



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

September 16, 2022

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1004042 - Fenestration Alteration

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the September 7, 2021 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Justin and Elizabeth Bausch
Address: 12 E. Lenox St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



Bausch Residence

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PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 15914
EXPIRATION DATE: 8.14.23

Guestimate Set May 17, 2022
PCA Set June 30, 2022
Permit Set Aug. 17, 2022

DRAWN BY:
DATE:

COVER SHEET

001

MATERIAL SYMBOLS

EARTHWORKS:	EARTH / COMPACTED FILL	POROUS FILL / GRAVEL	
CONCRETE:	CAST - IN - PLACE	PRECAST CONCRETE	
MASONRY:	BRICK	CONCRETE BLOCK	
METAL:	ALUMINUM	STEEL / OTHER METALS	BRASS / BRONZE
WOOD:	FINISHED	ROUGH	BLOCKING
GLASS:	GLASS BLOCK	GLASS	GLASS ELEVATION
INSULATION:	BATT / LOOSE FILL	RIGID	SPRAY / FOAM
	ACOUSTICAL TILE	CERAMIC TILE - SMALL SCALE	
FINISHES:	METAL LATH & PLASTER	CARPET & PAD	GYPSUM WALLBOARD
ELEVATION INDICATIONS:	BRICK	CERAMIC TILE	CONCRETE / PLASTER



RENDERING TO SHOW DESIGN INTENT ONLY - ACTUAL DESIGN AND FINISHES MAY VARY

DRAWING SYMBOLS

	DETAIL NUMBER		SPOT ELEVATION SECTION OR ELEVATION
	DETAIL REFERENCE		SPOT ELEVATION SECTION OR ELEVATION
	DRAWING NUMBER		ELEVATION CHANGE
	SECTION REFERENCE		DOOR NUMBER
	BUILDING ELEVATION		WINDOW TYPE
	DRAWING NUMBER		CUSTOM MILLWORK
	INTERIOR ELEVATION		REVISION NUMBER
	DRAWING NUMBER		SHEET NOTES
	MULTIPLE INTERIOR ELEVATION		
	ELEVATION NUMBER		
	CENTER LINE		
	PROPERTY LINE		
	MATCH LINE		
	CONSTRUCTION ABOVE		
	HIDDEN CONSTRUCTION		

ZONING SUMMARY

LIST OF DRAWINGS

- 001 COVER SHEET
- 002 GENERAL NOTES
- D001 DEMO PLANS
- A001 PLANS
- A002 EXTERIOR ELEVATIONS
- E001 MECHANICAL, ELECTRICAL, PLUMBING

PROJECT SUMMARY

Project Location: 12 East Lenox, Chevy Chase, Maryland 20815
 Lot Description: Lot 17, Block 36 District 07 Acct.# 00 457 336
 Site Area: 10,708 sq. ft. Zoning: R-60
 Owner: Elizabeth and Justin Bausch

SCOPE OF DESIGN

1. Remove and replace existing kitchen.
2. Add two new windows on south wall of kitchen.
3. Relocate bookcases and radiator in Library.
4. New wood floor in kitchen, hall and powder room.
5. Remove vanity and install new vanity in new location in Powder Rm.

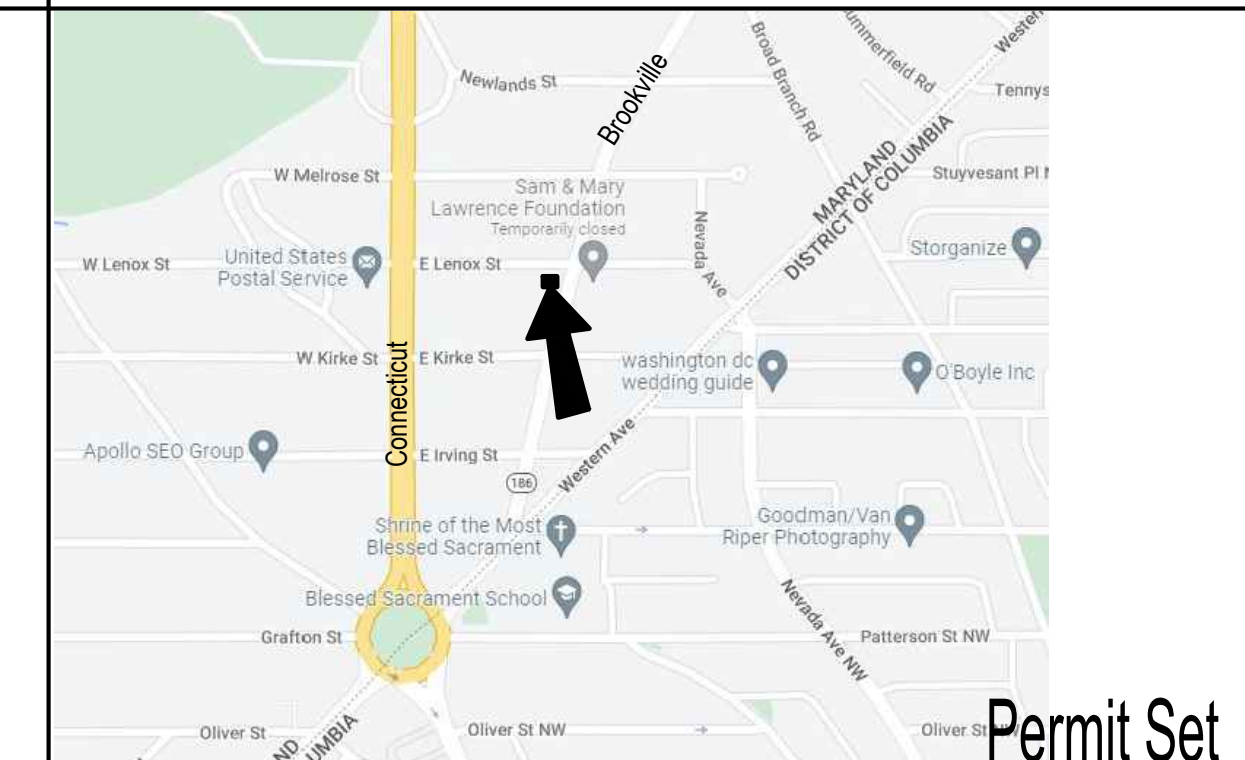
CODE INFO

DESIGNED PER IRC & IECC 2018
 LOADS, IRC 2015 & MONTGOMERY COUNTY AMENDMENTS
 LIVE LOADS:
 LIVING AREA: 40 PSF
 ROOF: 30 PSF
 LATERAL LOADS:
 WIND PER IRC 115 MPH

