

HISTORIC PRESERVATION COMMISSION

Marc Elrich County Executive Robert K. Sutton Chairman

September 16, 2022

MEMORANDUM

TO:	Mitra Pedoeem
	Department of Permitting Services
FROM:	Dan Bruechert
	Historic Preservation Section
	Maryland-National Capital Park & Planning Commission
SUBJECT:	Historic Area Work Permit #1004042 - Fenestration Alteration

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was <u>Approved</u> at the September 7, 2021 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

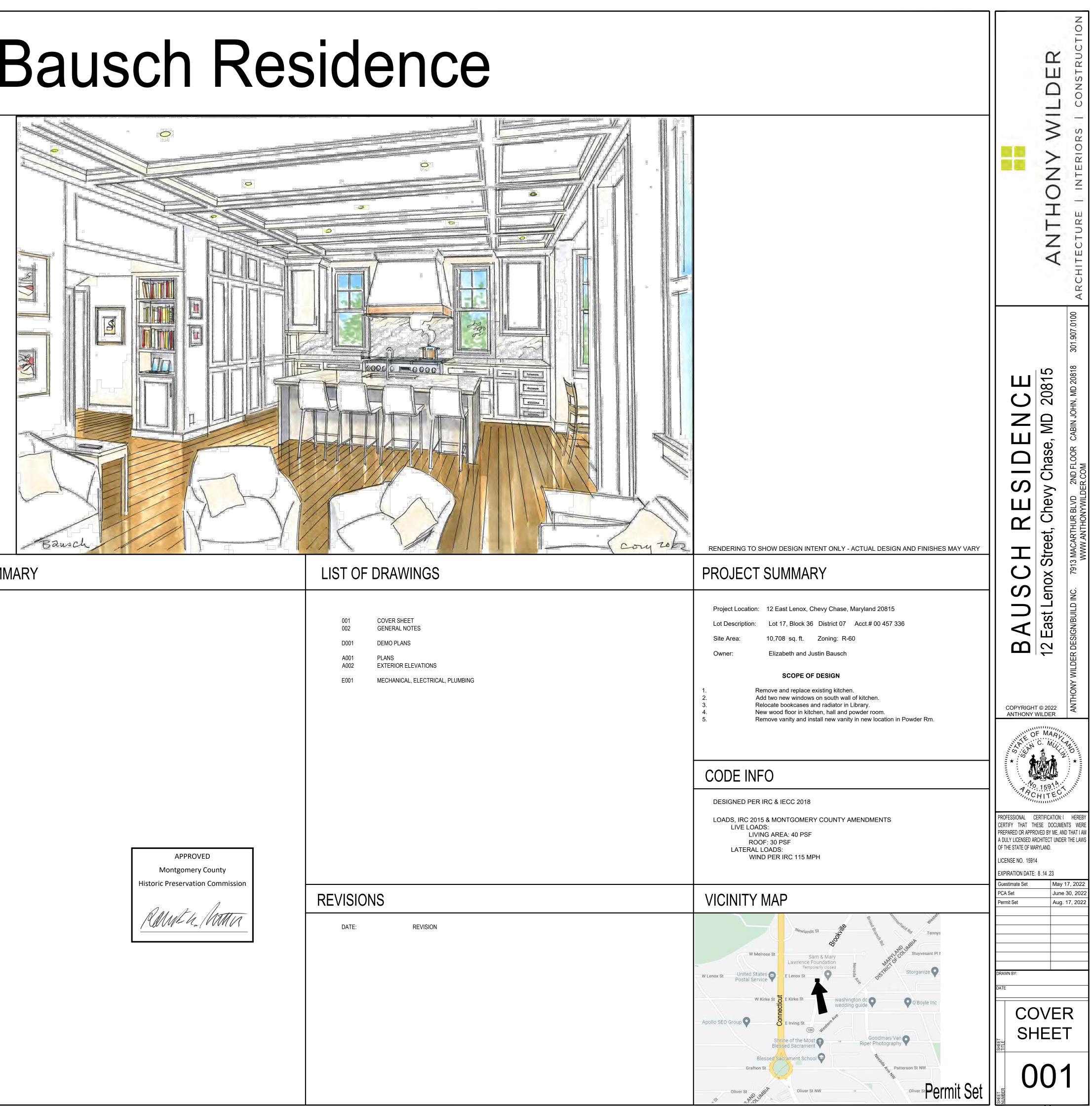
Applicant: Justin and Elizabeth Bausch Address: 12 E. Lenox St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



EARTHWORKS: EARTH / COMPACTED FILL POROUS FILL/ CONCRETE: CAST - IN - PLACE PRECAST CONCRETE MASONRY: Image: Cast - IN - PLACE Image: Concrete conc
MASONRY: Image: Concrete block METAL: Image: Concrete block METAL: Image: Concrete block WOOD: Image: Concrete block GLASS: Image: Concrete block
MASONRY: District BLOCK METAL: Image: Construction of the state
METAL: WOOD: GLASS: GLASS BLOCK GLASS BLOCK GLASS BLOCK GLASS BLOCK GLASS BLOCK GLASS BLOCK
GLASS:
INSULATION: BATT / LOOSE FILL RIGID RIGID
ACOUSTICAL TILE CERAMIC TILE - SMALL SCALE
FINISHES: METAL LATH & GYPSUN PLASTER GYPSUN WALLBO
ELEVATION INDICATIONS: BRICK CERAMIC TILE CONCREPLASTE
DRAWING SYMBOLS
DETAIL NUMBER V XX DETAIL REFERENCE DETAIL REFERENCE DETAIL REFERENCE DETAIL NUMBER DETAIL NUMBER
DETAIL NUMBER XX DETAIL REFERENCE DRAWING NUMBER SECTION REFERENCE SECTION REFERENCE SECTION OR ELEVATION SECTION OR ELEVATION SECTION OR ELEVATION
DETAIL NUMBER DETAIL REFERENCE DRAWING NUMBER ELEVATION REFERENCE CALL SPOT ELEVATION SECTION OR ELEVATION SECTION NUMBER
DETAIL NUMBER FLOOR NO. SPOT ELEVATION DETAIL REFERENCE DETAIL REFERENCE SECTION OR ELEVATION DRAWING NUMBER Image: Constraint of the section of the sect
DETAIL NUMBER FLOOR NO. SPOT ELEVATION DETAIL REFERENCE DETAIL REFERENCE SECTION OR ELEVATION DRAWING NUMBER Image: Constraint of the section of th
Image: Construction of the construc
DETAIL NUMBER DETAIL REFERENCE DRAWING NUMBER CX DETAIL REFERENCE DRAWING NUMBER CX DRAWING SECTION REFERENCE CX DRAWING ELEVATION DRAWING RUMBER DRAWING NUMBER DRAWING NUMBER
DETAIL NUMBER DETAIL NUMBER DETAIL REFERENCE DRAWING NUMBER CORNOUNDER DRAWING NUMBER DELEVATION NUMBER DELEVATION NUMBER DELEVATION NUMBER DRAWING NUMBER
DETAIL NUMBER DETAIL NUMBER DETAIL REFERENCE DRAWING NUMBER SECTION OR ELEVATION SECTION OR ELEVATION DRAWING NUMBER ELEVATION NUMBER SECTION RUMBER DRAWING NUMBER DRAWING NUMBER MULTIPLE INTERIOR ELEVATION ELEVATION NUMBER CUSTOM MILLWORK ELEVATION NUMBER CUSTOM MILLWORK ELEVATION NUMBER

Bausch Residence



UMMARY

001	COVER SHEET
002	GENERAL NOTES
D001	DEMO PLANS
A001	PLANS
A002	EXTERIOR ELEVATIO

GENERAL INFORMATION

- A. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MONTGOMERY COUNTY AND THE 2018 INTERNATIONAL **RESIDENTIAL CODE FOR ONE AND TWO-FAMILY DWELLINGS**
- B. THIS PROJECT HAS BEEN DESIGNED FOR THE WEIGHTS AND MATERIALS INDICATED ON THE DRAWINGS AND FOR THE SUPERIMPOSED LOADS INDICATED ON THE STRUCTURAL DRAWINGS. VERIFY PROPER DESIGN AND CONSTRUCTION OF ALL FORMWORK, SHORING, AND BRACING
- C. FIELD VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, AND ELEVATIONS RELATED TO THE PROPOSED WORK PRIOR TO ESTIMATING, FABRICATION, OR CONSTRUCTION. VERIFY ALL FLOOR AND ROOF OPENINGS WITH THE ARCHITECTURAL AND MEP DRAWINGS. VERIFY ALL DEPRESSIONS, DIMENSIONS, AND SLOPES FROM THE ARCHITECTURAL DRAWINGS. ANY DISCREPANCY SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO INSTALLATION OR FABRICATION. IN CASE OF CONFLICTS, MOST STRINGENT SHALL GOVERN. NOTIFY ARCHITECT IMMEDIATELY OF ANY CONFLICTS. OVERALL DIMENSIONS TAKE PRECEDENCE OVER DIMENSION DISCREPANCIES ARISING OUT OF THE USE OF NOMINAL AND ACTUAL DIMENSIONS. ADJUST UNIT DIMENSIONS ACCORDINGLY TO ACHIEVE ESTABLISHED ELEVATIONS. SHIM AS REQUIRED.
- D. ALL WORKMANSHIP SHALL BE PERFORMED AND COMPLETED IN A WORKMANLIKE MANNER MAINTAINING THE HIGH QUALITY OF STANDARDS FOR EACH TRADE.
- E. THE DIMENSIONS SHOWN ON THE DRAWINGS ARE TO ROUGH FRAMING UNLESS OTHERWISE NOTED. DIMENSIONS, NOTES, FINISHES, ETC. INDICATED ON THE PLANS, SECTIONS, AND/OR DETAILS SHALL APPLY TO SIMILAR, SYMMETRICAL AND OR OPPOSITE PLANS, SECTIONS AND/OR DETAILS UON OR DETAILED.
- F. THESE DRAWINGS ARE FOR GRAPHIC REPRESENTATION ONLY. DO NOT SCALE DRAWINGS

