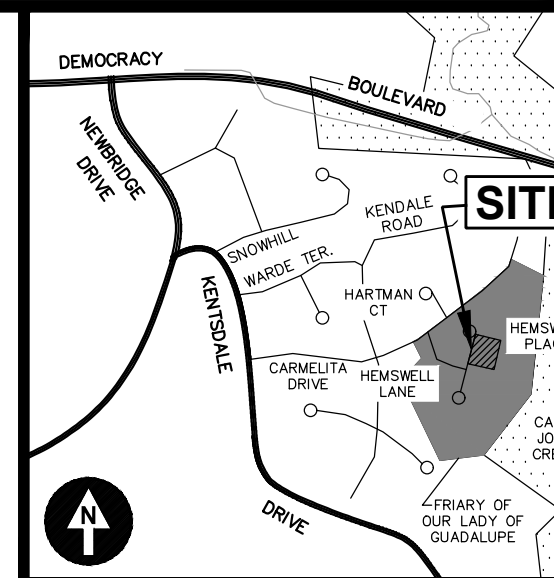
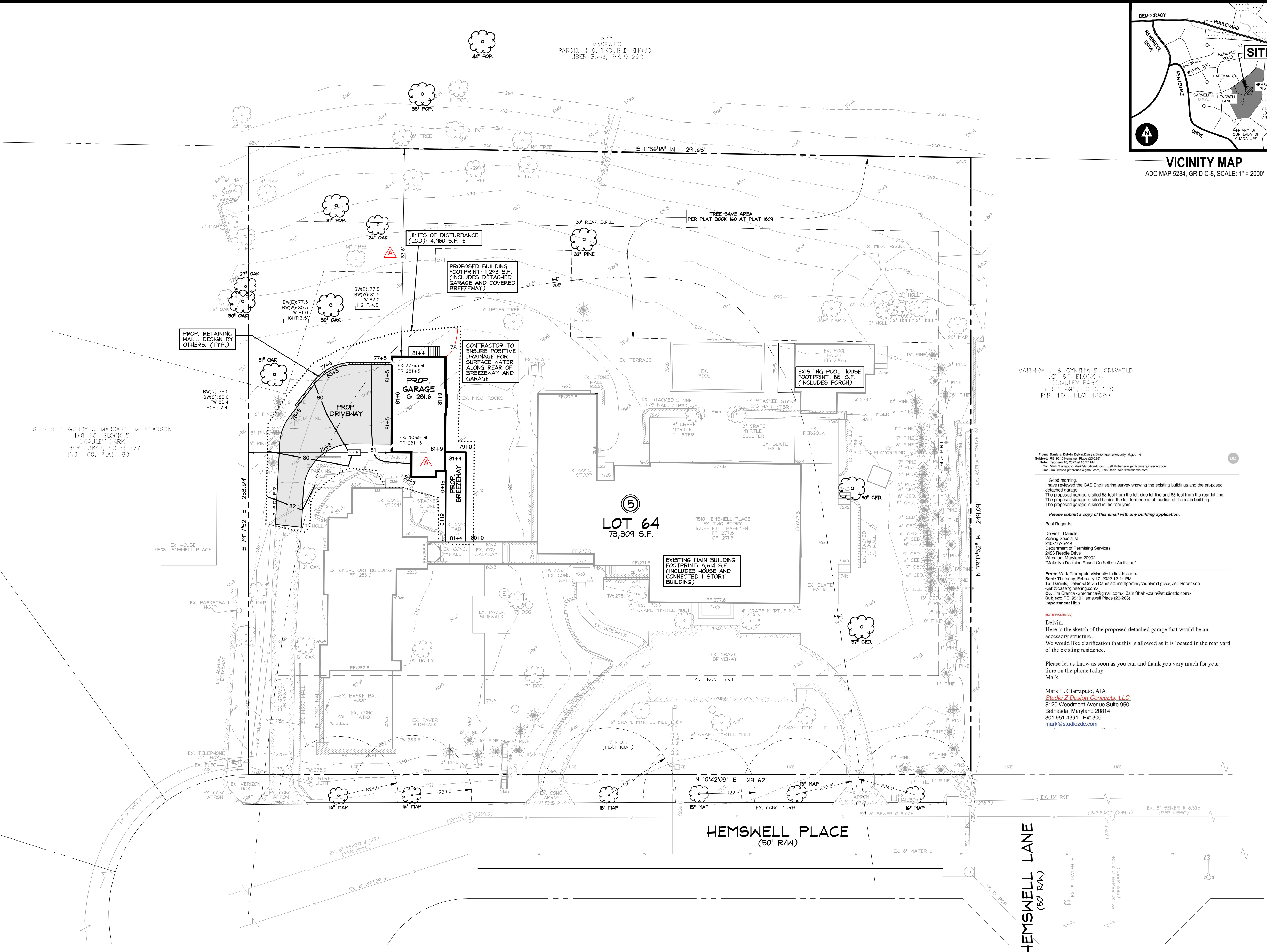
LEGEND

EXISTING FEATURES	
	Ex. Storm Drain with Manhole
	Ex. Sewer Line with Cleanout
	Ex. Sewer Manhole and Invert
	Ex. Water Line with Valve
	Ex. Gas Line with Valve
	Ex. Overhead Utility with Pole
	Ex. Drain Pipe and Inlet
	Ex. Downspout Piped / Spilled
	Ex. Underground Utility Line
	Ex. Two-And Ten-foot Contours
	Ex. Spot Elevation
	Ex. Chain Link or Wire Fence
	Ex. Wood or Stockade Fence
	Ex. Metal or Iron Fence
	Ex. Retaining Wall
	Ex. Soil Line with Soil Types
	Ex. Tree (< 24" DBH)
	Ex. Roadside Tree or Ex. Tree (24" DBH - < 30" DBH)
	Ex. Tree (30" DBH and greater)
PROPOSED FEATURES	
	Limit of Disturbance (L.O.D.)
	Prop. Contour with Elevation
	Prop. Spot Elevation
	Prop. Retaining Wall
	Prop. Surface Flow Direction