REVISIONS

DATE: REVISION

VICINITY MAP



APPROVED
 Montgomery County
 Historic Preservation Commission

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WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. CONTRACTOR SHALL VERIFY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB AND THIS OFFICE MUST BE NOTIFIED OF ANY VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN BY THESE DRAWINGS. SHOP DETAILS, WHERE REQUIRED, MUST BE SUBMITTED TO THIS OFFICE FOR APPROVAL BEFORE PROCEEDING WITH FABRICATION.

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GENERAL ARCHITECTURE PLAN NOTES:

1. DRAWINGS ARE GRAPHIC REPRESENTATIONS OF EXISTING CONDITIONS AND DESIGN INTENT. ACTUAL FIELD CONDITIONS MAY VARY FROM WHAT IS SHOWN.
2. PROTECT ALL FLOORS, WALLS, CEILINGS, AND FURNITURE/BUILT-INS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
3. WALLS TO REMAIN.
 NEW WALLS - EXTERIOR WALLS 2x6 @ 16" O.C. U.O.N.; NON BEARING AND BEARING INTERIOR WALLS 2x4 or 2x6 @ 16" O.C.
4. ALL DIMENSIONS ARE TO FACE OF STUD U.O.N. VERIFY ALL DIMENSIONS IN FIELD.
5. RELOCATE MECHANICAL DUCTS AND PLUMBING AS REQUIRED.
6. PROVIDE NEW WOOD FLOOR TO MATCH EXISTING IF NOT ENOUGH EXISTING CAN BE SALVAGED DURING DEMO.
7. WINDOW AND DOOR TRIM, BASE AND CROWN. SEE FINISH SCHEDULE.
8. TEMPORARY KITCHENETTE TO BE LOCATED UP STAIRS.
9. NEW DOORS SIMILAR TO EXISTING DOORS IN THE HOUSE. PROFILE T.B.D.
10. PROVIDE BLOCKING WITHIN WALLS AT WALL MTD. FIXTURES - TOWEL RACKS, SCONCES, CABINETS ETC. - AS REQUIRED.
11. SEE MEP AND STRUCTURAL PLANS FOR ADDITIONAL NOTES AND INFORMATION.
12. GLASS SHOWERS ENCLOSURES
 - 12.1. MINIMUM 3/4" THICK DOORS
 - 12.2. MINIMUM 1/2" THICK STATIONARY PANELS

FIRST FLOOR WINDOW SCHEDULE

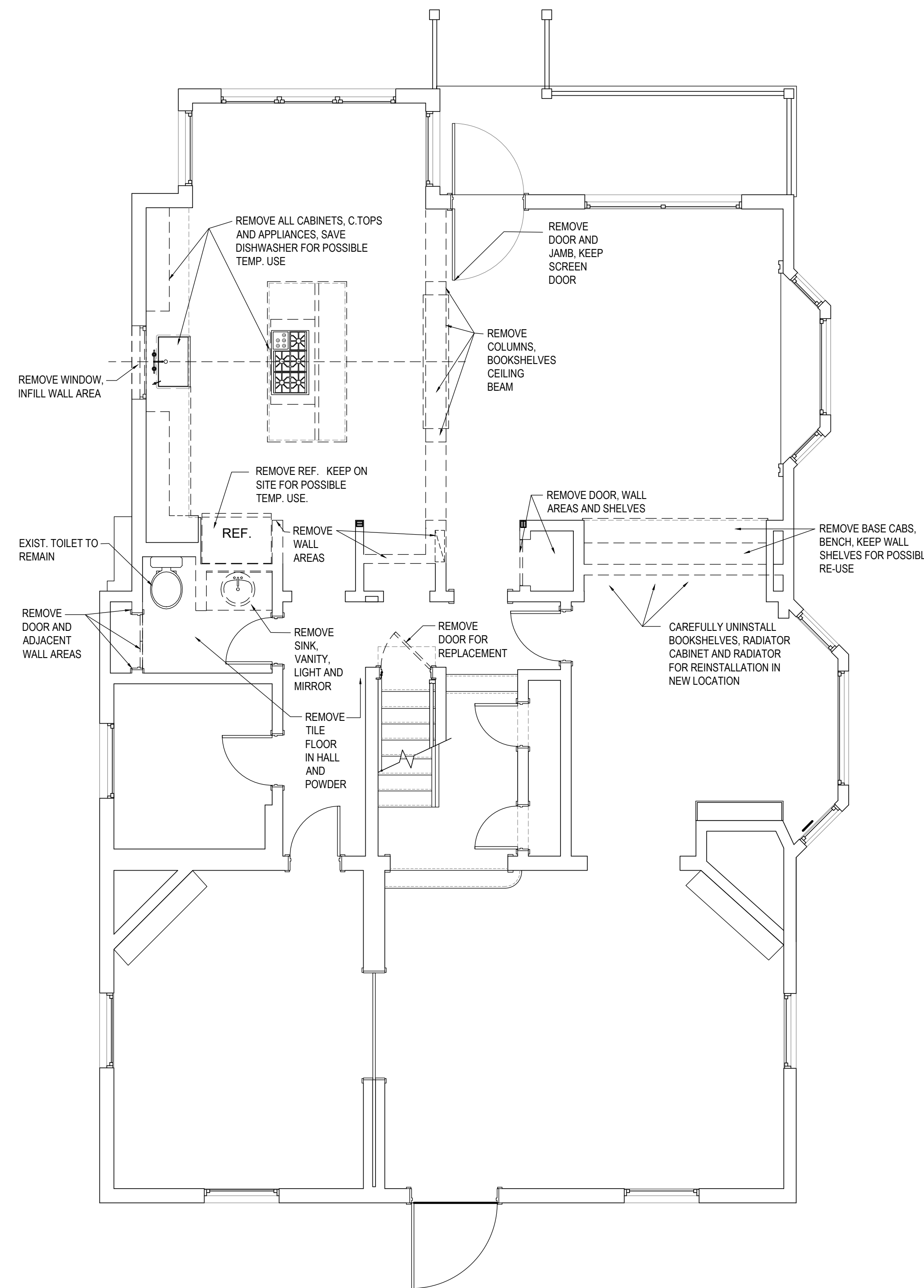
MARK	LOCATION	DESCRIPTION	DESIGNATION	ROUGH OPENING	JAMB DEPTH	LITES	GLASS	R.O. HEAD	REMARKS
101	KITCHEN	CASEMENT	Pella - 2'-1" X 4'-8"	2'-1 3/4" X 4'-8 3/4"	V.I.F.	CUSTOM	INSUL LOW-E W/ ARGON	EXIST. EXT. TRIM	HORIZ. RAIL TO LOOK LIKE DOUBLE HUNG WINDOW, 4 OVER 1
102	KITCHEN	CASEMENT	Pella - 2'-1" X 4'-8"	2'-1 3/4" X 4'-8 3/4"	V.I.F.	CUSTOM	INSUL LOW-E W/ ARGON	EXIST. EXT. TRIM	HORIZ. RAIL TO LOOK LIKE DOUBLE HUNG WINDOW, 4 OVER 1
103	-	-	-	-	-	-	-	-	-
104	-	-	-	-	-	-	-	-	-

