



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: November 21, 2022

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1001229 – Partial Demolition, Addition, and Window Replacement

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the September 21, 2022 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Amit Barman
Address: 6712 Westmoreland Avenue, Takoma Park

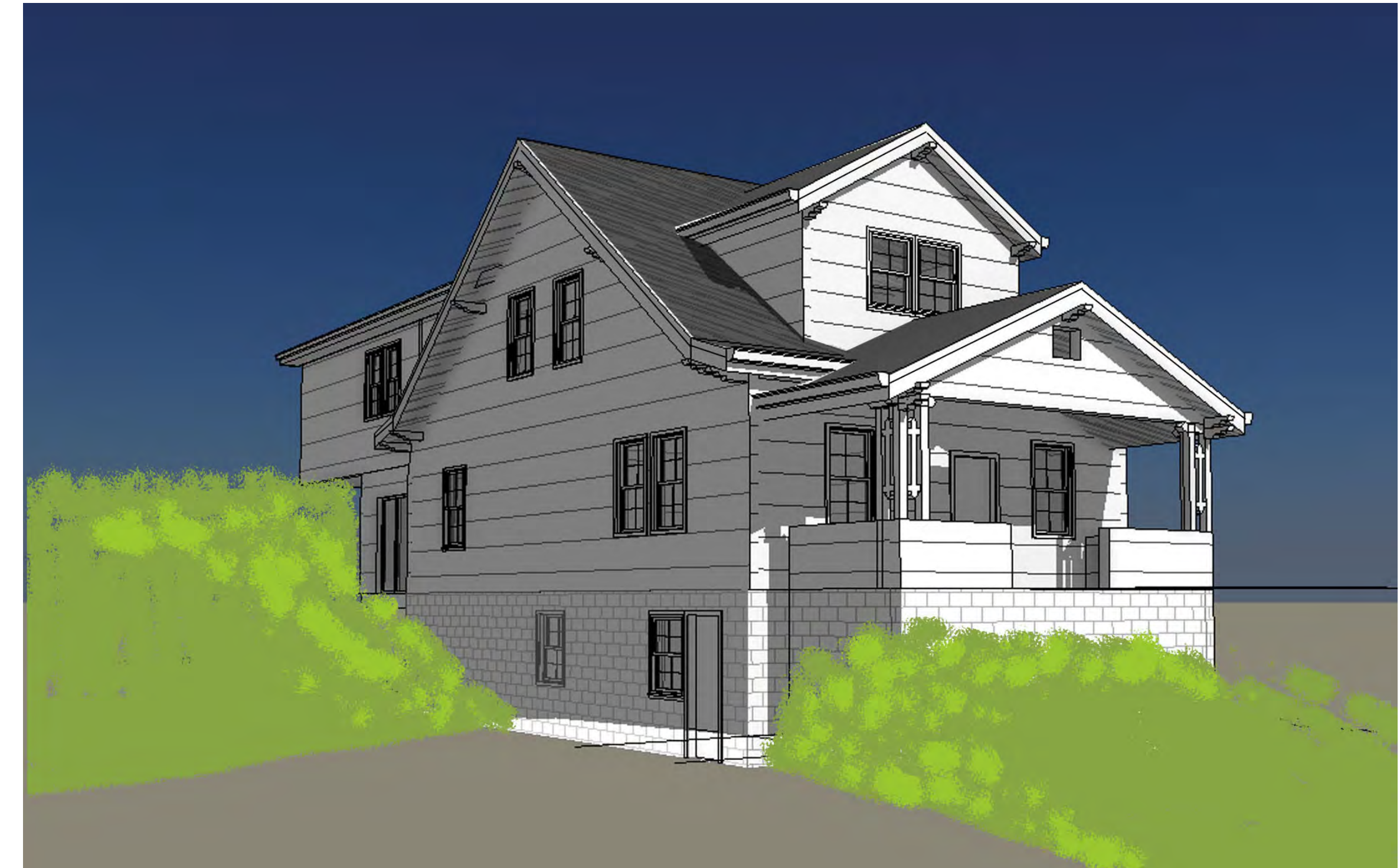
This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3408 or Dan.Bruechert@montgomeryplanning.org to schedule a follow-up site visit.



WESTMORELAND AVE RENOVATION

6712 Westmoreland Ave, Takoma Park, MD
20912

SCOPE OF WORK: CONVERT THE EXISTING LIVABLE ATTIC SPACE TO A SECOND FLOOR, KEEPING THE FRONT PORCH AND FRONT WALL AS IS.
ADD A 250 SF ADDITION AT FIRST FLOOR. TOTAL EXISTING ATTIC SPACE IS 522 SF, TOTAL NEW SECOND FLOOR IS 1488 SF, EFFECTIVE NEW ADDITIONAL DWELLING ON SECOND FLOOR IS 966 SF
TOTAL NEW ADDITION IS 1,216 SF



ARCHITECTS



CONTACT PERSON:
AMIT BARMAN
EMAIL: AMITBARMAN.ARCH@GMAIL.COM
PH: 864 643 7251

STRUCTURAL ENGINEERS

ARENCO LLC

12430 HILL CREST
FULTON MD 20759
TEL (240) 418 1389
FAX (888) 374 5418
INFO@ARENCO-LLC.COM

ARCHITECTS
ENGINEERS
CONSTRUCTION MANAGERS

Sheet List	
Sheet Number	Sheet Name
A0.0	COVER
A1.0	DEMOLITION PLAN
A1.1	FLOOR PLANS
A1.2	FLOOR PLANS
A2.0	ELEVATION
A2.1	ELEVATIONS
A2.2	ELEVATIONS
A3.0	SECTION

Sheet List	
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S002	FOUNDATION PLAN
S003	FIRST FLOOR PLAN
S004	SECOND FLOOR PLAN
S005	ROOF PLAN
S006	2ND FL WALL BRACING PLAN
S007	SECTIONS
S008	TYPICAL DETAILS
S009	TYPICAL DETAILS

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Historic Preservation Commission

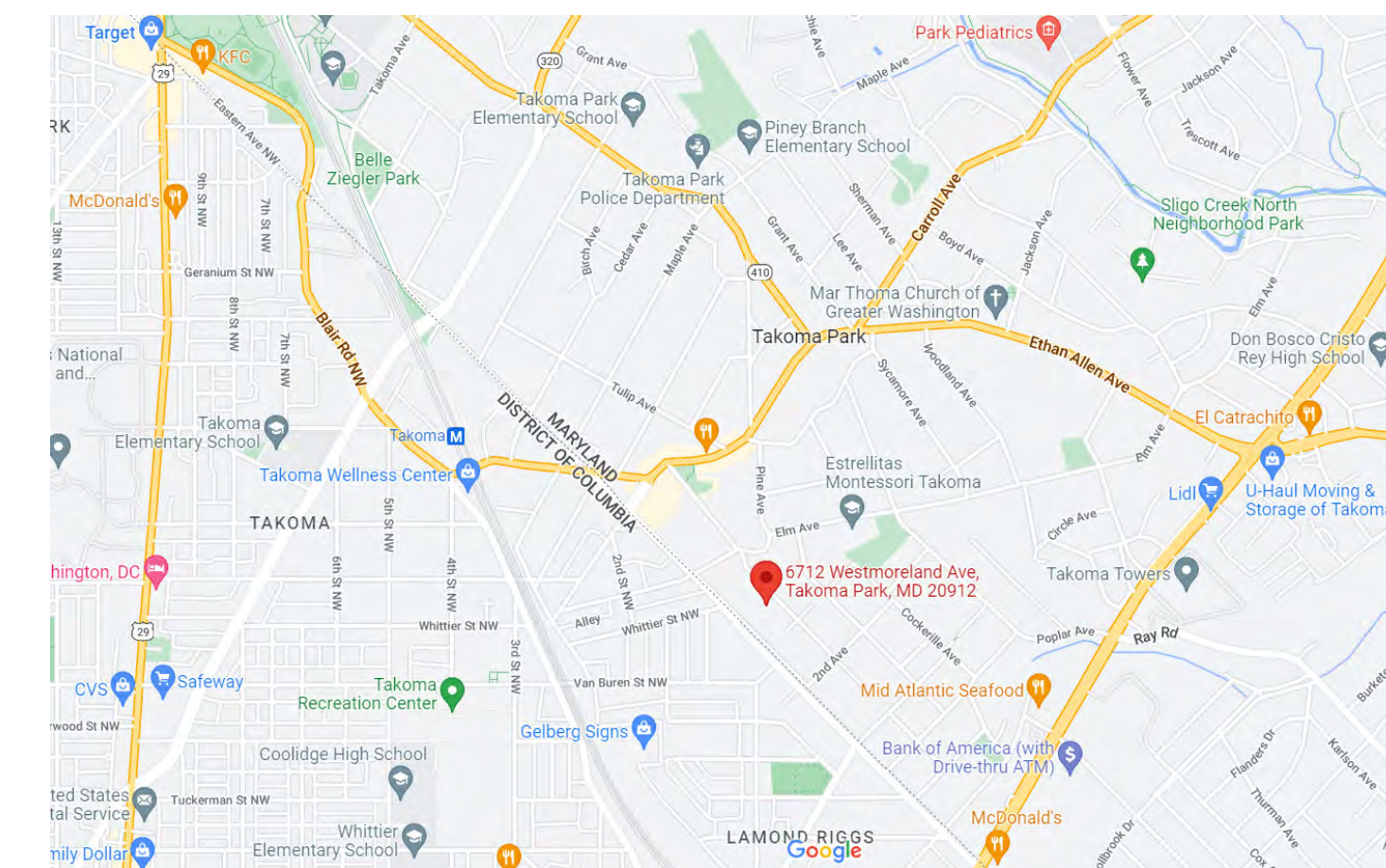


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By Dan.Bruechert at 1:23 pm, Nov 21, 2022

APPLICABLE BUILDING CODES:
ICC International Residential Code/2018
NFPA 13D/2013
COMAR NFPA 13D/2013
WSSC PLUMBING 7 FUEL GAS CODE

BUILDING INFORMATION:
EXISTING BUILDING TOTAL FOOT PRINT: 1348 SF
PROPOSED ADDITION FOOTPRINT: 617 SF
TOTAL CONDITIONED AREA INCLUDING EXISTING AND PROPOSED: 3877 SF

EXISTING BUILDING MAX HEIGHT: 18'-0"
PROPOSED ADDITION MAX HEIGHT: 26'-0"
FIRE SUPPRESSION SYSTEM: NON SPRINKLERED



VICINITY MAP


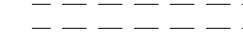

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MARK DATE MGR RELEASE
SHEET STATUS

SHEET NO.
AO.0

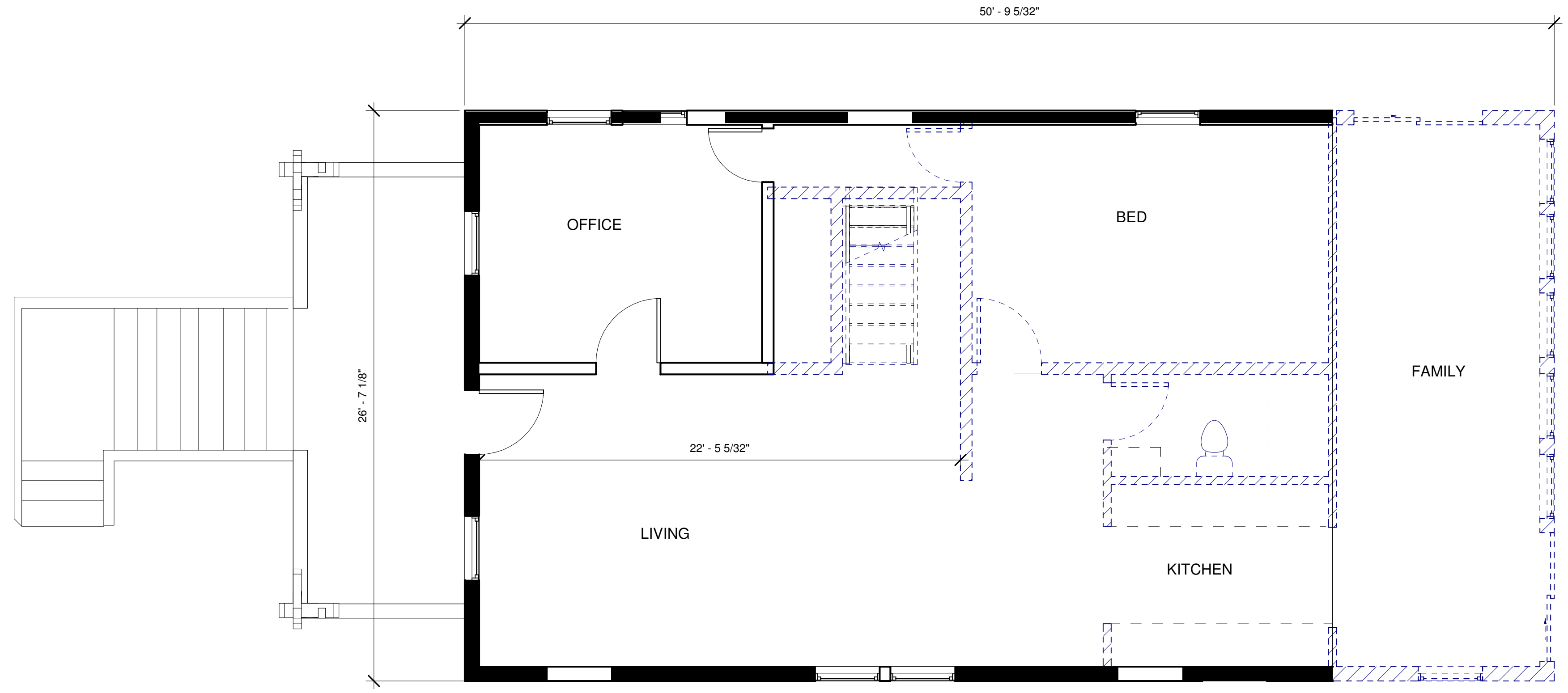
LEGEND

-  EXISTING WALL TO REMAIN
-  WALLS TO BE DEMOLISHED
-  NEW WALL

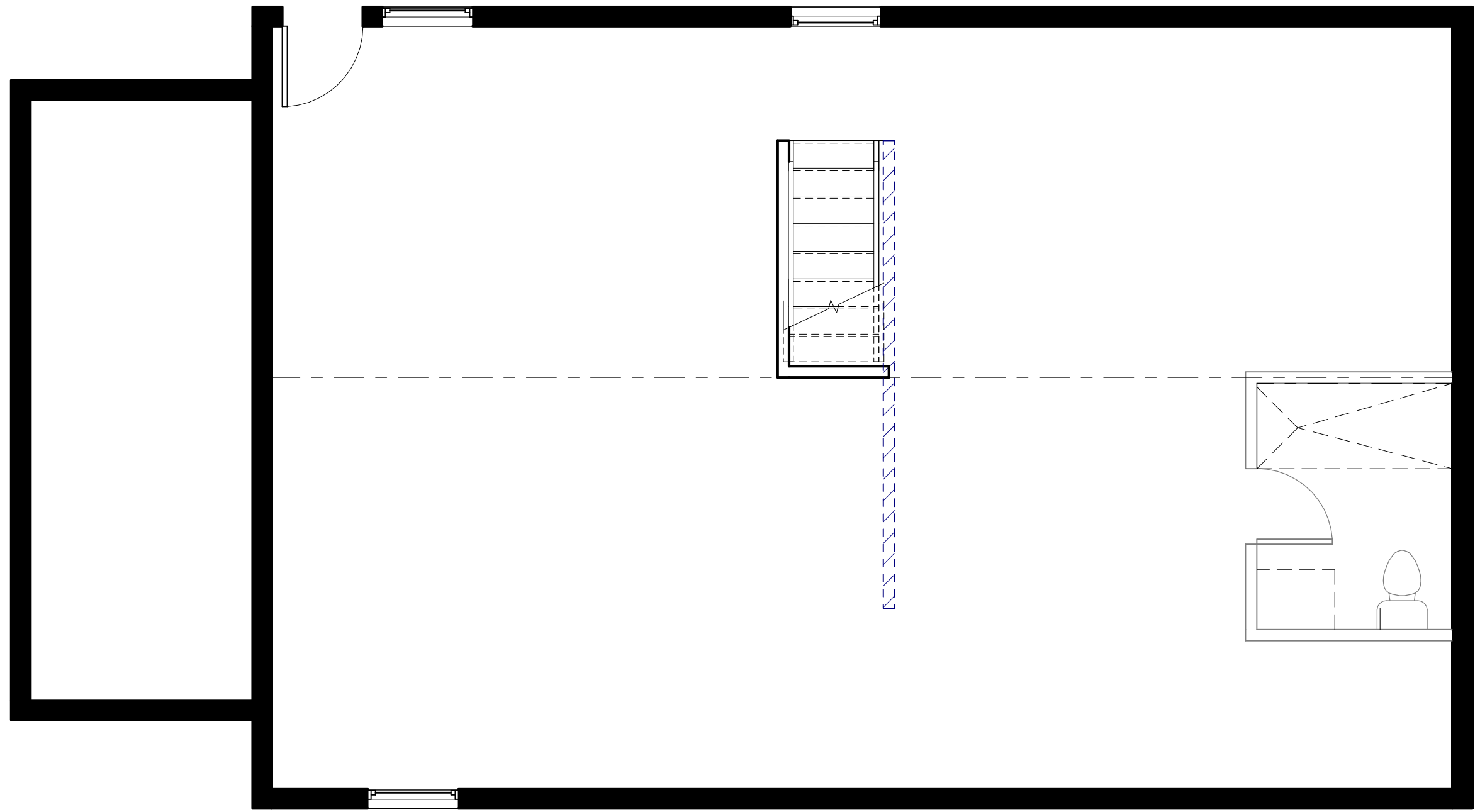
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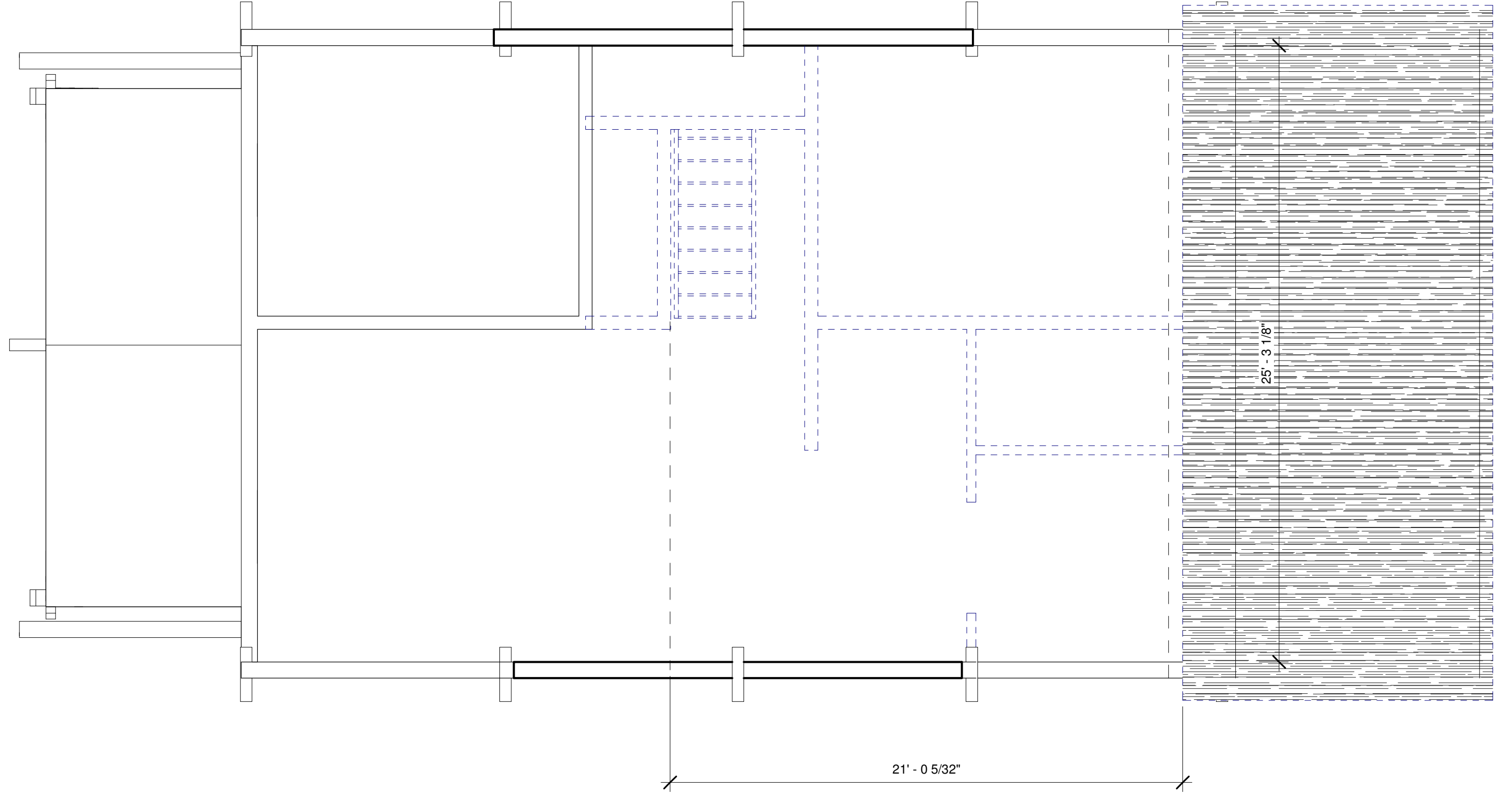
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① FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



② BASEMENT DEMOLITION PLAN
1/4" = 1'-0"



③ SECOND FLOOR DEMOLITION PLAN
1/4" = 1'-0"