APPROVED
Montgomery County
Historic Preservation Commission

Robert A. Potter

REVIEWED
By Dan.Bruechert at 1:01 pm, Apr 17, 2024



VICINITY MAP
ADC MAP 5284, GRID C-8, SCALE: 1" = 2000'

CAS JOB NO.: 20-286
DATE: 05/2023

DATE	REVISION
05/08/23	JAR - Prelim. Site Plan for Client Review
07/06/23	JAR - Permit Set - Garage
08/18/23	JAR - Revised per MCDCPS Zoning Comments
02/20/24	JAR - Revision A - For MCDCPS Zoning Review



Curt A. Schreffler
CURT A. SCHREFFLER, PE
02/20/2024

PROFESSIONAL ENGINEER CERTIFICATION:
I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 19568, expiration date 3/8/2024, and that this plan meets MCDCPS criteria for building permit applications.

MATTHEW L. & CYNTHIA B. GRISWOLD
LOT 65, BLOCK 5
MCAULEY PARK
LIBER 13848, FOLIO 577
P.B. 160, PLAT 18091

From: Delvin, Delvin.Danis@casengineering.com
Subject: RE: 5011 Hemswell Place (20-286)
Date: February 18, 2024 at 10:37 AM
To: Dan Giaraputo, Dan.Giaraputo@casengineering.com; Jeff Robertson, jeff@casengineering.com; Curt A. Schreffler, Curt.Schreffler@gmail.com; Zain Shah, zain@studiodc.com

Good morning,
I have reviewed the CAS Engineering survey showing the existing buildings and the proposed detached garage.
The proposed garage is sited 58 feet from the left side lot line and 65 feet from the rear lot line. The proposed garage is sited behind the left former church portion of the main building. The proposed garage is sited in the rear yard.

Please submit a copy of this email with any building application.
Best Regards,
Delvin L. Danis
Zoning Specialist
240.771.6149
Department of Permitting Services
2425 Reside Drive
Washington, Maryland 20902
"Make No Decision Based On Selfish Ambition"
"Make No Decision Based On Selfish Ambition"

From: Mark Giaraputo <Mark@studiodc.com>
Sent: Thursday, February 17, 2024, 12:44 PM
To: Danis, Delvin <Delvin.Danis@montgomerycountymd.gov>; Jeff Robertson <jr@casengineering.com>; Curt A. Schreffler <Curt.Schreffler@gmail.com>; Zain Shah <zain@studiodc.com>
Subject: RE: 5011 Hemswell Place (20-286)
Importance: High

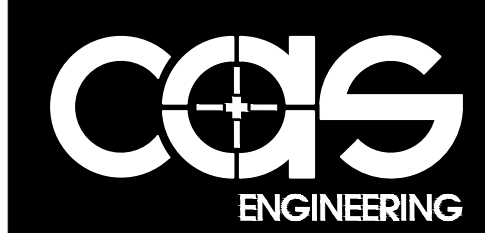
(INTERNAL EMAIL)
Delvin,
Here is the sketch of the proposed detached garage that would be an accessory structure.
We would like clarification that this is allowed as it is located in the rear yard of the existing residence.

Please let us know as soon as you can and thank you very much for your time on the phone today.
Mark

Mark L. Giaraputo, AIA
Studio Z Design Concepts, LLC
8120 Woodmont Avenue Suite 950
Bethesda, Maryland 20814
301.951.4391 Ext. 306
mark@studiodc.com

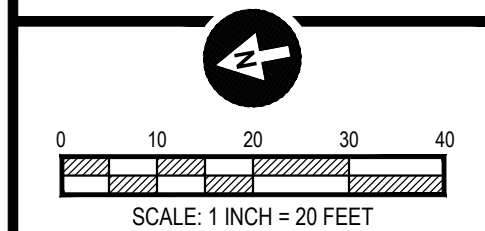
Lot 64, Block 5, McAuley Park
Plat Book 160, Plat No. 18091, Recorded 01/1991
Potomac (10th) Election District, Montgomery County, MD

9510 Hemswell Place
Potomac, Maryland 20854



CAS ENGINEERING-MD
10 South Bentz Street
Frederick, Maryland 21701
301-607-8031 Phone
info@casengineering.com
www.casengineering.com

CAS ENGINEERING-DC, LLC
1001 Connecticut Avenue, NW, Suite 401
Washington, DC 20036
202-393-7200 Phone
info@cas-dc.com
www.cas-dc.com



SHEET TITLE:
Building Permit Site Plan

9510 Hemswell Place
Lot 65, Block 5, McAuley Park
Building Permit Site Plan

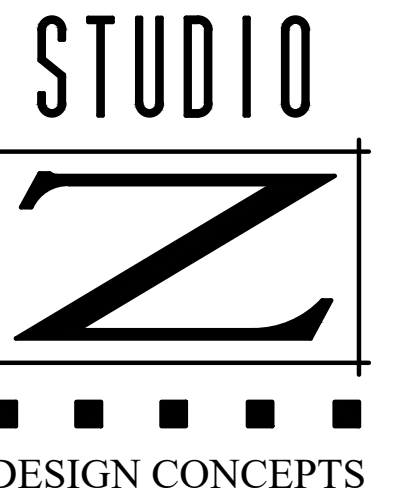
APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 1:01 pm, Apr 17, 2024