FIRST FLOOR DOOR SCHEDULE

NO	TYPE	LOCATION	DESCRIPTION	SIZE (W x H x T)	MATERIAL	GLASS	LITES	HARDWARE	REMARKS
101	-	FAMILY ROOM	INSWING FRENCH DOOR	3-0 x 8-0 x 6-9 1/8"	ALUM. CLAD	INSUL. LOW-E, ARGON	ALL GLASS	-	-
102	-	-	-	-	-	-	-	-	-
103	-	-	-	-	-	-	-	-	-
104	-	-	-	-	-	-	-	-	-

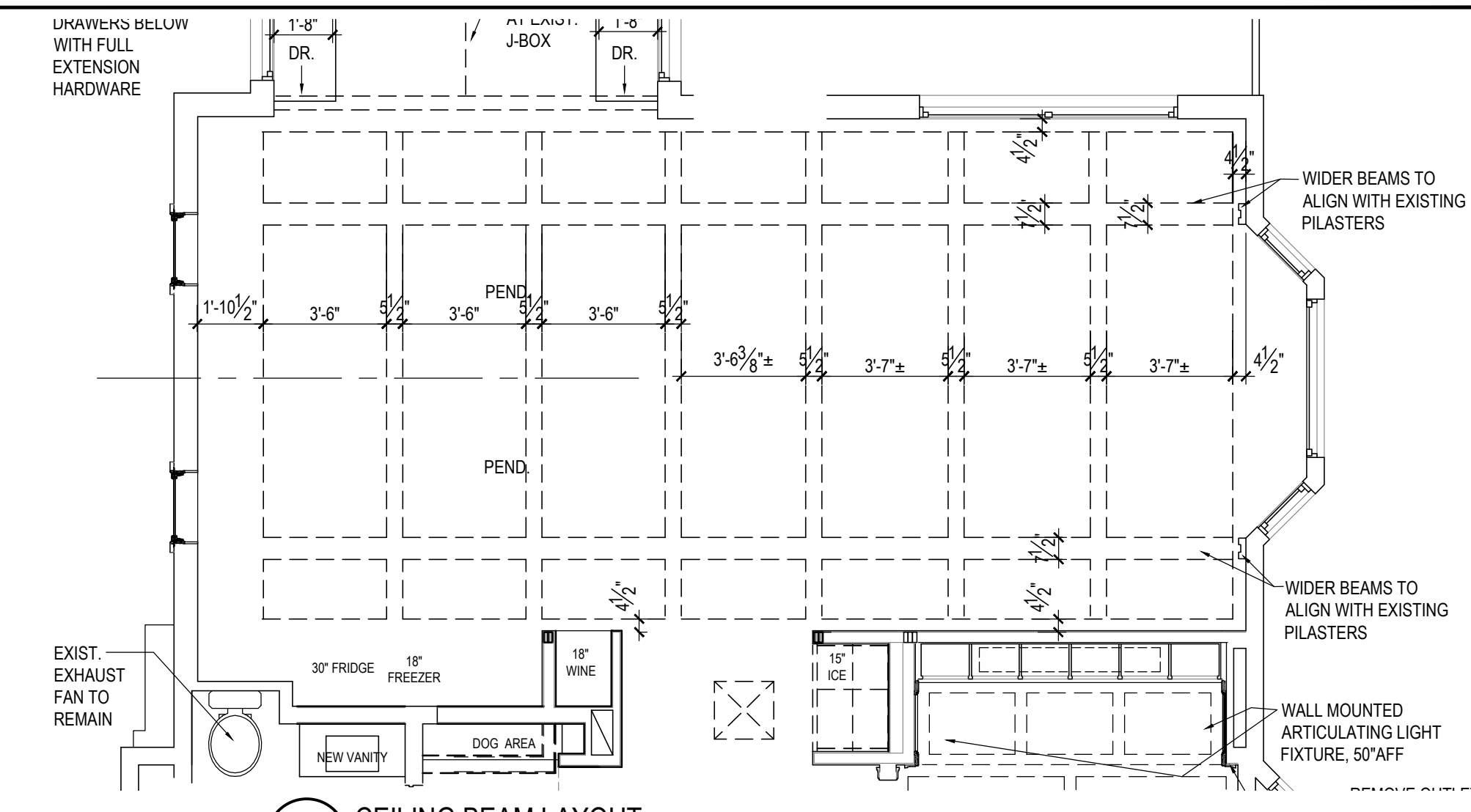
FIRST FLOOR FINISH SCHEDULE

NO	LOCATION	FLOOR MATERIAL	FLOOR FINISH	WALL MAT.	WALL FINISH	CEILING	CLNG. FINISH	BASE MOULDING	CASING	MILLWORK	NOTES
101	LIVING ROOM	EXISTING	EXISTING	EXISTING	NEW PAINT	EXIST.	NEW PAINT	EXIST.	EXIST.	-	-
102	LIBRARY	EXISTING	EXISTING	NEW PANELING & EX. DRYWALL	NEW PAINT	NEW & EX. DRYWALL	NEW PAINT	EXIST.	EXIST.	-	-