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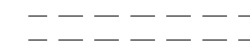
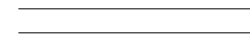
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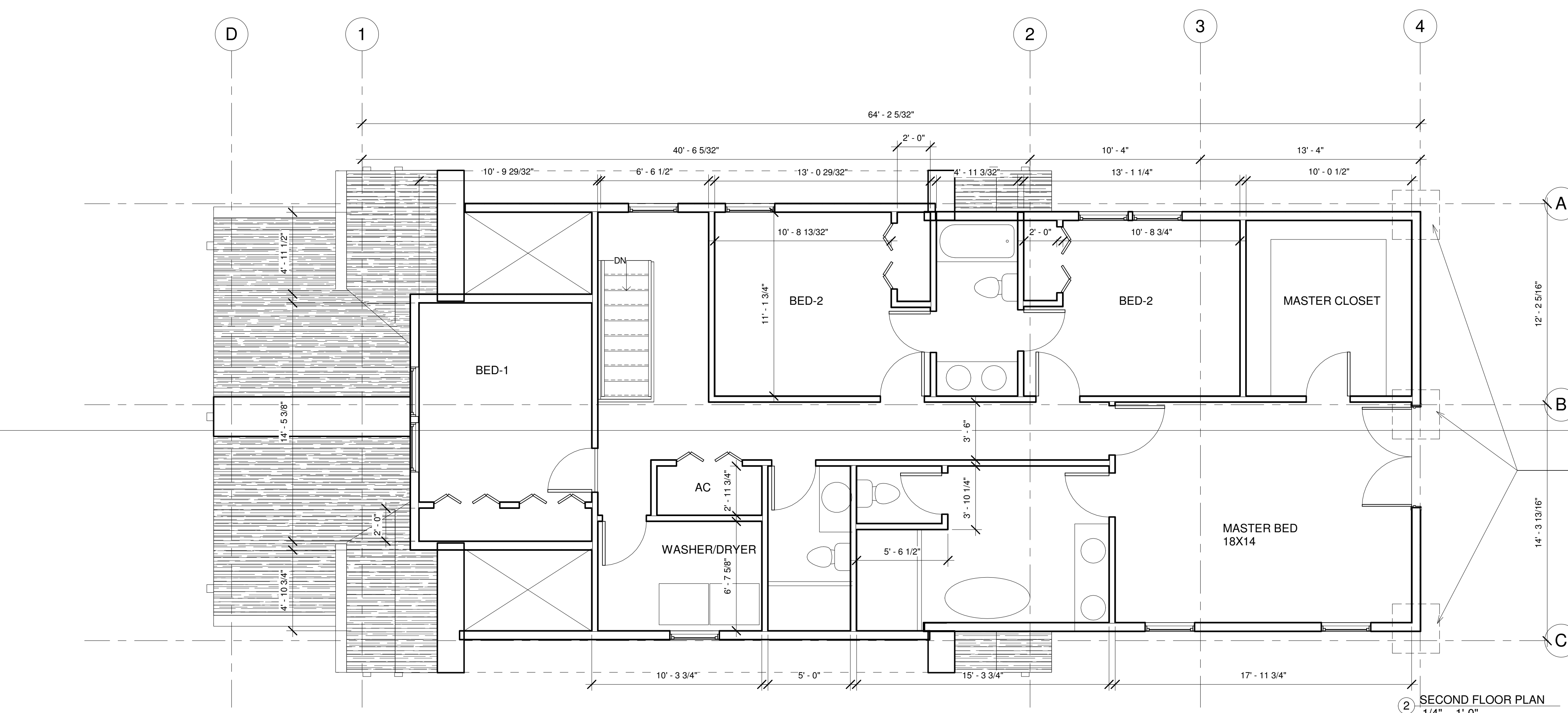
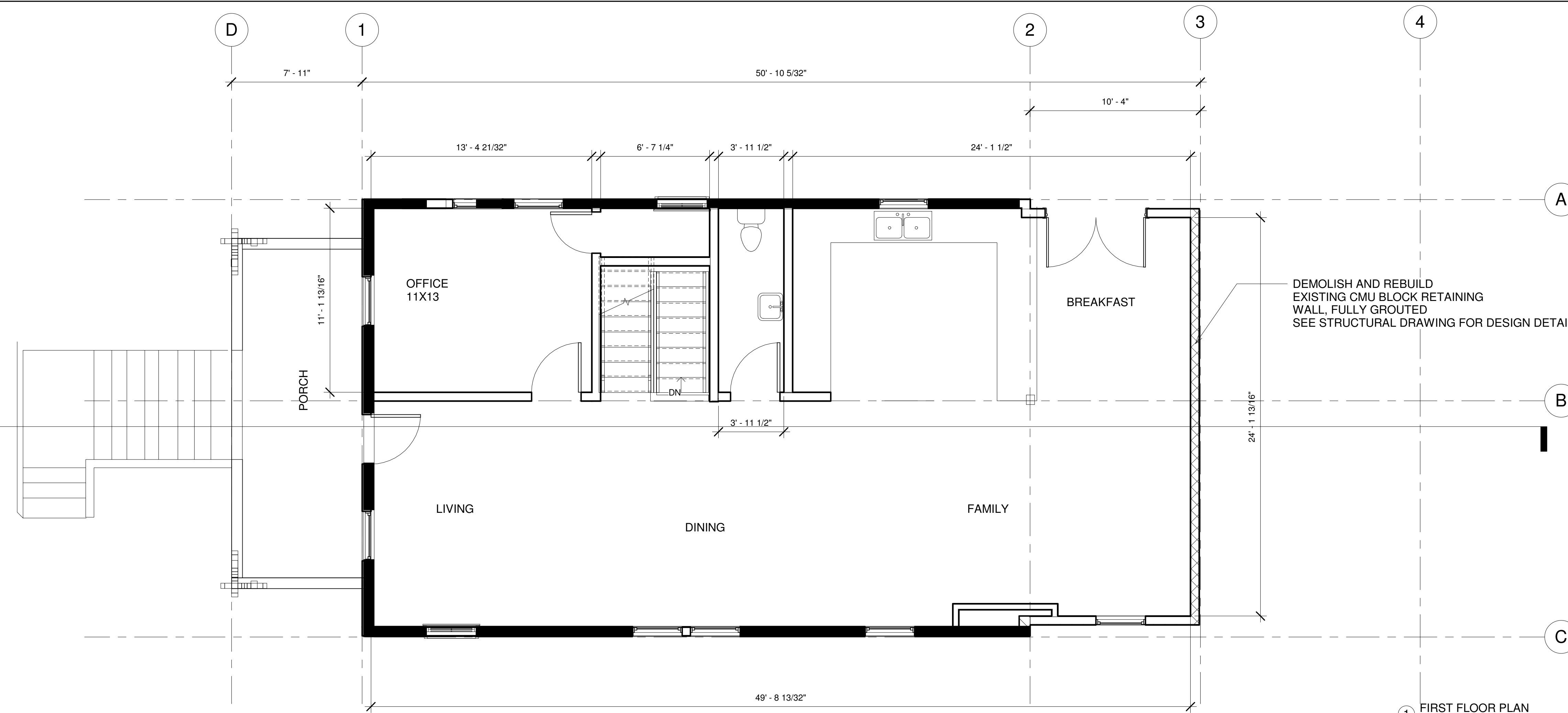
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DEMOLITION PLAN

DRAWN BY: Author
CHK'D BY: Checker
JOB NO.: Project Number
SHEET NO.: A1.0

LEGEND

-  EXISTING WALL TO REMAIN
-  WALLS TO BE DEMOLISHED
-  NEW WALL



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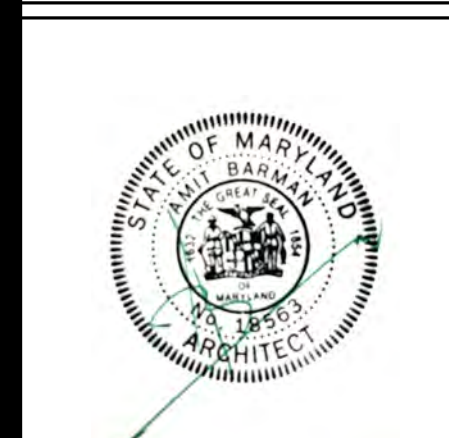
FLOOR PLANS

DRAWN BY: Author
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JOB NO.: Project Number
SHEET NO.: A1.1



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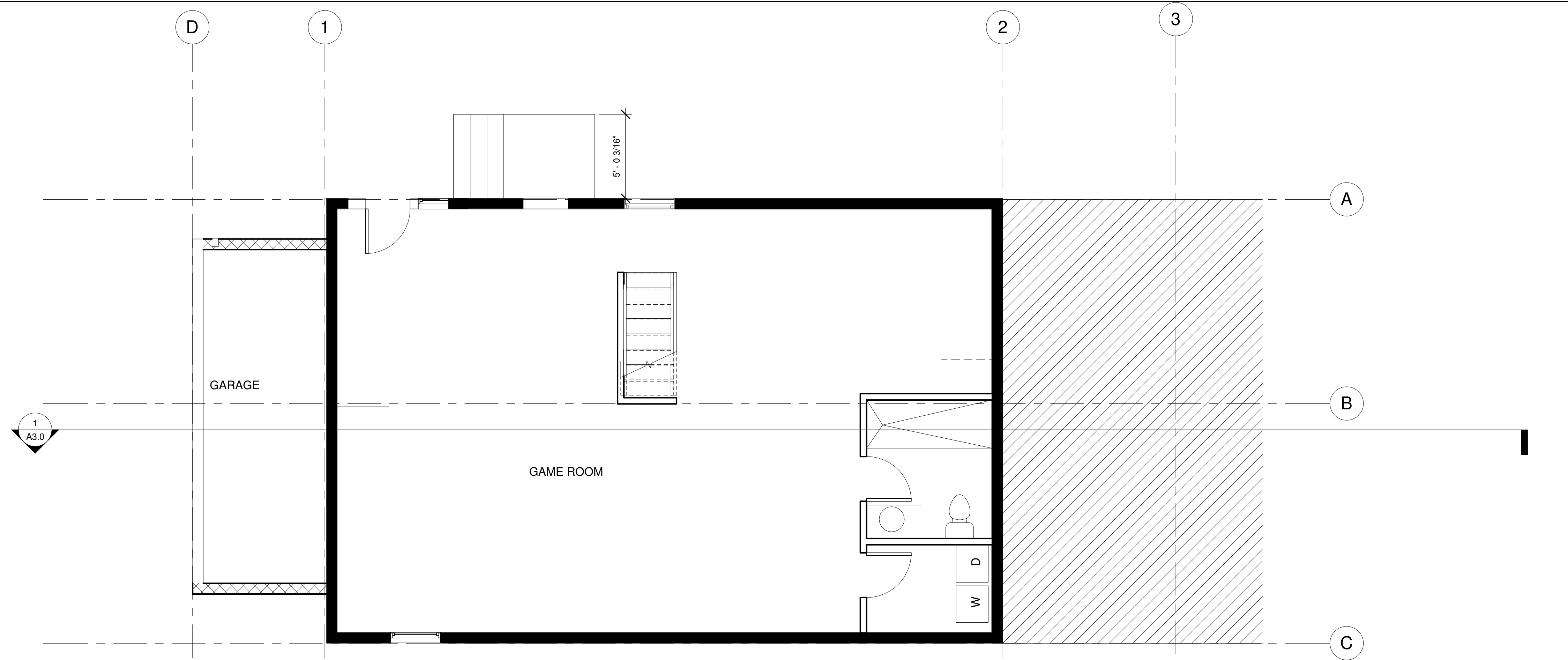
FLOOR PLANS

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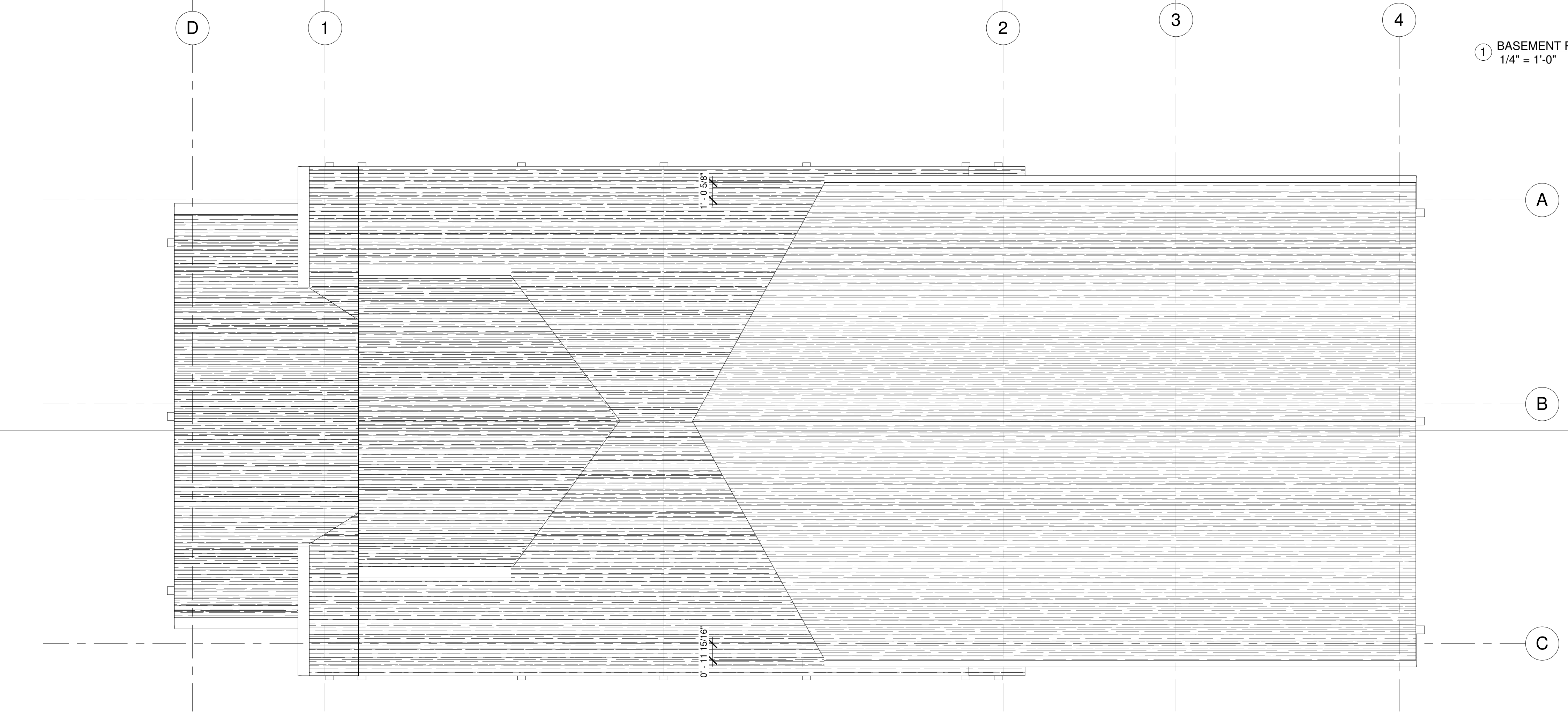
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LEGEND

- EXISTING WALL TO REMAIN
- WALLS TO BE DEMOLISHED
- NEW WALL



① BASEMENT PLAN
1/4" = 1'-0"

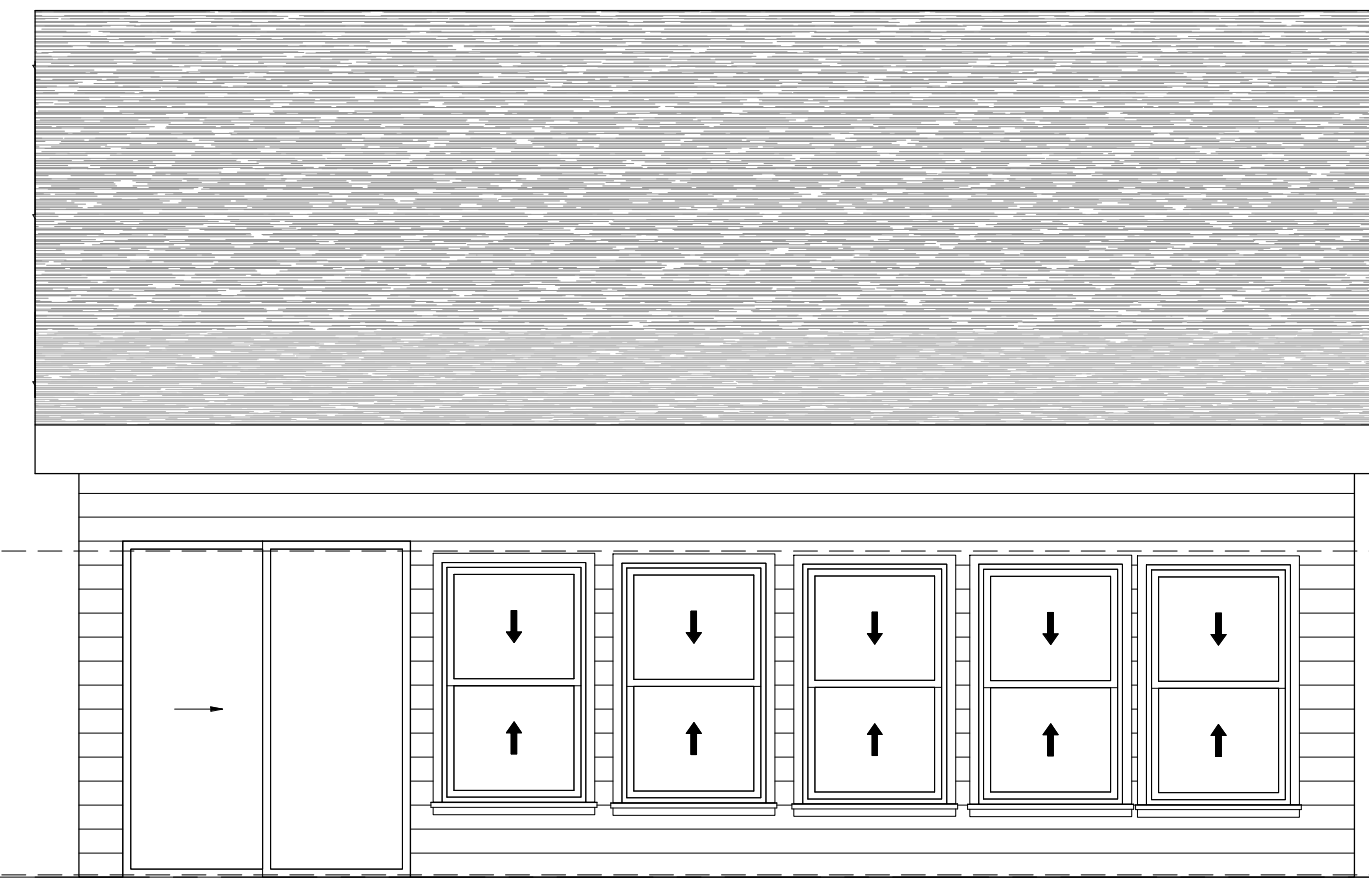


② ROOF PLAN
1/4" = 1'-0"



EXISTING FRONT

3 EXISTING FRONT ELEVATION
1/4" = 1'-0"



EXISTING FIRST FLOOR LVL 0' - 0"

EXISTING BACK

4 EXISTING BACK ELEVATION
1/4" = 1'-0"



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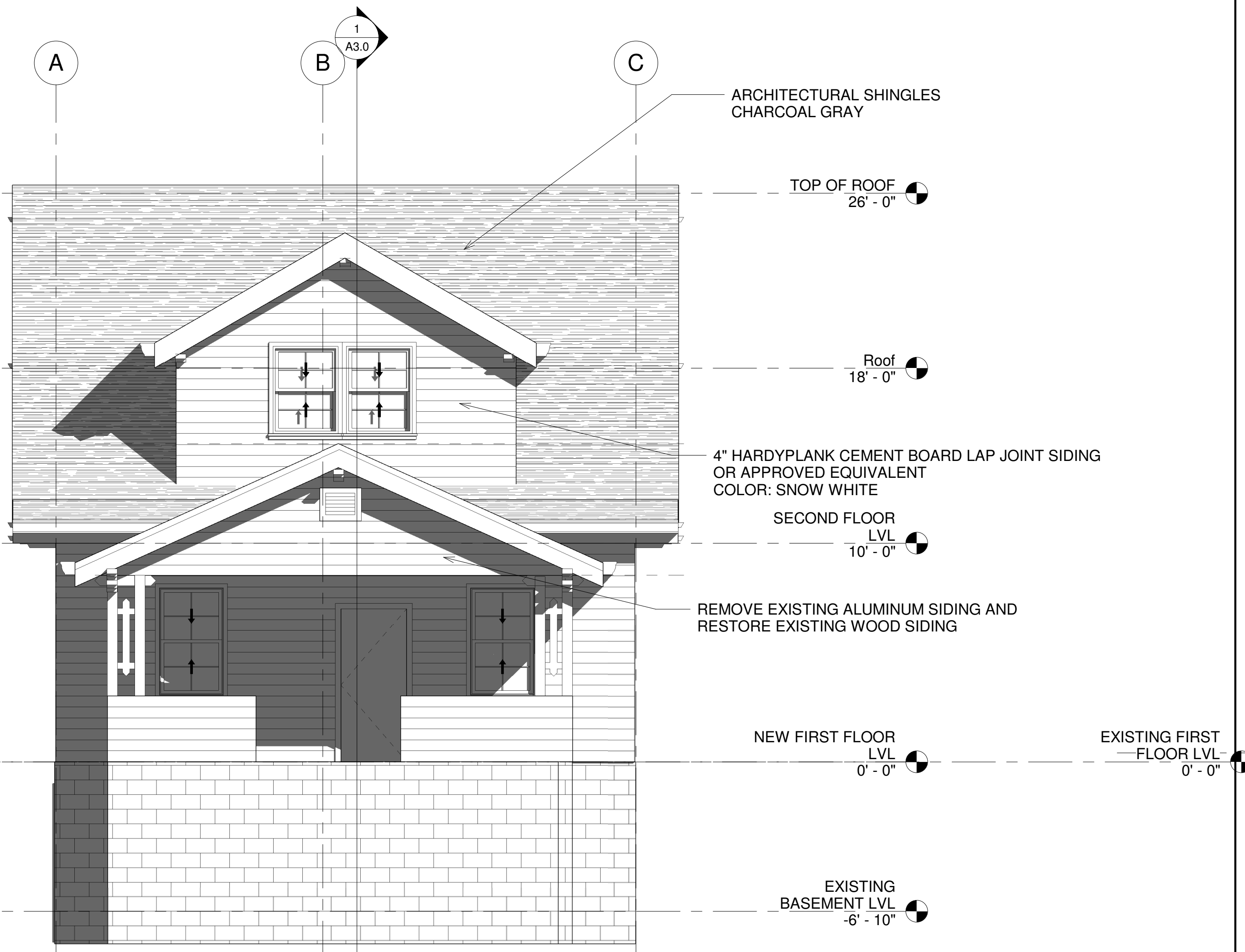
ELEVATION

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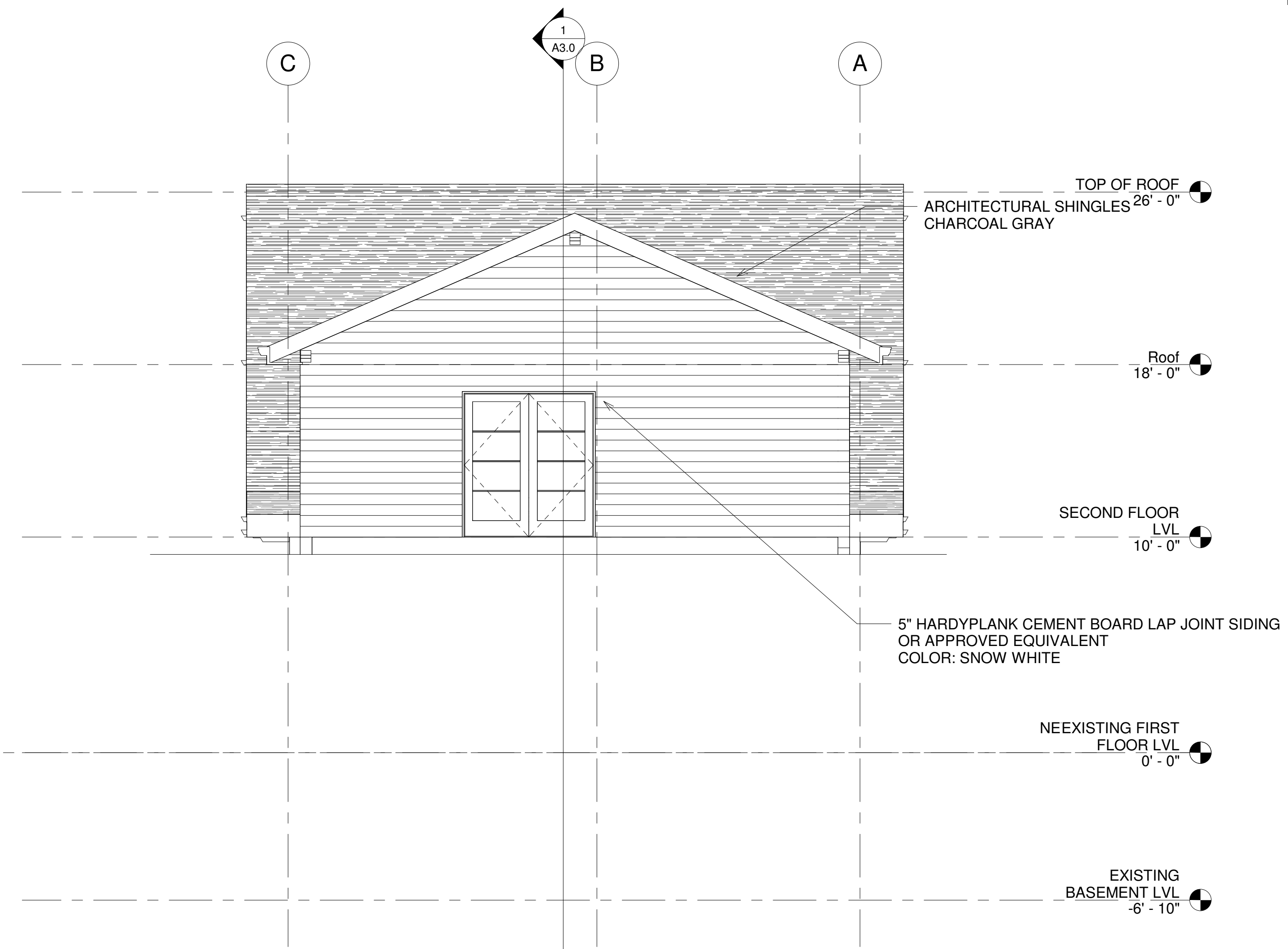
CHKD BY: Checker