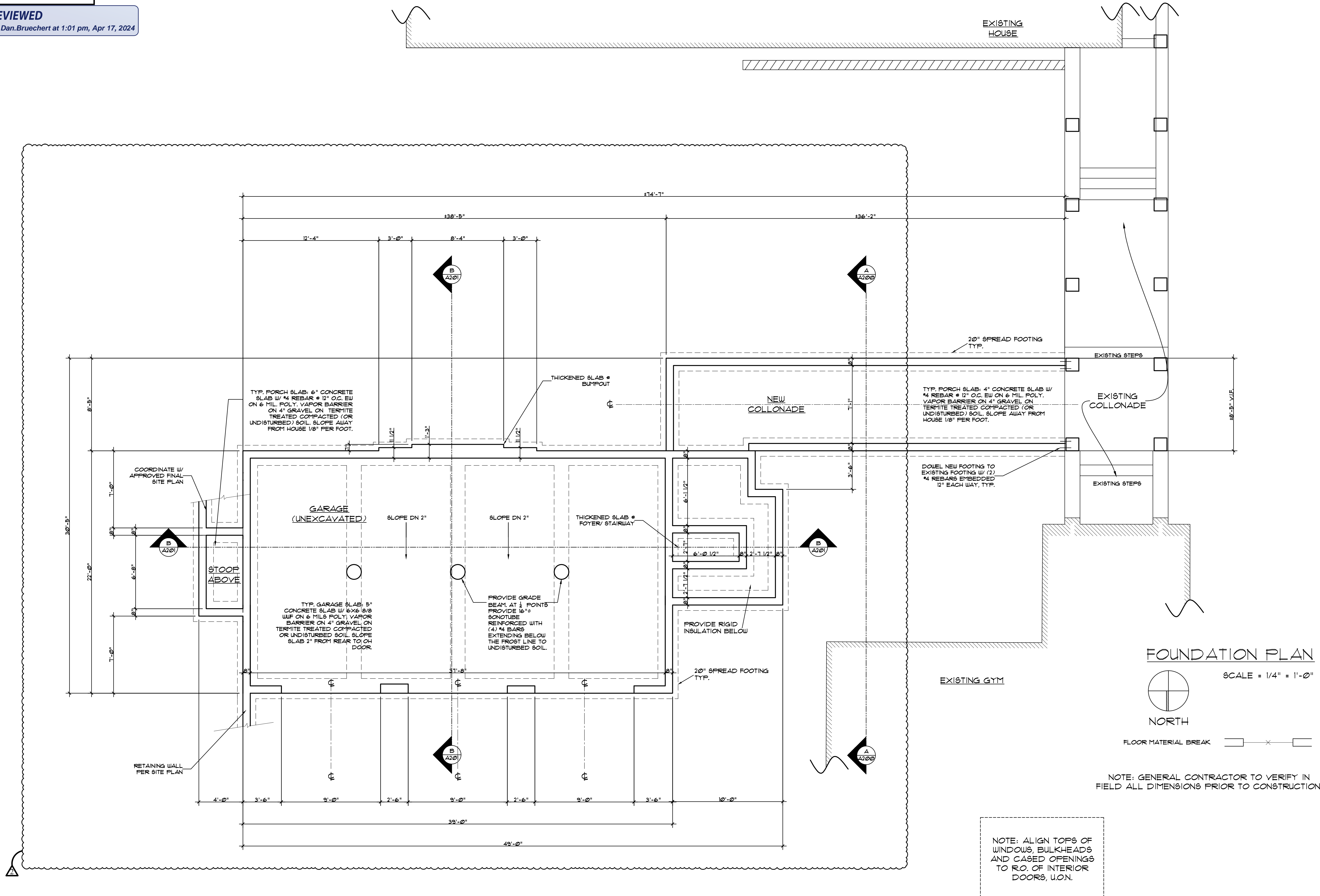
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09/2/22	REVIEW SET
09/13/22	DESIGN DEV.
11/04/22	REVIEW SET
11/11/22	REVIEW SET
07/05/23	PERMIT SET
DATE	REVISIONS
09/05/23	REV. #1
03/12/24	REV. #2

STUDIO Z DESIGN CONCEPTS, LLC
8120 WOODMONT AVENUE SUITE 950
BETHESDA, MARYLAND 20814
PHONE: 301-951-4391 FAX: 301-951-1913