103	DINING ROOM	EXISTING	EXISTING	EXISTING	NEW PAINT	EXISTING	NEW PAINT	EXIST.	EXIST.	-	-
104	STAIRHALL	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXIST.	EXIST.	-	-
105	BACK HALL	NEW WOOD FLR.	SATIN POLY.	EXISTING	EXISTING	EXISTING	EXISTING	EXIST.	EXIST.	-	-
106	POWDER ROOM	NEW WOOD FLR.	SATIN POLY.	EXISTING	NEW PAINT	EXISTING	NEW PAINT	EXIST.	EXIST.	-	-
107	KITCHEN	NEW WOOD FLR.	SATIN POLY.	NEW DRYWALL	NEW PAINT	NEW DRYWALL	NEW PAINT	SIM. TO EXIST.	SIM. TO EXIST.	-	-
108	REAR PORCH	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	EXISTING	-	-	-	-



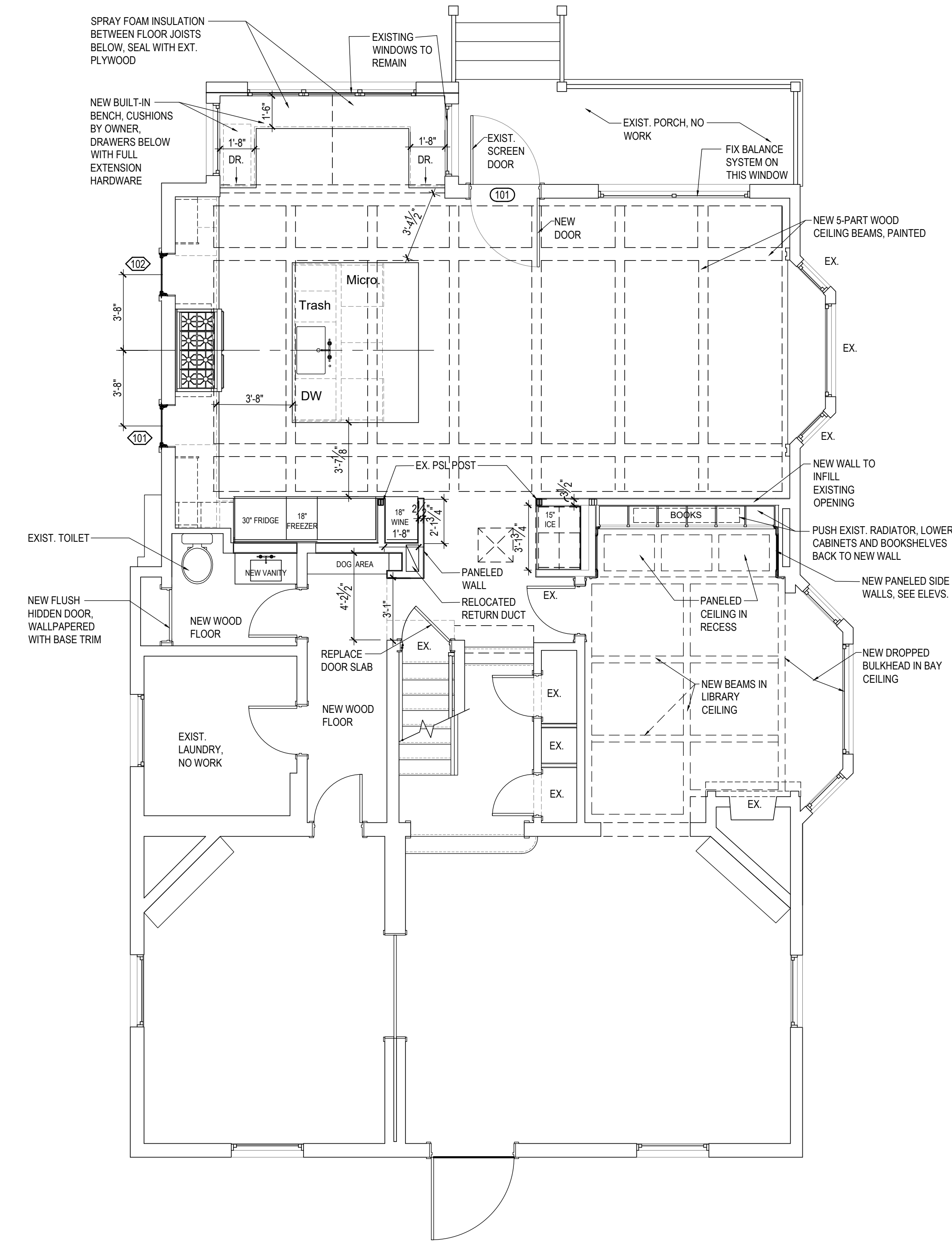
01 FIRST FLOOR DEMOLITION PLAN

1/4" = 1'-0"