STRUCTURAL

A. SEE S-0 FOR GENERAL STRUCTURAL NOTES

INSULATION

- A. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE RESIDENTIAL ENERGY PRESCRIPTIVE CODE REQUIREMENTS, MONTGOMERY COUNTY CODE CHAPTER 8. MINIMUM INSULATION VALUES SHALL BE AS FOLLOWS:
- 1. EXTERIOR WALLS: R-20
- 2. CRAWL SPACE WALLS: R-10
- 3. FLOOR ASSEMBLIES: R-19
- 4. FLOOR ASSEMBLIES OVER OUTSIDE AIR: R-38
- 5. PERIMETER SLABS: R-10 RIGID, 2' DEPTH
- 6. EXTERIOR DOORS: SOLID CORE OR METAL INSULATED 7. GLAZING: DOUBLE-INSULATED WITH U-VALUES AS REQUIRED
- 8. ROOF: R-49 OPEN -CELLED SPRAY FOAM AS ALLOWED
- B. AIR LEAKAGE: THE BUILDING THERMAL ENVELOPE SHALL BE DURABLY SEALED TO LIMIT INFILTRATION. THE SEALING METHODS BETWEEN DISSIMILAR MATERIALS SHALL ALLOW FOR DIFFERENTIAL EXPANSION AND CONTRACTION. THE FOLLOWING SHALL BE CAULKED, GASKETED, WEATHERSTRIPPED OR OTHERWISE SEALED WITH AN AIR BARRIER MATERIAL. SUITABLE FILM OR SOLID MATERIAL
- 1. ALL JOINTS, SEAMS AND PENETRATIONS.
- 2. SITE-BUILT WINDOWS, DOORS AND SKYLIGHTS.
- 3. OPENINGS BETWEEN WINDOW AND DOOR ASSEMBLIES AND THEIR RESPECTIVE JAMBS AND FRAMING.
- 4. UTILITY PENETRATIONS.
- 5. DROPPED CEILINGS OR CHASES ADJACENT TO THE THERMAL ENVELOPE.
- 6. KNEE WALLS.
- 7. WALLS AND CEILINGS SEPARATING A GARAGE FROM CONDITIONED SPACES.
- 8. BEHIND TUBS AND SHOWERS ON EXTERIOR WALLS
- 9. COMMON WALLS BETWEEN DWELLING UNITS
- **10. ATTIC ACCESS OPENINGS.**
- 11. RIM JOIST JUNCTION.
- 12. OTHER SOURCES OF INFILTRATION.
- NOTE: AIR PERMEABLE INSULATION

(FIBERGLASS/ROCKWOOL...ETC.) SHALL NOT BE USED AS A SEALING MATERIAL

- C. TESTING (IF REQUIRED)
- D. : THE BUILDING OR DWELLING UNIT SHALL BE TESTED AND VERIFIED AS HAVING AN AIR LEAKAGE RATE NOT EXCEEDING 3 AIR CHANGES PER HOUR. TESTING SHALL BE CONDUCTED WITH A BLOWER DOOR AT A PRESSURE OF 0.2 INCHES W.G. (50 PASCALS). TESTING SHALL BE CONDUCTED BY A THIRD PARTY. A WRITTEN REPORT OF THE TEST RESULTS SHALL BE SIGNED BY THE THIRD PARTY CONDUCTING THE TEST AND PROVIDED TO THE BUILDING INSPECTOR NOT LATER THAN THE FINAL BUILDING INSPECTION. TESTING SHALL BE PERFORMED AT ANY TIME AFTER THE CREATION OF ALL PENETRATIONS OF THE BUILDING THERMAL ENVELOPE.
- ALL PIPES AND VENT STACKS IN EXTERIOR WALLS SHALL BE INSULATED.
- PROVIDE FIRESTOPPING TO CUT OFF ALL CONCEALED DRAFT OPENINGS WITHIN ALL SOFFITS AT CEILINGS FOR DUCTWORK AND PLUMBING SHAFTS, DUCTS AND FLUES PENETRATING THROUGH FLOOR/CEILING ASSEMBLIES. ADHERE TO THE DESIGN CRITERIA WITHIN THESE SPECIFICATIONS.

SEALANTS, MOISTURE PROOFING, AND GLAZING

- A. APPROPRIATE SEALANTS SHALL BE SELECTED FOR EACH SUBSTRATE DEPENDING UPON LOCATION (INTERIOR AND EXTERIOR), HUMIDITY AND MOISTURE CONDITIONS, AND TRAFFIC CONDITIONS. USE PRIMERS AS REQUIRED. BUILDING PAPER: USE 15# FELT PAPER UNDER ANY VENEER: BRICK, STONE, CLAY TILE, CONCRETE, OR ARTIFICIAL STONE. ATTACH FELT PAPER TO SHEATHING WHENEVER NECESSARY TO PREVENT MOISTURE PENETRATION BEHIND THE VENEER. APPROVED WATER RESISTANT SHEATHING OR AIR INFILTRATION BARRIER MAY BE SUBSTITUTED FOR BUILDING PAPER IF APPROVED BY ARCHITECT AND LOCAL BUILDING OFFICIALS.
- B. AT EXTERIOR SIDING CONNECTIONS TO WOOD TRIM PROVIDE SEALED JOINTS AS REQUIRED BY MANUFACTURER BETWEEN J-CHANNEL AND/OR WOOD TRIM.
- C. SEAL AT ALL EXTERIOR LOCATIONS INCLUDING THE FOLLOWING: EXTERIOR WINDOW AND DOOR FRAMES
 - BETWEEN WINDOW AND DOOR FRAMES AND ADJACENT
- WOOD FRAMING 3. PENETRATIONS OR UTILITY SERVICE THROUGH WALLS,
- FLOOR, AND ROOFS
- 4. SEALANTS SHALL BE FORMALDEHYDE-FREE D. APPLY WATERPROOFING MEMBRANE TO ALL FOUNDATION WALLS
- ACRYLIC LATEX CAULKING SHALL BE USED FOR WOOD TO BRICK, SIDING TO BRICK, SIDING TO WOOD, AND SIDING TO SIDING AND AT ALL EXTERIOR DOOR THRESHOLDS AS RECOMMENDED BY MANUFACTURER. COLOR TO BE COORDINATED WITH ADJACENT MATERIALS. VERIFY WITH ARCHITECT.
- F. FLASHING PER CURRENT IRC CODE:
- 1. DOOR AND WINDOW FRAMES AS REQUIRED
- 2. DECK AND WALL CONNECTIONS 3. CHIMNEY, FLUE LINER CONNECTION THROUGH AND AS
- WALL AND ROOF 4. DORMERS, VALLEYS, AND CRICKETS AS REQUIRED
- CODE APPROVED CORROSIVE RESISTANT FLASHING SHALL BE PROVIDED AT THE TOP OF ALL EXTERIOR WINDOW AND DOOR OPENINGS IN SUCH A MANNER AS TO BE SEALED TIGHT. SELF-FLASHING WINDOWS SHALL HAVE A CONTINUOUS LAP OF NOT LESS THAN 1-1/8" OVER THE SHEATHING MATERIAL AT THE PERIMETER OF THE OPENING.
- G. PROVIDE APPROVED SILL SEALER BETWEEN FOUNDATION WALL AND SILL PLATES.
- H. PROTECT ALL UNVENTED SPACES WITH A VAPOR BARRIER ON THE CONDITIONED SIDE WITH A MAXIMUM PERM RATING OF 1.0. WHEN GRADE IS ABOVE CONDITIONED INTERIOR SPACES, FOOTING DRAINS SHALL BE 4" DIAMETER PERFORATED PIPE SET IN 6" MIN. ³/₄" GRAVEL FILL AND DRAIN TO SUMP PUMP OR TO POSITIVE OUTFALL. COVER WITH FILTER PAPER AND 6" GRAVEL FILL. NO FOOTING DRAINS ARE REQUIRED WHEN GRADE IS BELOW SLAB.
- ROOFING: PROVIDE FIBERGLASS, ASPHALT, OR OTHER APPROVED COMPOSITION SHINGLES. FINAL ROOFING MATERIAL USED WILL BE COORDINATED WITH HOMEOWNER. PROVIDE WATER PROOFING ROOF UNDERLAYMENT FELT MINIMUM 15# FELT APPLIED AS REQUIRED BY IRC. PROVIDE ICE DAMMING MEMBRANE TO 24" ABOVE GUTTER LINE AND ALL ROOFS AND UP AND DOWN ALL VALLEYS. PROVIDE CONTINUOUS ICE DAMMING MEMBRANE ON ALL ROOF SURFACES WITH SLOPES LESS THAN 3.5 UNITS IN 12. AT ALL ROOF SLOPES LESS THAN 3 UNITS IN 12, PROVIDE 2 LAYERS OF 15# FELT PAPER. AT ALL ROOF SLOPES LESS THAN 2 UNITS IN 12 PROVIDE SELF-SEALING RUBBER ROOF MEMBRANE INSTALLED IN A CONTINUOUS SHEET AND AS PER MANUF. WRITTEN SPECS. AND REQUIREMENTS. ASPHALT AND COMPOSITION SHINGLES WILL BE FASTENED AS PER IRC. ASPHALT SHINGLES WILL BE APPLIED IN ACCORDANCE WITH MANUF. WRITTEN INSTRUCTIONS. CEDAR SHAKE ROOFING SHALL BE INSTALLED PER MANUF. WRITTEN INSTRUCTIONS AND SHALL BE FASTENED PER IRC. USE MESH UNDERLAYMENT AS RECOMMENDED BY ROOFING MANUF. OR INSTALLERS. ALL ROOFING WILL HAVE A CONTINUOUS DRIP EDGE AT ALL OVERHANGS.
- K. SIDE WALL FLASHING: FLASHING AGAINST VERTICAL SURFACES WILL BE BY FLASHING AND COUNTER FLASHING. VERTICAL FLASHING DIMENSION WILL NOT BE LESS THAN 18" ABOVE THE ADJACENT ROOF SURFACE. IF VERTICAL SURFACE IS MASONRY LET IN FLASHING MIN. 1/2" AND SEALED TIGHT WITH ROOF TAR/SEALANT.
- ALL ATTICS WILL BE ACCESSIBLE THROUGH ACCESS PANELS AS REQUIRED BY LOCAL JURISDICTION. PROVIDE REMOVABLE PANELS REQUIRED AND FINISH INTERIOR FACE CONSISTENT WITH ADJACENT FINISHES.
- M. PROVIDE INSULATED AND TEMPERED SAFETY GLAZING AS REQUIRED BY IRC THAT INCLUDES ALL EXTERIOR DOOR ASSEMBLIES AND ADJACENT SIDELIGHTS, ABOVE BATHTUBS, WINDOW SASHES LESS THAN 18" AFF AND MORE THAN 9 SQUARE FEET WITHIN EACH SASH AND WINDOWS CLOSER THAN 24" TO ADJACENT DOORS. SEE IRC FOR HAZARDOUS GLAZING LOCATIONS. ALL LOVER LEVEL/CELLARS WILL HAVE A MEANS OF EGRESS PER LATEST IRC AND LOCAL AMENDMENTS. ALL BEDROOMS IN ANY LEVEL OF STRUCTURE WILL HAVE AT LEAST ONE APPROVED EGRESS WINDOW, COORDINATE WITH WINDOW MANUF. SELECTED AND LOCAL JURISDICTION FOR ANY/ALL AMENDMENTS.
- N. IT IS RECOMMENDED THAT ALL DRYWALL AT LOWER