HINMAN MONASTERY
GARAGE & LOGGIA
9510 HEYBUELL PL
POTOMAC, MD 20854

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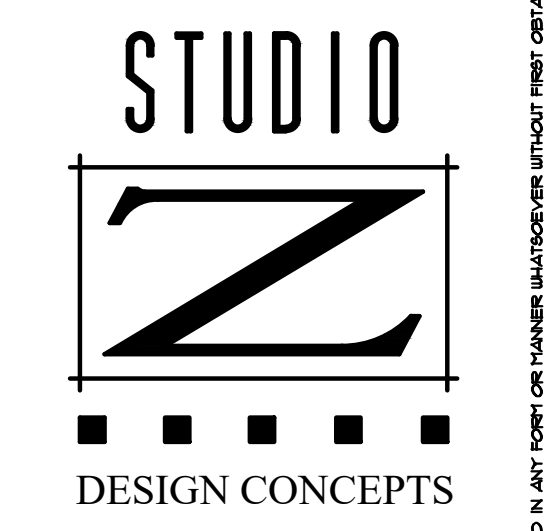
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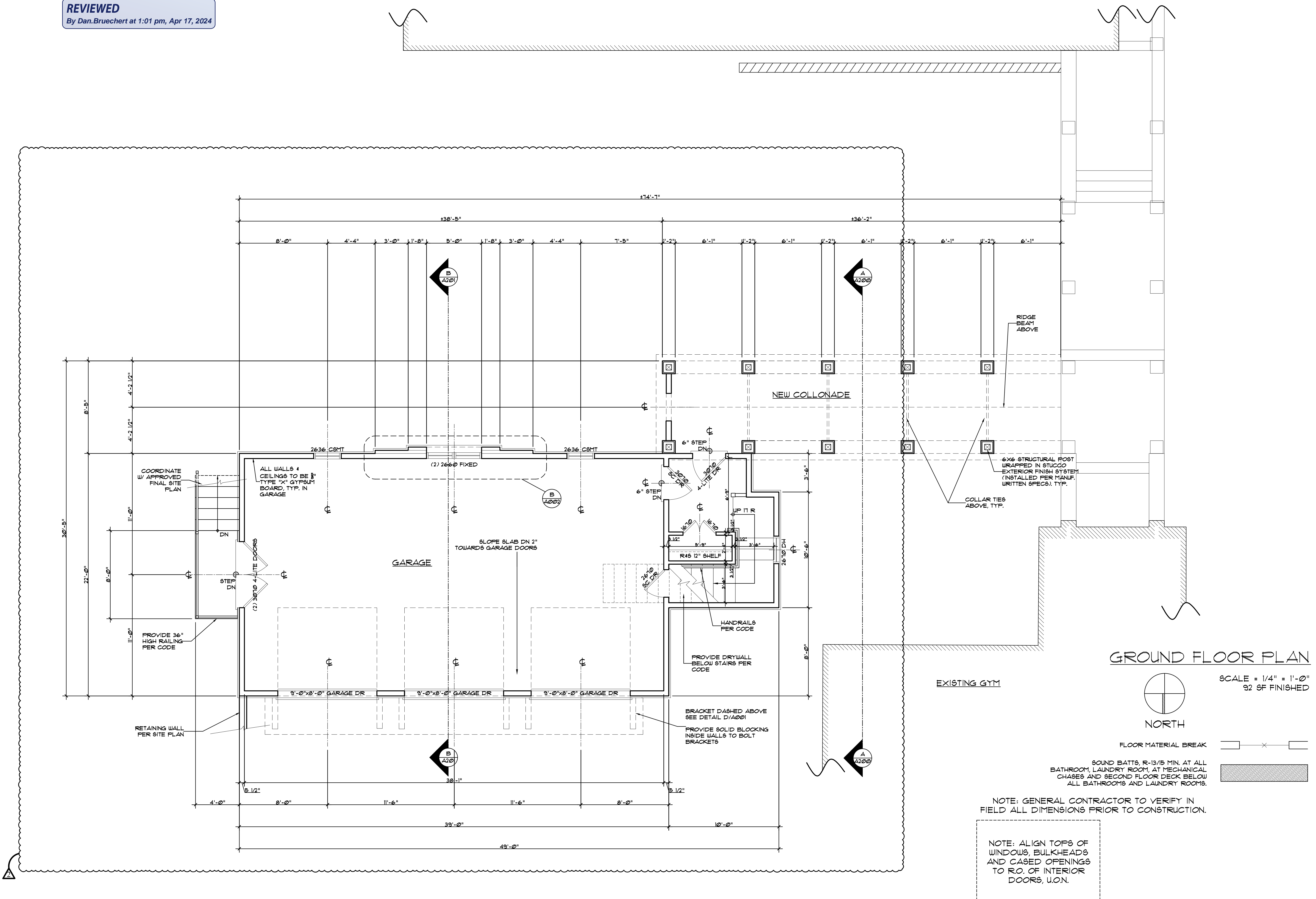
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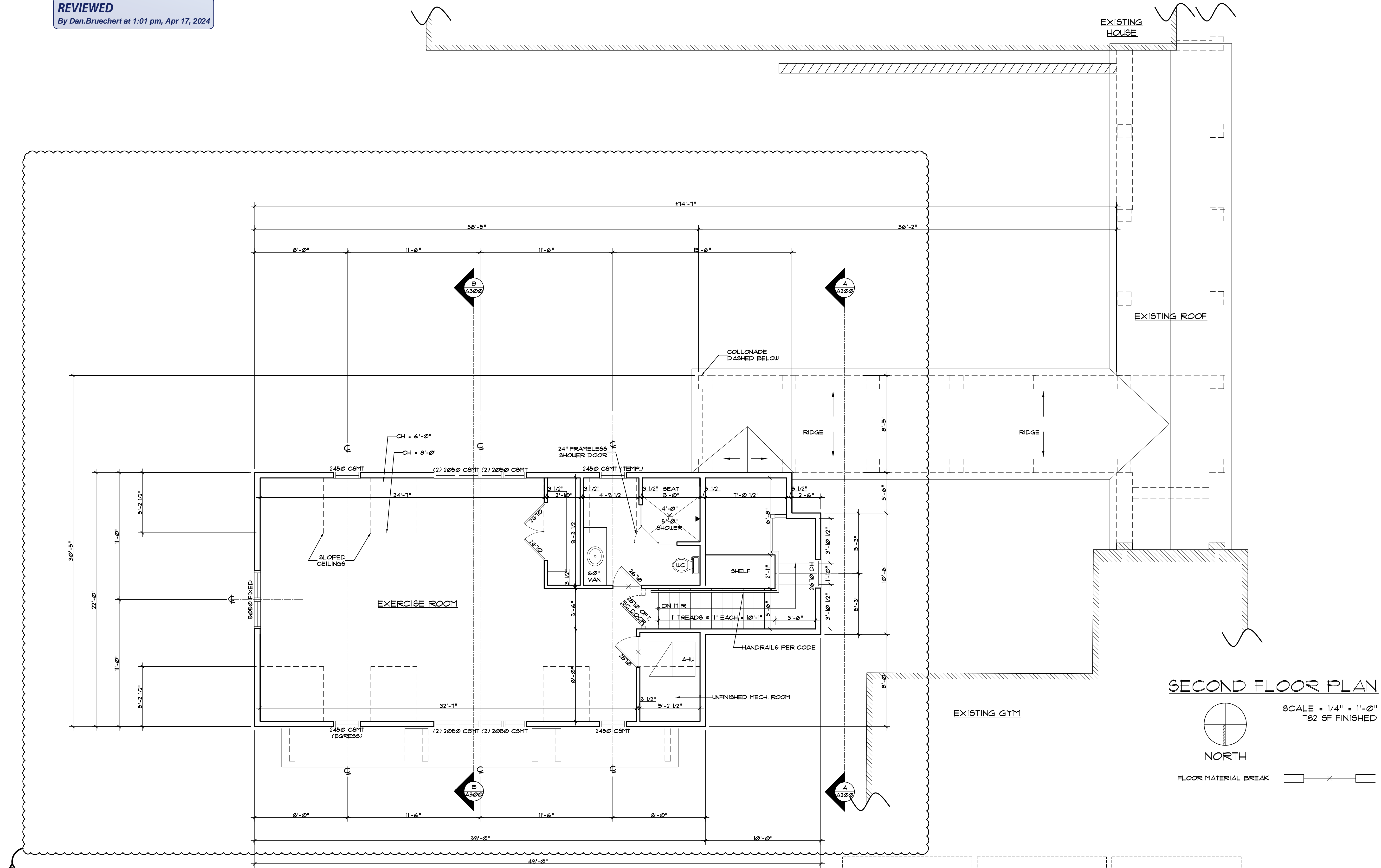
STUDIO Z DESIGN CONCEPTS, LLC
8120 WOODMONT AVENUE SUITE 950
BETHESDA, MARYLAND 20814
PHONE: 301-951-4391 FAX: 301-951-1913