03 CEILING BEAM LAYOUT

1/4" = 1'-0"



02 FIRST FLOOR PLAN

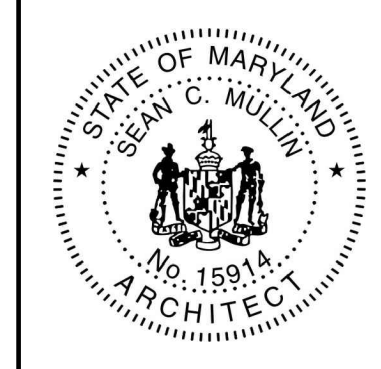
1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

REVIEWED
 By Dan.Bruechert at 2:25 pm, Sep 16, 2022

ANTHONY WILDER
 ARCHITECTURE | INTERIORS | CONSTRUCTION
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Guestimate Set	May 17, 2022
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FLOOR PLANS

A001

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01 EXISTING EAST ELEVATION
1/4" = 1'-0"



02 PROPOSED EAST ELEVATION
1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 2:25 pm, Sep 16, 2022



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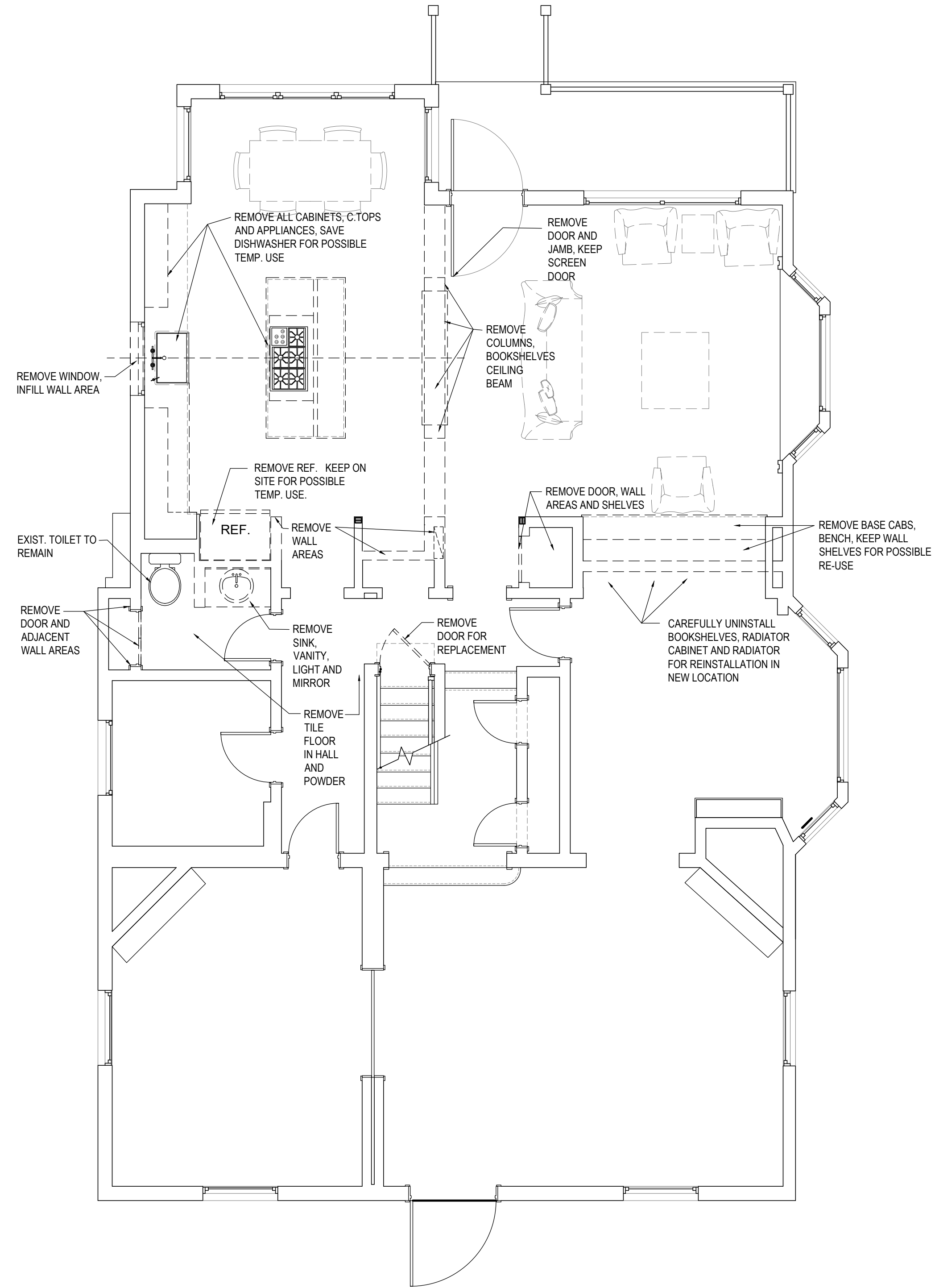
EXT. ELVES.

A201

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A 8/20/22 - Architecture Drawing/2022 ALL SHEETS 8/20/22
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- GENERAL DEMO PLAN NOTES:
1. PROTECT ALL FLOORS, WALLS, CEILINGS, AND FURNITURE/BUILT-INS TO REMAIN UNDISTURBED DURING CONSTRUCTION.
 2. - - - - - TO BE REMOVED.
 3. CAP PLUMBING LINES WHERE FIXTURES & APPLIANCES HAVE BEEN REMOVED
 4. PROVIDE TEMPORARY SHORING AS REQUIRED



APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 2:25 pm, Sep 16, 2022

01 FIRST FLOOR DEMOLITION PLAN 1/4" = 1'-0"

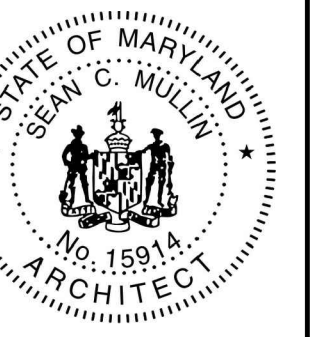


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DEMO PLAN

D001

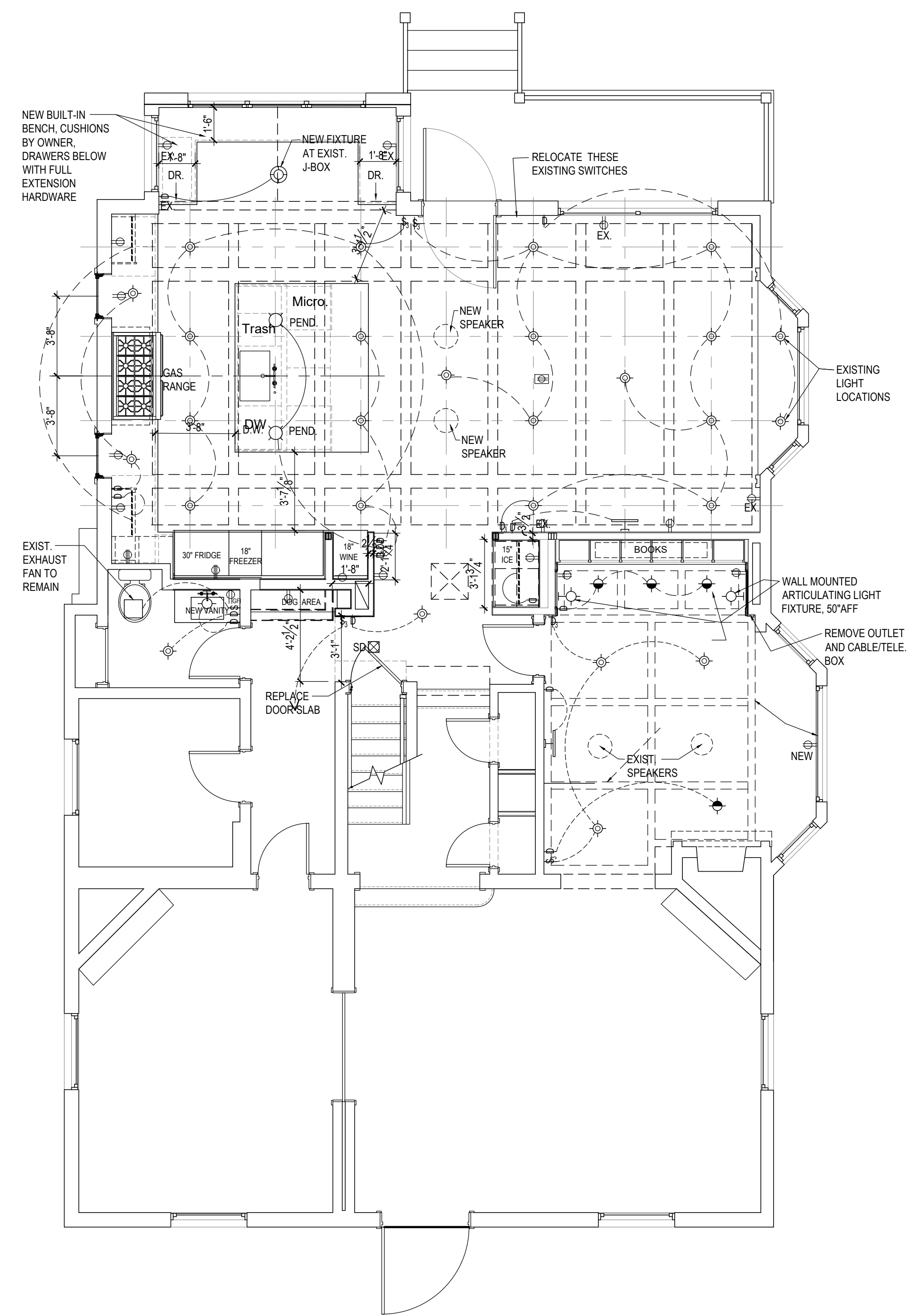
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ELECTRICAL LEGEND

- POWER: SPECIAL PURPOSE OR HARDWIRE APPLIANCE CONNECTION, DUPLEX RECEPTACLES, GROUND FAULT INTERUP. DUPLEX RECEPTACLES, QUAD RECEPTACLES, APPLIANCE CONNECTION, BRASS FLOOR RECEPTACLE, WATER PROOF OUTLET, *PLUG MOLD* UNDER CABINET STRIP RECEPTACLE - WHITE ON GROUND FAULT INTERUP. CIRCUIT
SWITCHES: EXISTING FIXTURE OR DEVICE, SINGLE POLE SWITCH, SINGLE POLE DIMMER SWITCH, 3-WAY SWITCH, 3WAY DIMMER SWITCH, JAMB SWITCH, TIMER SWITCH, AIR SWITCH, DOOR BELL CHIME, DOOR BELL BUTTON
LIGHTING & DEVICES: JUNCTION BOX, SURFACE MOUNTED FIXTURE, PENDANT, RECESSED FIXTURE, RECESSED WALL WASHER, WALL SCONCE, WALL MOUNT OR UNDER CABINET LIGHT, SNGL. OR DBL. HEADED FLOOD WITH MOTION SENSOR, EXHAUST FAN, FAN / HEAT LAMP, EXHAUST FAN / LIGHT VENT TO EXTERIOR U.N.O., CEILING FAN (TYP. WITH 3 SPEED SWITCH CONTROL)
COMMUNICATIONS: VOICE TELEPHONE JACK, DATA JACK
HOME AUDIO-VIDEO: COAXIAL CABLE JACK, HOME THEATRE 5.1 SURROUND SOUND BOX, HOME AUDIO BOX, SPEAKER - RECESSED IN CEILING, SPEAKER - WALL MOUNTED, AUDIO KEY PADS, SPEAKER VOLUME CONTROL
SECURITY SYSTEM: SECURITY CONTROL KEY PADS, MOTION DETECTORS, SIRENS, DOOR JAMB SENSOR, WINDOW JAMB SENSORS, GLASS BREAK, HEAT SENSOR, CARBON MONOXIDE DETECTOR, SMOKE DETECTOR
HVAC SYSTEM CONTROLS: THERMOSTAT, HVAC SUPPLY - WALL REGISTER, HVAC SUPPLY - FLOOR REGISTER, HVAC RETURN - WALL REGISTER