LEVEL/BELOW GRADE AREAS BE 'MILDEW-RESISTANT' TYPE.

- VENTILATION A. ALL INTERIOR BATHROOMS WILL BE EQUIPPED WITH MECHANICAL EXHAUST FAN. B. DRYER VENTS AND KITCHEN VENTS SHALL BE VENTED TO THE EXTERIOR IN ACCORDANCE WITH THE IRC. C. NEW BASEMENTS WILL HAVE PVC PIPE INSTALLED FROM ABOVE THE SUMP PUMP THROUGH THE ROOF FOR VENTILATION OF RADON IF DETECTED. FOLLOW ALL LOCAL, STATE, AND FEDERAL GUIDELINES WITH REGARDS TO VENTILATING RADON D. ALL INTERIOR PREFABRICATED GAS OR WOOD-BURNING FIREPLACES WILL BE INSTALLED IN STRICT ACCORDANCE OF MANUFACTURERS WRITTEN SPEC. PROVIDE APPROPRIATE RECOMMENDED CLEARANCES FOR FIREBOX, FLUES, AND TERMINATION CAPS ABOVE THE REQUIRED CHIMNEY HEIGHT VENT EXHAUST AS REQUIRED. E. THE BUILDING SHALL BE PROVIDED WITH [WHOLE HOUSE] VENTILATION THAT MEETS THE REQUIREMENTS OF THE INTERNATIONAL RESIDENTIAL CODE (M1507). OUTDOOR AIR INTAKES AND EXHAUSTS SHALL HAVE AUTOMATIC OR GRAVITY DAMPERS THAT CLOSE WHEN THE VENTILATION SYSTEM IN NOT OPERATING. PLUMBING NOTES A. ALL PLUMBING WILL BE IN COMPLIANCE WITH NATIONAL PLUMBING CODE GUIDELINES LATEST EDITION AS APPROVED BY LOCAL JURISDICTIONS. ALL PLUMBING SYSTEMS WILL BE COMPLETED IN PLACE, TESTED AND APPROVED AS SHOWN ON THESE DOCUMENTS. GAS PIPING SHALL CONFORM TO NFPA 54. B. PLUMBING FIXTURES TO MEET ASME CODE REQUIREMENTS. C. PLUMBING CONTRACTOR SHALL PROVIDE DESIGN FOR PERMITS AS REQUIRED BY LOCAL JURISDICTIONS. PROVIDE ACCESS PANELS AS REQUIRED FOR ALL TUBS INSTALLED. D. ALL THROUGH VENT STACKS WILL TERMINATE A MINIMUM OF 6" ABOVE ROOFING SURFACE. FLASH VTR AS REQUIRED. E. SUMP PUMPS ARE TO BE PROVIDED DURING CONSTRUCTION AS REQUIRED TO CONTROL SURFACE WATER AND AFTER CONSTRUCTION AS A PERMANENT MEANS OF CONTROLLING UNDERGROUND WATER. PUMP SIZE AND LOCATION TO BE DETERMINED BY OTHERS. PROVIDE BATTERY BACKUP FOR ALL SUMP PUMPS. PROVIDE GRINDER ATTACHMENT WHEN USED FOR DEDICATED PURPOSES @ LOWER LEVEL GARAGE FRENCH DRAIN. PROVIDE BACKFLOW PREVENTER. <u>HVAC</u> A. ALL SYSTEMS WILL BE INSTALLED IN ACCORDANCE WITH THE LATEST APPLICABLE ENERGY CODES, STATE, LOCAL, AND NATIONAL FIRE PROTECTION ASSOCIATION REQUIREMENTS. ANY ITEMS OR REQUIREMENTS NOTED HEREIN OR ON THE DRAWINGS IN EXCESS OF CODE REQUIREMENTS AND PERMITTED UNDER THE CODE SHALL TAKE PRECEDENCE. B. CONTRACTOR SHALL EXAMINE THE PREMISES AND OBSERVE SITE CONDITIONS WHERE WORK IS TO BE DONE. THE CONTRACTOR WILL DESIGN AND PREPARE DRAWINGS OF THE INTENDED SYSTEM TO BE INSTALLED. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DESIGN ANALYSIS BASED ON SQUARE FOOTAGE AND AMOUNTS OF GLAZING TO BE INSTALLED. C. ALL EQUIPMENT WILL BE TESTED AS TO AIRFLOW, TEMPERATURE BALANCING, VIBRATION, AND PROPER FUNCTION OF ALL DAMPERS, THERMOSTATS, AND CONTROLS. PROVIDE CONDENSATE LINES TO INTERIOR DRAIN LINES AS REQUIRED BY SYSTEM. CONTRACTOR TO COORDINATE. D. ALL CEILING HEIGHTS SHALL COMPLY WITH IRC. ELECTRICAL A. ALL WORK SHALL COMPLY WITH THE NATIONAL ELECTRICAL CODE, LATEST APPROVED EDITION, ANY ITEMS OR REQUIREMENTS NOTED HEREIN OR ON THE DRAWINGS IN EXCESS OF CODE REQUIREMENTS AND PERMITTED UNDER THE CODE SHALL TAKE PRECEDENCE. CONTRACTOR IS **RESPONSIBLE FOR COORDINATING ALL POWER REQUIREMENTS** TO THE HOUSE APPLIANCES, HVAC, AND PLUMBING/MECHANICAL SYSTEMS. B. THE CONTRACTOR SHALL EXAMINE THE PREMISES AND OBSERVE SITE CONDITIONS WHERE THE WORK IS TO BE DONE. THE CONTRACTOR WILL DESIGN AND PREPARE DRAWINGS OF THE INTENDED SYSTEMS TO BE INSTALLED. CONTRACTOR IS RESPONSIBLE FOR ALL DESIGN ANALYSIS BASED ON ANTICIPATED SYSTEMS LOADS. C. ALL ELECTRICAL FIXTURES, SWITCHES, RECEPTACLES, ETC. ARE TO BE UL LISTED. D. ALL SMOKE ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 217 AND INSTALLED IN ACCORDANCE WITH THE PROVISIONS THE IRC AND THE HOUSEHOLD FIRE WARNING EQUIPMENT PROVISIONS OF NFPA 72. SMOKE ALARMS SHALL BE INSTALLED IN THE FOLLOWING LOCATIONS: 1. IN EACH SLEEPING ROOM 2. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
 - 3. ON EACH ADDITIONAL STORY OF THE DWELLING, INCLUDING BASEMENTS AND HABITABLE ATTICS BUT NOT INCLUDING CRAWL SPACES AND UNINHABITABLE ATTICS.
 - E. PROVIDE AN APPROVED CARBON MONOXIDE ALARM INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS IN DWELLING UNITS WITHIN WHICH FUEL-FIRED APPLIANCES ARE INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES.

- F. ELECTRICAL DRAWINGS PRODUCED BY THE ARCHITECT ARE A DIAGRAMMATIC REPRESENTATION OF THE INTENDED WORK. FINAL FIXTURE PLACEMENT WILL BE DETERMINED DURING ON-SITE ELECTRICAL WALK-THROUGH WITH APPROPRIATE PARTIES PRIOR TO ROUGH-IN. ALL GFI OUTLETS WILL BE LOCATED AND MEET APPLICABLE CODE GUIDELINES. ALL OUTLETS ABOVE COUNTERTOPS WILL BE LOCATED 3" ABOVE BACKSPLASHES MOUNTED VERTICALLY. CONFIRM DRYER AND APPLIANCE RECEPTACLE TYPES PRIOR TO ROUGH-IN. ALL CABLES USED SHALL BE PROVIDED WITH FULL-SIZE GROUND. CONFIRM MOUNTING HEIGHTS OF APPLIANCES PRIOR TO ROUGH-IN.
- G. CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL PERMITS REQUIRED.
- H. ALL RECESSED LIGHTS SHALL BE LIGHTOLIER OR SIM. AND BE APPROVED FOR INTENDED INSTALLATION. PROVIDE CONCEALED ROUGH-IN KIT DESIGNED FOR INSULATED AREAS PER CODE REQUIREMENTS. ALL RECESSED LIGHTS AT TUB OR SHOWER LOCATIONS WILL BE VAPOR PROOF AS ALLOWED BY CODE.