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A102

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SECOND FLOOR PLAN
SCALE = 1/4" = 1'-0"
182 GF FINISHED

NORTH

FLOOR MATERIAL BREAK

SMOKE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R314 OF THE 2018 IRC AS AMENDED BY MONTGOMERY COUNTY.

CARBON MONOXIDE ALARMS SHALL BE INSTALLED IN ACCORDANCE WITH SECTION R315 OF THE 2018 IRC AS AMENDED BY MONTGOMERY COUNTY.

NOTE: ALIGN TOPS OF WINDOWS, BULKHEADS AND CASED OPENINGS TO R.O. OF INTERIOR DOORS, U.O.N.

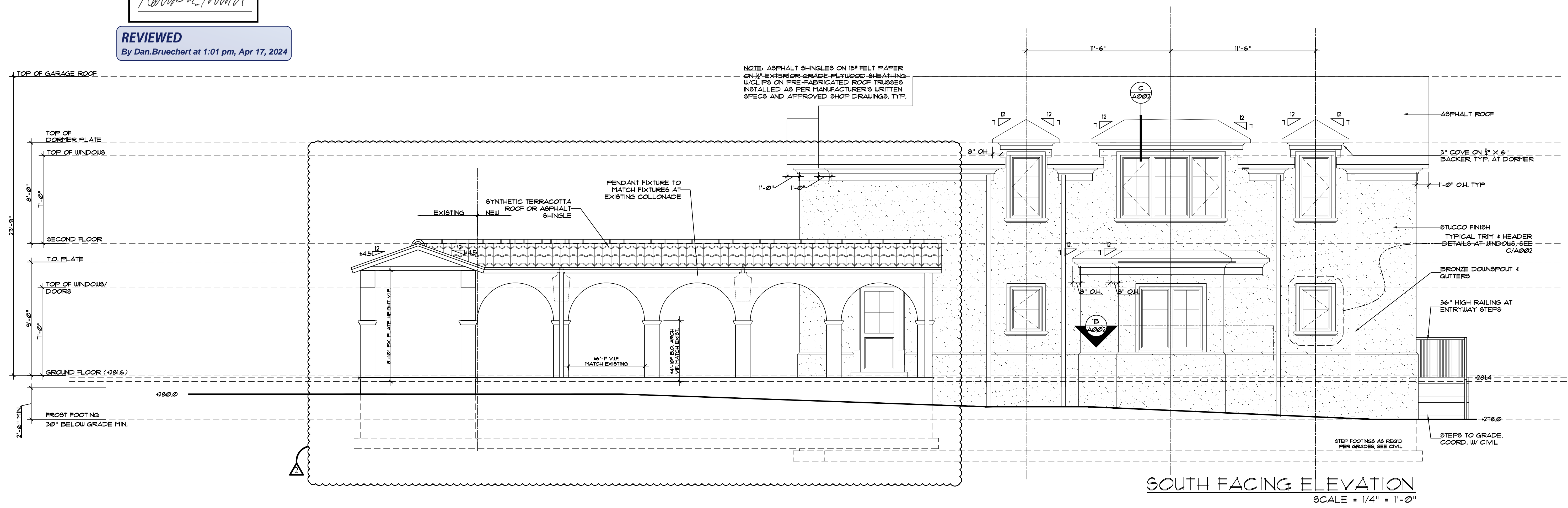
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Robert A. ...