APPROVED Montgomery County Historic Preservation Commission
REVIEWED By Dan.Bruechert at 2:26 pm, Sep 16, 2022



01 ELECTRICAL PLAN 1/4" = 1'-0"

GENERAL ELECTRICAL PLAN NOTES:

- 1. ELECTRICAL PLANS ARE FOR DIAGRAMMATICAL PURPOSES ONLY. FINAL LAYOUT TO BE DETERMINED AT ELECTRICAL WALK-THROUGH WITH HOMEOWNER
2. ALL OUTLETS AND SWITCHES, IF MOUNTED ON THE SAME WALL, SHALL BE LOCATED AT THE SAME HEIGHT.
3. SWITCH TYPE DESIGNER PADDLE, TOGGLE STYLE.
4. COORDINATE ELECTRICAL RECEPTACLE LOCATIONS WITH APPLIANCE MANUFACTURERS INSTALLATION INSTRUCTIONS
5. ALL SMOKE DETECTORS TO BE HARD-WIRED, INTERCONNECTED AND HAVE BATTERY BACK-UP PER 2018 IRC SECTION R312.2
6. PROVIDE ARC FAULT INTERRUPTERS IN EACH BEDROOM AND LIVING AREA AS REQ'D BY 2012 IRC SECTIONS E3802.12 AND E3902.12
7. PROVIDE TAMPER RESISTANT RECEPTACLES FOR COMPLIANCE WITH SECTION E4002.14 OF 2012 IRC.
8. LIGHT FIXTURES SHALL COMPLY WITH SECTION N1104 OF THE 2012 IRC
9. A MINIMUM OF 75 PERCENT OF LAMPS IN PERMANENTLY INSTALLED LIGHT FIXTURES SHALL BE HIGH EFFICACY LAMPS TO COMPLY WITH SECTION R404.1 OF THE 2018 IECC.
10. PROVIDE GFCI RECEPTACLES FOR ALL OUTLETS AT KITCHEN ISLANDS OR COUNTERTOPS TO COMPLY WITH 2018 NEC 210.8(A)
11. ALL HVAC, ELEVATOR, PLUMBING AND ELECTRICAL APPLIANCES AND EQUIPMENT TO RECEIVE POWER AS REQ'D. PER 2012 IECC SECTION 402.4.4, ALL RECESSED LUMINARIES SHALL BE IC-RATED AND LABELED AS HAVING AN AIR LEAKAGE RATE OF NOT MORE THAN 2.0 CFM (0.244 L/s) WHEN TESTED IN ACCORDANCE WITH ASTM E 283 AT A 1.57 PSF (75Pa) PRESSURE DIFFERENTIAL. ALL RECESSED LUMINARIES SHALL BE SEALED WITH A GASKET OR CAULK BETWEEN THE HOUSING AND THE INTERIOR WALL OR CEILING COVERING.
12. PER IRC 2012 R315, AN APPROVED CARBON MONOXIDE ALARM SHALL BE INSTALLED OUTSIDE OF EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS OF THE DWELLING UNIT WITHIN WHICH A FUEL-FIRED APPLIANCE IS INSTALLED AND IN DWELLING UNITS THAT HAVE ATTACHED GARAGES

GENERAL MECHANICAL PLAN NOTES:

- 1. FLUSH WOOD FLOOR SUPPLY REGISTERS
2. ALL MECHANICAL DUCTS ARE INSULATED TO 2 R-8
3. ALL JOINTS AND SEAMS OF AIR DUCTS, AIR-HANDLERS, AND FILTER BOXES ARE TO BE SEALED PER METHODS DETAILED IN 2018 IECC R403.2.2
4. PER IECC 403.2.2, TOTAL DUCT LEAKAGE TESTS 58CFM PER 100 SQ. FT. OF CONDITIONED FLOOR AREA AT A PRESSURE OF 25 PASCALS, WITH AIR HANDLER INSTALLED.
5. BUILDING CAVITIES ARE NOT TO BE USED AS DUCTS OR PLENUMS.
6. HVAC PIPING CARRYING FLUIDS > 105°F OR FLUIDS < 55°F ARE INSULATED TO 2 R-3.
7. PROVIDE PROTECTION ON ALL HVAC PIPING
8. HOT WATER PIPES TO BE INSULATED TO 2 R-3.
9. AUTOGRAVITY DAMPERS SHALL BE INSTALLED ON ALL INTAKES AND EXHAUSTS, TYP.
10. HEAT PUMP THERMOSTAT INSTALLED ON HEAT PUMPS.
11. PROGRAMMABLE THERMOSTAT INSTALLED ON ALL FORCED AIR FURNACES.
12. AIR HANDLER LEAKAGE DESIGNED BY MFR. AT 2% OF AIR-FLOW.
13. HVAC EQUIPMENT TYPE AND CAPACITY AS PER PLANS.
14. LINE SET INSULATION TO BE AP ARMAFLEX SS INSULATION 3/4" THICK WITH AN R-VALUE OF 3.1 AND PROTECTION TO BE E-FLEX GUARD
15. CONDENSATE FROM COOLING COILS OR EVAPORATORS SHALL BE CONVEYED FROM THE DRAIN PAN TO DISCHARGE INTO THE MAIN SEWER WASTE WATER LINE AT THE LOWER LEVEL OF THE HOUSE. SUCH PIPING SHALL MAINTAIN A MINIMUM SLOPE OF NOT LESS THAN 1/8" UNIT VERTICAL IN 12 UNITS HORIZONTAL. CONDENSATE SHALL NOT DISCHARGE INTO A STREET, ALLEY OR OTHER AREAS WHERE IT WOULD CAUSE A NUISANCE.
16. AN AUXILIARY DRAIN PAN SHALL BE PROVIDED IN ORDER TO PROTECT THE BUILDING WHERE DAMAGE COULD OCCUR TO COMPONENTS AS A RESULT OF OVERFLOW FROM THE EQUIPMENT DRAIN PAN, OR STOPPAGE IN THE CONDENSATE DRAIN PIPING. A WATER LEVEL DETECTION DEVICE SHALL BE INSTALLED TO SHUT OFF THE EQUIPMENT IN THE EVENT THAT THE PRIMARY DRAIN LINE IS BLOCKED. THE DEVICE WILL BE INSTALLED ON THE PRIMARY DRAIN LINE.