JOB NO.: Project Number

SHEET NO.: A2.0



2 PROPOSED FRONT ELEVATION
1/4" = 1'-0"



1 PROPOSED BACK ELEVATION
1/4" = 1'-0"

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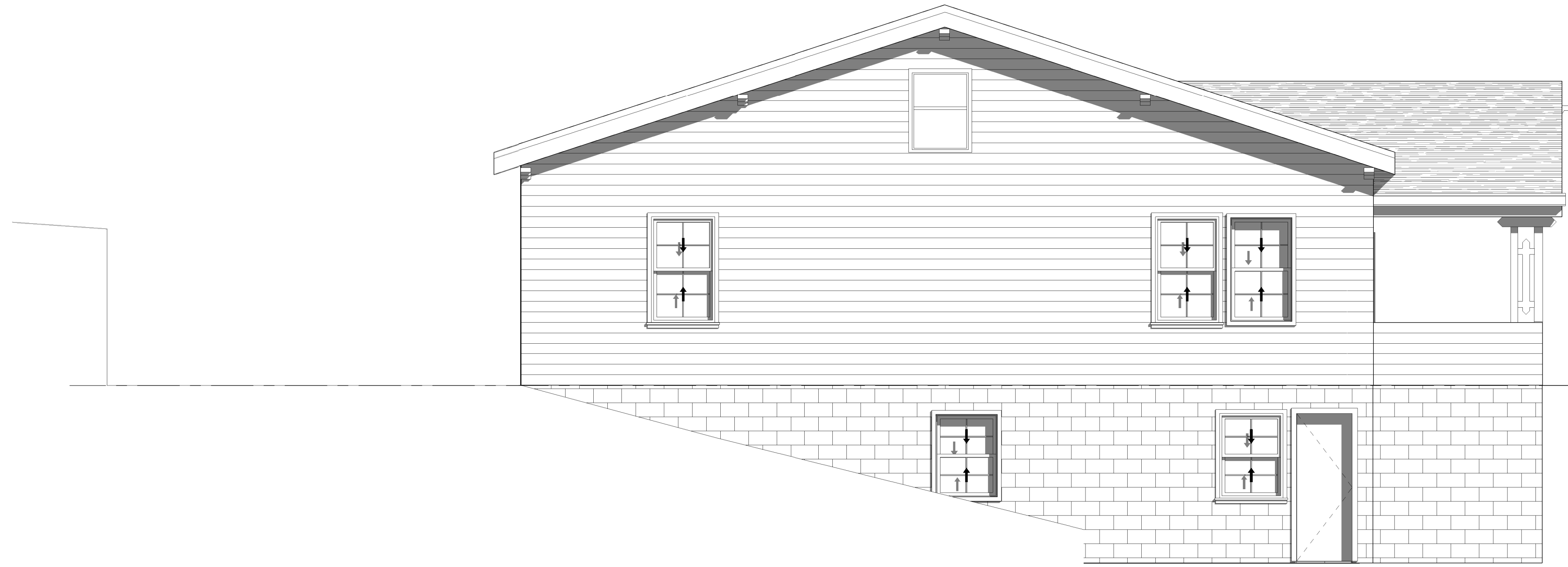
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ELEVATIONS

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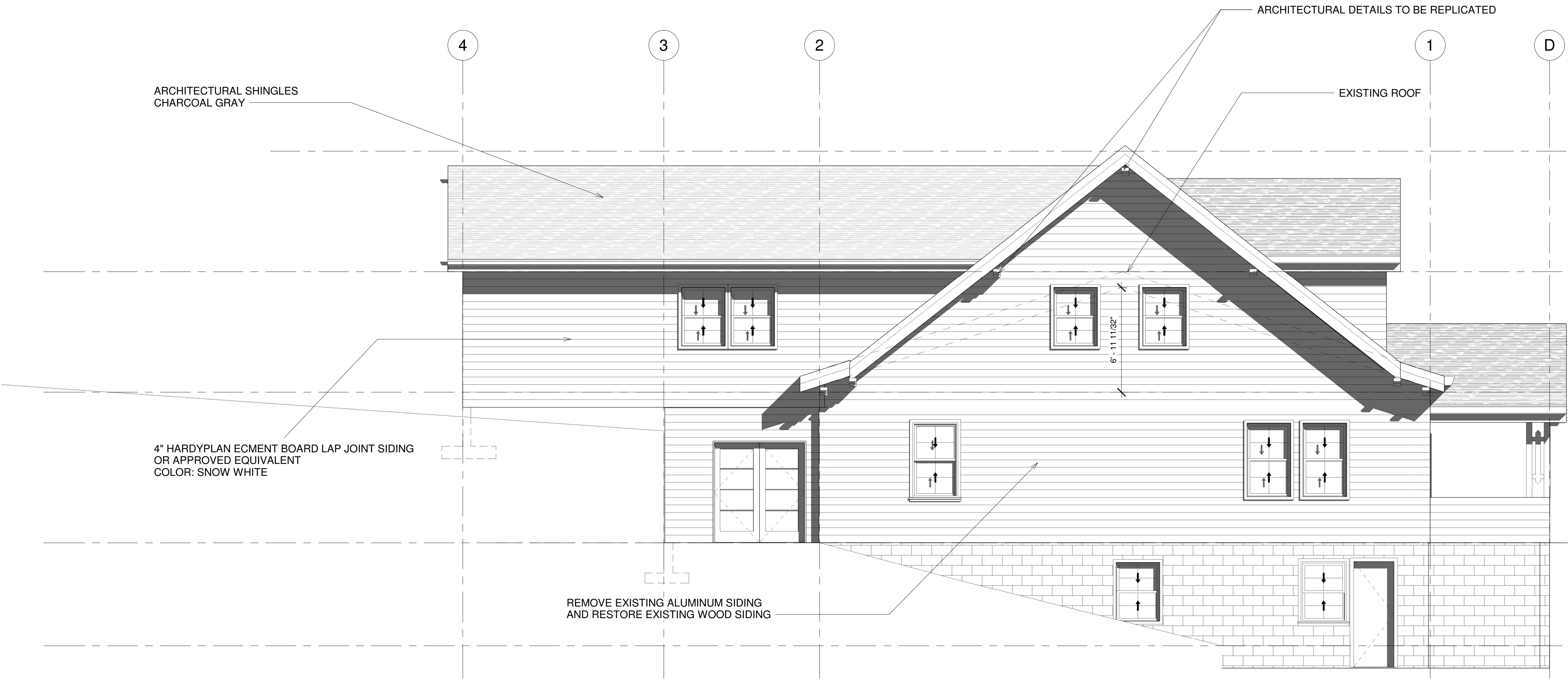
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EXISTING FIRST FLOOR LVL
0' - 0"

2 EXISTING LEFT SIDE ELEVATION
1/4" = 1'-0"



ARCHITECTURAL SHINGLES
CHARCOAL GRAY

ARCHITECTURAL DETAILS TO BE REPLICATED

EXISTING ROOF

TOP OF ROOF
26' - 0"

Roof
18' - 0"

SECOND FLOOR LVL
10' - 0"

4" HARDYPLAN ECMENT BOARD LAP JOINT SIDING
OR APPROVED EQUIVALENT
COLOR: SNOW WHITE

REMOVE EXISTING ALUMINUM SIDING
AND RESTORE EXISTING WOOD SIDING

NEEXISTING FIRST FLOOR LVL
0' - 0"

EXISTING BASEMENT LVL
-6' - 10"

1 PROPOSED LEFT SIDE ELEVATION
1/4" = 1'-0"

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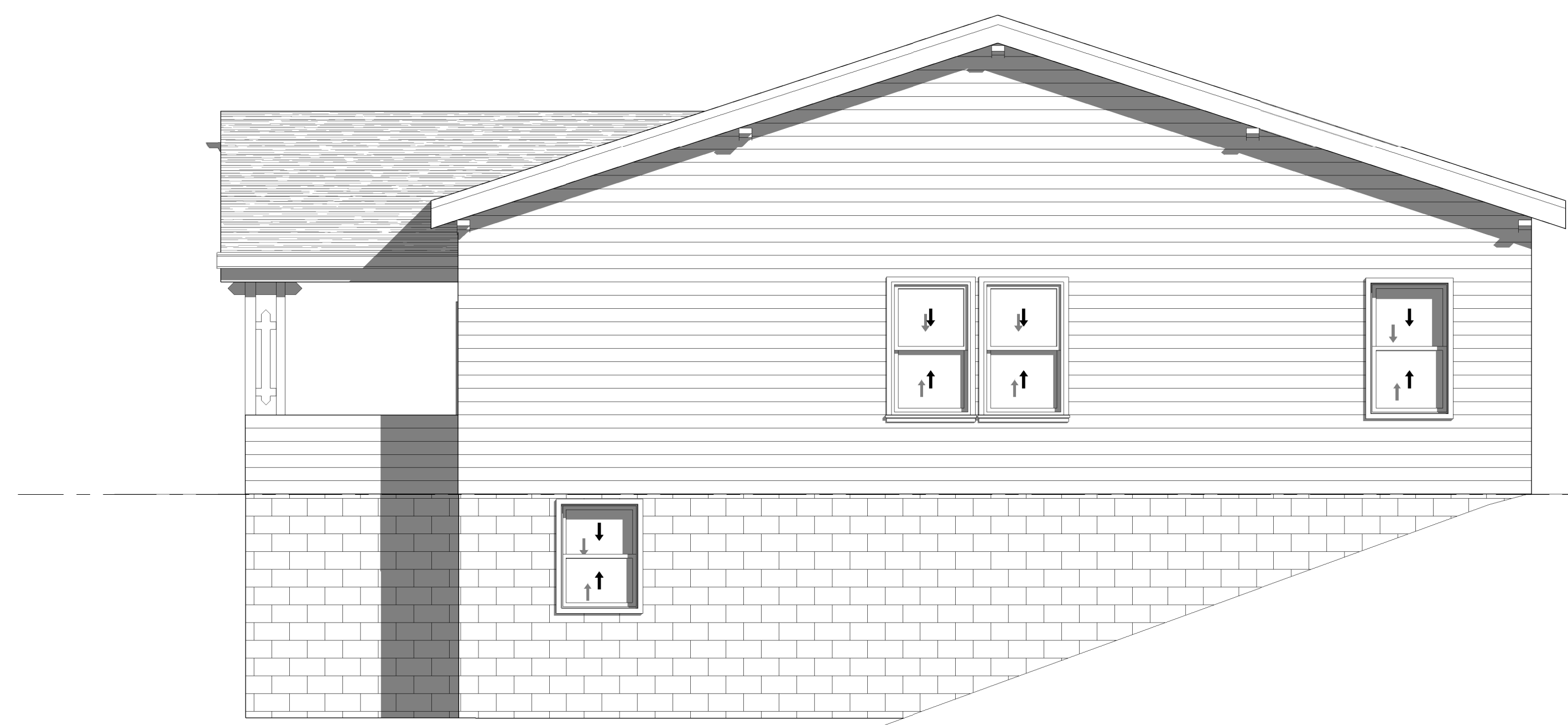
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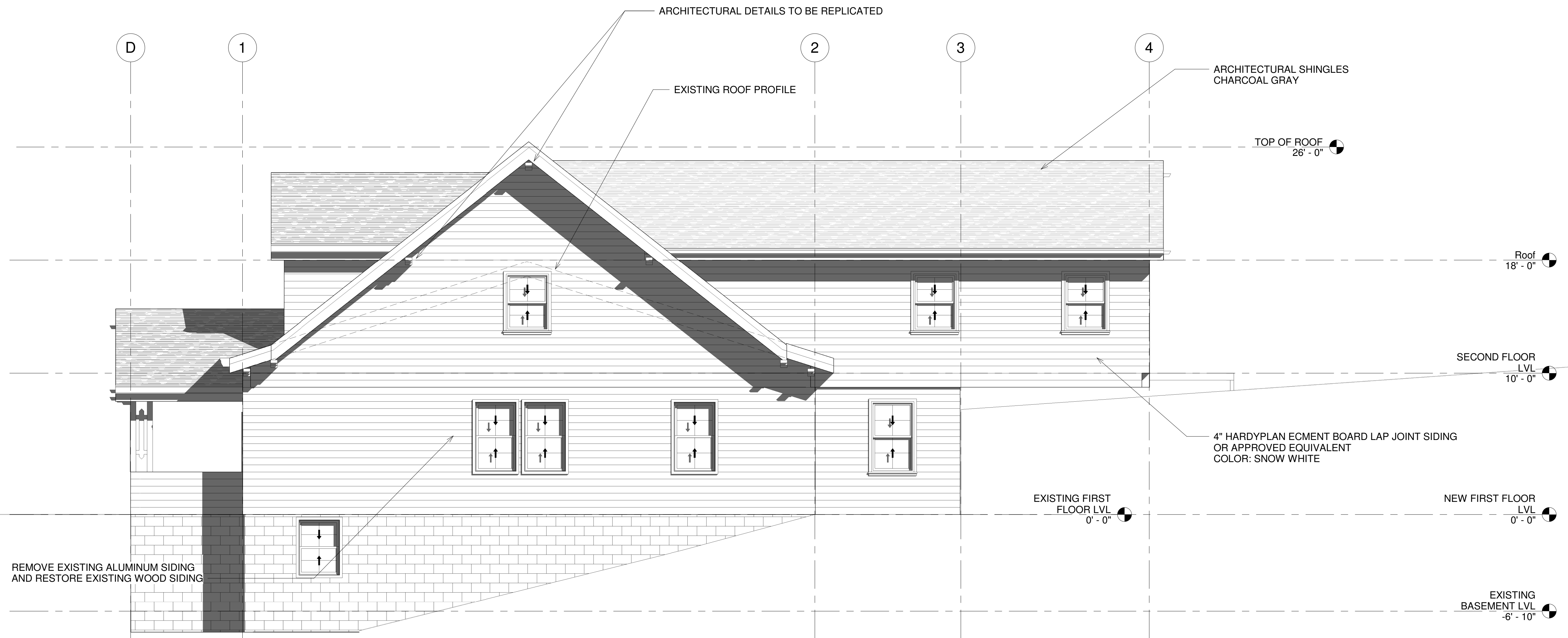


EXISTING FIRST FLOOR LVL
0' - 0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

REVIEWED
By Dan.Bruechert at 1:24 pm, Nov 21, 2022

2 EXISTING RIGHT SIDE ELEVATION
1/4" = 1'-0"



ARCHITECTURAL DETAILS TO BE REPLICATED

EXISTING ROOF PROFILE

ARCHITECTURAL SHINGLES
CHARCOAL GRAY

TOP OF ROOF
26' - 0"

Roof
18' - 0"

SECOND FLOOR LVL
10' - 0"

4" HARDYPLAN ECMENT BOARD LAP JOINT SIDING
OR APPROVED EQUIVALENT
COLOR: SNOW WHITE

EXISTING FIRST FLOOR LVL
0' - 0"

NEW FIRST FLOOR LVL
0' - 0"

EXISTING BASEMENT LVL
-6' - 10"

REMOVE EXISTING ALUMINUM SIDING
AND RESTORE EXISTING WOOD SIDING

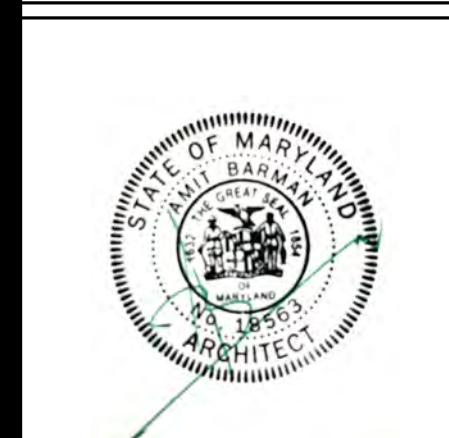
1 PROPOSED RIGHT SIDE ELEVATION
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SPECIFICATIONS. ANYTHING SHOWN OR IMPLIED ON
ANY ONE DRAWING MUST BE PROVIDED, INSTALLED
AND CONNECTED AS THOUGH IT WAS SHOWN ON ALL
DRAWINGS AND INCLUDED IN THE ORIGINAL PRICING.
NO REQUEST FOR ADDITIONAL COST, OR CHANGE
ORDERS WILL BE ACCEPTED BY THE OWNER FROM ANY
CONTRACTOR, SUBCONTRACTOR, SUPPLIER OR
INSTALLER THAT RESULT FROM A FAILURE TO
THOROUGHLY REVIEW ALL THE DRAWINGS,
COORDINATION WITH OTHER TRADES, OR THOROUGH
INSPECT THE SITE TO DETERMINE ALL EXISTING
CONDITIONS.

SHEET STATUS

DATE	BY	REVISION

SECTION

DRAWN BY: Author

CHK'D BY: Checker

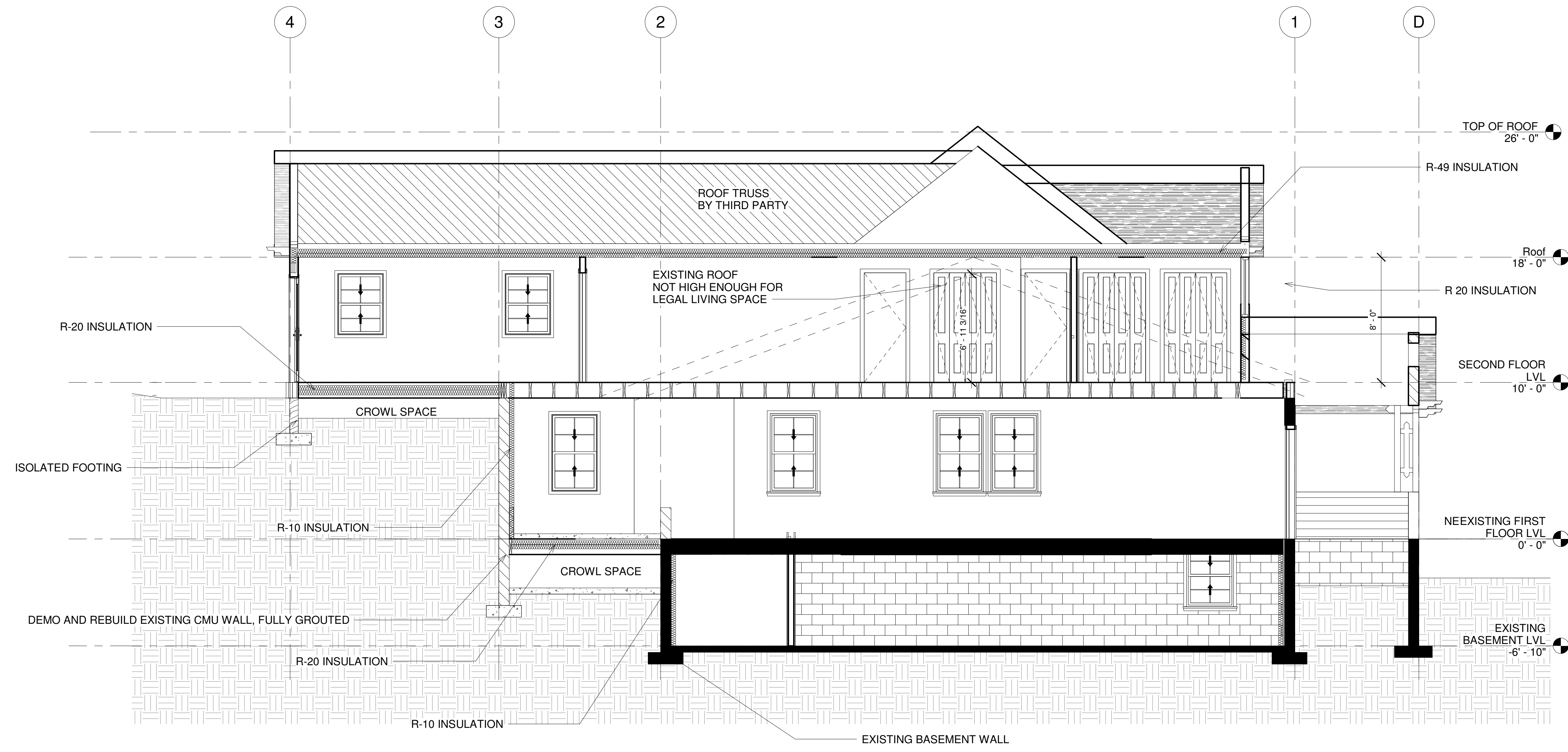
JOB NO.: Project Number

SHEET NO.: A3.0

APPROVED
Montgomery County
Historic Preservation Commission
Robert G. Porter

REVIEWED
By Dan.Bruechert at 1:24 pm, Nov 21, 2022

1 Section 1
1/4" = 1'-0"



1. INTERNATIONAL RESIDENTIAL BUILDING CODE- 2018 EDITION

GENERAL NOTES:

- WINDOWS IN ALL BEDROOMS ARE DOUBLE HUNG. WHEN THE LOWER SASH IS RAISED FROM INSIDE THESE WINDOWS THEY PROVIDE EMERGENCY AND RESCUE OPENINGS THAT ARE
 - THE BOTTOM OF THE EGRESS WINDOW OPENING CAN'T EXCEED 44" FROM THE FINISHED FLOOR.
 - THE MINIMUM OPENING AREA OF THE EGRESS WINDOW IS 5.7 SQUARE FEET.
 - THE MINIMUM EGRESS WINDOW OPENING HEIGHT IS 24" HIGH.
 - THE MINIMUM EGRESS WINDOW OPENING IS 20" WIDE.
- SMOKE DETECTOR AND CARBON MONOXIDE DETECTOR LOCATIONS ARE AS SHOWN ON PLANS.
- ALL NEW EXTERIOR LOAD BEARING WALLS ARE 2X6" STUDS @ 16" O/C WITH 5/8" SHEATHING BOARDS ON EXTERIOR AND 1/2" GB ON INSIDE FACE.
- ALL INTERIOR NON LOAD BEARING WALLS ARE 2"x4" STUDS @ 16" O/C WALLS WITH 1/2" GB ON EACH FACE EXCEPT NOTED OTHERWISE.
- NEW SECOND FLOOR AND ROOF AS SHOWN ON STRUCTURAL PLAN.
- SEE STRUCTURAL DRAWINGS FOR FLOOR FARMING INCLUDING LOAD BEARING WALLS LOCATIONS.
- ALL NEW DOORS AND WINDOWS ARE AS SHOWN ON PLANS AND FRAMING CONTRACTOR SHALL PROVIDE OPENING INTO WALLS WITH HEADERS AND JAMS PER CODE AND DETAILS.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS, LOCATIONS AND ELEVATIONS OF STRUCTURES SHOWN ON THE CONTRACT DRAWINGS SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH THE WORK.
- ALL WORK SHALL BE DONE ACCORDANCE WITH MONTGOMERY COUNTY BUILDING CODE.
- THE CONTRACTOR SHALL HOLD HARMLESS THE ARCHITECT/ENGINEER FROM AND AGAINST ALL CLAIMS, DAMAGES, LOSSES AND EXPENSES INCLUDING ATTORNEY'S FEE ARISING FROM THE PERFORMANCE OF THE WORK DONE BY THE CONTRACTOR.
- ALL WORK AND MATERIALS SHALL MEET THE REQUIREMENTS OF THE LOCAL AND STATE BUILDING CODES AND THE SPECIFICATIONS OF THE NATIONAL BOARD OF UNDERWRITERS. THE DRAWINGS SHOWING THE GENERAL AGREEMENTS AND EXTENT OF WORK. AS THE WORK PROGRESSES THE CONTRACTOR AT NO EXTRA COST SHALL MAKE MODIFICATIONS TO MAKE PART ALIGN.
- CHANGES TO THE PLAN BY THE CONTRACTOR SHALL BE THE RESPONSIBILITY OF THE PERSONS MAKING SUCH CHANGES. CONTRACTOR SHALL CHECK AND VERIFY ALL PLAN DIMENSIONS AND CONDITIONS BEFORE PROCEEDING WITH CONSTRUCTION.
- DO NOT SCALE DRAWINGS. ALL WRITTEN DIMENSIONS SHALL GOVERN.
- IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO INSURE PROPER INSTALLATION OF ALL METAL FASTENERS PER MANUFACTURER'S SPECIFICATIONS.
- STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT ON ANY DISCREPANCIES PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCING WORK AND DETERMINE THE LOCATION OF ALL ADJACENT UNDERGROUND UTILITIES PRIOR TO COMMENCING EXCAVATION AND NOTIFY ARCHITECT OF DISCREPANCIES AND CONFLICTS.
- CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETE IN ACCORDANCE WITH THE PLANS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES OR PROCEDURES REQUIRED TO PERFORM THE WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISIONS/AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES OF THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.