FINISHES AND SPECIFICATIONS

- A. ALL EXTERIOR PAINTED SURFACES SHALL BE PRIMED AND CAULKED TIGHT. PROVIDE 2 FINISH COATS ON ALL TRIM, HORIZONTAL SIDING, WINDOWS, AND FOUNDATION WALLS TO GRADE. PROVIDE SEMI-GLOSS ALKYD FINISH ON ALL INTERIOR AND EXTERIOR TRIM. PROVIDE MILDEW RESISTANT PAINT WITHIN ALL BATHROOMS AND LAUNDRY ROOM. PAINT ALL WINDOWS AND OTHER MATERIALS IN STRICT ACCORDANCE WITH WRITTEN MANUFACTURER SPECS AND INSTRUCTIONS. ALL STEEL ANGLES EXPOSED TO THE EXTERIOR SHALL BE COMPLETELY PRIMED PRIOR TO INSTALLATION. CAULK ALL JOINTS TIGHT AND APPLY A FINISH COAT OF RUST AND CORROSION RESISTANT PAINT. SEE INTERIOR DRAWINGS, SPECS, ETC. FOR ADDITIONAL INFORMATION. ALL CUT EDGES AT EXTERIOR WOOD TRIM SHALL BE PRIMED PRIOR TO INSTALLATION. BACK-PRIME ALL EXTERIOR TRIM
- B. SEE ROOM FINISH SCHEDULE FOR INTERIOR TRIM INFO.
- C. FINAL KITCHEN PLAN WILL BE DESIGNED BY OTHERS. SEE DRAWINGS PROVIDED BY CABINET MANUFACTURER FOR MORE INFORMATION.
- D. GYPSUM WALLBOARD SHALL BE ASTM C-36 AS FOLLOWS.
 - 1. REGULAR (1/2"): EXCEPT WHERE NOTED.
- 2. WATER RESISTANT (1/2"): AT BATHROOM CEILINGS AND WALLS THAT ARE NOT TILED. 3. DUROCK INTERIOR TILE BACKER BOARD (1/2"): AT ALL
- SURFACES THAT HAVE TILE. E. GYPSUM BOARDS SHALL HAVE TAPERED EDGES TO
- ACCOMMODATE JOINT REINFORCEMENT.
- F. PROVIDE EDGE CORNER BEADS, TRIM, TAPING, AND JOINT COMPOUNDS AS REQUIRED FOR THE PROPER COMPLETION OF THE JOB. MATERIALS SHALL BE BY U.S. GYPSUM OR APPROVED EQUAL.
- G. REQUIRED FINISH:
 - 1. AT ALL JOINTS AND INTERIOR ANGLES, APPLY TAPE EMBEDDED IN JOINT COMPOUND, AND APPLY THREE SEPARATE COATS OF JOINT COMPOUND OVER ALL JOINTS, ANGLES, FASTENER HEADS, AND ACCESSORIES.
- 2. LEAVE SURFACES SMOOTH AND FREE OF TOOL MARKS AND RIDGES.

HARDWOOD FLOORING:

- 1. PROVIDE WOOD STRIP FLOORING WHERE SHOWN ON THE DRAWINGS.
- 2. WOOD STRIP FLOORING TO BE OAK, AND BE "PRIME" GRADED IN ACCORDANCE WITH THE NATIONAL OAK FLOORING MANUFACTURER'S ASSOCIATION.
- 3. INSTALL FLOORING IN STRICT ACCORDANCE WITH THE RECOMMENDATION OF THE NATIONAL OAK FLOORING MANUFACTURER'S ASSOCIATION.
- 4. AFTER THE FLOORS HAVE BEEN SANDED, THE FLOORING CONTRACTOR SHALL APPLY A MINIMUM OF FOUR STAIN AND URETHANE SAMPLES IN TWO FOOT BY TWO FOOT AREAS ON THE FLOOR FOR THE OWNER TO REVIEW. THE OWNER SHALL HAVE A MINIMUM OF TWO DAYS TO MAKE A SELECTION.
- CERAMIC TILE:
- 1. PROVIDE CERAMIC TILE AND ACCESSORIES IN ACCORDANCE WITH THE TILE COUNCIL OF AMERICA SPECIFICATIONS 137.1, IN COLORS AND PATTERNS TO BE SPECIFIED BY THE OWNER.
- 2. SETTING MATERIALS: COMPLY WITH PERTINENT RECOMMENDATIONS CONTAINED IN THE TILE COUNCIL OF AMERICA "HANDBOOK FOR CERAMIC TILE INSTALLATION". 3. INSTALLATION: COMPLY WITH ANSI A108.1, ANSI A108.2, AND THE "HANDBOOK FOR CERAMIC TILE INSTALLATION" OF THE
- TILE COUNCIL OF AMERICA.
- **a.** EXTEND TILE INTO RECESSES AND UNDER EQUIPMENT AND FIXTURES TO FORM A COMPLETE COVERING WITHOUT INTERRUPTIONS.
- **b.** TERMINATE TILE NEATLY AT OBSTRUCTION, EDGES, AND CORNERS, WITHOUT DISRUPTION OF 4. PATTERN OR JOINT ALIGNMENT.
- **a.** ALIGN JOINTS WHEN ADJOINING TILES ON FLOOR, BASE, TRIM AND WALLS ARE THE SAME SIZE. **b.** LAYOUT TILE WORK AND CENTER THE TILE FIELDS IN
- BOTH DIRECTIONS IN EACH SPACE OR ON EACH WALL AREA.

- 5. REPLACEMENT RESERVE: CONTRACTOR SHALL FURNISH OWNER WITH ONE UNOPENED BOX OFADDITIONAL TILE FOR FUTURE REPAIRS AND MAINTENANCE.
- J. MARBLE TILE:
- 1. ALL MARBLE SHALL BE CUT, POLISHED, AND SET ACCORDING TO THE ITALIAN MARBLE INDUSTRY STANDARDS.
- 2. MARBLE FACES AND ALL EXPOSED EDGES SHALL BE POLISHED. ALL CORNERS SHALL BE FULLY MITERED WITH EASED EDGES TO PREVENT EDGE FAILURE. ALL MITERED AND BUTT JOINTS SHALL FIT TIGHT AND REQUIRE NO FILLING. TILES SHALL BE SET WITH MINIMAL GROUT JOINTS MAX. 3/32".
- 3. REFER TO FINISH SCHEDULE FOR MARBLE TYPE AND STYLE. 4. TILE SHALL BE SET ACCORDING TO THE DRAWINGS WITH
- APPROVED SETTING METHOD. 5. REPLACEMENT RESERVE: THE CONTRACTOR SHALL FURNISH TO THE OWNER ONE UNOPENED BOX OF ADDITIONAL TILES FOR FUTURE REPAIRS AND MAINTENANCE WORK.
- L. <u>VINYL TILE:</u>
 - 1. INSTALLATION OF ALL VINYL COMPOSITION TILE (VCT) SHALL BE DONE IN A MANNER WHICH CONFORMS TO THE FOLLOWING STANDARDS:
 - **a.** ASTM E 648

 - **b.** ASTM E 84
 - **C.** ASTM E 662
 - 2. REPLACEMENT RESERVE: CONTRACTOR TO FURNISH OWNER WITH ONE UNOPENED BOX OF ADDITIONAL TILE FOR FUTURE REPAIRS AND MAINTENANCE.
- M. <u>PAINT:</u>
 - 1. ALL PAINT AND PRIMERS TO BE BENJAMIN MOORE. REFER TO OWNER FOR COLORS AND TYPES.
 - 2. ALL SURFACES TO BE PAINTED SHALL RECEIVE ONE PRIMER COAT AND TWO FINISH COATS.
- 3. ALL PAINT SHALL BE APPLIED ACCORDINGLY TO MANUFACTURER'S RECOMMENDATIONS.
- N. ARCHITECTURAL WOODWORK AND TRIM:
 - ALL MILLWORK, TRIM, AND MOLDING SHALL BE INSTALLED ACCORDINGLY TO THE QUALITY STANDARDS OF THE ARCHITECTURAL WOODWORK INSTITUTE.
 - 2. ALL INTERIOR TRIM AND MILLWORK SHALL CONFORM TO AWI "CUSTOM STANDARDS".
- 3. FLAT TRIM SHALL BE CLEAR PINE OR APPROVED EQUAL.
- 4. ALL CORNERS OF TRIM AND SIDING ARE TO BE MITERED. EXPOSED END GRAINS WILL NOT BE ACCEPTED.
- ALL MILLWORK AND TRIM SHALL BE INSTALLED BY CRAFTSMAN WITH EXPERIENCE IN WORK OF THIS TYPE. ALL WORK SHALL BE FIRST CLASS IN EVERY REGARD AND CONSISTENT WITH THE BEST PRACTICES OF THE TRADE.

