



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: September 6, 2022

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1004428 - Tree Removal

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** by HPC .

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Ellen Brown
Address: 7310 Baltimore Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION

HAWP #: _____ at: _____

submitted on: _____

has been reviewed and determined that the proposal fits into the following category/categories:

Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;

Installation of vents or venting pipes in locations not visible from the public right-of-way;

New gutters and downspouts;

Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;

Removal of accessory buildings that are not original to the site or non-historic construction;

Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;

Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;

Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;

Installation of storm windows or doors that are compatible with the historic resource or district;

Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;

Construction of fences that are compatible with the historic site or district in material, height, location, and design;

Fence is lower than 48" in front of rear wall plane;

Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;

Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;

Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;

Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;

Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);

Installation of car charging stations in any location on a property or in the right-of-way;

Installation of satellite dishes;

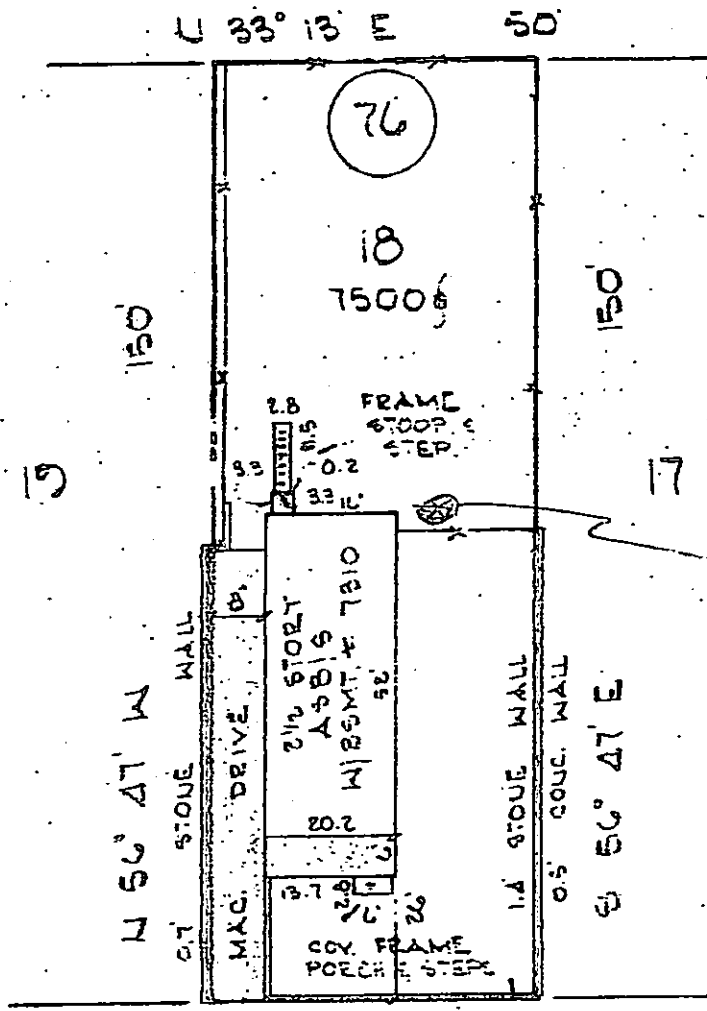
Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.

Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;

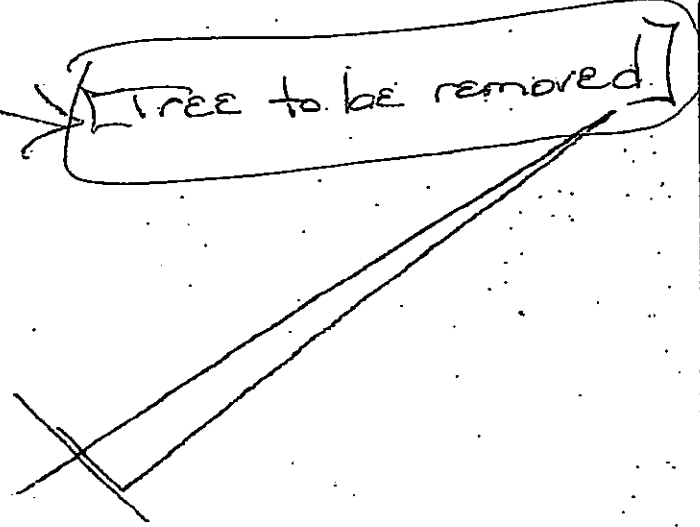
Replacement tree required as a condition; and,

Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by Tom Brechecht on _____. The approval memo and stamped drawings follow.



HOUSE LOCATION:
 7310 BALTIMORE AVENUE
 LOT 18 BLOCK 76
 TAKOMA PARK LOAN TRUST CO
 SUBDIVISION
 TAKOMA PARK
 WHEATON DISTRICT
 MONTGOMERY COUNTY
 MARYLAND



242.5 TO COR. @
 TAKOMA PARK AVE.
 S 33° 13' W 50'

Ellen Brown
 7310 Baltimore Ave.
 Takoma Park, MD 20912

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]

APPROVED
 Montgomery County
 Historic Preservation Commission

[Signature]

FR W 6 S 7 13 39

NOTE: L

[Signature]

Survey unless otherwise indicated.

H1288-10

REVIEWED

I have carefully surveyed the property
 By Dan.Bruechert at 4:17 pm, Sep 06, 2022
 description, and have located all of the existing improvements
 thereon by a transit-tape survey, and that corners have been
 found or placed as shown, and that there are no encroachments
 either way across the property except as indicated.

[Signature]
 Reg. PE & L.S. Md. 715.