CONCRETE:

- REINFORCED CONCRETE SHALL BE DETAILED AND CONSTRUCTED IN ACCORDANCE WITH AMERICAN CONCRETE INSTITUTE, (ACI 301) "SPECIFICATION FOR STRUCTURAL CONCRETE FOR BUILDINGS" AND ACI 318 "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE".
- NEW CONCRETE FOR FOOTING AND FILLED IN CMU SHALL BE MINIMUM OF 3000 PSI AT 28 DAYS.
- ALL REINFORCEMENT SHALL CONFORM TO ASTM SPECIFICATION A185.
- NEW FOOTING AND SLAB SHALL BE POURED ON 4" GRAVEL OR CR6 AS SHOWN ON SECTION.
- NEW ROOF SHALL BE CONSTRUCTED ACCORDING WITH STRUCTURAL FRAMING PLAN AND ARCHITECTURAL DETAILS.
- THE OWNER SHALL RETAIN THE SERVICES OF A SOIL CONSULTANT APPROVED BY THE ARCHITECT TO CHECK AND VERIFY THE REQUIRED SOIL BEARING PRESSURE OF EACH FOOTING.
- ALL CONTINUOUS REINFORCING SHALL BE SPLICED WITH "B" SPLICE STAGGERED, UNLESS NOTED OTHERWISE. FOOTING AND OTHER CONCRETE POURED AGAINST EARTH -3"
- FORMED CONCRETE EXPOSED TO EARTH -2" FOR BEARS LARGER THAN #5, 1/2" FOR #5 AND SMALLER BARS.
- WHERE DISCREPANCIES EXIST BETWEEN THE STANDARD COMMENTS, NOTES FROM THE DESIGN PROFESSIONAL OR THE CODE, THE MOST RESTRICTIVE SHALL APPLY. ALL CONSTRUCTION SHALL COMPLY WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE (IRC).
- FOUNDATION WALLS ENCLOSING BASEMENTS OR OTHER HABITABLE SPACE SHALL BE DAMPPROOFED PER IRC - WHERE A HIGH WATER TABLE OR OTHER SEVERE WATER CONDITION EXISTS, THE WALLS SHALL BE WATERPROOFED.
- PROVIDE A MINIMUM 4-INCH PERFORATED DRAIN AROUND USABLE SPACE BELOW GRADE OR OTHER EQUIVALENT MATERIALS PER IRC. THE PIPE SHALL BE COVERED WITH NOT LESS THAN 6 INCHES OF WASHED GRAVEL OR CRUSHED ROCK. THE DRAIN SHALL DAYLIGHT TO THE EXTERIOR BELOW THE FLOOR LEVEL OR TERMINATE IN A MINIMUM 20-GALLON SUMP PIT.
- INTERIOR BEARING WALLS AND COLUMNS SHALL BE ISOLATED FROM THE BASEMENT FLOOR SLAB.
- AT WALKOUTS THE FOUNDATION WALL SHALL BE INSULATED WITH A MINIMUM R-13 INSULATION FOR A MINIMUM OF 3 FEET BELOW THE BOTTOM OF THE SLAB.
- ANCHOR BOLTS - MINIMUM 1/2-INCH ANCHOR BOLTS WITH 7" EMBEDMENT AT MAXIMUM 6 FEET O.C. AND WITHIN 6 INCHES OF THE END OF EACH SILL PLATE.
- WHERE FLOOR JOISTS ARE PARALLEL TO THE FOUNDATION WALL, THE WALL SHALL BE SUPPORTED Laterally AT THE TOP BY SOLID BLOCKING FOR A MINIMUM OF TWO JOIST SPACES, SPACED NOT MORE THAN 2'-10" FEET O.C.

WOOD NOTES:

- FRAMING LUMBER SHALL BE KILN DRIED OR MC-15, AND GRADED AND MARKED IN CONFORMANCE WITH WCLIB STANDARD GRADING RULES FOR WEST COAST LUMBER NO. 17, LATEST EDITION. ALL WOOD FRAME CONSTRUCTION SHALL CONFORM TO THE STANDARDS OR THE IRC AS A MINIMUM REQUIREMENT. FURNISH TO THE FOLLOWING MINIMUM STANDARDS:

JOISTS: (2X8 AND SMALLER)	HEM-FIR NO. 2 MINIMUM BASE VALUE, FB=850 PSI
BEAMS AND STRINGERS: (2X10 AND LARGER)	DOUGLAS FIR NO. 1 MINIMUM BASE VALUE, FB=1350 PSI
POSTS AND TIMBERS: (4X4 AND LARGER)	DOUGLAS FIR NO. 2 MINIMUM BASE VALUE, FB=1200 PSI
STUDS, PLATES & MISC. FRAMING:	DOUGLAS FIR OR HEM-FIR STANDARD GRADE
TOP AND BOTTOM PLATES AT BEARING WALLS GRADE	DOUGLAS FIR-LARCH CONSTRUCTION
2X6 STUDS AND PLATES:	HEM-FIR NO.3/ STUD GRADE
- ENGINEERED LUMBER SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.
- ENGINEERED LUMBER MEMBERS SHALL BE MANUFACTURED UNDER A PROCESS BY THE NATIONAL RESEARCH BOARD. EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, THE NATIONAL RESEARCH BOARD NUMBER, AND THE QUALITY CONTROL AGENCY. ALL LUMBER SHALL BE MANUFACTURED IN ACCORDANCE WITH THE APPROPRIATE NER REPORT AND GLUED WITH A WATERPROOFING ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2559 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER.

PSL	FB=2900 PSI	E=2000 PSI	FV =290 PSI	NER-292
LVL	FB=2600 PSI	E=1900 PSI	FV =285 PSI	NER-126
LSL	FB=1700 PSI	E=1300 PSI	FV =150 PSI	NER-481
- DESIGN SHOWN ON PLANS IS BASED ON LUMBER MANUFACTURED BY THE GEORGIA-PACIFIC. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE ICBO APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH MEMBERS PROVIDED.
- GLUED LAMINATED MEMBERS SHALL BE FABRICATED IN CONFORMANCE WITH ANSI/AITC A190.1 AND ASTM D3737. EACH MEMBER SHALL BEAR AND AITC IDENTIFICATION MARK AND SHALL BE ACCOMPANIED BY AN AITC CERTIFICATE OF CONFORMANCE. ALL SIMPLE SPAN BEAMS SHALL BE DOUGLAS FOR COMINATION 24F-V4, FB=2400 PSI, FV=190 PSI, CAMBER ALL GLULAM BEAMS TO A 2,000 FOOT RADIUS UNLESS NOTED OTHERWISE ON THE PLANS.
- ALL WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE OR (2) LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER SHALL BE PROVIDED BETWEEN UNTREATED WOOD AND CONCRETE OR MASONRY. ALL WOOD EXPOSED TO WEATHER WITHOUT THE ADEQUATE PROTECTION OF A ROOF OR EAVE SHALL BE APPROVED WOOD OF NATURAL RESISTANCE TO DECAY OR PRESSURE TREATED. SUCH MEMBERS INCLUDE HORIZONTAL MEMBERS SUCH AS GIRDERS, JOISTS, DECKING, OR VERTICAL MEMBERS SUCH AS POSTS, POLES AND COLUMNS.
- PLYWOOD SHEATHING SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE SHALL BE IN CONFORMANCE WITH APA STANDARDS. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD.
- FLAT 2X BLOCKING AT ALL UNFRAMED PLYWOOD PANEL EDGES AND NAIL WITH EDGE NAILING SPECIFIED.
- FLOOR SHEATHUNG SHALL BE 3/4" (NOM) WITH SPAN RATING 40/20
- WALL SHEATHING SHALL BE 1/2" (NOM) WITH SPAN RATING 24
- PLYWOOD OOF AND FLOOR SHEATHING TO BE LAID UP WITH GRAIN PERPENDICULAR TO SUPPORTS AND NAILED WITH 8D NAILS AT 6" O.C. TO FRAMED PANEL EDGES AND OVER STUD WALLS AS SHOWN ON PLANS AND AT 12" O.C. TO INTERMEDIATE SUPPORTS UNLESS NOTED OTHERWISE. PROVIDE APPROVED PLYWOOD EDGE CLIPS AT 16" O.C. AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE-AND-GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. TOENAIL BLOCKING TO SUPPORTS WITH 16D @ 12" O.C. UNLESS NOTED OTHERWISE. AT BLOCKED FLOOR AND ROOF DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED PLYWOOD PANEL EDGES AND NAIL WITH EDGE NAILING SPECIFIED.
- FLOOR AND ROOF FRAMING: PROVIDE DOUBLE JOISTS AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING JOINTS, TOENAIL JOISTS TO SUPPORTS WITH TWO 16D NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS.
- ALL COLUMNS AND POSTS SUPPORTING BEAMS NOT SPECIFIED FOR SIZE ON PLAN SHALL CONSIST OF 2 STUDS SPIKE LAMINATED TOGETHER WITH 16D NAILS AT 9" O/C.

WOOD FRAMING:

- FRAMING LUMBER FOR BEAMS AND JOISTS SHALL HAVE FB= 1100 PSI, E=1,300.00, AND FOR STUDS AND POSTS, FC= 500 PSI, E = 1,200.000 PSI
- PROVIDE 2-2 X 6 @ EACH SIDE OF OPENINGS UNLESS NOTED OTHERWISE.
- ALL WOOD LINTEL SHALL BE 2-2 X 8 UNLESS OTHERWISE NOTED.
- PROVIDED CROSS-BRIDGING FOR JOISTS AT 8'-0" INTERVALS.
- WOOD JOISTS AND BEAMS SHALL NOT BE CUT OR DRILLED UNLESS SO AUTHORIZED BY THE ARCHITECT.
- PROVIDE APPROVED HURRICANE CONNECTIONS BETWEEN FRAMING MEMBERS.
- LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED AGAINST DECAY.
- PROVIDED DOUBLE JOISTS BELOW NON-BEARING PARTITIONS PARALLEL TO JOISTS.
- FRAMING LUMBER SHALL HAVE 19% MAXIMUM MOISTURE CONTENT.
- BRUSH PRESERVATIVE SOLUTION ON ALL EDGES THAT ARE CUT IN MEMBERS THAT ARE IN CONTACT WITH CONCRETE OR MASONRY.
- FRAMING MANUFACTURERS' STANDARD JOIST OR STANDARD BEAM HANGERS AT WALL WOOD TO WOOD CONNECTIONS THAT REQUIRE JOISTS OR BEAMS FRAMING INTO THE SIDE OR FACE OF THE SUPPORTING MEMBER. THE CAPACITY OF THE HANGER SHALL BE FOR THE MAXIMUM SHEAR CAPACITY OF THE JOISTS OR BEAM.

PLYWOOD SHEATHING:

- ALL PLYWOOD SHEATHING SHALL BE CD-GRADE, UNLESS OTHERWISE SHOWN, WITH EXTERIOR GLUE MANUFACTURED IN ACCORDANCE WITH PRODUCT STANDARD PS183, LATEST ADDITION, ROOF AND WALL SHEATHING.
- PLYWOOD SHEATHING SHALL BE LAID WITH END JOINT STAGGERED.
- BLOCK ALL WALL SHEATHING WITH 2X4 FLAT BLOCKING AT ALL EDGES.
- LAYOUT PLYWOOD TO ELIMINATED ANY WIDTH LESS THAN 1'-0"

DESIGN LOADS:

FLOOR LIVE LOAD = 40 PSF
 FLOOR DEAD LOAD = 10 PSF
 STAIR LIVE LOAD = 100 PSF
 DECKS LIVE LOAD = 40 PSF
 ROOF LIVE LOAD = 40 PSF
 ROOF DEAD LOAD = 10 PSF
 GROUND SNOW LOAD = 40 PSF
 WIND SPEED - 120 MPH MAX
 HANDRAIL - 200 LB CONCENTRATED LATERAL LOAD
 SOIL BEARING CAPACITY = 2000 PSF

APPROVED
 Montgomery County
 Historic Preservation Commission



REVIEWED
 By Dan.Bruechert at 1:24 pm, Nov 21, 2022

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PROJECT TITLE
ADDITION & ALTERATION

PROJECT ADDRESS
**6712 WESTMORELAND AVE
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SHEET TITLE
GENERAL NOTES AND SCHEDULES

DISCLAIMER

PROFESSIONAL CERTIFICATION
 I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND, LICENSE NO. 23081 EXPIRATION DATE 04/24/2023



REVISIONS

PROJECT NUMBER
R22-258

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SP

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PP

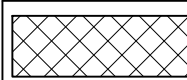
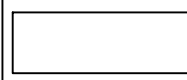
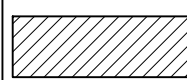
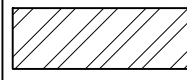
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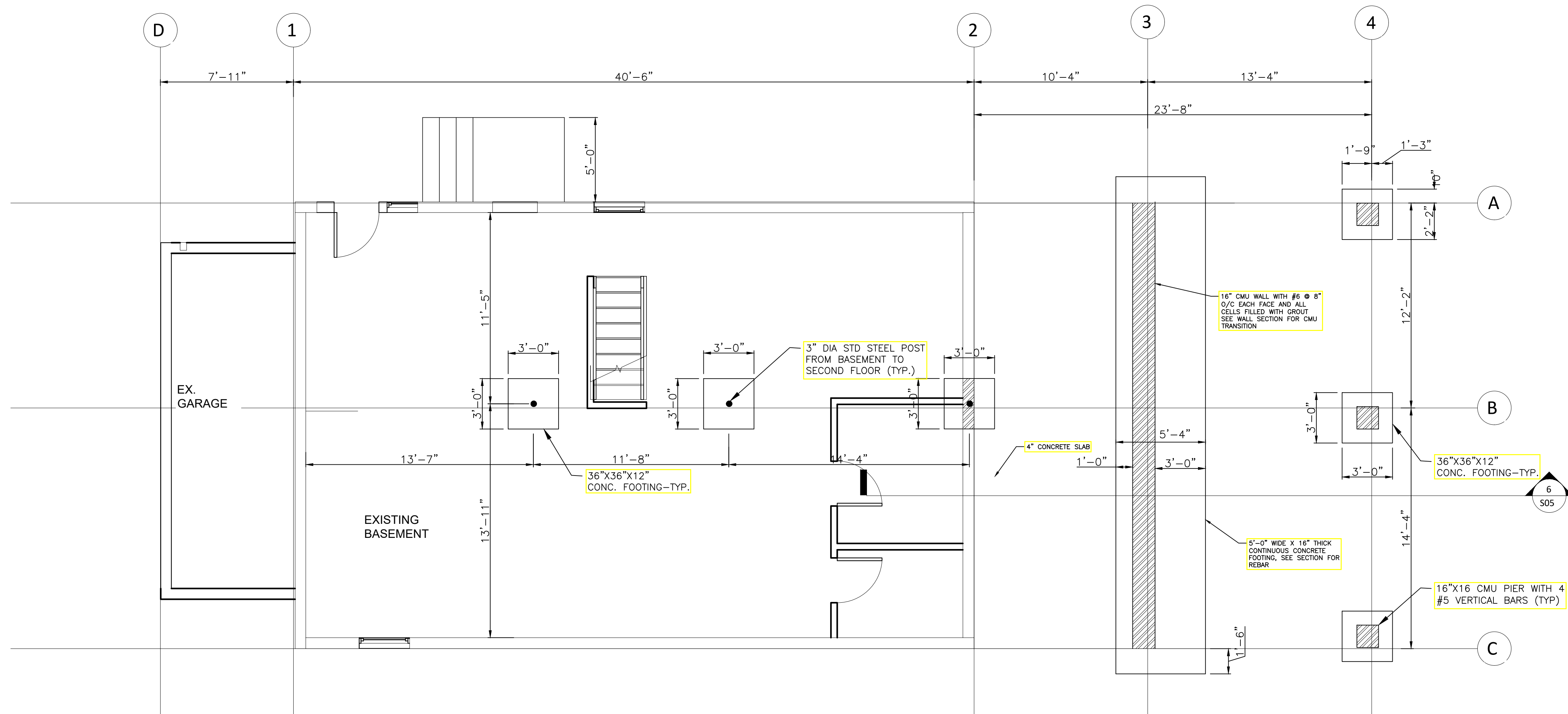
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01 OF 09

DRAWING
S001

WALL SYMBOLS

TYPE	DESCRIPTION
	EXISTING WALLS DEMOLITION
	EXISTING WALLS
	PROPOSED STUD WALL
	NEW CMU WALL

- NOTES:**
- FOR GENERAL NOTES SEE DRAWING S1.
 - CONCRETE FOR THE FOOTING SHALL BE 3000 PSI @ 28 DAYS.
 - ALL NEW EXTERIOR STUD WALLS SHALL HAVE 2"x6" STUDS @ 16" O/C. WITH 5/8" DRY WALL INSIDE FACE AND 5/8" EXTERIOR SHEATHING BOARD ON EXTERIOR FACE.
 - ALL NEW INTERIOR STUD WALLS SHALL BE 2"x4" STUDS @ 16" O/C. WITH 5/8" DRY WALL ON BOTH SIDES EXCEPT NOTES OTHERWISE.
 - ALL WORK SHALL BE IN ACCORDANCE WITH MONTGOMERY COUNTY BUILDING CODE.



FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 1:24 pm, Nov 21, 2022

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SHEET TITLE
FOUNDATION PLAN

DISCLAIMER
PROFESSIONAL CERTIFICATION
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REVISIONS

PROJECT NUMBER
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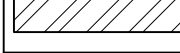
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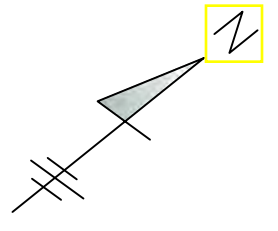
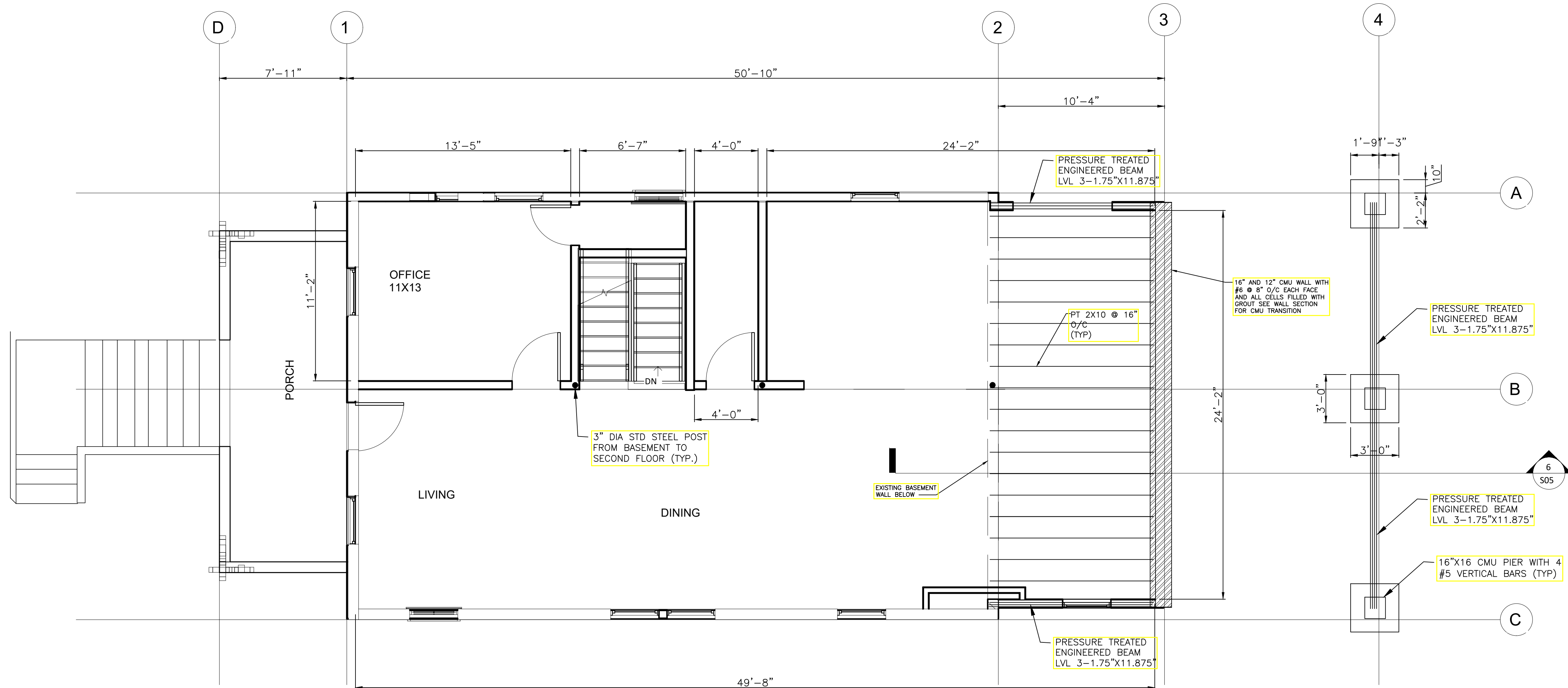
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02 OF 09

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S002

WALL SYMBOLS

TYPE	DESCRIPTION
	EXISTING WALLS DEMOLITION
	EXISTING WALLS
	PROPOSED STUD WALL
	NEW CMU WALL

- NOTES:
- FOR GENERAL NOTES SEE DRAWING S1.
 - ALL NEW EXTERIOR STUD WALLS SHALL HAVE 2"x6" STUDS @ 16" O/C. WITH 5/8" DRY WALL INSIDE FACE AND 5/8" EXTERIOR SHEATHING BOARD ON EXTERIOR FACE.
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 - ALL WORK SHALL BE IN ACCORDANCE WITH MONTGOMERY COUNTY BUILDING CODE.



FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 1:24 pm, Nov 21, 2022

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SHEET TITLE
FIRST FLOOR PLAN

DISCLAIMER
PROFESSIONAL CERTIFICATION
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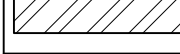
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SHOULD MEASURE 1":

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S003

WALL SYMBOLS

TYPE	DESCRIPTION
	EXISTING WALLS DEMOLITION
	EXISTING WALLS
	PROPOSED STUD WALL
	NEW CMU WALL

- NOTES:**
- FOR GENERAL NOTES SEE DRAWING S1.
 - ALL NEW EXTERIOR STUD WALLS SHALL HAVE 2"x6" STUDS @ 16" O/C. WITH 5/8" DRY WALL INSIDE FACE AND 3/8" EXTERIOR SHEATHING BOARD ON EXTERIOR FACE.
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 - ALL WORK SHALL BE IN ACCORDANCE WITH MONTGOMERY COUNTY BUILDING CODE.

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**6712 WESTMORELAND AVE
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 SHEET TITLE
SECOND FLOOR PLAN

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SP

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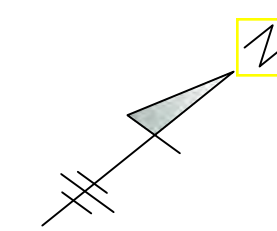
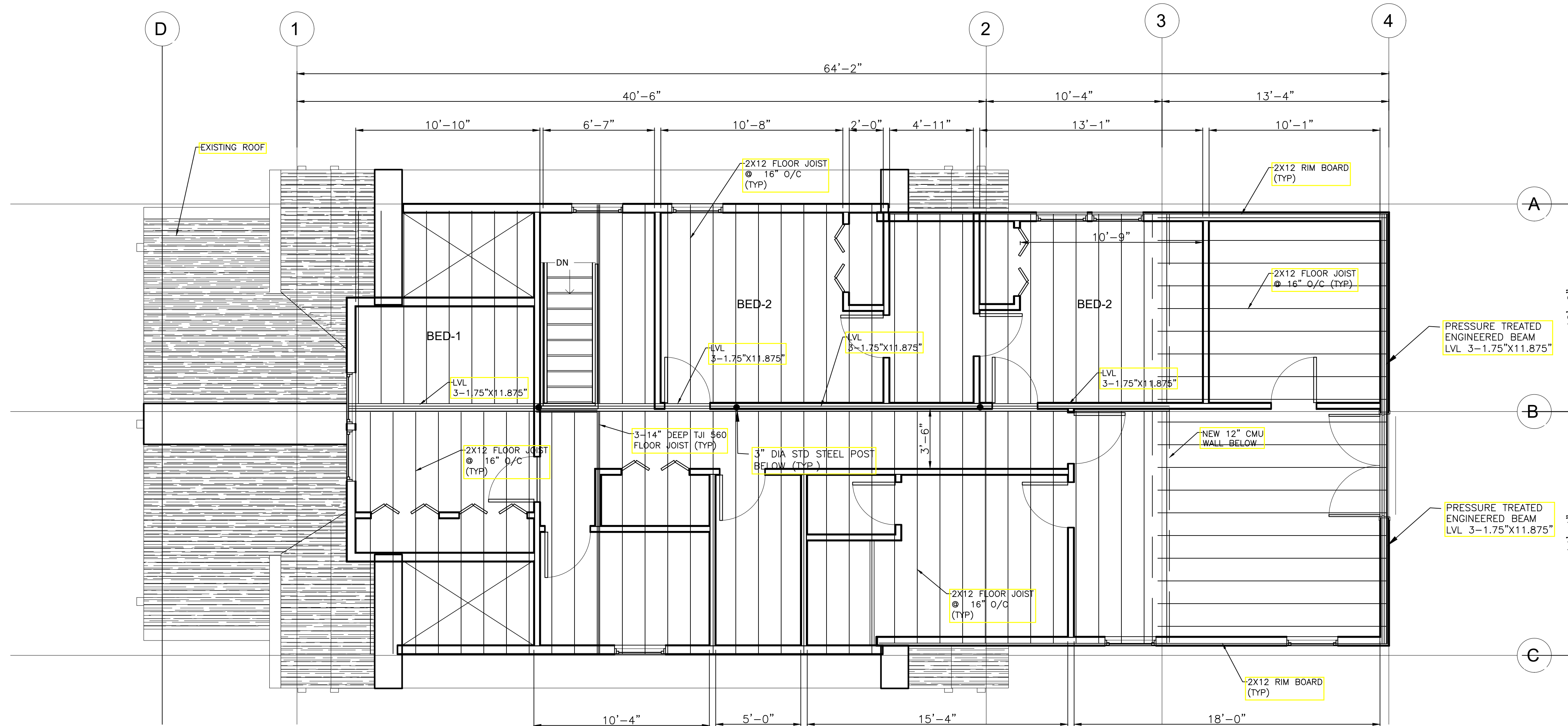
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S004



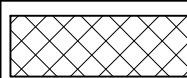
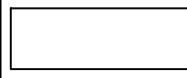
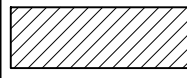

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

APPROVED
 Montgomery County
 Historic Preservation Commission

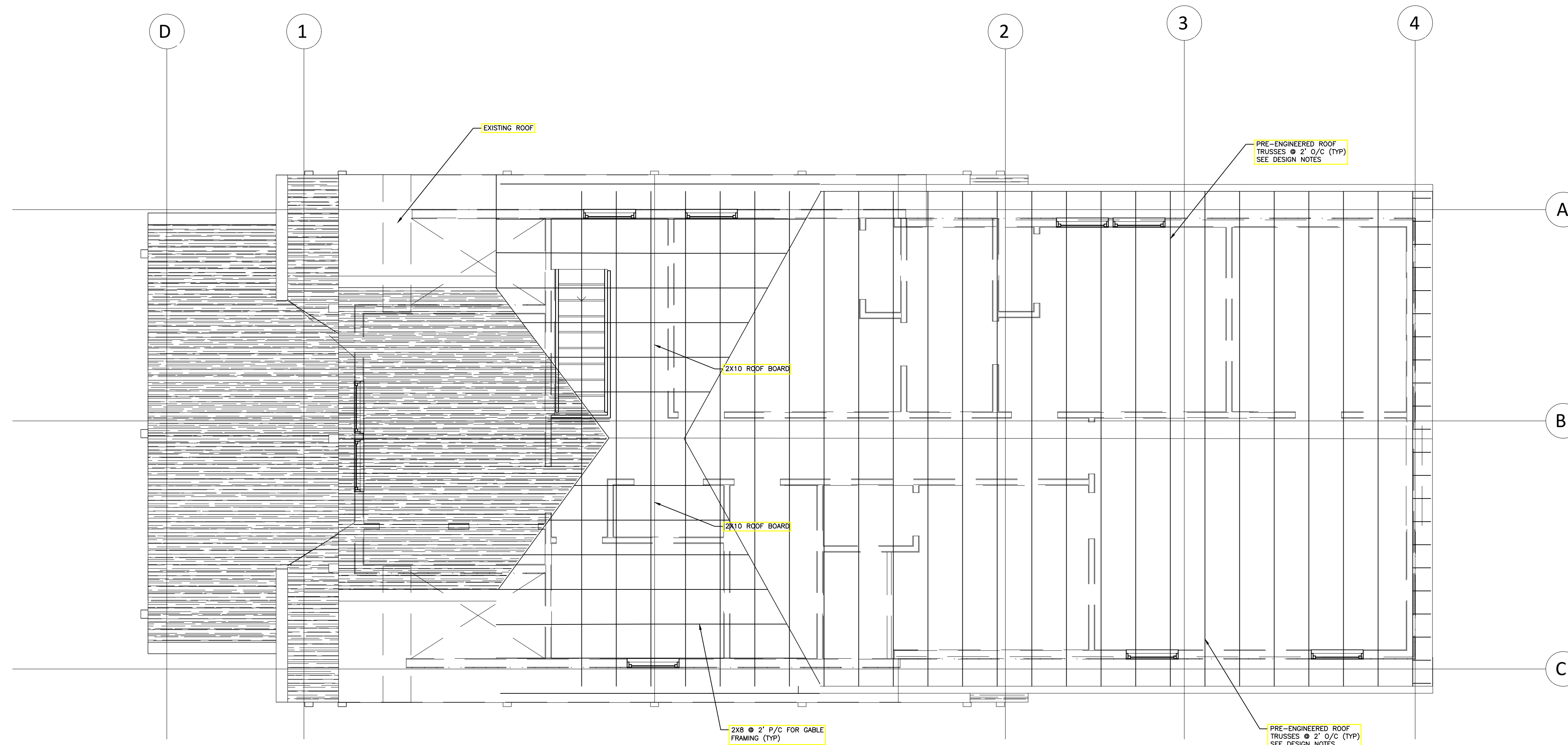

REVIEWED
 By Dan.Bruechert at 1:24 pm, Nov 21, 2022

WALL SYMBOLS

TYPE	DESCRIPTION
	EXISTING WALLS DEMOLITION
	EXISTING WALLS
	PROPOSED STUD WALL
	NEW CMU WALL

NOTES:

- FOR GENERAL NOTES SEE DRAWING S1.
- WOOD TRUSSES SHALL BE 2' O/C AND DESIGNED BY THE MANUFACTURER. DESIGN LOADS FOR THE ROOF TRUSSES SHALL BE AS PER IRC AND ON AS SHOWN S1.
- ALL ROOF TRUSSES SHALL BE ANCHORED WITH HURRICANE ANCHOR AT TOP OF THE WALL.
- BUILDING SHALL BE BRACED IN ACCORDANCE WITH CHAPTER 6 OF IRC 2018. BRACED WALL LINES SHALL BE AS SHOWN ON PLANS AND IN ACCORDANCE WITH IRC.
- BUILDING BRACING SHALL BE CS-WSP - CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL.
- A MINIMUM 24" WIDE PANEL FOR CS-WSP IS APPLIED TO EACH SIDE OF THE BUILDING CORNER AS SHOWN ON PLANS.
- THE END OF EACH BRACED WALL PANEL CLOSEST TO THE BRACED WALL LINE SHALL HAVE AN 1800 LB HOLD-DOWN DEVICE FASTENED TO THE EDGE OF THE BRACED WALL PANEL CLOSEST TO THE CORNER AND TO THE FOUNDATION BELOW.



ROOF PLAN
SCALE: 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

REVIEWED
By Dan.Bruechert at 1:24 pm, Nov 21, 2022

OWNER

ARENCO LLC
12430 HILL CREST
FULTON, MD 20759
TEL. (240) 418-1389
FAX (888) 374-5418
INFO@ARENCO-LLC.COM

ARCHITECTS
ENGINEERS
CONSTRUCTION MANAGERS

PROJECT TITLE
ADDITION & ALTERATION
PROJECT ADDRESS
**6712 WESTMORELAND AVE
TAKOMA PARK, MD 20912**
SHEET TITLE
ROOF FRAMING PLAN

DISCLAIMER
PROFESSIONAL CERTIFICATION
I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 23081 EXPIRATION DATE: 04/24/2023



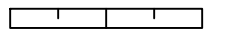
REVISIONS

PROJECT NUMBER
R22-258

DRAWN BY
SP

APPROVED BY
PP

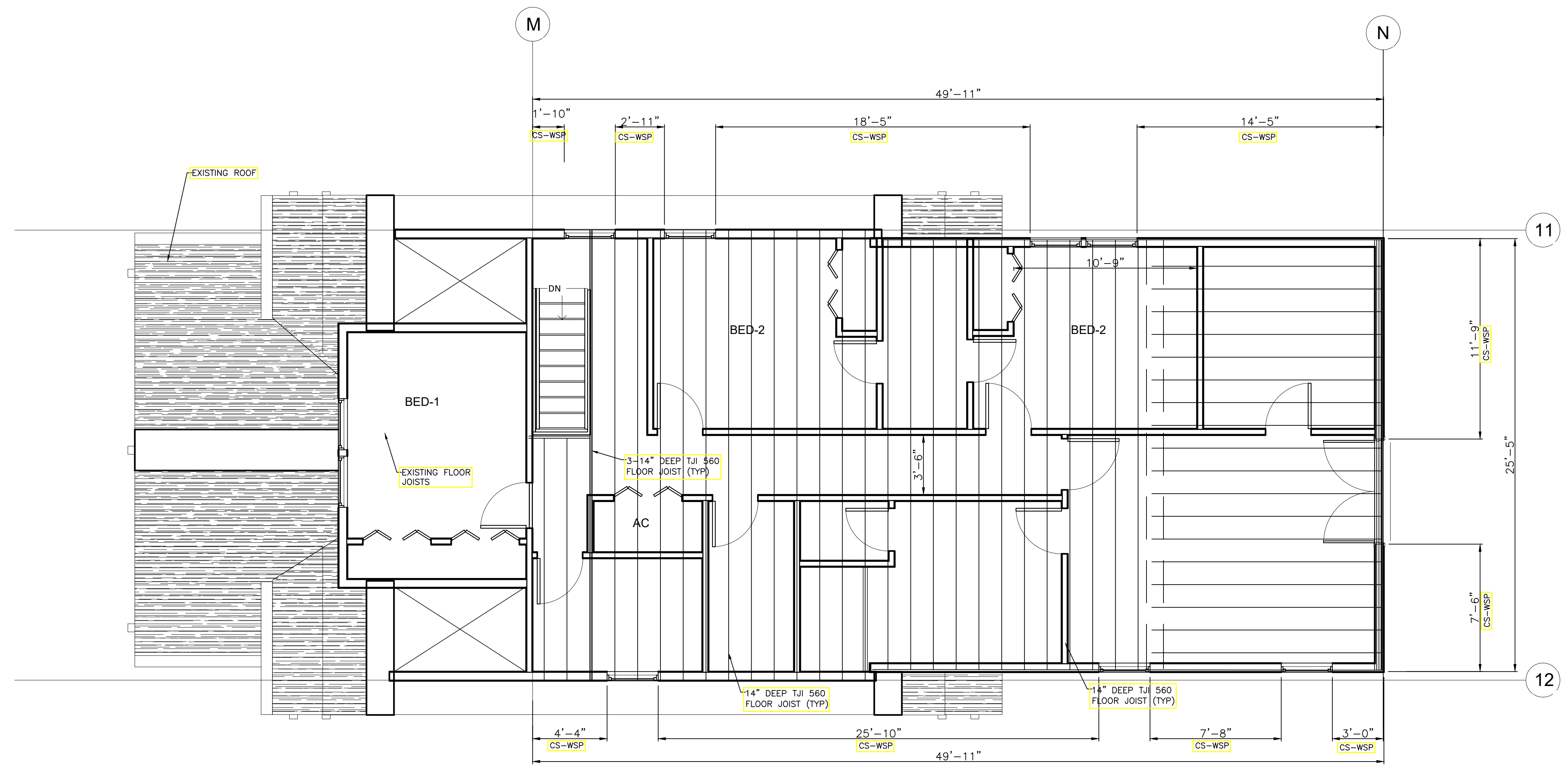
DATE
11-11-22

ORIGINAL SHEET SIZE
36X24
SHOULD MEASURE 1":


PAGE
05 OF 09

DRAWING
S005

- NOTES:**
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2ND FL WALL BRACING PLAN

SCALE: 1/4" = 1'-0"

WALL BRACING REQUIREMENTS								
BWL	BETWEEN LINES	METHOD	LENGTH	REQUIRED L (TABLE R602.10.3) (1)	ADJUSTMENT FACTOR WIND	TOTAL REQUIRED	PROVIDED	NOTES
11	M-N	CS-WSP	49'-11"	7'-6"	1	7'-6"	37'-6"	
12	M-N	CS-WSP	49'-11"	7'-6"	1	7'-6"	40'-10"	
M	11-12	CS-WSP	25'-5"	8'-0"	1	8'-0"	22'-0"	
N	11-12	CS-WSP	25'-5"	4'-6"	1	4'-6"	19'-3"	

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 1:24 pm, Nov 21, 2022

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ARCHITECTS
ENGINEERS
CONSTRUCTION MANAGERS

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ADDITION & ALTERATION
PROJECT ADDRESS
6712 WESTMORELAND AVE
TAKOMA PARK, MD 20912
SHEET TITLE
2ND FL WALL BRACING PLAN

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REVISIONS

PROJECT NUMBER
R22-258

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SP

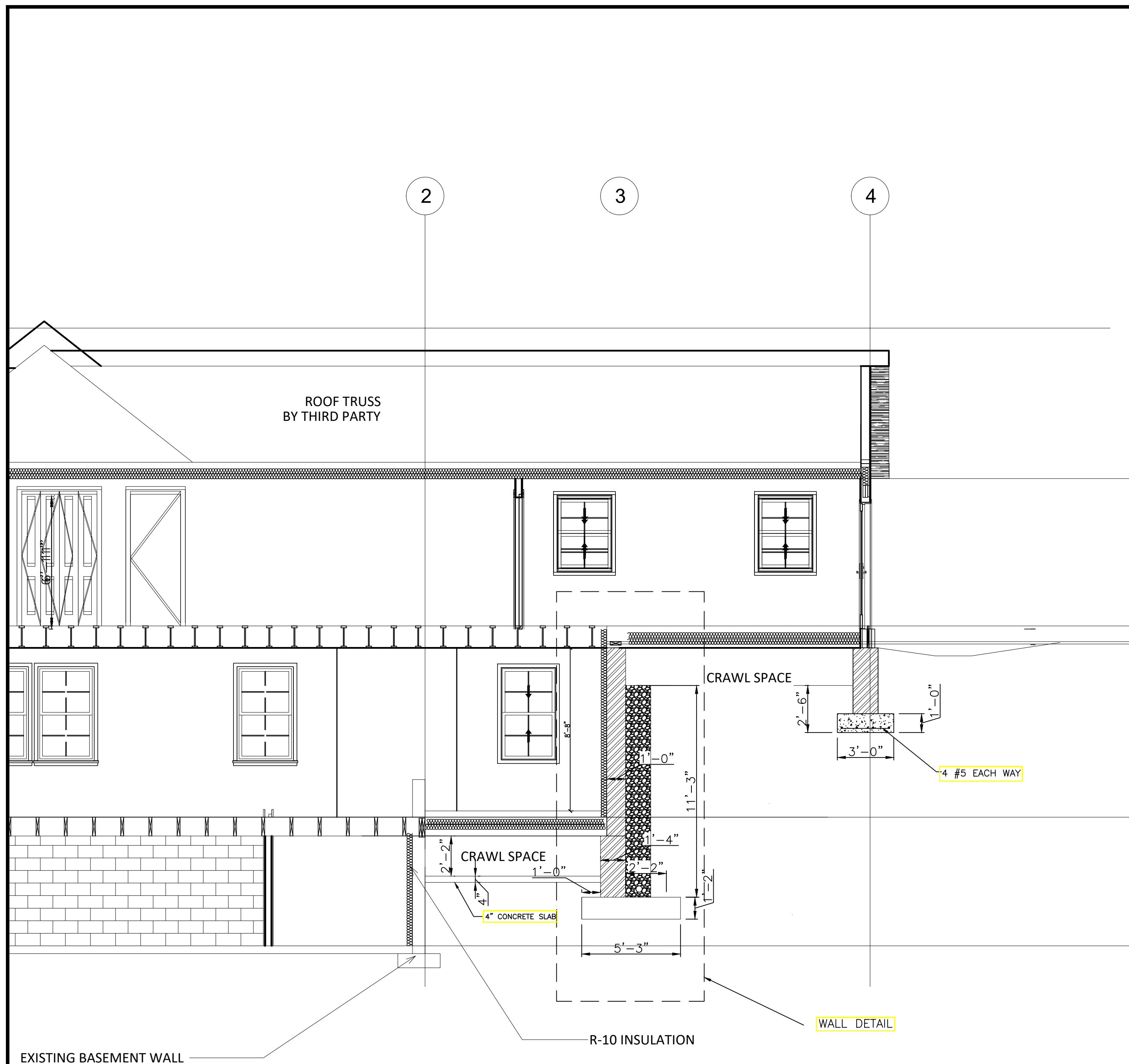
APPROVED BY
PP

DATE
11-11-22

ORIGINAL SHEET SIZE
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SHOULD MEASURE 1":

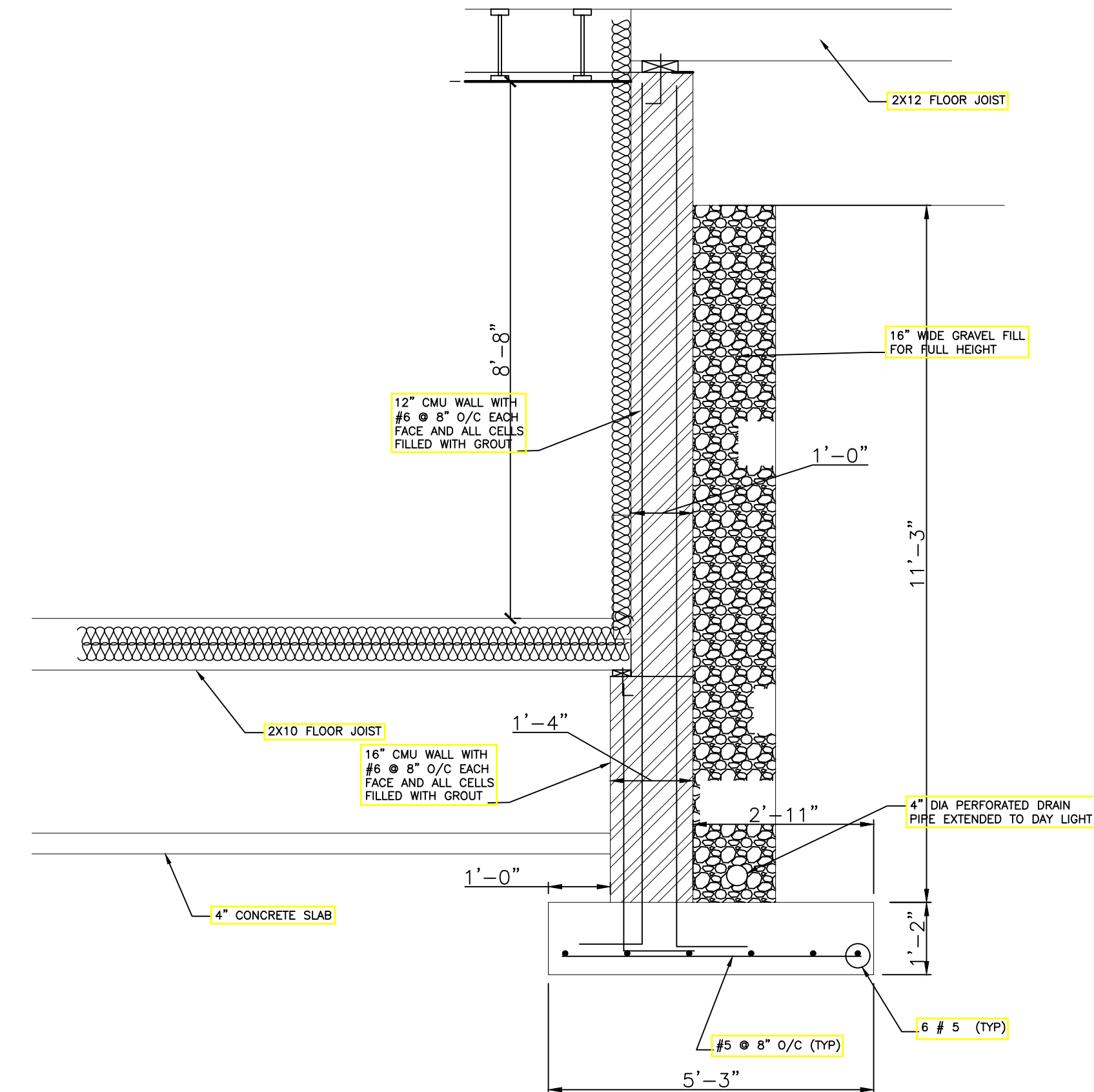
PAGE
06 OF 09

DRAWING
S006



SECTION 6

SCALE: 1/4" = 1'-0"