APPROVED Montgomery County **Historic Preservation Commission**

MME h. MATTA

REVIEWED By Dan.Bruechert at 2:25 pm, Sep 16, 20

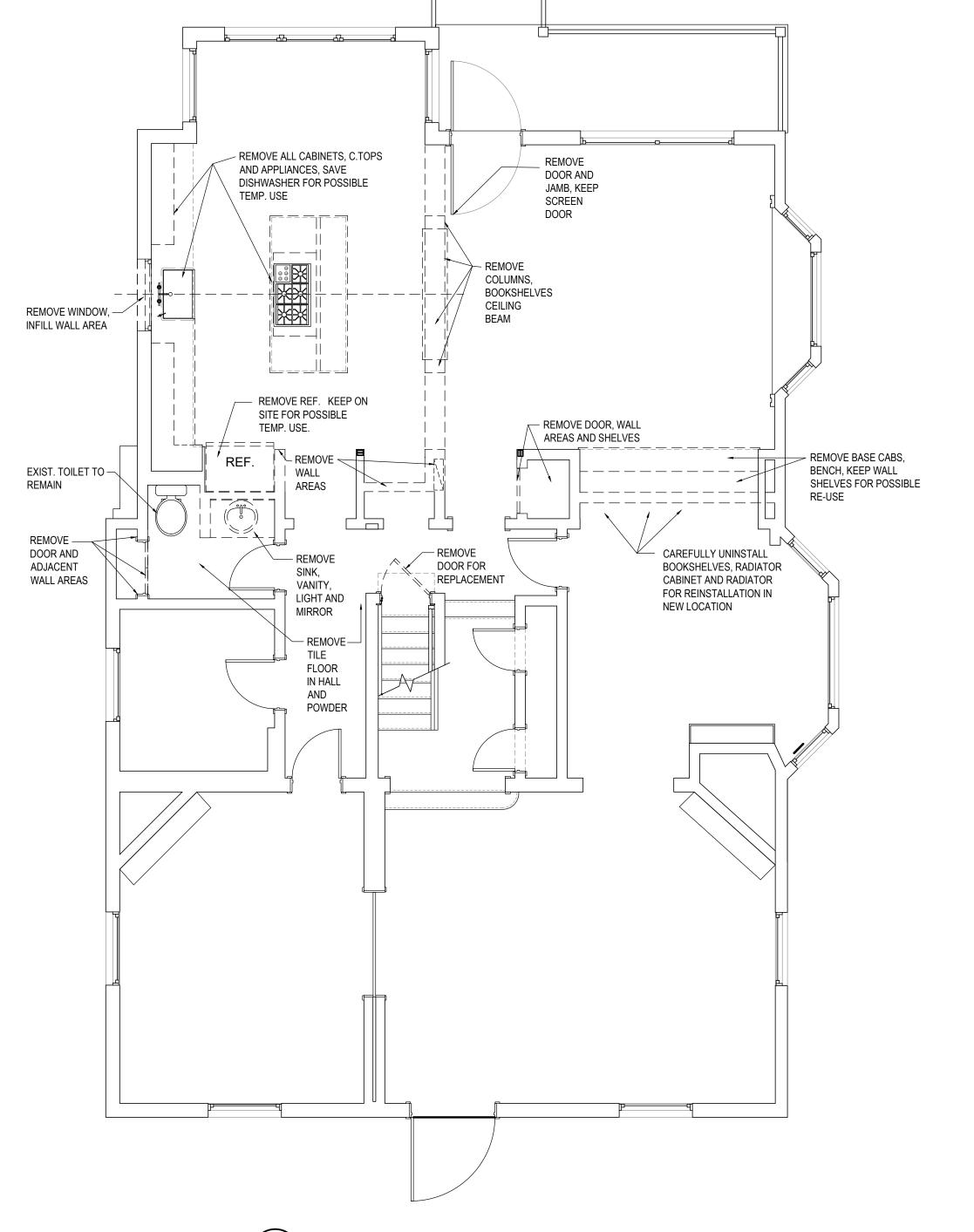
Permit Set

		ANTHONY WILD	ARCHITECTURE INTERIORS CON
Puestimate Set May 17, 2022 CA Set June 30, 2022 ermit Set Aug. 17, 2022 ermit Set Aug. 17, 2022 DRAWN BY: DATE GENERAL	BAUSCH	12 East Lenox Street, Chevy Chase, MD 2081	ANTHONY
CA Set June 30, 2022 Permit Set Aug. 17, 2022		1591. ^A . 1591. ^A . HITEO.	
	CA Set ermit Set		30, 2022 17, 2022