REFERENCE	LIGHT, ELLIOTT & ASSOC. ENGINEERS-PLANNERS-SURVEYORS 8508 ADELPHI ROAD ADELPHI, MARYLAND 20783 422-6080
PLAT BOOK	
PLAT No.	
LIBER	CHECKED: <i>[Signature]</i>
FOLIO	SCALE: 1" = 30'
	DATE: 1-19-78
	RECORD NUMBER
	542345

From: TakomaParkMD@mycusthelp.com,
To: ebbrown2005@verizon.net,
Subject: Tree Removal Request :: W009373-071922
Date: Tue, Jul 19, 2022 1:28 pm

07/19/2022

APPLICATION NUMBER [W009373-071922](#)

Ellen Brown
7310 Baltimore Ave.
Takoma Park, MD 20912

Re: Tree Removal Application at:
7310 BALTIMORE
TAKOMA PARK MD 20912



REVIEWED

By Dan.Bruechert at 4:17 pm, Sep 06, 2022

Dear Ellen Brown:

The City of Takoma Park has assessed this tree identified in your Tree Removal Permit Application. Below are the notes from the assessment:

Tree Type: **OTHER**
Trunk Diameter: **20 inches**
Tree Location Relative to House: **BACK RIGHT**

Tree Condition Rating (1-5):
Crown/Branches: **2**
Root & Root Collar: **4**
Tree Health & Species Profile: **2**
Trunk: **3**
Criterion Total (4-20): **11**

Assessment Notes:

The tree is in fair condition, with lower branches dead but the upper crown in good condition. Substantial English ivy growth and shade from nearby trees have contributed to die back lower in crown. The tree is

moderately sizable, though not outstanding in any particular way Removal of the tree will not constitute a substantial reduction in tree canopy for the surrounding area.

Based on this assessment, your application has received **Preliminary Approval**.

You have not yet received a permit to remove this tree.

Preliminary approval means that the City will post your property for a 15 day period beginning 07/19/2022 and ending 8/3/2022 12:27:15 PM for public comment. A permit to remove the tree will be granted after the comment period is completed and the City receives the signed agreement to adhere to the City's tree replacement requirement. If public comments are received that request an appeal of the removal, a hearing before the Tree Commission will be scheduled to determine if removal can proceed.

Historic Area Work Permit (HAWP)

Additionally, since your property is located within the Historic District, you are required to receive a HISTORIC AREA WORK PERMIT (HAWP). To apply for a HAWP, contact Montgomery County Department of Permitting Services by phone 301-563-3400, by email MCP-Historic@mncppc-mc.org or online at: <https://montgomeryplanning.org/planning/historic/historic-area-work-permits/>

Note that this preliminary permit letter may serve as the Tree Survey required for your HAWP application.

Replacement Planting Agreement

As a condition for receiving your permit City Code requires you to plant replacement trees of the same size category to compensate for the loss of the tree or to pay a fee-in-lieu of \$312 per replacement tree. The Code defines a formula to be used in calculating the number of replacement trees required using the trunk diameter and the Urban Forest Manager's condition assessment of the tree. The following is the number of trees required to be planted or accounted for with a fee-in-lieu payment in order to receive a permit.

Number of Replacement Trees Required: **(4)**

If you choose to cover the entire replacement obligation by paying the fee-in-lieu instead of planting, that will equal the following amount:

Total if only fee-in-lieu: **(\$1248)**

For trees that you choose to plant, you must select species from the City's Approved Tree Species List that are of the same mature size category as the removed tree, which for this tree is the **(MEDIUM)** category. Trees must also be a minimum of 1.5" trunk caliper. See below link for the City's Approved Tree Species List:

<https://documents.takomaparkmd.gov/government/public-works/Trees/Takoma-Park-Approved-Tree-Species-List.pdf>

With this information, you must now choose whether you will fulfill your replacement planting by planting trees, by paying the fee-in-lieu, or by a combination of both.

HOW TO COMPLETE THE REPLACEMENT PLANTING AGREEMENT ONLINE:

1. Click this link to view your Tree Removal Application request in MyTKPK: [W009373-071922](https://www.takomaparkmd.gov/MyTKPK/W009373-071922)
2. Enter the email address you used to apply for the permit initially if prompted for it.
3. Scroll down to "Replanting Agreement". For "How do you plan to replace this tree?" select "Pay Fee in Lieu", "Replant On-site", or "Combination of Both" and fill in the subsequent information you are asked for.

With this complete, Public Works staff will be prompted to review your selection and generate an invoice to pay the fee-in-lieu if needed. Please be on the lookout for further communications.

TREE WORK DONE FOR HIRE IN THE CITY OF TAKOMA PARK MUST BE CARRIED OUT BY A MARYLAND STATE LICENSED TREE EXPERT, OR LTE. HIRING SOMEONE WHO IS NOT LICENSED IS A VIOLATION OF CITY AND STATE LAW. MAKE SURE YOUR CONTRACTOR HAS A LTE NUMBER BEFORE YOU HIRE THEM.

If you have any questions, please contact the Urban Forest Manager by replying to this email.

Ellen Brown, 7310 Baltimore Ave., Takoma Park, MD 20912

August 2022



From: TakomaParkMD@mycusthelp.com,
To: ebbrown2005@verizon.net,
Subject: Tree Removal Request :: W009373-071922
Date: Wed, Aug 3, 2022 1:30 pm

08/03/2022

APPLICATION NUMBER [W009373-071922](#)

Ellen Brown
7310 Baltimore Ave.
Takoma Park, MD 20912

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7310 BALTIMORE
TAKOMA PARK MD 20912

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