WALL SECTION

SCALE: 1/2" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

Ronald A. Votaw

REVIEWED
By Dan.Bruechert at 1:25 pm, Nov 21, 2022

OWNER

ARENCO LLC
12430 HILL CREST
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ARCHITECTS
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PROJECT TITLE
ADDITION & ALTERATION
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**6712 WESTMORELAND AVE
TAKOMA PARK, MD 20912**

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DOCUMENTS WERE PREPARED
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THAT I AM A FULLY LICENSED
PROFESSIONAL ENGINEER
UNDER THE LAWS OF THE
STATE OF MARYLAND, LICENSE
NO. 23081 EXPIRATION DATE:
04/24/2023



REVISIONS

PROJECT NUMBER
R22-258

DRAWN BY
SP

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PP

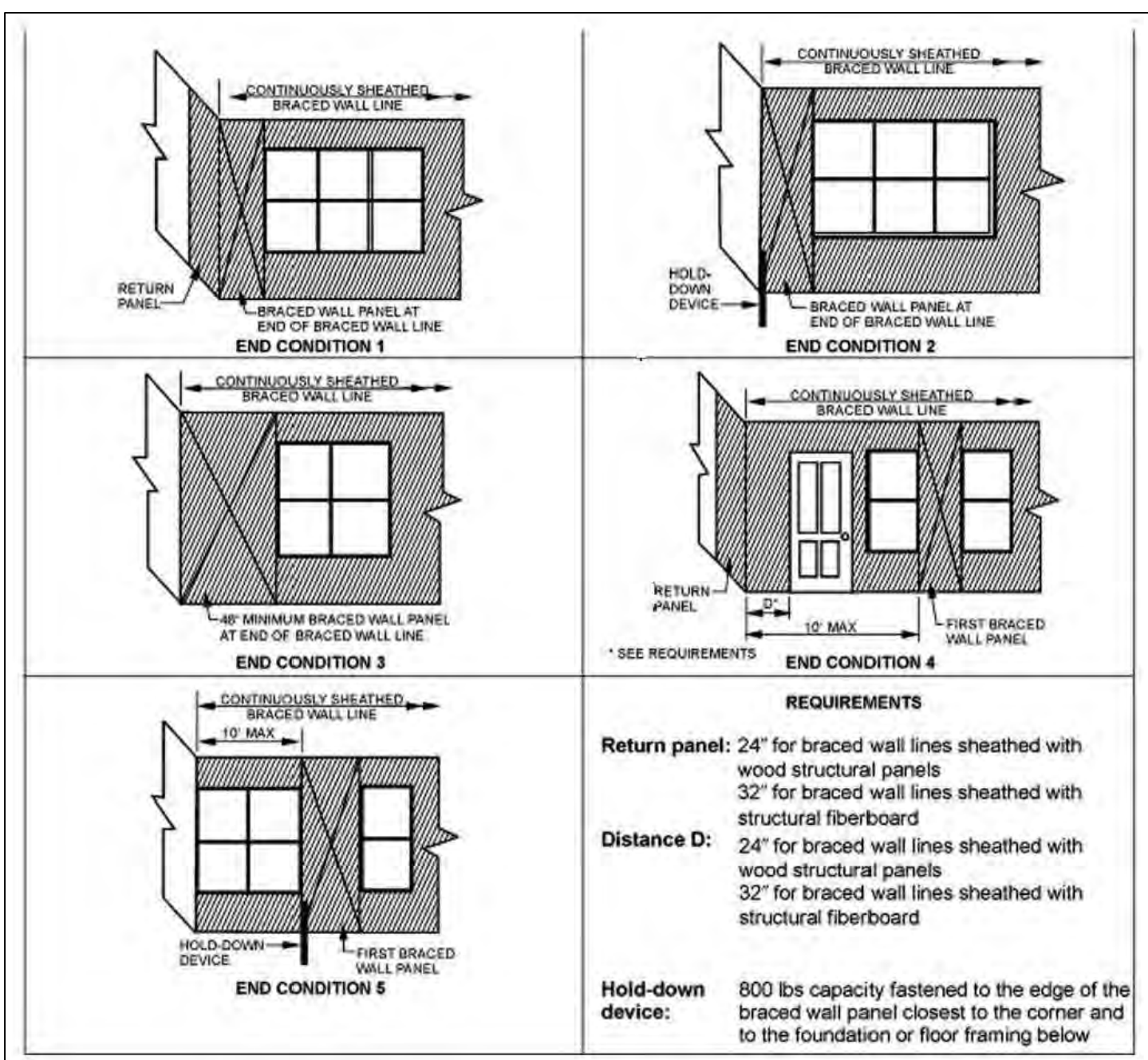
DATE
11-11-22

ORIGINAL SHEET SIZE
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SHOULD MEASURE 1":

PAGE
07 OF 09

DRAWING

S007

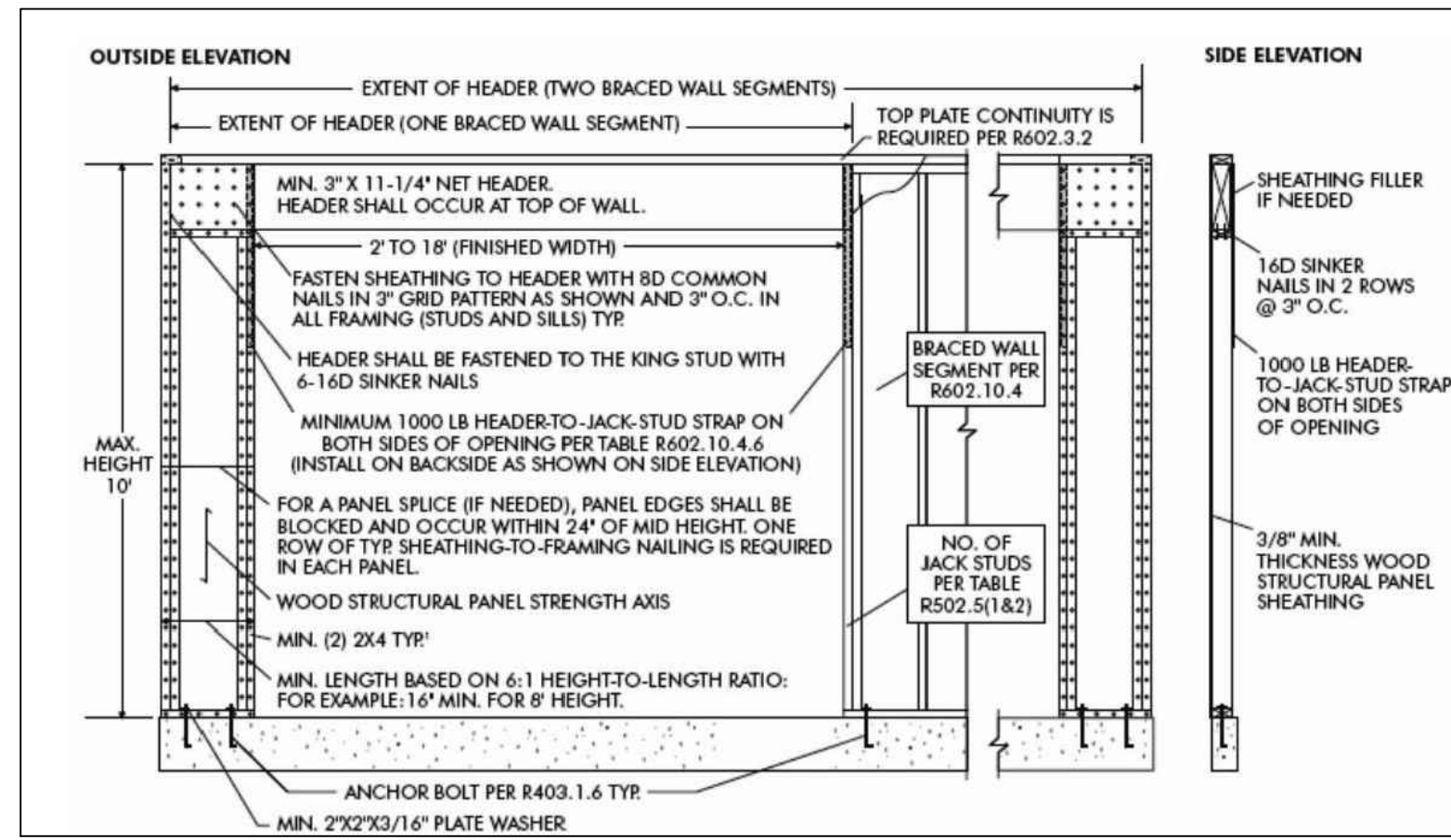


REQUIREMENTS

Return panel: 24" for braced wall lines sheathed with wood structural panels
32" for braced wall lines sheathed with structural fiberboard

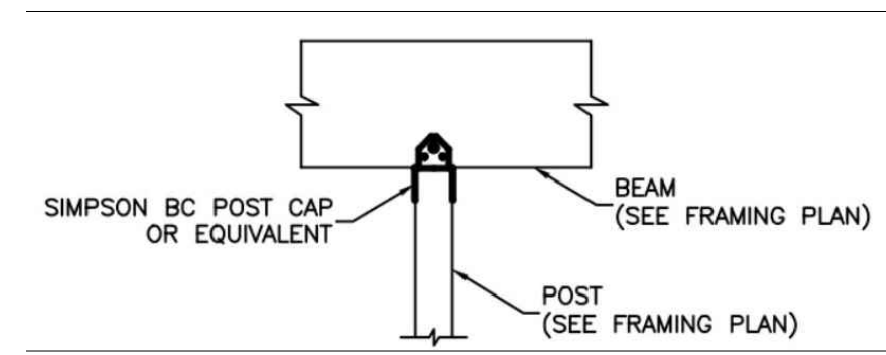
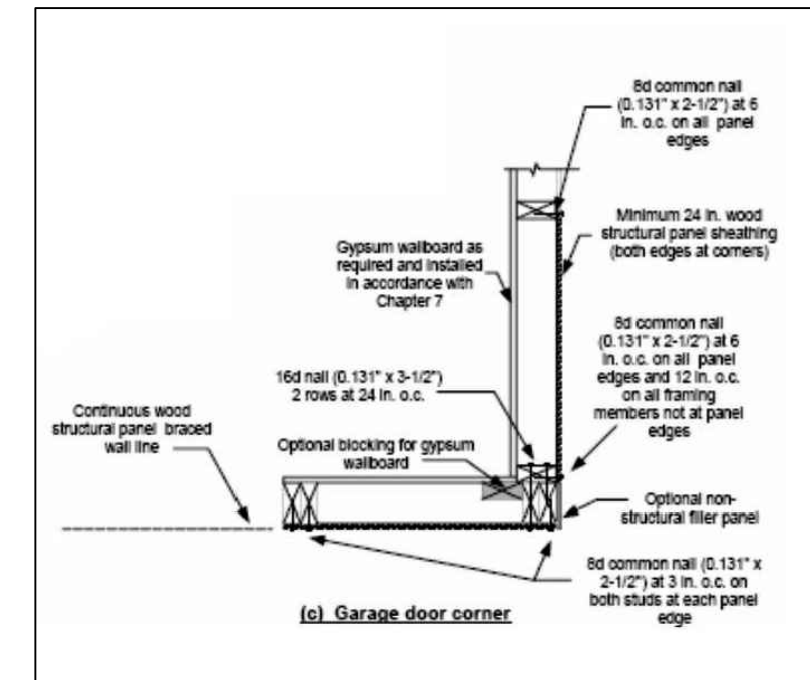
Distance D: 24" for braced wall lines sheathed with wood structural panels
32" for braced wall lines sheathed with structural fiberboard

Hold-down device: 800 lbs capacity fastened to the edge of the braced wall panel closest to the corner and to the foundation or floor framing below

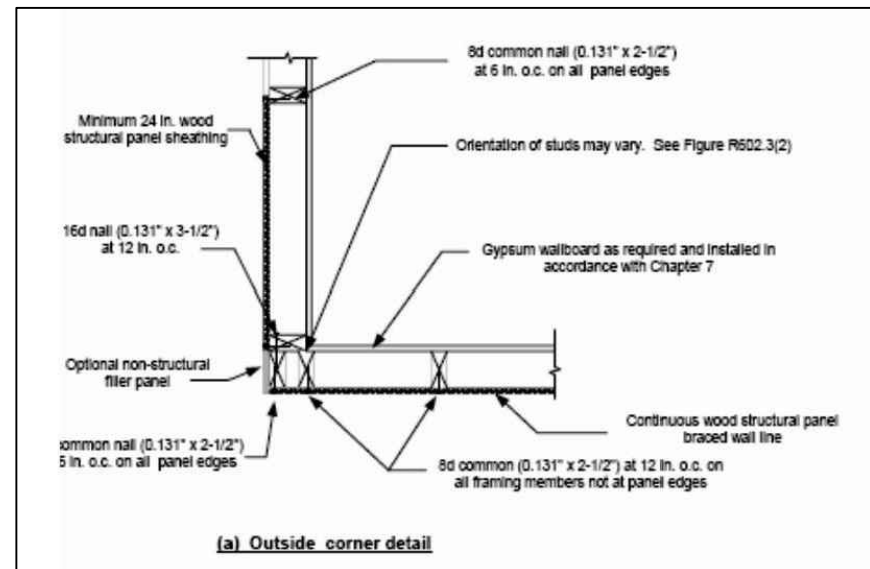


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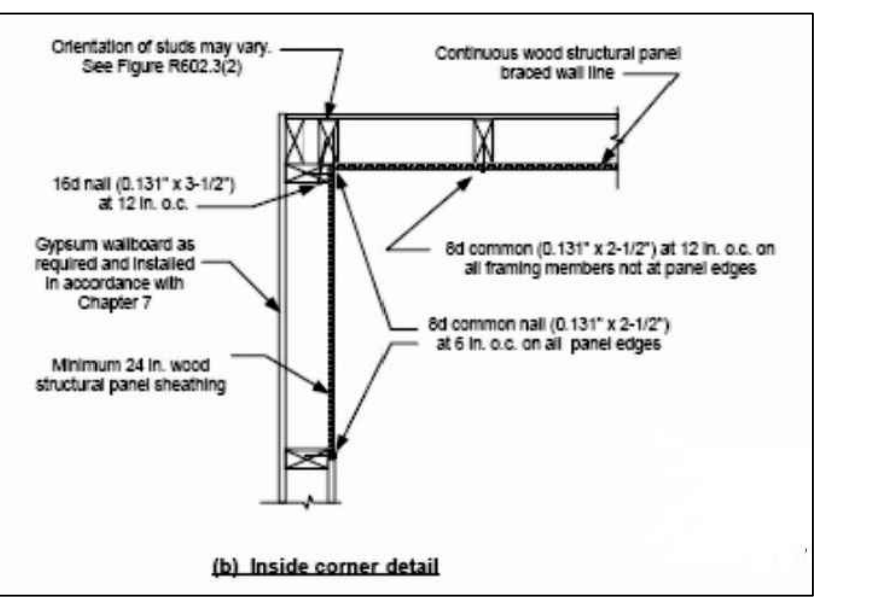
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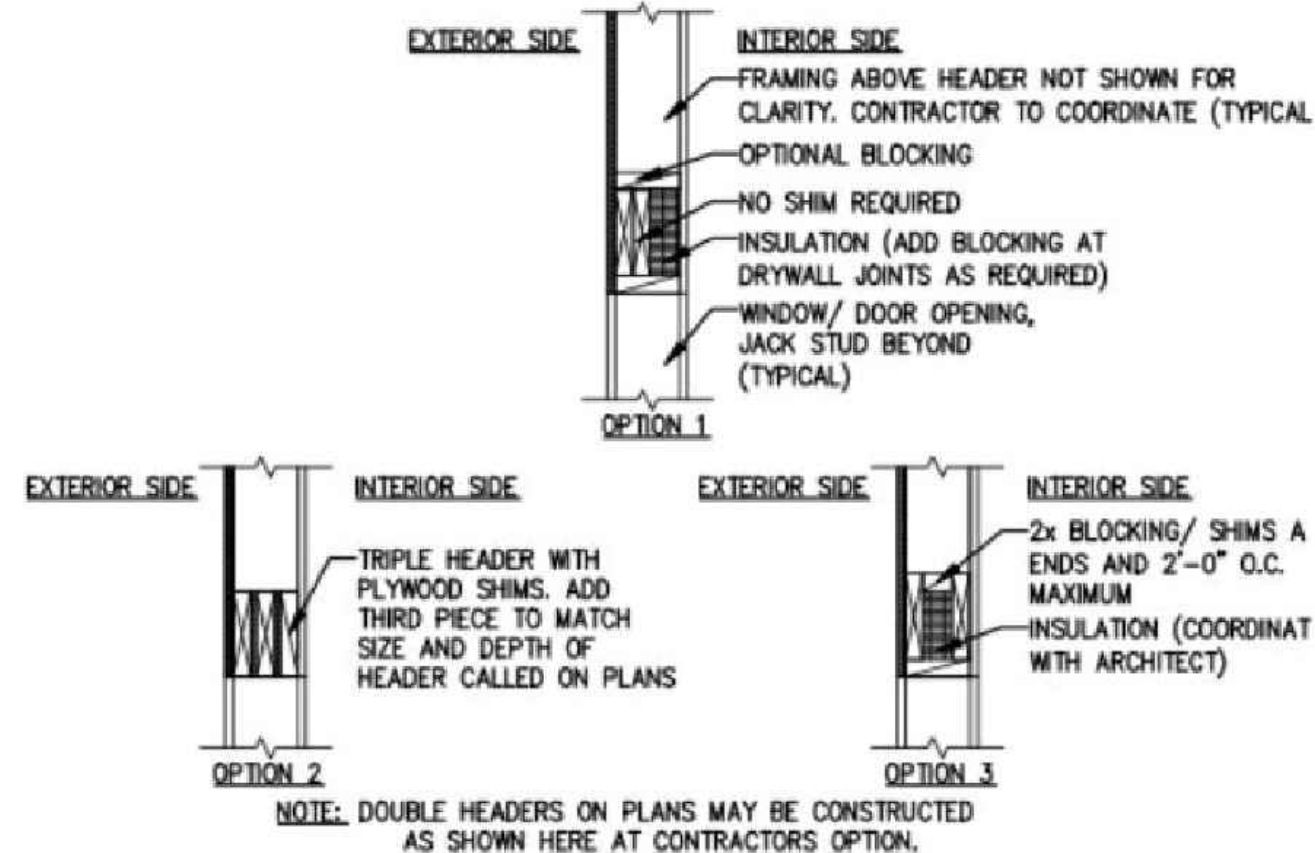
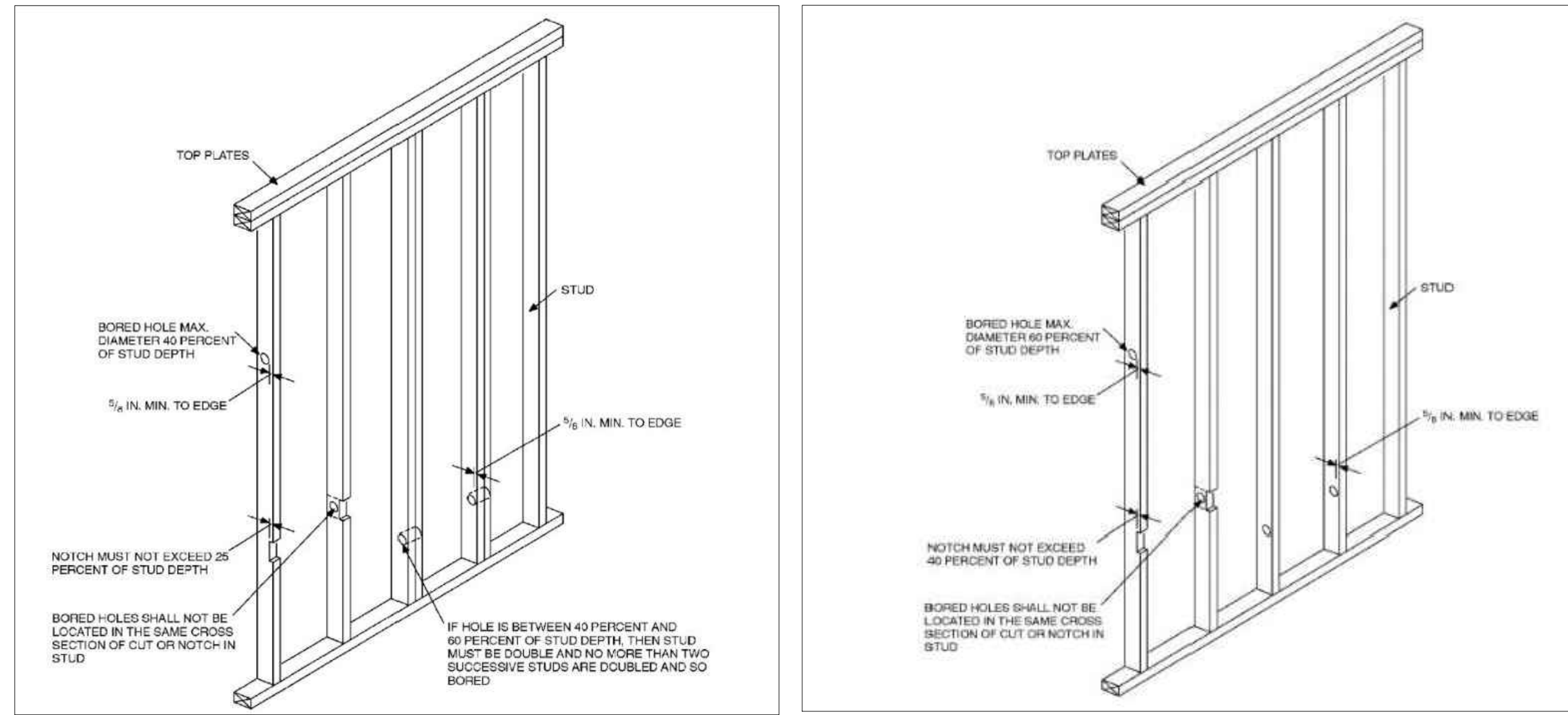
TYP. WOOD POST TO BEAM CONN. N.T.S.