GENERAL PLUMBING PLAN NOTES:

- 1. PROVIDE INDIVIDUAL WATER SHUT OFF VALVE FOR EACH APPLIANCE THAT NEEDS WATER - NO SHARING REQUIREMENTS
2. CHECK APPLIANCE SPECIFICATIONS FOR WATER REQUIREMENTS
3. COORDINATE WITH PLUMBER ON SIZE AND PLUMBER AND ARCHITECT ON FINAL LOCATION OF NEW RADIATORS
4. INSULATE HOT WATER PIPES TO A MIN. OF R-3
5. SA: WATER HAMMER ARRESTORS (SHOCK ABSORBERS) SHALL COMPLY WITH ANSI/ASSE 1010 AND SHALL BE INSTALLED ON WATER DISTRIBUTION PIPING IN WHICH QUICK CLOSING VALVES ARE INSTALLED. WATER HAMMER ARRESTERS SHALL BE PLACED AS CLOSE AS POSSIBLE TO THE QUICK ACTING VALVE. AT THE END OF LONG PIPING RUNS, OR NEAR BATTERIES OF FIXTURES AND SHALL BE ACCESSIBLE FOR REPLACEMENT.
6. ALL SANITARY PIPING SHALL BE SERVICE WEIGHT CAST IRON OR SCHEDULE 40 PVC.
7. ALL VENT PIPING SHALL BE TYPE "DWV" COPPER OR SCHEDULE 40 PVC.
8. ALL CONDENSATE DRAIN PIPING SHALL BE DWV COPPER OR SCHEDULE 40 PVC.
9. ALL DOMESTIC WATER PIPING SHALL BE TYPE "L" COPPER ABOVE GROUND AND TYPE "K" COPPER BELOW GRADE. COPPER PIPING SHALL BE HARD COPPER WITH WROUGHT COPPER FITTINGS, 95% LEAD FREE SOLDER JOINTS, AND COPPERIZED CLEVIS HANGERS
10. ALL COLD AND HOT WATER DOMESTIC WATER PIPING AND CONDENSATE DRAIN PIPING SHALL BE INSULATED WITH 1 INCH FIBERGLASS INSULATION WITH ALL SERVICE JACKET.
11. GAS PIPING SHALL BE SCHEDULE 40 BLACK STEEL ASTM A 254 OR ASTM A 539 WITH MALLEABLE IRON FITTINGS. PIPE AND FITTING THREADS SHALL BE TAPE PIPE THREADS AND SHALL COMPLY WITH ASME B1.20.1. THE COMPLETE INSTALLATION SHALL COMPLY ALL REQUIREMENTS OF THE 2009 INTERNATIONAL FUEL GAS CODE. ALL GAS PIPING EXPOSED TO OUTDOORS SHALL BE PAINTED WITH PROTECTIVE PAINT. ALL PIPING ON ROOF SHALL BE SUPPORTED BY MIRO MODEL "3-RAH", OR EQUIVALENT PIPE SUPPORTS.
12. ALL GAS PIPING INSTALLED UNDERGROUND SHALL BE FACTORY COATED WITH A FUSION BONDED EPOXY CONFORMING WITH ISO21809-2:2007. NO UNPROTECTED PIPING SHALL BE INSTALLED BELOW GRADE AND NO PIPING SHALL BE PLACED IN CONTACT WITH CINDERS. PIPING SHALL BE INSTALLED A MINIMUM OF 12" BELOW GRADE.
13. STEEL AND WROUGHT-IRON GAS PIPING SHALL BE AT LEAST OF STANDARD WEIGHT (SCHEDULE 40) AND SHALL COMPLY WITH ONE OF THE FOLLOWING STANDARDS: ASTM B 36.10, 10M; ASTM A 53/ASME, OR ASTM A 106.
14. ALL EQUIPMENT MUST BE LOCATED IN SUCH A WAY AS TO PROVIDE PROPER ACCESS FOR SERVICING. PLUMBING CONTRACTOR SHALL COORDINATE WITH OTHER TRADES TO ENSURE THAT NO CONFLICTS EXIST.
15. BALL TYPE SHUT-OFF VALVES SHALL BE PROVIDED ON ALL BRANCH PIPING AND ON ALL SUPPLY PIPING TO INDIVIDUAL FIXTURES AND EQUIPMENT. ADEQUATE ACCESS FOR VALVE OPERATION AND SERVICE SHALL BE PROVIDED.

ANTHONY WILDER ARCHITECTURE | INTERIORS | CONSTRUCTION

BAUSCH RESIDENCE 12 East Lenox Street, Chevy Chase, MD 20815
ANTHONY WILDER DESIGN/BUILD INC. 7913 MACARTHUR BLVD 2ND FLOOR, CABIN JOHN, MD 20818 301.907.0100 WWW.ANTHONYWILDER.COM

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Table with columns: Guestimate Set, PCA Set, Permit Set, Date. Values: May 17, 2022, June 30, 2022, Aug. 17, 2022.

ELECTRICAL PLAN E101

Permit Set