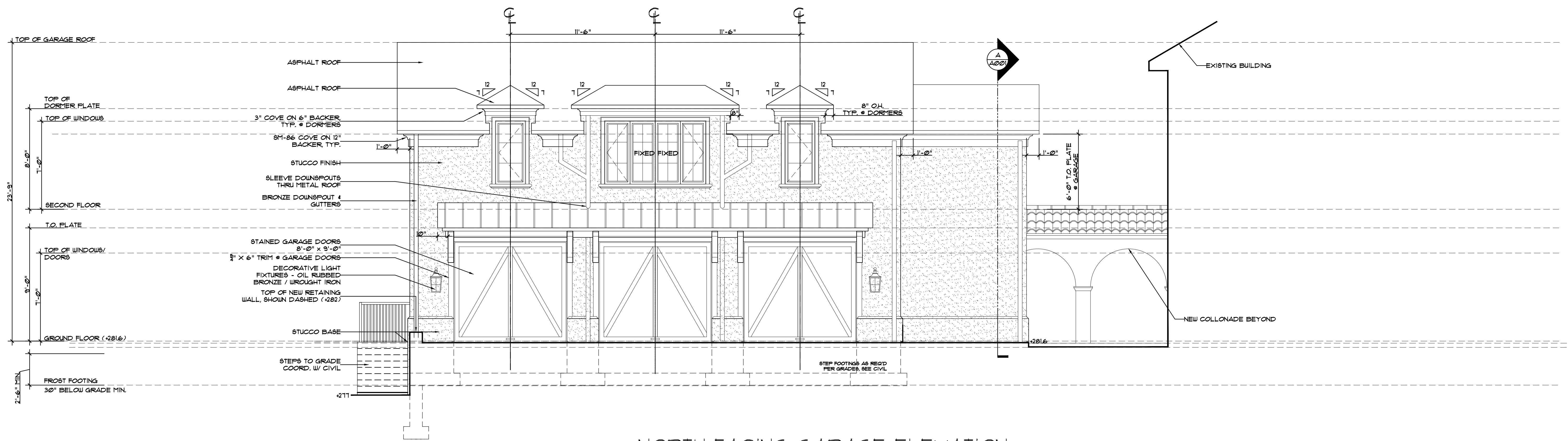
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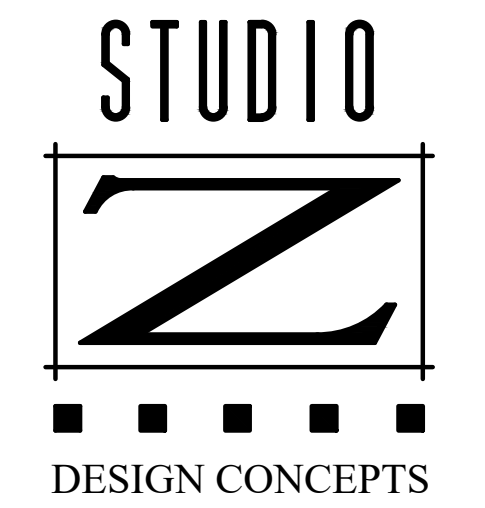


SOUTH FACING ELEVATION
SCALE = 1/4" = 1'-0"



NORTH FACING GARAGE ELEVATION
SCALE = 1/4" = 1'-0"

STUDIO Z DESIGN CONCEPTS, LLC
8120 WOODMONT AVENUE SUITE 950
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PHONE: 301-951-4391 FAX: 301-951-1913