Ш

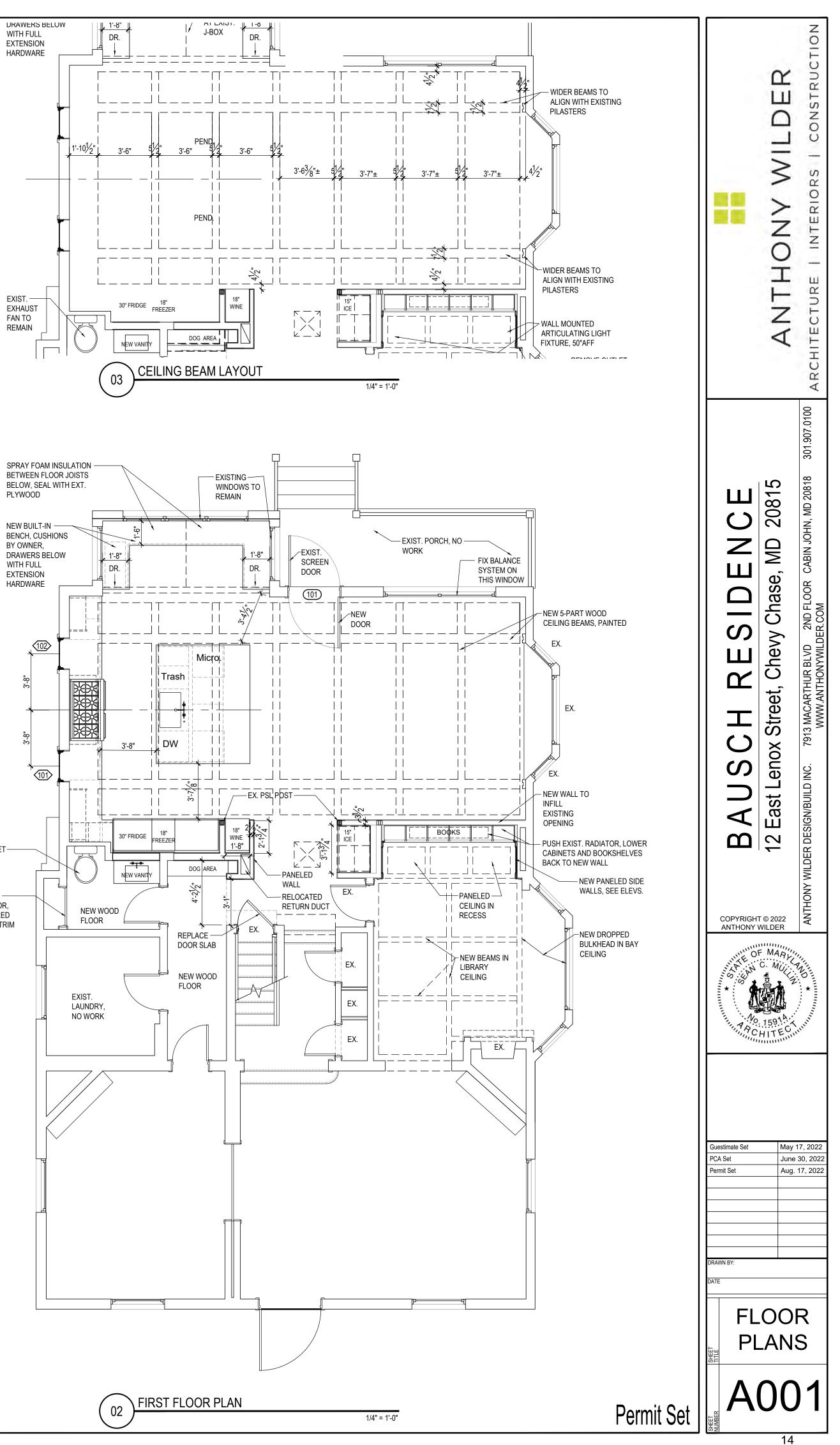
0

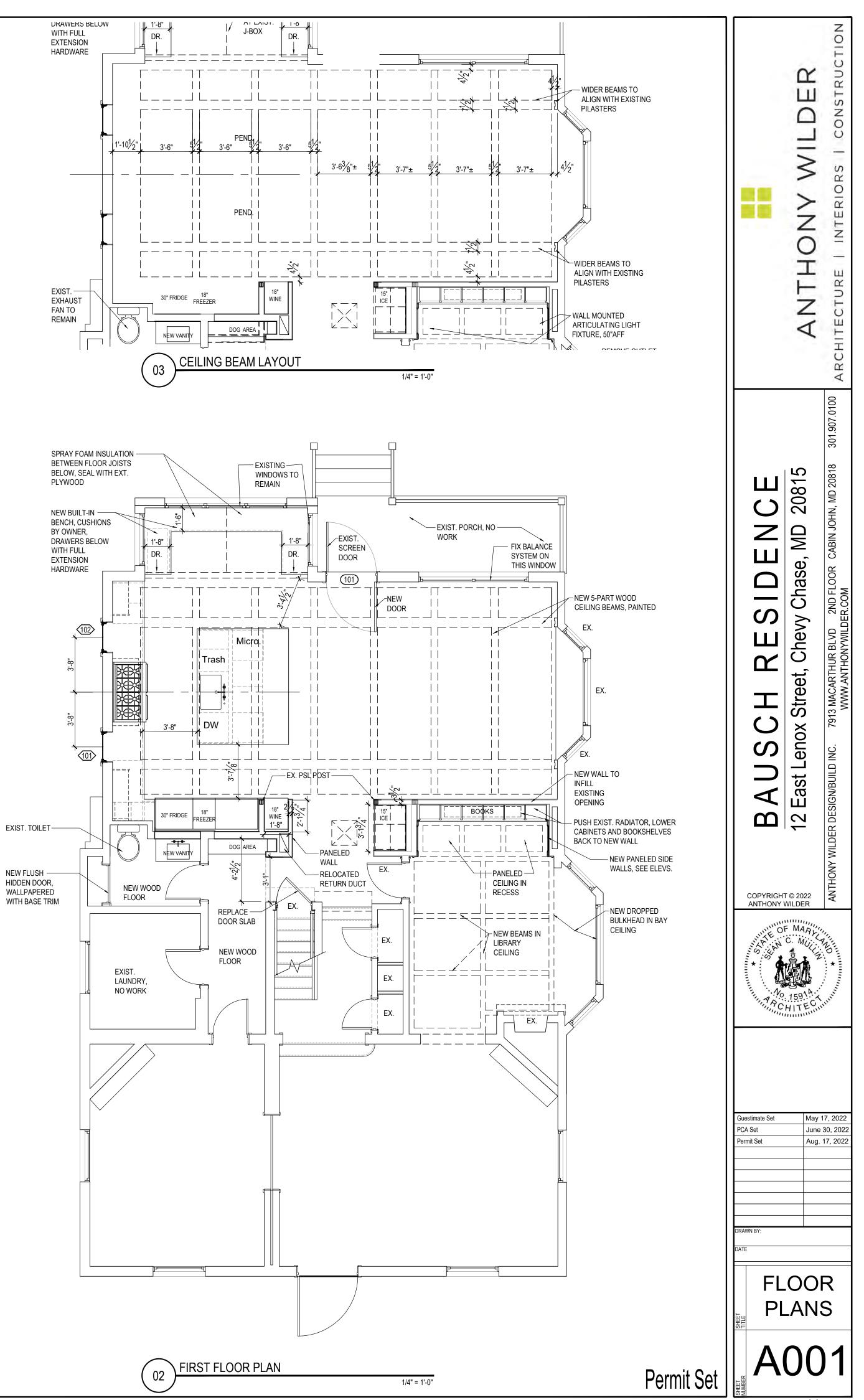
GENERAL ARCHITECTURE PLAN NOTES:	МА	RK I	LOCATION	DESCRIPTION	DESIGNATION		ROUGH OPENING	G JAMB DEP	PTH LITES	GLASS	R.O.	. HEAD	REMARK	IS
1. DRAWINGS ARE GRAPHIC REPRESENTATIONS OF EXISTING	1()1 К	KITCHEN	CASEMENT	Pella - 2'-1" X 4'-	-8"	2'-1 3/4" X 4'-8 3/4'	' V.I.F.	CUSTOM	INSUL LOW-E W/	ARGON EXIST	. EXT. TRIM	HORIZ.	RAIL TO LOOK LIKE DOUBLE HUNG WINDOW, 4 OV
CONDITIONS AND DESIGN INTENT. ACTUAL FIELD CONDITIONS	10)2 K	KITCHEN	CASEMENT	Pella - 2'-1" X 4'-	-8"	2'-1 3/4" X 4'-8 3/4'	' V.I.F.	CUSTOM	INSUL LOW-E W/	ARGON EXIST	. EXT. TRIM	HORIZ.	RAIL TO LOOK LIKE DOUBLE HUNG WINDOW, 4 OV
MAY VARY FROM WHAT IS SHOWN.)3 -		_	_				_				_	· · ·
2. PROTECT ALL FLOORS, WALLS, CEILINGS, AND)4 -												
FURNITURE/BUILT-INS TO REMAIN UNDISTURBED DURING CONSTRUCTION.		-		-	-		-	-	-	-	-		-	
B. WALLS TO REMAIN.	F	IR	ST FLC		DOR S	CHFL	HIIF							
NEW WALLS - EXTERIOR WALLS 2x6 @	1				JOND									
16" O.C. U.O.N.; NON BEARING AND BEARING INTERIOR WALLS	Ν	io T		1	DESCRIPTION			SIZE (W x H x T)	MATERIAL	GLASS	LITES	HAR	RDWARE	REMARKS
2x4 or 2x6 @ 16" O.C.	11	01	- FAMILY ROO		NG FRENCH DOOR		3_0	x 8-0 x 6-9/16"	ALUM. CLAD	INSUL. LOW -E, ARG	ON ALL GLA	99		
ALL DIMENSIONS ARE TO FACE OF STUD U.O.N. VERIFY ALL)2					5-0	X 0-0 X 0-3/10						-
DIMENSIONS IN FIELD. RELOCATE MECHANICAL DUCTS AND PLUMBING AS REQUIRED.				-			-		-	-	-	-		-
PROVIDE NEW WOOD FLOOR TO MATCH EXISTING IF NOT)3		-			-		-	-	-	-		-
ENOUGH EXISTING CAN BE SALVAGED DURING DEMO.	10)4		-			-		-	-	-	-		-
. WINDOW AND DOOR TRIM, BASE AND CROWN: SEE FINISH	Г		ST FLC		VIICH (SCHE		G						
SCHEDULE.	L'	11/	JI I'LC			JCI IL.								
. TEMPORARY KITCHENETTE TO BE LOCATED UP STAIRS.	Ν	10	LOCATION	FLOOR MATERIAL	FLOOR FINISH	WALL MAT.	WALL FINISH	CEILING	CLNG. FINISH	BASE MOULDING	CASING	MIL	LWORK	NOTES
. NEW DOORS SIMILAR TO EXISTING DOORS IN THE HOUSE: PROFILE T.B.D.		04												
0. PROVIDE BLOCKING WITHIN WALLS AT WALL MTD. FIXTURES -			LIVING ROOM	EXISTING	EXISTING	EXISTING	NEW PAINT	EXIST.	NEW PAINT	EXIST.	EXIST.	-		-
TOWEL RACKS, SCONCES, CABINETS ETC AS REQUIRED.	10)2 L	IBRARY	EXISTING	EXISTING	NEW PANELING & EX. DRYWALL	NEW PAINT	NEW & EX. DRYWALL	NEW PAINT	EXIST.	EXIST.	-		-
1. SEE MEP AND STRUCTURAL PLANS FOR ADDITIONAL NOTES	10)3 E	DINING ROOM	EXISTING	EXISTING	EXISTING	NEW PAINT	EXISTING	NEW PAINT	EXIST.	EXIST.	-		-
AND INFORMATION.	10)4 5	STAIRHALL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXIST.	EXIST.	_		_
2. GLASS SHOWERS ENCLOSURES	10		BACK HALL	NEW WOOD FLR.	SATIN POLY.	EXISTING	EXISTING	EXISTING	EXISTING	EXIST.	EXIST.			
	10		POWDER ROOM	NEW WOOD FLR.	SATIN POLY.	EXISTING		EXISTING		EXIST.	EXIST.			
12.1. MINIMUM ³ / ⁴ " THICK DOORS	10	10 F		NLW WOODTER.	SATINFULT.	EXISTING	NEW PAINT	EXISTING	NEW PAINT	EXIST.	EXIST.			
12.1. MINIMUM ⅔" THICK DOORS 12.2. MINIMUM ½" THICK STATIONARY PANELS	10	_	KITCHEN	NEW WOOD FLR.	SATIN POLY.	NEW DRYWALL	NEW PAINT	NEW DRYWALL	NEW PAINT	SIM. TO EXIST.	SIM. TO EXIST.			



APPROVED Montgomery County Historic Preservation Commission

REVIEWED By Dan.Bruechert at 2:25 pm, Sep 16, 2022





FIRST FLOOR DEMOLITION PLAN

1/4" = 1'-0"