(a) Outside corner detail



(b) Inside corner detail

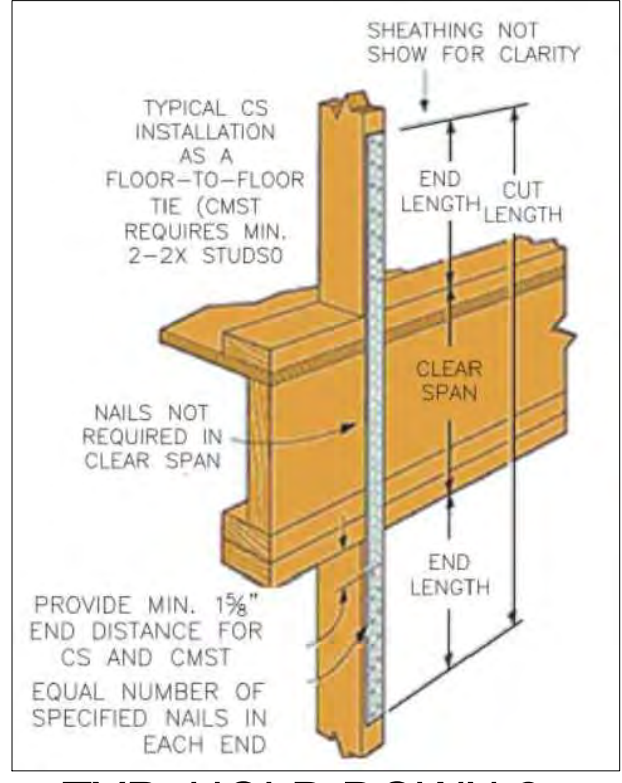


2 PLY HEADER FOR 2X6 WALLS N.T.S.

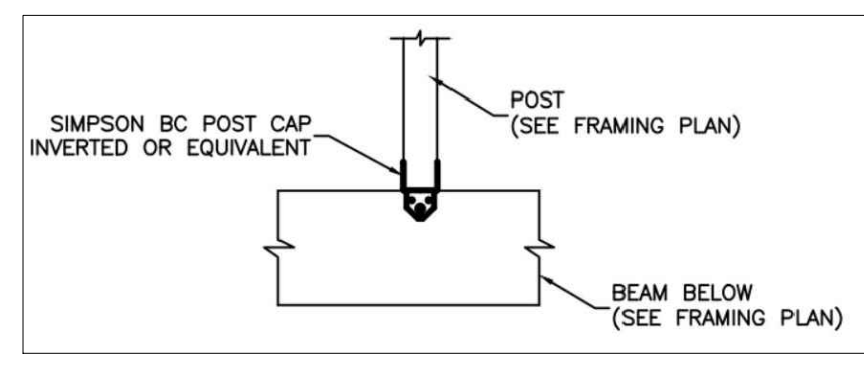
2018 IRC- R602.6 DRILLING AND NOTCHING OF STUDS

- NOTCHING- ANY STU IN AN EXTERIOR WALL OR BEARING PORTION SHALL BE PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS SHALL BE PERMITTED TO BE NOTCHED TO A DEPTH NOT EXCEEDING 40 PERCENT OF A SINGLE WIDTH
- DRILLING- ANY STUD SHALL BE PERMITTED TO BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NOT MORE THAN 60 PERCENT OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NOT MORE THAN 1/8 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS DRILLED OVER 40 PERCENT AND UP TO 60 PERCENT SHALL BE DOUBLED WITH NOT MORE THAN TWO SUCCESSIVE DOUBLED STUDS BORED.

ALLOWABLE STUD NOTCH & BORING N.T.S.



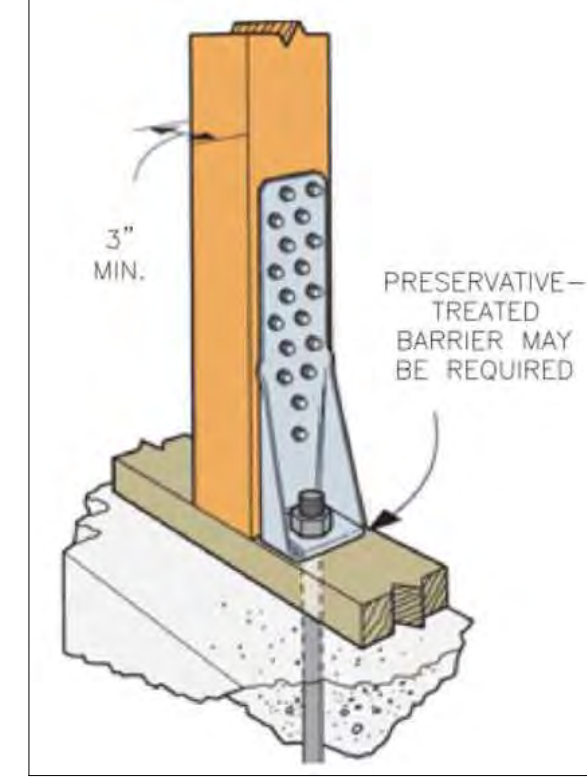
TYP. HOLD DOWN 2 N.T.S.



TYP. WOOD POST TO FLOOR JOIST CONN. N.T.S.

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 1:25 pm, Nov 21, 2022



TYP. HOLD DOWN N.T.S.

OWNER

ARENCO LLC

12430 HILL CREST
FULTON, MD 20769
TEL. (304) 418 1989
FAX (888) 374 5418
INFO@ARENCO-LLC.COM

ARCHITECTS
ENGINEERS
CONSTRUCTION MANAGERS

PROJECT TITLE
ADDITION & ALTERATION

PROJECT ADDRESS
**6712 WESTMORELAND AVE
TAKOMA PARK, MD 20912**

SHEET TITLE
TYPICAL DETAILS-1

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REVISIONS

PROJECT NUMBER
R22-258

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SP

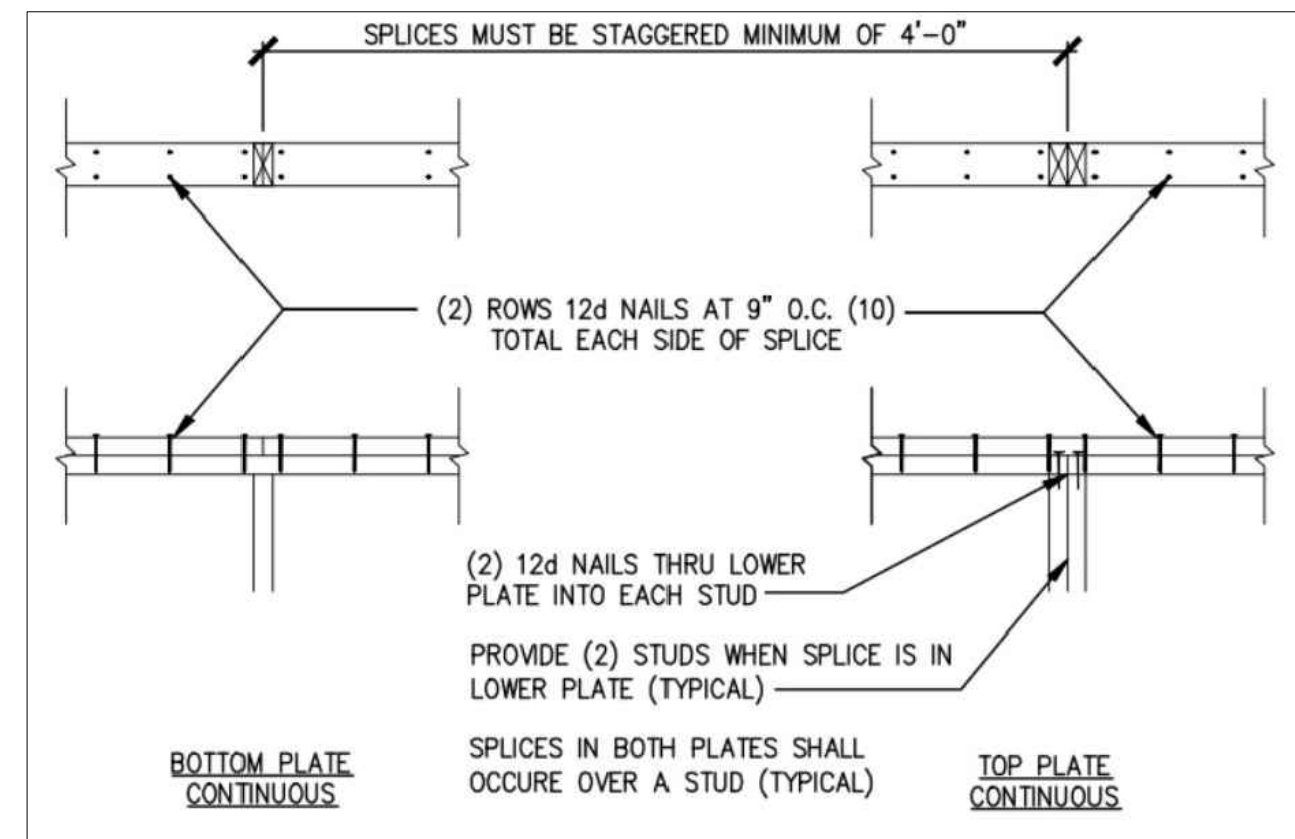
APPROVED BY
PP

DATE
11-04-22

ORIGINAL SHEET SIZE
36X24
SHOULD MEASURE 1":

PAGE
07 OF 08

DRAWING
S008



TYP TOP PL SPLICE
N.T.S.

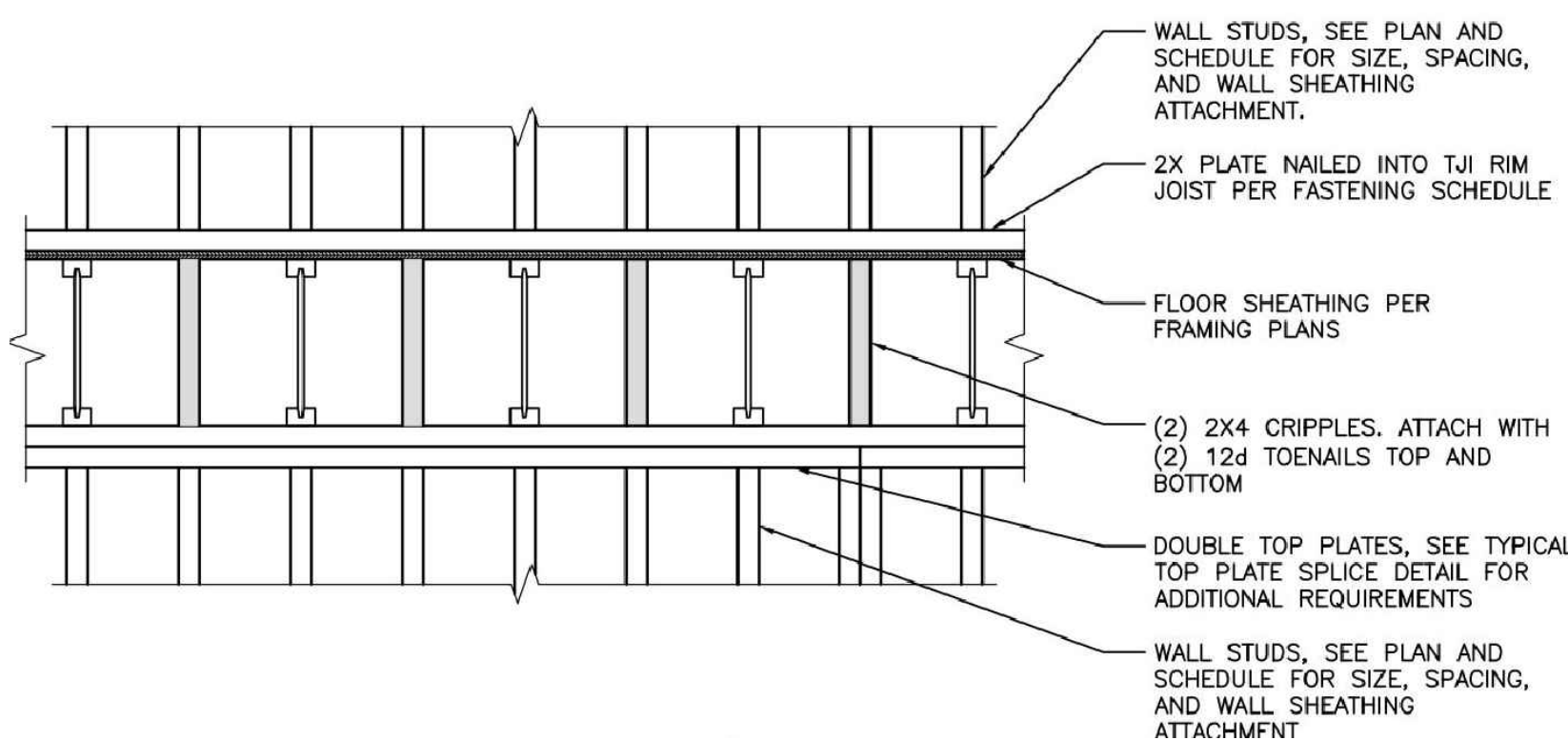
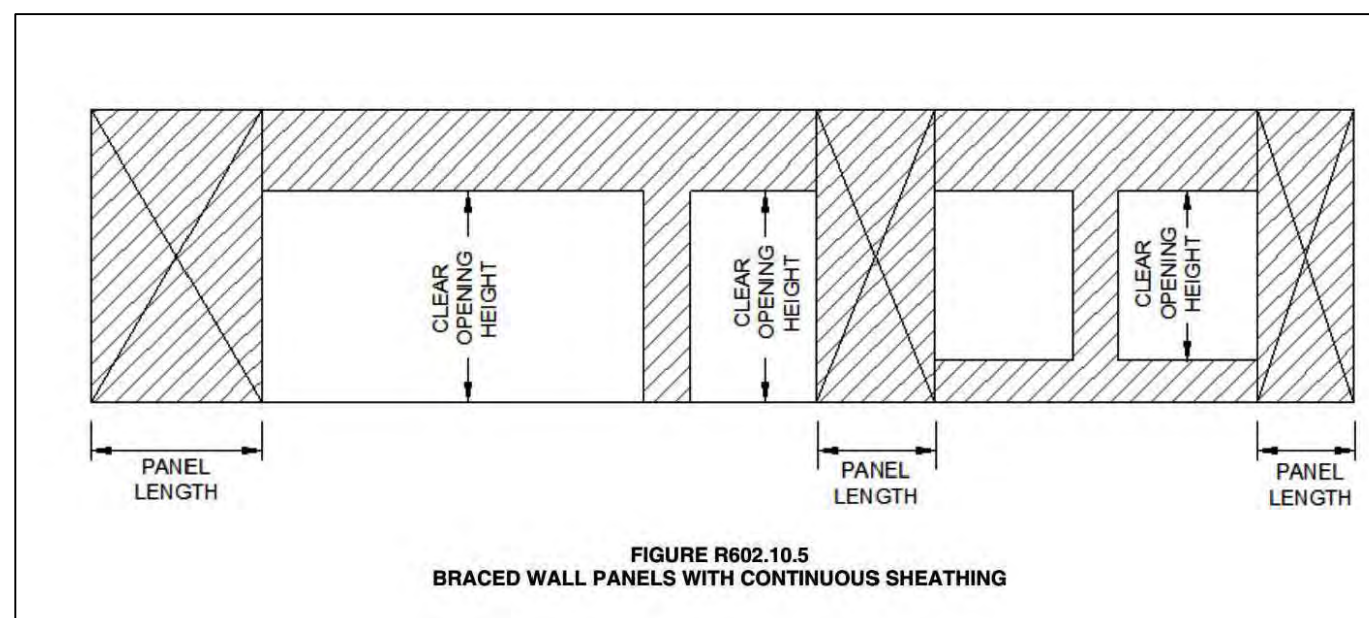
TABLE R602.10.4.1
CONTINUOUS SHEATHING METHODS

METHOD	MATERIAL	MINIMUM THICKNESS	FIGURE	CONNECTION CRITERIA
CS-WSP	Wood structural panel	3/8"		Use common (2"x0.113") nails at 6" spacing (panel edges) and at 12" spacing (intermediate supports) or 10 dia. x 1-3/4 studs at 3" spacing (panel edges) and 6" spacing (intermediate supports)
CS-G	Wood structural panel adjacent to airgap openings and supporting roof load only	3/8"		See Method CS-WSP
CS-PF	Continuous portal frame	See Section R602.10.4.1.1		See Section R602.10.4.1.1

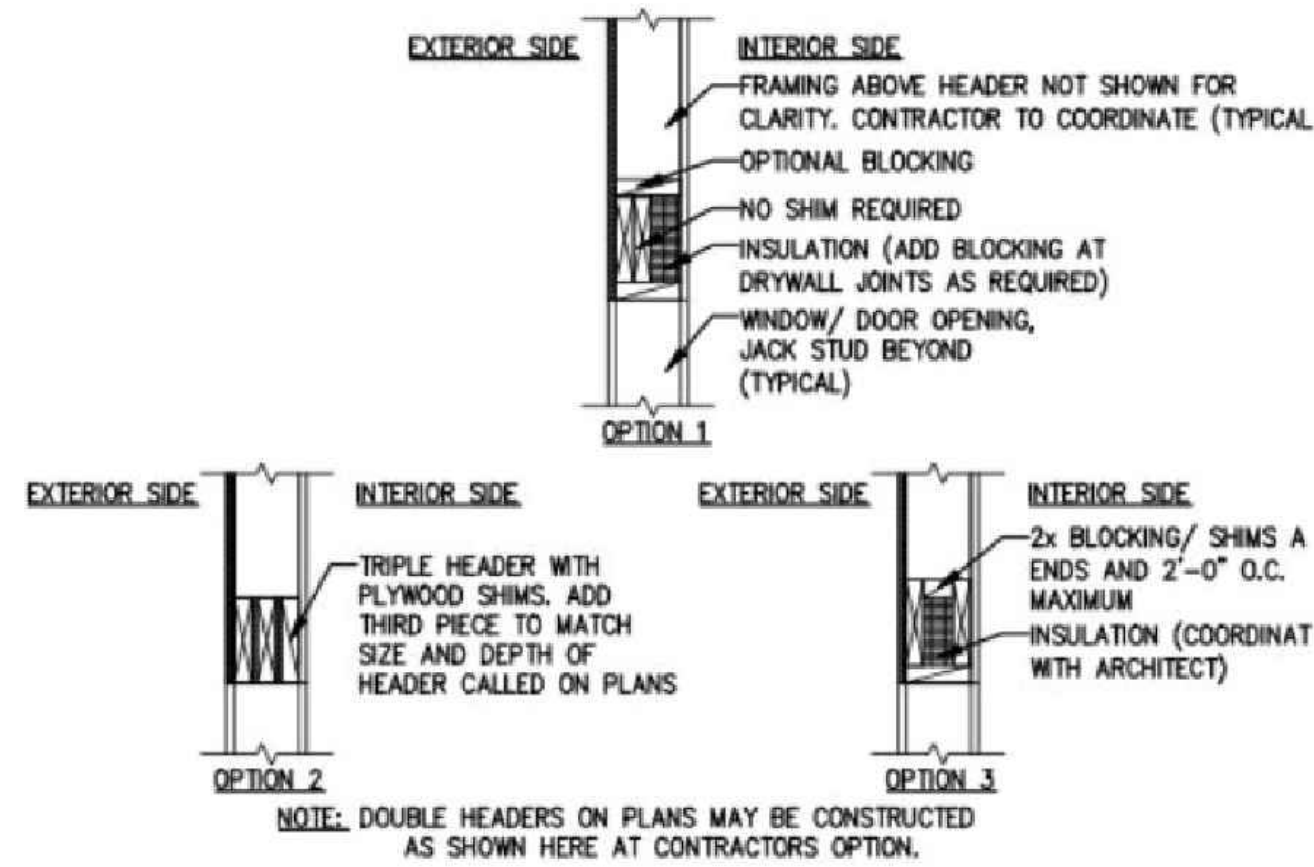
For SI: 1 inch = 25.4 mm

a. Applies to one wall of a garage only.

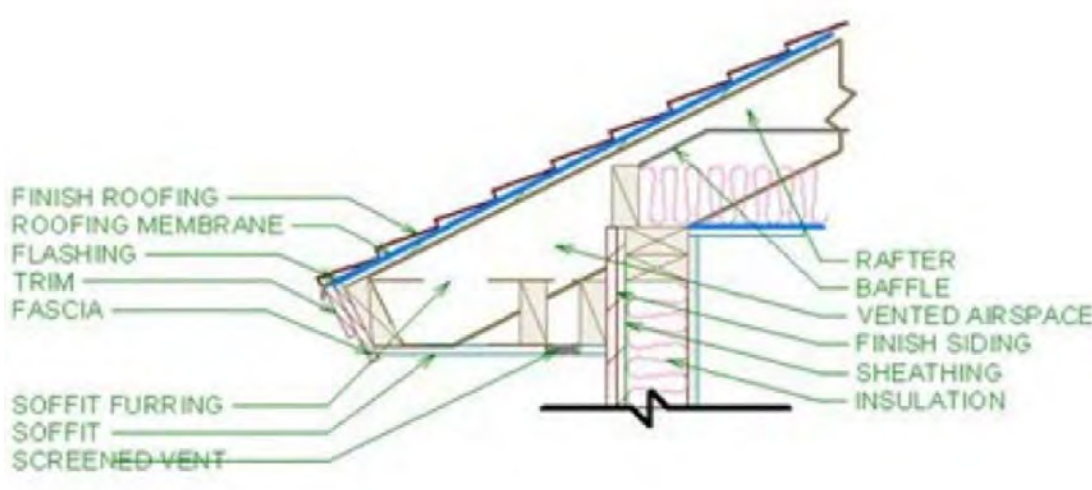
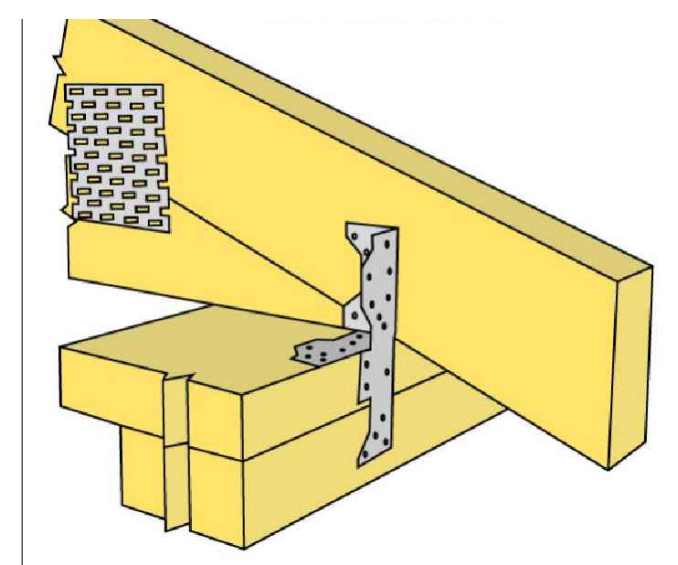
b. Roof covering dead loads shall be 3 psf (0.14 kN/m²) or less.