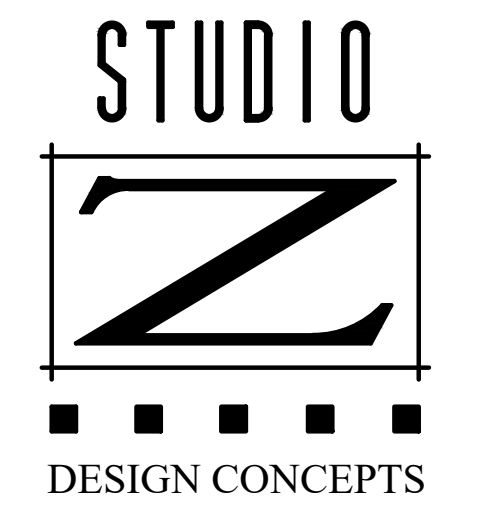


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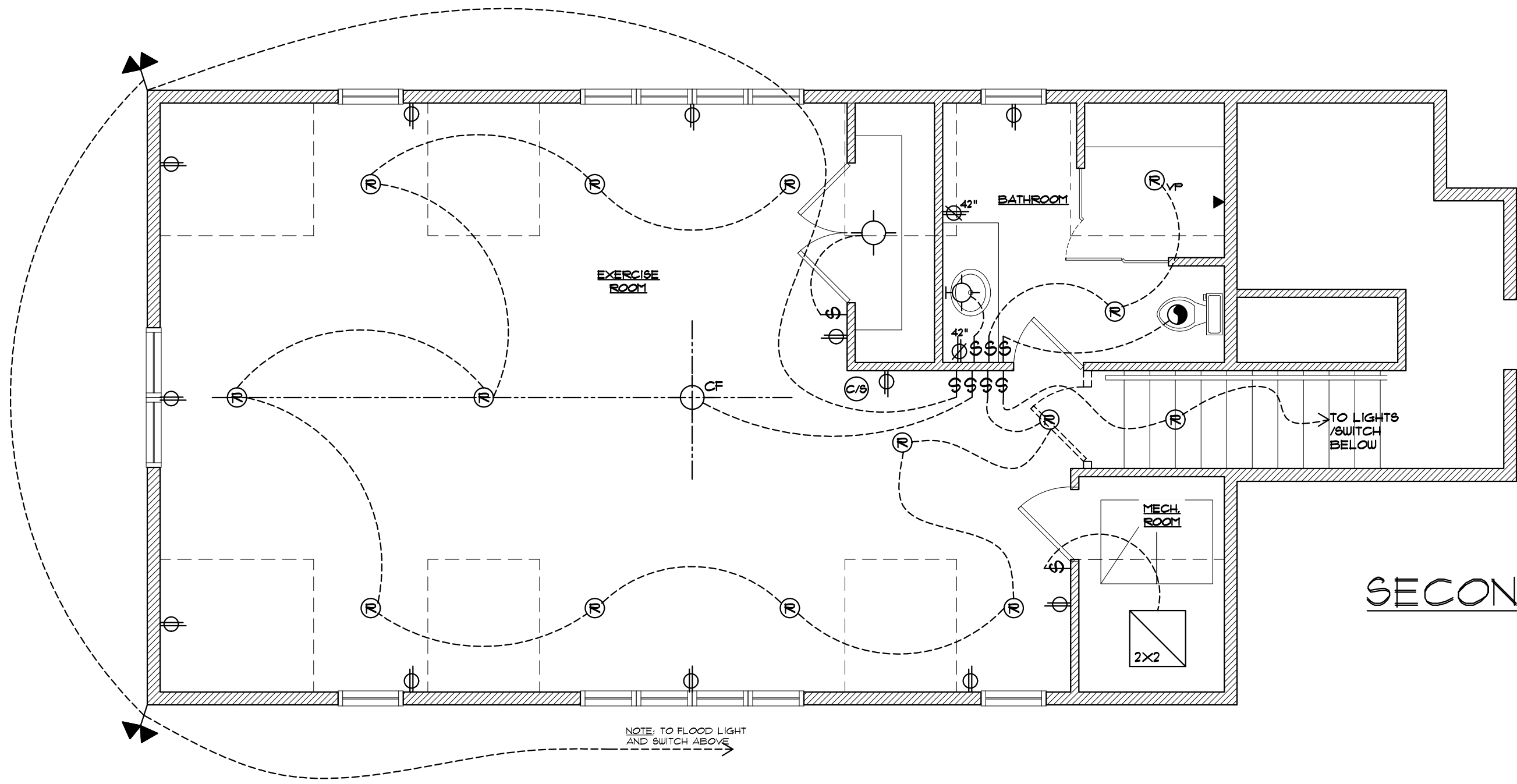
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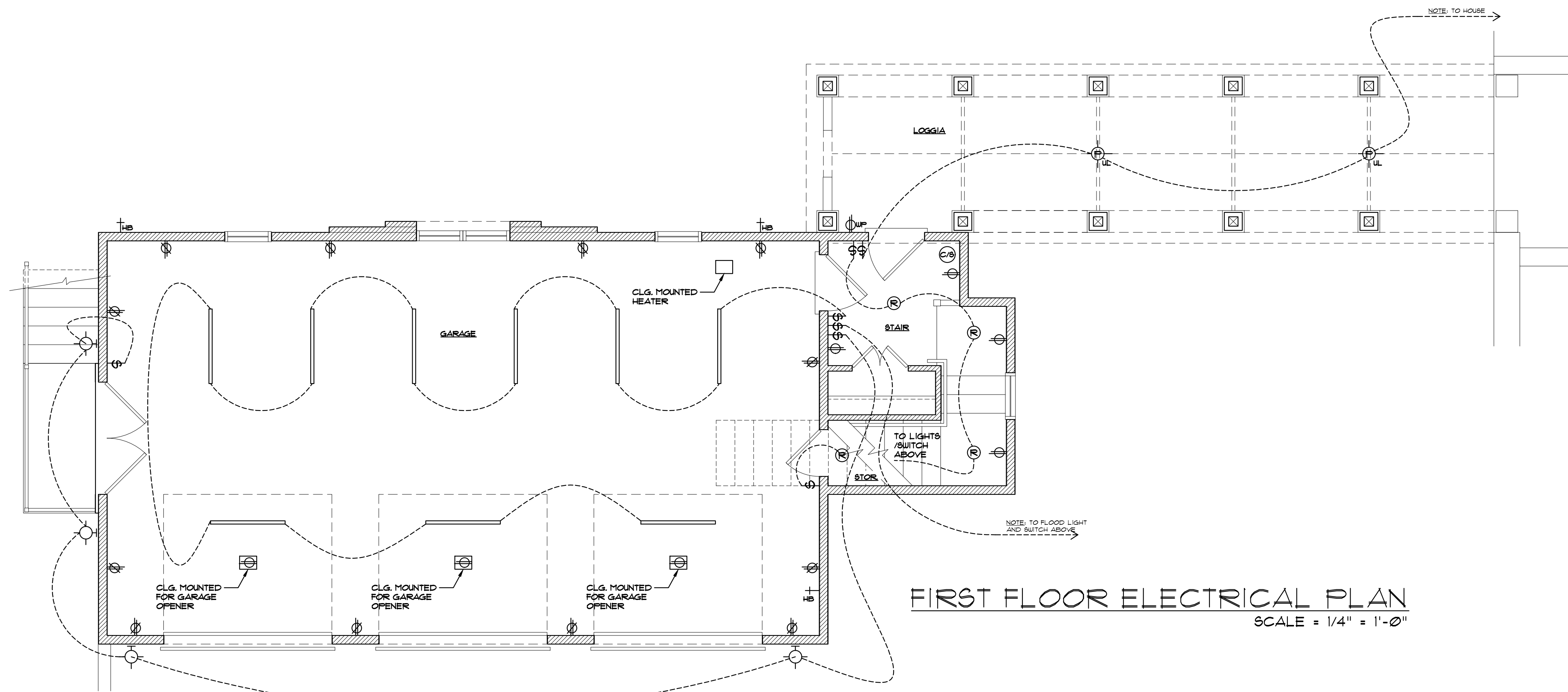