APPROVED Montgomery County Historic Preservation Commission

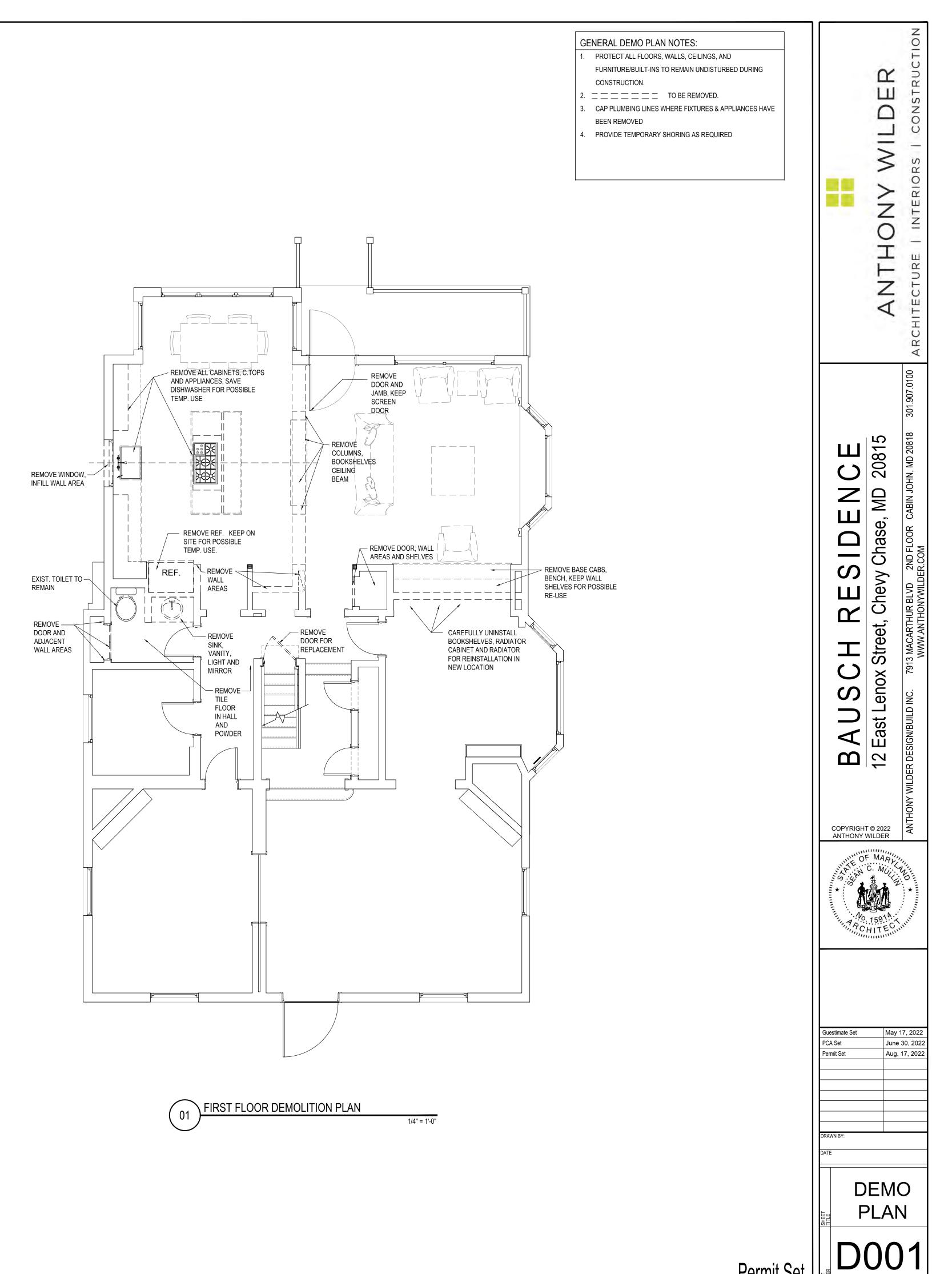
RAME L. MATTA

REVIEWED By Dan.Bruechert at 2:25 pm, Sep 16, 2022



APPROVED
Montgomery County
Historic Preservation Commission
Rame ha Matter

REVIEWED By Dan.Bruechert at 2:25 pm, Sep 16, 2022



Permit Set

16

ELECTRICAL LEGEND

φ	SPECIAL PURPOSE OR HARDWIRE APPLIANCE CONNECTION
φ	DUPLEX RECEPTACLES
H	DUPLEX RECEPTACLES ON DEDICATED CIRCUIT
G FI	GROUND FAULT INTERUP. DUPLEX RECEPTACLES
	QUAD RECEPTACLES
₽	APPLIANCE CONNECTION
	BRASS FLOOR RECEPTACLE
A WP	WATER PROOF OUTLET
GFI	"PLUG MOLD" UNDER CABINET STRIP RECEPTACLE - WHITE
	ON GROUND FAULT INTERUP. CIRCUIT
<u>SWITCHES</u> EX	EXISTING FIXTURE OR DEVICE
\$	SINGLE POLE SWITCH
ф	SINGLE POLE DIMMER SWITCH
\$ ₃	3 - WAY SWITCH
Φ_3	3 WAY DIMMER SWITCH
JS	JAMB SWITCH
† A	TIMER SWITCH AIR SWITCH
	DOOR BELL BUTTON
B	JUNCTION BOX
X	SURFACE MOUNTED FIXTURE
\bigcirc	PENDANT
- \$ -	RECESSED FIXTURE
÷	RECESSED WALL WASHER
-ф-	WALL SCONCE
	WALL SCONCE
	WALL MOUNT OR UNDER CABINET LIGHT SNGL. OR DBL. HEADED FLOOD WITH MOTION SENSOR
FAN -	EXHAUST FAN
\square	FAN / HEAT LAMP
	EXHAUST FAN / LIGHT
\wedge \wedge	VENT TO EXTERIOR U.N.O.
	CEILING FAN (TYP. WITH 3 SPEED SWITCH CONTROL)
	(TF. WITH 3 SPEED SWITCH CONTROL)
COMMUNICATIONS	
VOICE 🗸	VOICE TELEPHONE JACK
D/V 🖤	DATA JACK RJ 45, RJ11 & CATAGORY 5e CABLE
COAXIAL TV-	COAXIAL CABLE JACK (ALL TO BE "HOME-RUNNED" TO BASEMENT OR LOCATION DETERMINED BY HOMEOWNER - NO "DAISY CHAINING")
5.1	HOME THEATRE 5.1 SURROUND SOUND BOX
H/A	HOME AUDIO BOX
SP	SPEAKER - RECESSED IN CEILING
(SP)-H	SPEAKER - WALL MOUNTED
[]- A	AUDIO KEY PADS 54" A.F.F.
VC	SPEAKER VOLUME CONTROL CENTERED OVER SWITCH(S)
SECURITY SYSTEM	
SCP	SECURITY CONTROL KEY PADS 54" A.F.F.
	MOTION DETECTORS
-SR	SIRENS - LEFT AND RIGHT SIDES MOUNTED IN ATTIC BEHIND GABLE LOUVER
D↓S	DOOR JAMB SENSOR - MAIN ENTRANCE, BASEMENT DOOR, SLIDING GLASS DOORS
wus	WINDOW JAMB SENSORS
GB	GLASS BREAK
HS 🛄	HEAT SENSOR
CMD 🖾	CARBON MONOXIDE DETECTOR
SD	SMOKE DETECTOR INTERCONNECTED, HARD WIRED WITH BATTERY BACK UP

HVAC SUPPLY - WALL REGISTER

HVAC SUPPLY - FLOOR REGISTER

HVAC RETURN - WALL REGISTER

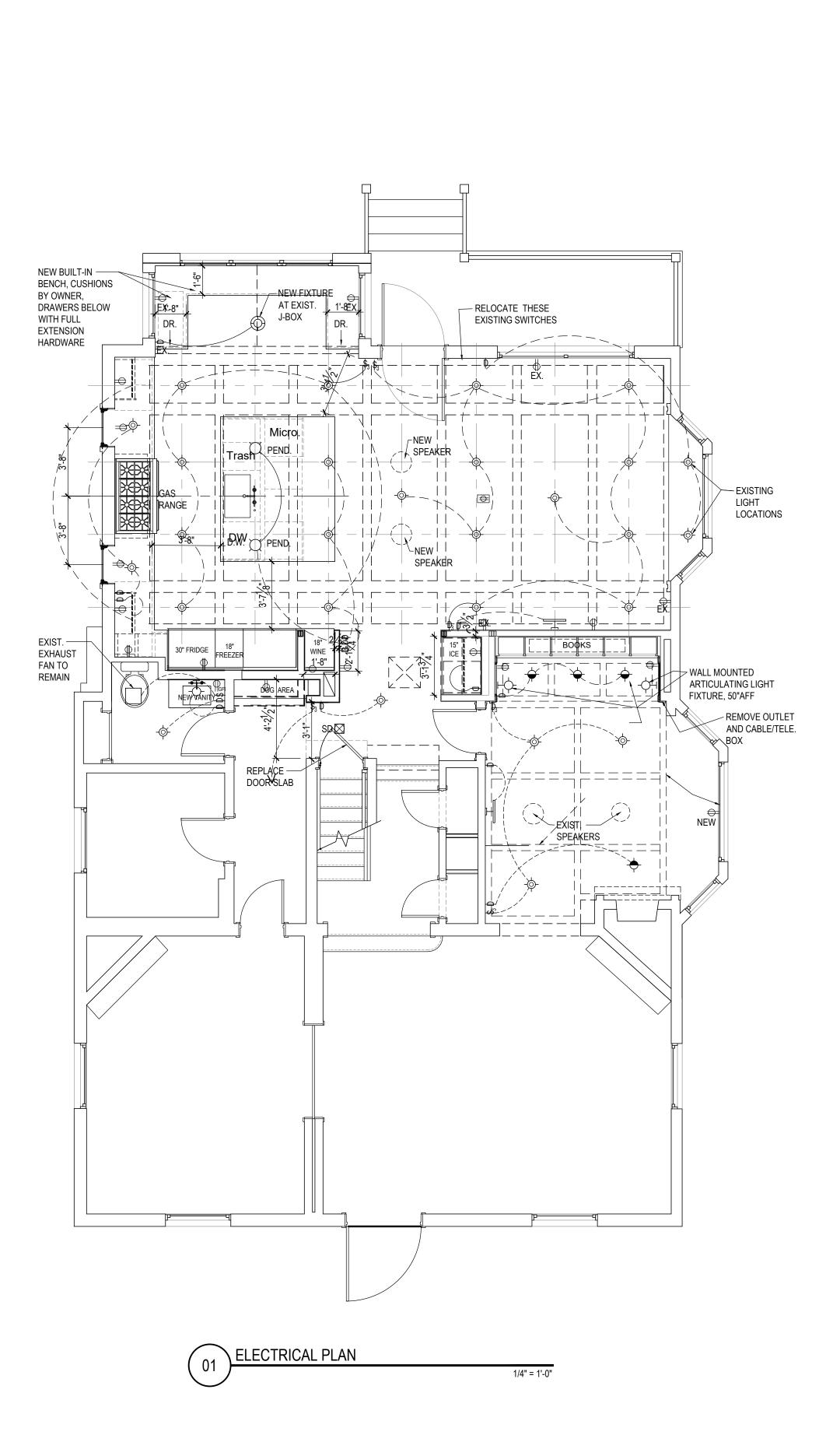
THERMOSTAT - DIGITAL & PROGRAMMABLE

HVAC SYSTEM CONTROLS

-#-



REVIEWED By Dan.Bruechert at 2:26 pm, Sep 16, 2022



GENERAL ELECTRICAL PLAN NOTES:

