



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
County Executive

Robert Sutton  
Chairman

Date: October 31, 2023

### MEMORANDUM

TO: Rabbiah Sabbakhan  
Department of Permitting Services

FROM: Michael Kyne  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1003919 REV: For building addition, parking lot expansion, fence installation, and site improvements.

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with seven (7) conditions** at the January 11, 2023 HPC meeting.

- 1. The exposed foundation of the addition along Market Street will be simplified, and the entire foundation will be either parged CMU or brick, with final review and approval delegated to staff.**
- 2. The proposed fencing will be wood, with final review and approval delegated to staff. Any additional fencing along the southern property line will be constructed from wood, no higher than 4', and have an open picket design, with final review and approval delegated to staff.**
- 3. The applicant will install a 6' high wood privacy fence in the area depicted in the LAP exhibit dated 1/3/2023 and attached to this HAWP application. Final review and approval of the fence are delegated to staff prior to the issuance of the building permit.**
- 4. A material sample or specification for the powder coated metal railing will be submitted to staff, and final review and approval are delegated to staff prior to the issuance of the building permit.**
- 5. A complete window and door schedule, including the new dormer windows and basement windows, will be submitted to staff, and final review and approval are delegated to staff prior to the issuance of the building permit. These windows will be aluminum clad wood.**
- 6. A revised grading plan showing the removal of the brick retaining wall and the addition of any other retaining walls, if necessary, must be submitted as a revision to this HAWP#1003919 for review and approval by the HPC prior to the issuance of any building permits.**
- 7. A new HAWP for the tree removal must be submitted to the HPC for review and approval, along with a revised planting plan showing the location of newly planted trees, prior to the issuance of any building permits. The new planting plan must be approved by the Town of Brookeville prior to the issuance of any building permits.**

The HPC staff has reviewed and stamped the attached construction drawings.





## HISTORIC PRESERVATION COMMISSION

**Marc Elrich**  
*County Executive*

**Robert Sutton**  
*Chairman*

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Sajid Niazi (Jeffrey Lees, Architect)  
Address: 1 High Street, Brookeville

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.





**A R C H I T E C T**

**Jeffrey A. Lees, AIA**

**Baltimore, MD.  
(410) 377-8009**

**Corolla, N.C.  
(252) 453-4335**

[www.jeffreyleesarchitect.com](http://www.jeffreyleesarchitect.com)

**Mech.-Elect-Plumbing Engineer:**

**CTA CONSULTING ENGINEERS**

220 North Adams Street  
Rockville, MD 20850  
Office: (301) 762-7172  
[www.ctaengineers.com](http://www.ctaengineers.com)

**Structural Engineer:**

**SKARDA & ASSOC. INC.**

2439 North Charles Street  
Baltimore, MD. 21218  
Office: (410)-366-9384  
[www.skardaengineers.com](http://www.skardaengineers.com)

**Site/ Civil Engineer:**

**MACRIS, HENDRICKS, & GLASCOCK, P.A.**

9220 Wightman Road, Suite 120  
Montgomery Village, MD 20886  
Office: (301) 670-0840  
[www.mhga.com](http://www.mhga.com)

Scope of Work

It is the owner's intent to create two (2) professional Office Suites via a combination of rehabilitating the existing one story (former) Brookeville Post Office building as one office suite, and then adding a second suite within a one story compatible addition, with a total of roughly 2800 square feet overall.

The occupancy (which was formerly offices) will include minimum personnel, with guests/visitors accommodated strictly through scheduled appointments. The use requires limited parking and eliminates the potential for additional traffic or congestion. We are proposing to allow for a total of seven (7) parking spaces, one of which will be accessible.

The exterior of the existing building currently represents changes wrought during a 1999 renovation for an accounting office, with some contemporary windows and patio doors introduced into a shed roofed addition on the rear or east side of the building, which we intend to remove. There is little to no historic fabric remaining on the interior of the structure, which was basically eviscerated during the 1999 renovation.

Our goal is to create a balance between the historic presence of the property, with the enhancement of its functionality for contemporary (office) occupancy, and maintaining the historic streetscape.

**REVIEWED**  
By Michael Kyne at 12:56 pm, Oct 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission

# # 1 HIGH STREET

## Mr. SAJID NIAZI

09 August, 2023

**BUILDING CODE ANALYSIS**

**Applicable Codes:**

- 2018 INTERNATIONAL BUILDING CODE ER 31-19
- CHAPTER 8 COUNTY BUILDING CODE
- 2018 INTERNATIONAL BUILDING CODE
- 2018 INTERNATIONAL EXISTING BUILDING CODE
- 2018 IgCC PUBLISHED
- MARYLAND ACCESSIBILITY CODE
- 2015 NFPA FIRE CODE
- 2015 NFPA 101 LIFE SAFETY CODE
- 2012 INTERNATIONAL GREEN CONSTRUCTION CODE
- 2015 IBC AMENDMENTS
- 2018 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)
- 2018 INTERNATIONAL MECHANICAL CODE (IMC)
- MONTGOMERY COUNTY CODE CHAPTER 8 (Mechanical)
- MONTGOMERY COUNTY CODE CHAPTER 17 (Electrical)
- NFPA 70 (National Electric Code)
- CHAPTER 35 of IBC-2018 REFERENCED STANDARDS