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 9510 HEMSWELL FL
 POTOMAC, MD 20854

E001



SECOND FLOOR ELECTRICAL PLAN
 SCALE = 1/4" = 1'-0"



FIRST FLOOR ELECTRICAL PLAN
 SCALE = 1/4" = 1'-0"

ELECTRICAL SYMBOL LEGEND

- ⊕ SINGLE POLE SWITCH
- ⊕₃ THREE WAY SWITCH
- ⊕ DUPLEX RECEPTACLE
- ⊕₄₂ SWITCHED DUPLEX RECEPTACLE
- ⊕₄₂ COUNTER HEIGHT DUPLEX RECEPTACLE
- ⊕ GFI CIRCUIT RECEPTACLE
- ⊕ FLOOR RECEPTACLE
- ⊕ WALL MOUNTED LIGHT FIXTURE
- ⊕ CEILING MOUNTED LIGHT FIXTURE
- ⊕ FULL CHAIN LIGHT/BARE BULB
- ⊕_{CF} CEILING LIGHT AND FAN
- ⊕_{PL} PENDANT LIGHT (U/L LISTED)
- ⊕_R RECESSED LIGHT FIXTURE
- ⊕_{RF} RECESSED LIGHT FIXTURE (VAPOR PROOF)
- ⊕_L RECESSED LIGHT FIXTURE (LOW VOLTAGE)
- 4' LED STRIP LIGHT
- ⊕_{2x2} 2x2 CEILING MOUNTED FLUORESCENT
- ⊕ SMOKE DETECTOR
- ⊕ THERMOSTAT
- ⊕ ELECTRICAL PANEL
- ⊕ CLG. EXHAUST FAN
- ⊕ PHONE/DATA JACK
- ⊕ TV TELEVISION JACK/COAXIAL CABLE
- ⊕ FLOOD LIGHTS SOFFIT MOUNTED
- ⊕ EYEBALL ACCENT LIGHT
- ⊕ UNDER CABINET LIGHTS
- ⊕ JUNCTION BOX
- ⊕_{CM} CARBON MONOXIDE MONITOR

NOTES:
 - PROVIDE ATTIC FANS REQUIRED BY ATTIC SQUARE FOOTAGE. PROVIDE OVERRIDE SWITCH IN MASTER BEDROOM.
 - USE BASEBOARD OUTLETS ON WALLS WITH PANELING.
 - ELECTRICAL PANEL, THERMOSTAT & UTILITY METERS TO BE LOCATED AS REQUIRED. CONTRACTOR TO COORDINATE.
 - ALL HVAC PLUMBING & ELECTRICAL APPLIANCES TO RECEIVE POWER AS REQUIRED.
 - ALL BATHROOM OUTLETS AND SWITCHES, IF MOUNTED ON THE SAME WALL, SHALL BE MOUNTED AT THE SAME HEIGHT ABOVE THE FINISHED FLOOR, TYP.

APPROVED
 Montgomery County
 Historic Preservation Commission

REVIEWED
 By Dan.Bruechert at 1:01 pm, Apr 17, 2024

From: Daniels, Delvin Delvin.Daniels@montgomerycountymd.gov
Subject: RE: 9510 Hemswell Place (20-286)
Date: February 23, 2024 at 1:42 PM
To: Jeff Robertson jeff@casengineering.com



Good afternoon.
I don't remember this one. However, shifting the garage closer to the one story structure does not create a Zoning setback issue.

Best Regards

Delvin L. Daniels
Zoning Specialist
240-777-6249
Department of Permitting Services
2425 Reddie Drive
Wheaton, Maryland 20902
"Make No Decision Based On Selfish Ambition"

From: Jeff Robertson <jeff@casengineering.com>
Sent: Tuesday, February 20, 2024 11:41 AM
To: Daniels, Delvin <Delvin.Daniels@montgomerycountymd.gov>
Subject: 9510 Hemswell Place (20-286)

[EXTERNAL EMAIL]

Hi Delvin,

You may recall having assisted us with the above reference property. The building permit 1036704 has been issued, but the owner is considering shifting the garage about 7-ft closer to the attached one-story building. I am fairly certain the building's location still complies with the accessory setbacks, location, and coverage limitations, but wanted to confirm things with you before we begin the permit revision process.

Would you please review the attached PDF and let me know if the revised location is approvable?

Jeffrey A. Robertson
Branch Manager
CAS ENGINEERING
Experience You Can Build On.
10 South Bentz Street
Frederick, MD 21701
301-607-8025 office
301-639-3737 mobile
jeff@casengineering.com
<http://casengineering.com>



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