- 1. ELECTRICAL PLANS ARE FOR DIAGRAMMATICAL PURPOSES ONLY. FINAL LAYOUT TO BE DETERMINED AT ELECTRICAL
- WALK-THROUGH WITH HOMEOWNER 2. ALL OUTLETS AND SWITCHES, IF MOUNTED ON THE SAME
- WALL, SHALL BE LOCATED AT THE SAME HEIGHT. . SWITCH TYPE DESIGNER PADDLE / TOGGLE STYLE
- 4. COORDINATE ELECTRICAL RECEPTACLE LOCATIONS WITH APPLIANCE MANUFACTURERS INSTALLATION INSTRUCTIONS
- ALL SMOKE DETECTORS TO BE HARD-WIRED, INTERCONNECTED AND HAVE BATTERY BACK-UP PER 2018 IRC
- SECTION R313.2.
 PROVIDE ARC FAULT INTERRUPTERS IN EACH BEDROOM AND LIVING AREA AS REQ'D BY 2012 IRC SECTIONS E3802.12 AND
- E3902.12 7. PROVIDE TAMPER RESISTANT RECEPTACLES FOR
- COMPLIANCE WITH SECTION E4002.14 OF 2012 IRC. 8. LIGHT FIXTURES SHALL COMPLY WITH SECTION N1104 OF THE
- 2012 IRC.
 A MINIMUM OF 75 PERCENT OF LAMPS IN PERMANENTLY
- INSTALLED LIGHT FIXTURES SHALL BE HIGH EFFICACY LAMPS TO COMPLY WITH SECTION R404.1 OF THE 2018 IECC.
 10. PROVIDE GFCI RECEPTACLES FOR ALL OUTLETS AT KITCHEN ISLANDS OR COUNTERTOPS TO COMPLY WITH 2018 NEC
- 210-8(A). 11. ALL HVAC, ELEVATOR, PLUMBING AND ELECTRICAL
- APPLIANCES AND EQUIPMENT TO RECEIVE POWER AS REQ'D.
 PER 2012 IECC SECTION 402.4.4, ALL RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT MORE THAN 2.0 CFM (0.944 L/s) WHEN TESTED IN ACCORDANCE W/ ASTM E 283 AT A 1.57 PSF (75Pa) PRESSURE DIFFERENTIAL. ALL RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.
- PER IRC 2012 R315, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS OF THE DWELLING UNIT WITHIN WHICH A FUEL-FIRED APPLIANCE IS INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES

GENERAL MECHANICAL PLAN NOTES:

- 1. FLUSH WOOD FLOOR SUPPLY REGISTERS
- ALL MECHANICAL DUCTS ARE INSULATED TO ≥ R-8.
 ALL JOINTS AND SEAMS OF AIR DUCTS, AIR-HANDLERS, AND FILTER BOXES ARE TO BE SEALED PER METHODS DETAILED IN 2018 JECC R403 2.2
- 2018 IECC R403.2.2
 PER IECC 403.2.2: TOTAL DUCT LEAKAGE TESTS **≤8CFM** PER 100 SQ. FT. OF CONDITIONED FLOOR AREA AT A PRESSURE OF 25 PASCALS, WITH AIR HANDLER INSTALLED.
- . BUILDING CAVITIES ARE NOT TO BE USED AS DUCTS OR PLENUMS.
- 6. HVAC PIPING CARRYING FLUIDS > **105°F** OR FLUIDS < **55°F** ARE INSULATED TO ≥ **R-3**.
- PROVIDE PROTECTION ON ALL HVAC PIPING.
- 8. HOT WATER PIPES TO BE INSULATED TO \geq R-3.
- 9. AUTO/GRAVITY DAMPERS SHALL BE INSTALLED ON ALL INTAKES AND EXHAUSTS, TYP.
- HEAT PUMP THERMOSTAT INSTALLED ON HEAT PUMPS.
 PROGRAMMABLE THERMOSTAT INSTALLED ON ALL FORCED
- III. INCORAWINIABLE THERINICSTATINSTALLED ON ALL FORCEL

 AIR FURNACES.

 12. AIR HANDLER LEAKAGE DESIGNED BY MFR. AT ≤2% OF
- AIR-FLOW. 13. HVAC EQUIPMENT TYPE AND CAPACITY AS PER PLANS. 14. LINE SET INSULATION TO BE AD ADMARK FY OR INCLUMENT
- 14. LINE SET INSULATION TO BE AP ARMAFLEX SS INSULATION ³/₄ THICK W/ AN R-VALUE OF 3.1 AND PROTECTION TO BE E-FLEX GUARD
 15. CONDENSATE FROM COOL WAS COME AND FROM TO BE FLEX
- 15. CONDENSATE FROM COOLING COILS OR EVAPORATORS SHALL BE CONVEYED FROM THE DRAIN PAN TO DISCHARGE INTO THE MAIN SEWER WASTE WATER LINE AT THE LOWER LEVEL OF THE HOUSE. SUCH PIPING SHALL MAINTAIN A MINIMUM SLOPE OF NOT LESS THAN ¹/₈" UNIT VERTICAL IN 12 UNITS HORIZONTAL. CONDENSATE SHALL NOT DISCHARGE INTO A STREET, ALLEY OR OTHER AREAS WHERE IT WOULD CAUSE A NUISANCE.
- 6. AN AUXILIARY DRAIN PAN SHALL BE PROVIDED IN ORDER TO PROTECT THE BUILDING WHERE DAMAGE COULD OCCUR TO COMPONENTS AS A RESULT OF OVERFLOW FROM THE EQUIPMENT DRAIN PAIN, OR STOPPAGE IN THE CONDENSATE DRAIN PIPING. A WATER LEVEL DETECTION DEVICE SHALL BE INSTALLED TO SHUT OFF THE EQUIPMENT IN THE EVENT THAT THE PRIMARY DRAIN LINE IS BLOCKED. THE DEVICE WILL BE INSTALLED ON THE PRIMARY DRAIN LINE.

GENERAL PLUMBING PLAN NOTES:

- 1. PROVIDE INDIVIDUAL WATER SHUT OFF VALVE FOR EACH
- APPLIANCE THAT NEEDS WATER NO SHARING
- 2. CHECK APPLIANCE SPECIFICATIONS FOR WATER REQUIREMENTS
- 3. COORDINATE WITH PLUMBER ON SIZE AND PLUMBER AND
- ARCHITECT ON FINAL LOCATION OF NEW RADIATORS4. INSULATE HOT WATER PIPES TO A MIN. OF R-3
- 5. SA: WATER HAMMER ARRESTORS (SHOCK ABSORBERS) SHALL COMPLY WITH ANSI/ASSE 1010 AND SHALL BE INSTALLED ON WATER DISTRIBUTION PIPING IN WHICH QUICK CLOSING VALVES ARE INSTALLED. WATER HAMMER ARRESTERS SHALL BE PLACED AS CLOSE AS POSSIBLE TO THE QUICK ACTING VALVE, AT THE END OF LONG PIPING RUNS, OR NEAR BATTERIES OF FIXTURES AND 'SHALL BE ACCESSIBLE FOR REPLACEMENT..
- 6. ALL SANITARY PIPING SHALL BE SERVICE WEIGHT CAST IRON OR SCHEDULE 40 PVC.
- 7. ALL VENT PIPING SHALL BE TYPE "DWV" COPPER OR SCHEDULE 40 PVC.
- ALL CONDENSATE DRAIN PIPING SHALL BE DWV COPPER OR
- SCHEDULE 40 PVC.
 9. ALL DOMESTIC WATER PIPING SHALL BE TYPE "L" COPPER ABOVE GROUND AND TYPE "K" COPPER BELOW GRADE. COPPER PIPING SHALL BE HARD COPPER WITH WROUGHT COPPER FITTINGS, 95/5 LEAD FREE SOLDER JOINTS, AND
- COPPERIZED CLEVIS HANGERS
 10. ALL COLD AND HOT WATER DOMESTIC WATER PIPING AND CONDENSATE DRAIN PIPING SHALL BE INSULATED WITH 1
- INCH FIBERGLASS INSULATION WITH ALL SERVICE JACKET.
 11. GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL ASTM A 254 OR ASTM A 539 WITH MALLEABLE IRON FITTINGS. PIPE AND FITTING THREADS SHALL BE TAPER PIPE THREADS AND SHALL COMPLY WITH ASME B1.20.1. THE COMPLETE INSTALLATION SHALL COMPLY ALL REQUIREMENTS OF THE 2009 INTERNATIONAL FUEL GAS CODE. ALL GAS PIPING EXPOSED TO OUTDOORS SHALL BE PAINTED WITH PROTECTIVE PAINT. ALL PIPING ON ROOF SHALL BE SUPPORTED BY MIRO MODEL "3-RAH", OR EQUIVALENT PIPE SUPPORTS.
- ALL GAS PIPING INSTALLED UNDERGROUND SHALL BE FACTORY COATED WITH A FUSION BONDED EPOXY CONFORMING WITH ISO21809-2:2007. NO UNPROTECTED PIPING SHALL BE INSTALLED BELOW GRADE AND NO PIPING SHALL BE PLACED IN CONTACT WITH CINDERS. PIPING SHALL BE INSTALLED A MINIMUM OF 12" BELOW GRADE.
 STEEL AND WROUGHT-IRON GAS PIPING SHALL BE AT LEAST
- I.J. STEEL AND WROUGHT-IKUN GAS PIPING SHALL BE AT LEAST OF STANDARD WEIGHT (SCHEDULE 40) AND SHALL COMPLY WITH ONE OF THE FOLLOWING STANDARDS: ASME B 36.10, 10M; ASTM A 53/A53M; OR ASTM A 106.
 14. ALL EQUIPMENT MUST BE LOCATED IN SUCH A WAY AS TO
- PROVIDE PROPER ACCESS FOR SERVICING. PLUMBING
 CONTRACTOR SHALL COORDINATE WITH OTHER TRADES TO
 ENSURE THAT NO CONFLICTS EXIST.
 15. BALL TYPE SHUT-OFF VALVES SHALL BE PROVIDED ON ALL
- 15. BALL TYPE SHUT-OFF VALVES SHALL BE PROVIDED ON ALL BRANCH PIPING AND ON ALL SUPPLY PIPING TO INDIVIDUAL FIXTURES AND EQUIPMENT. ADEQUATE ACCESS FOR VALVE OPERATION AND SERVICE SHALL BE PROVIDED