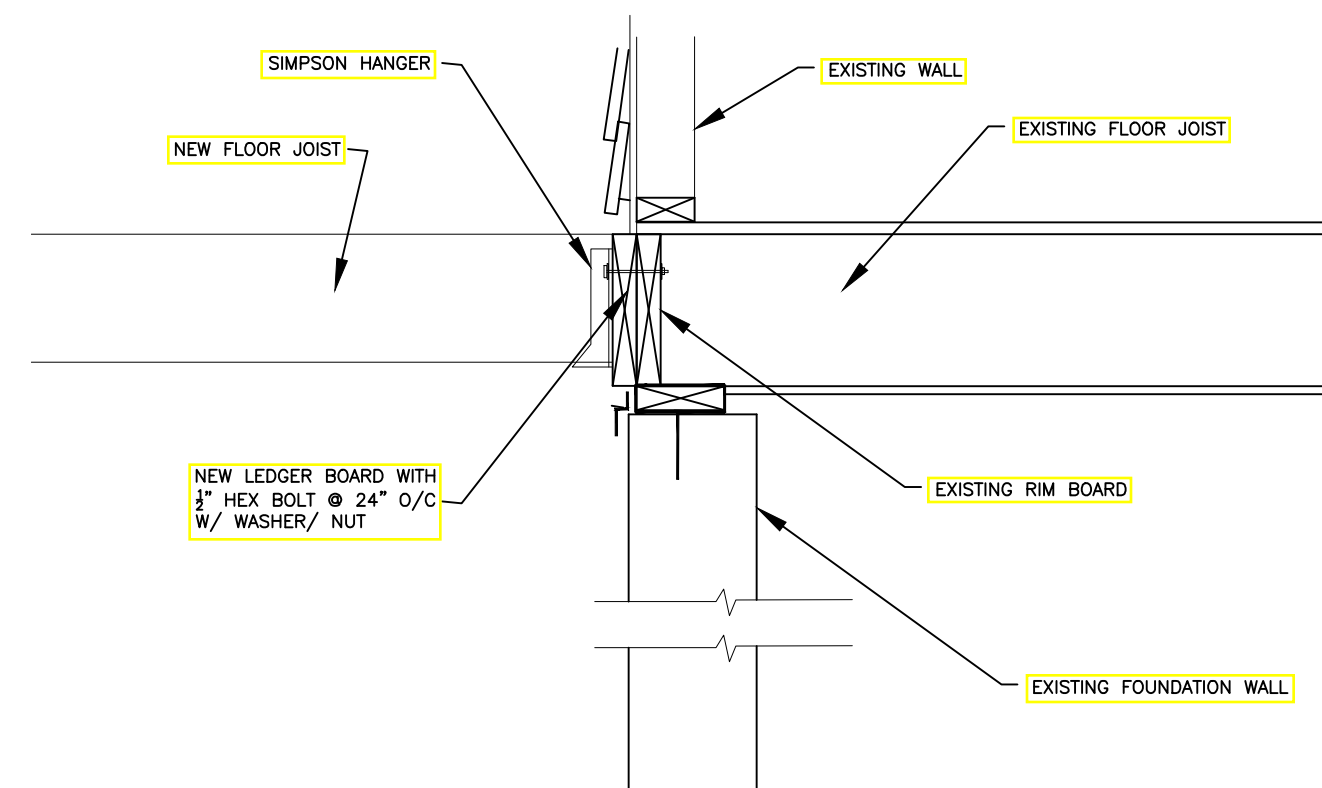
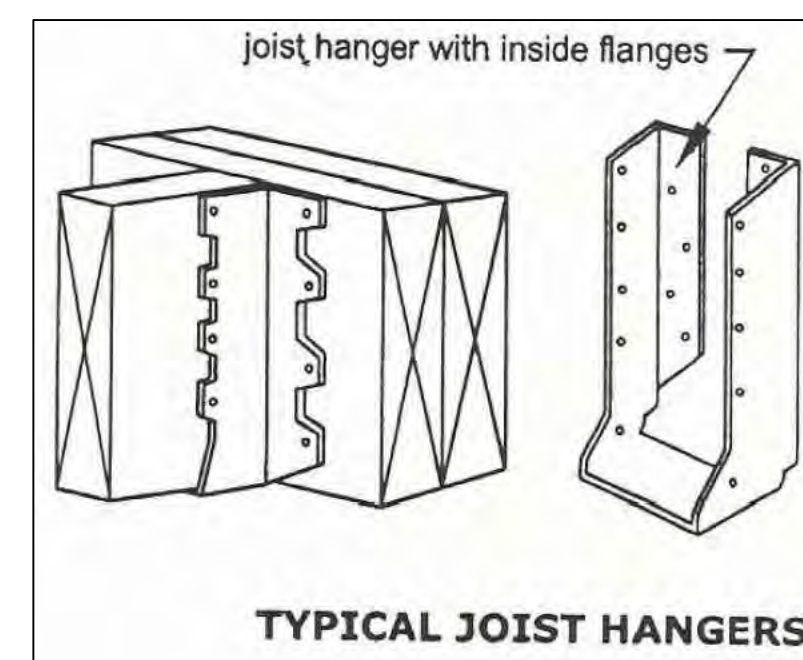
TOP PLATE PENETRATIONS
N.T.S.



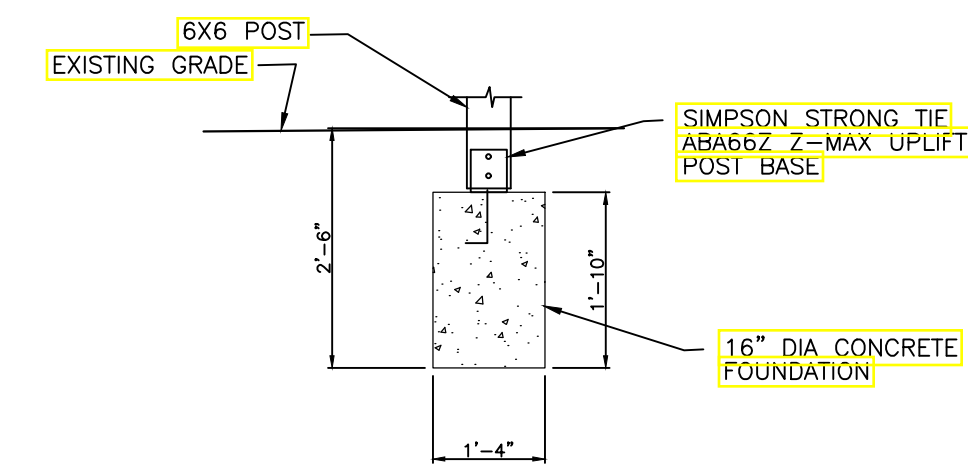
2 PLY HEADER FOR 2X6 WALLS
N.T.S.



VENTED SOFFIT
N.T.S.

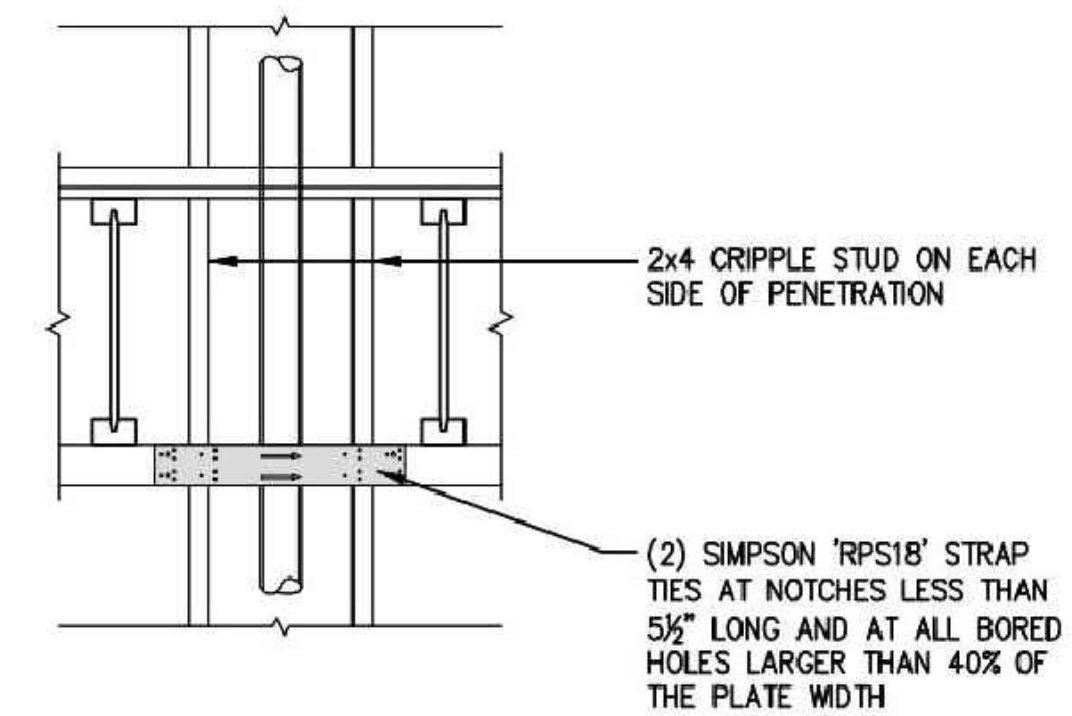


LEDGER BOARD DETAIL
N.T.S.

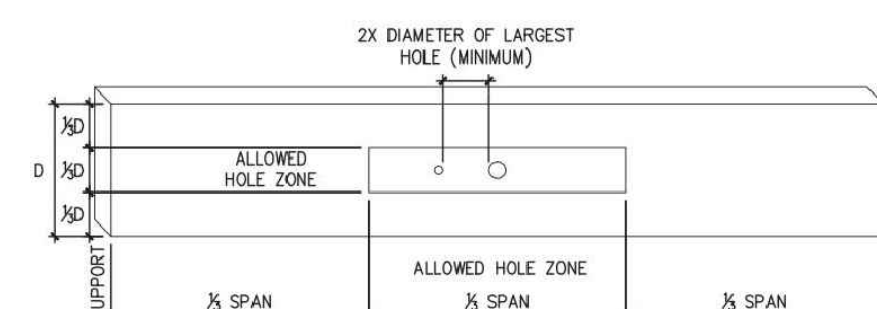


TYPICAL FOOTING DETAIL

SCALE: 1/2" = 1'-0"

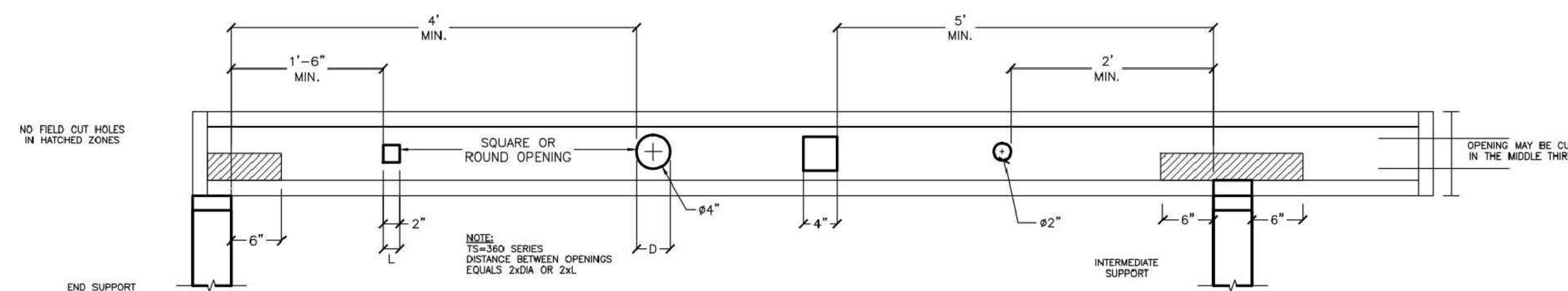


TOP PLATE PENETRATIONS
N.T.S.



ALLOWABLE HOLES FOR BM/ HEADER
N.T.S.

GENERAL NOTES:
1. DIAGRAM IS FOR UNIFORMLY LOADED BEAM ONLY.
2. RECTANGULAR HOLES ARE NOT ALLOWED



ALLOWABLE HOLES IN LVL / JOISTS (TYP.)
N.T.S.

APPROVED
Montgomery County
Historic Preservation Commission

Robert A. ...

REVIEWED
By Dan.Bruechert at 1:25 pm, Nov 21, 2022

OWNER

ARENCO LLC

12430 HILL CREST
FULTON, MD 20769
TEL: (301) 418 1989
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ARCHITECTS
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CONSTRUCTION MANAGERS

PROJECT TITLE
ADDITION & ALTERATION

PROJECT ADDRESS
**6712 WESTMORELAND AVE
TAKOMA PARK, MD 20912**

SHEET TITLE
TYPICAL DETAILS-1

REVISIONS

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DISCLAIMER



PROJECT NUMBER

R22-258

DRAWN BY

SP

APPROVED BY

PP

DATE

11-04-22

ORIGINAL SHEET SIZE

36X24

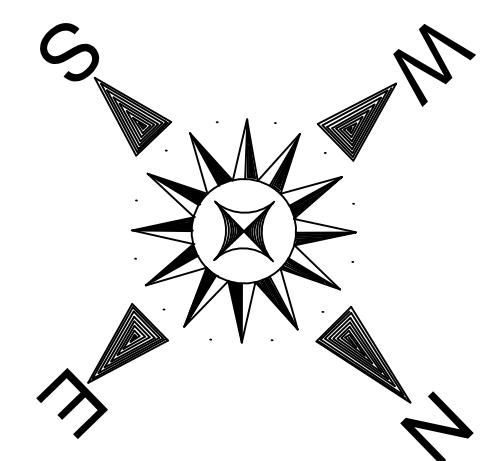
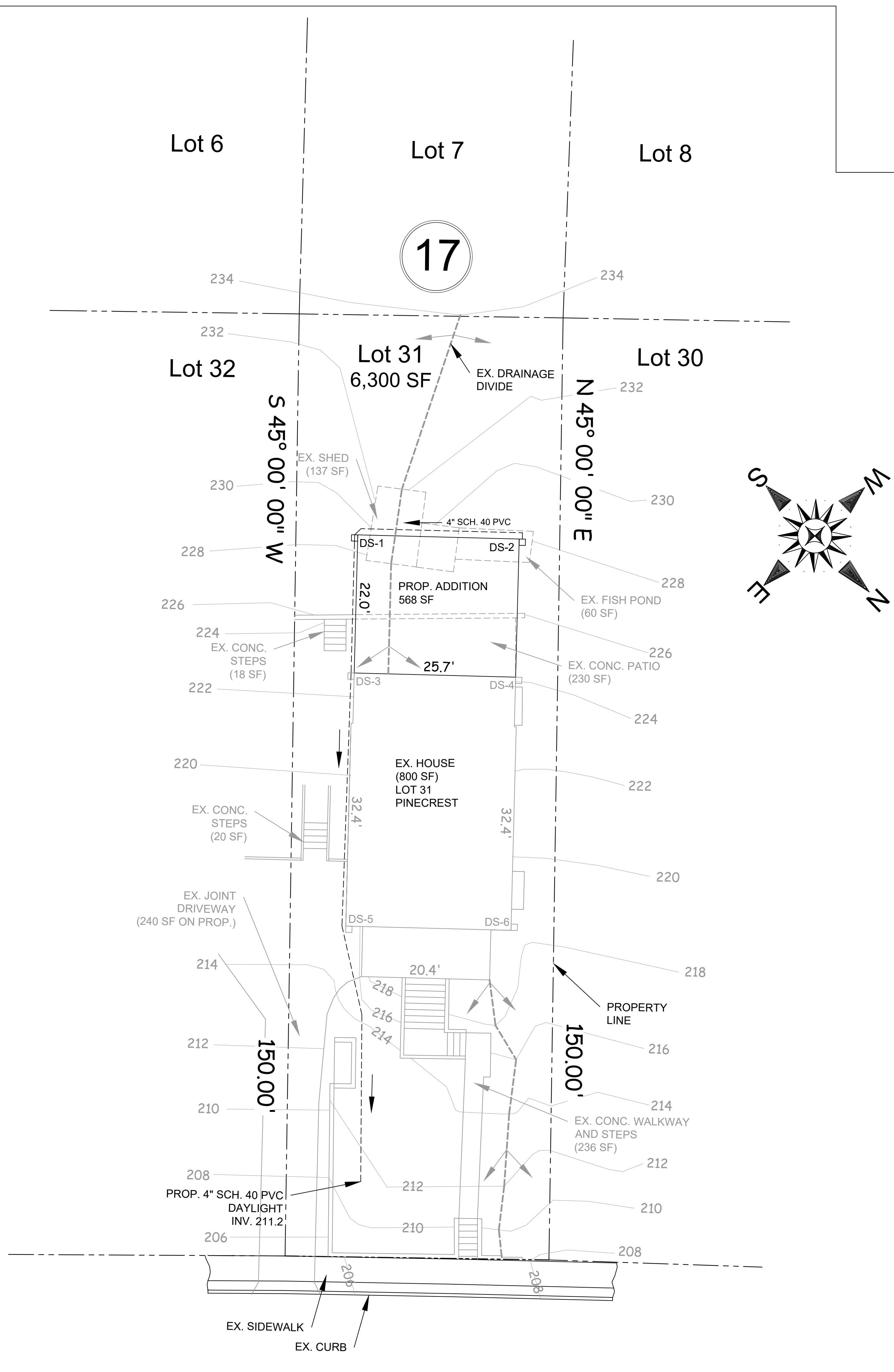
SHOULD MEASURE 1":

PAGE

08 OF 08

DRAWING

S009



LEGEND

- PROPERTY LINE
- - - - EX. TO BE DEMOLISHED
- - - - EX. TO REMAIN
- NEW CONSTRUCTION
- DOWN SPOUT (DS-X)
- - - - EX. DRAINAGE AREA DIVIDE
- - - - PROP. DRAINAGE AREA DIVIDE

GENERAL CONSTRUCTION NOTES

- CONSTRUCTION OF THESE PLANS SHALL BE IN ACCORDANCE WITH THE ALL APPLICABLE STANDARDS, PERMIT CONDITIONS AND SPECIFICATIONS AS WELL AS REQUIRED METHOD OF CONSTRUCTION. ANY DEVIATION FROM THESE PLANS SHALL BE APPROVED BY THE ENGINEER PRIOR TO BEGINNING THE CONSTRUCTION.
- ALL WORK IS TO BE IN ACCORDANCE WITH MCDPS, MONTGOMERY COUNTY DEPARTMENT OF TRANSPORTATION, MSHA, WSSC, ALL OTHER LOCAL COUNTY AND STATE AGENCIES.
- THE CONTRACTOR IS REQUIRED TO OBTAIN ALL PERMITS REQUIRED FOR CONSTRUCTION OF THESE PLANS.
- THE CONTRACTOR IS TO VERIFY THAT ALL REQUIRED EASEMENT, LETTERS OF PERMISSION ETC., ARE RECORDED / OBTAINED PRIOR TO THE START OF ANY CONSTRUCTION.
- ANY TIME WORK IS PERFORMED OFF-SITE, OR WITHIN AN EXISTING EASEMENT, THE CONTRACTOR IS TO NOTIFY THE HOLDER OF SAID EASEMENT AS TO THE NATURE OF PROPOSED WORK AND TO FOLLOW ANY GUIDELINES OR STANDARDS WHICH ARE ASSOCIATED WITH OR REFERENCED IN THE RECORDED EASEMENT.
- THE CONTRACTOR IS TO VERIFY THAT THE RELOCATION OF ALL EXISTING UTILITIES IN CONFLICT WITH PROPOSED WORK HAS BEEN COMPLETED, INCLUDING UTILITY POLES AND GUY WIRES. ADDITIONALLY, AT ALL POTENTIAL UNDERGROUND UTILITY CONFLICTS, THE CONTRACTOR SHALL TEST PIT BY HAND TO VERIFY ACTUAL UTILITY LOCATION.
- ALL LAND, ON OR OFF-SITE, WHICH IS DISTURBED BY THIS DEVELOPMENT AND WHICH IS NOT BUILT UPON OR PAVED, SHALL BE ADEQUATELY SEEDED AND STABILIZED TO CONTROL EROSION AND SEDIMENTATION.
- ALL FINISHED GRADING, SEEDING AND SODDING SHALL BE DONE IN SUCH A MANNER TO PRECLUDE THE PONDING OF THE WATER ON THE SITE, PARTICULARLY ADJACENT TO THE BUILDING OR STORM INLETS. PROVIDE APPROVED INLET PROTECTION DURING CONSTRUCTION.

NOTES

- PROPOSED 4" SCH. 40 UNDERDRAIN PIPE TO HAVE MINIMUM 0.5% SLOPE AND MINIMUM 6" COVER, EXCEPT WHEN DAYLIGHTING.
- DOWN SPOUT 2 (DS-2) TO TURN CORNER ABOVE GRADE AND THEN CONNECT TO UNDERDRAIN PIPE MINIMUM 6" BELOW GRADE.
- UNLESS OTHERWISE NOTED EXISTING GRADES TO REMAIN. MAINTAIN POSITIVE DRAINAGE AWAY FROM NEW BUILDING.
- ZONED R-40. BUILDING RESTRICTION LINE NOT SHOWN AS IT DOES NOT APPLY TO ATTACHED ADDITIONS IN THIS ZONE.

SCOPE OF WORK

DEMOLITION OF FRAME SHED, FISH POND AND CONC. PATIO IN BACK OF PROPERTY, ADD A 568 SF ADDITION ON THREE (3) 30"x30" FOOTINGS (FOOTINGS NOT SHOWN), TOTAL BUILDING FOOTPRINT INCREASE OF THE ADDITION IS 568 SF.

MISS UTILITY
 FOR LOCATION OF UTILITIES, CALL "MISS UTILITY" AT 1-800-257-7777, OR LOG ON TO WWW.MISSUTILITY.NET/ITICS 48 HOURS IN ADVANCE OF ANY WORK IN THIS VICINITY. THE EXCAVATOR MUST NOTIFY ALL PUBLIC UTILITY COMPANIES WITH UNDER GROUND FACILITIES IN THE AREA OF THE PROPOSED EXCAVATION AND HAVE THOSE FACILITIES LOCATED BY THE UTILITY COMPANIES PRIOR TO COMMENCING EXCAVATION. THE EXCAVATOR IS RESPONSIBLE FOR COMPLIANCE WITH REQUIREMENTS OF CHAPTER 36A OF THE MONTGOMERY COUNTY CODE.

TECHNICAL REVIEW OF SEDIMENT CONTROL	ADMINISTRATIVE REVIEW	DPS approval of a sediment control or stormwater management plan is for demonstrated compliance with minimum environmental runoff treatment standards and does not create or imply any right to divert or concentrate runoff onto any adjacent property without that property owner's permission. It does not relieve the design engineer or other responsible person of professional liability or ethical responsibility for the adequacy of the drainage design or its effects uphill or downhill properties.
REVIEWED DATE	REVIEWED DATE	
TECHNICAL REVIEW OF STORMWATER MANAGEMENT	SMALL LOT DRAINAGE APPROVAL	SM. FILE NO. STORMWATER MANAGEMENT
REVIEWED DATE	REVIEWED DATE	
MCDPS APPROVAL OF THIS PLAN WILL EXPIRE TWO YEARS FROM THE DATE OF APPROVAL IF THE PROJECT HAS NOT STARTED.		NOTE: MCDPS APPROVAL DOES NOT NEGATE THE NEED FOR A MCDPS ACCESS PERMIT.

VICINITY MAP
 SCALE: 1" = 2000'

OWNER/PERMIT APPLICANT
 C-BAZ-02 LLC
 6349 HARRIS HEIGHTS AVE
 GLEN BURNIE MD 21061

APPROVED
 Montgomery County
 Historic Preservation Commission

REVIEWED
 By Dan.Bruechert at 1:25 pm, Nov 21, 2022

BEI
 PROFESSIONAL ENGINEER
 CERTIFICATION
 NAME: P.E. VINIET BHANOT
 LICENSE No. 28506
 EXPIRATION DATE: 01-15-23

BHANOT ENGINEERS INC.
 6000 GREENBROOK DR. SUITE 500
 GREENBELT, MD 20814
 TEL: (301) 941-2833 / FAX: (301) 948-0001

BEI
 PROFESSIONAL ENGINEER
 CERTIFICATION

PROJECT TITLE: 6712 Westmoreland Ave
 PROJECT ADDRESS: 6712 Westmoreland Ave
 SHEET TITLE: DRAINAGE PLAN

REVISIONS

DISCLAIMER

PROJECT NUMBER: 030122

DRAWN BY: SH

APPROVED BY: VB

DATE: 10-26-2022

ORIGINAL SHEET SIZE: 36X24
 SHOULD MEASURE 1":

SCALE: 1" = 10'

DRAWING: DR-1

1 of 1