**DRAWING INDEX**

- C5-1 Cover Sheet
- C-2.01 Site Plan
- L -2.01 Landscape Plan
- D-1 Demolition Plan
- A-1 Foundation Plan
- A-2 Basement Floor Plan
- A-3 First Floor Plan
- A-4 Roof Plan
- A-5 Transverse Sections
- A-6 Longitudinal Sections
- A-7 North & South Elevations
- A-8 East and West Elevations
- A-9 Schedules
- A-10 Basement Reflected Clg. Plan
- A-11 First Floor Reflected Clg. Plan
- S-1 First Floor Framing Plan
- S-2 Roof Framing Plan
- M-0 General Notes and Symbols
- M-1 First Floor Demo Plan
- M-2 Basement Mech. Plan
- M-3 First Floor Mech. Plan
- M-4 Attic Floor Mech. Plan
- M-5 Details
- M-6 Schedules
- P-0 Specifications, Symbols, & Abbreviations
- P-1 Basement & First Floor Plan Demolition
- P-2 Basement Sanitary New Work
- P-3 Basement Domestic Water
- P-4 First Floor New Work
- P-5 Riser Diagrams, Schedules, & Details
- E-0 Specifications, Symbols, & Abbreviations
- E-1 First Floor Plan Demo
- E-2 Basement Power Plan
- E-3 Basement Light'g Plan
- E-4 First Floor Power
- E-5 First Floor Lighting
- E-6 Attic Plan
- E-7 Riser Diagram

CODE ANALYSIS	Existing Building		Proposed Alteration	
	IBC	NFPA	IBC	NFPA
IBC occupancy classification(s)	B (Business)		B (Business)	
Type of construction	5-B		5-B	
Number of stories above grade	1		1	
High Rise (Y/N)	N		N	
Covered Mall (Y/N)	N		N	
IBC 510 Pedestal Construction (Y/N)	N		N	
Fully Sprinklered (Y/N)	N		N	
Fire Alarm (Y/N)	N		N	
Floor area of renovation	1467 Sq. Ft.	1467 sq. ft.	1327 Sq. Ft.	1327 sq. ft.
Occupant load	6		6	
Energy Compliance Path	R Value		R Value	

HEIGHT & AREA		Use 1	Use 2	Use 3	Use 4
Height	Tabular	40 Feet			
	Sprinkler Increase	0			
	Total Allowed	40 Feet			
Area	Actual	19'-2"			
	Tabular	9,000 Sq. Ft.			
	Sprinkler Increase	0			
3329 Sq. Ft.	Frontage Increase	1,584 Sq. Ft.			
	Total Allowed	10,584 Sq. Ft.			
	Actual	2,794 Sq. Ft.			

DRAWING NO.

**CS-1**

NO.	DESCRIPTION	DATE

TAX MAP HJ82 WSSC 227NW33

PLAT 21826

8TH ELECTION DISTRICT  
TOWN OF BROOKEVILLE  
MARYLAND

**LOT 58  
BROOKEVILLE**

PROJ. MGR KJH

DRAWN BY SEC

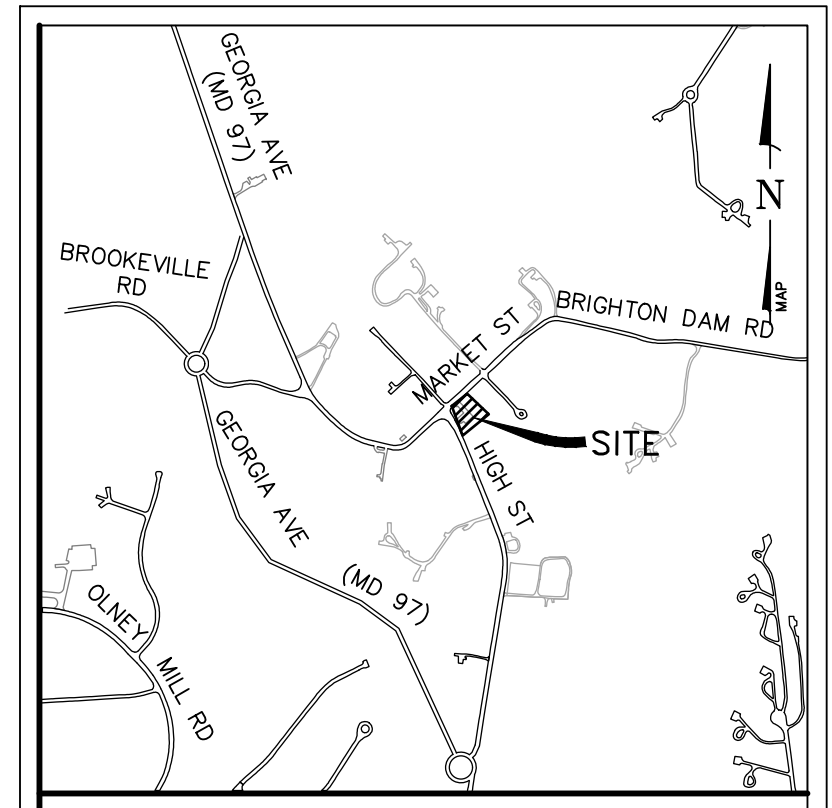
SCALE 1" = 10'

DATE 08.09.2023

**SITE PLAN**

**C2.01**

PROJECT NO. 2021.276.11  
SHEET NO. 1 OF 1



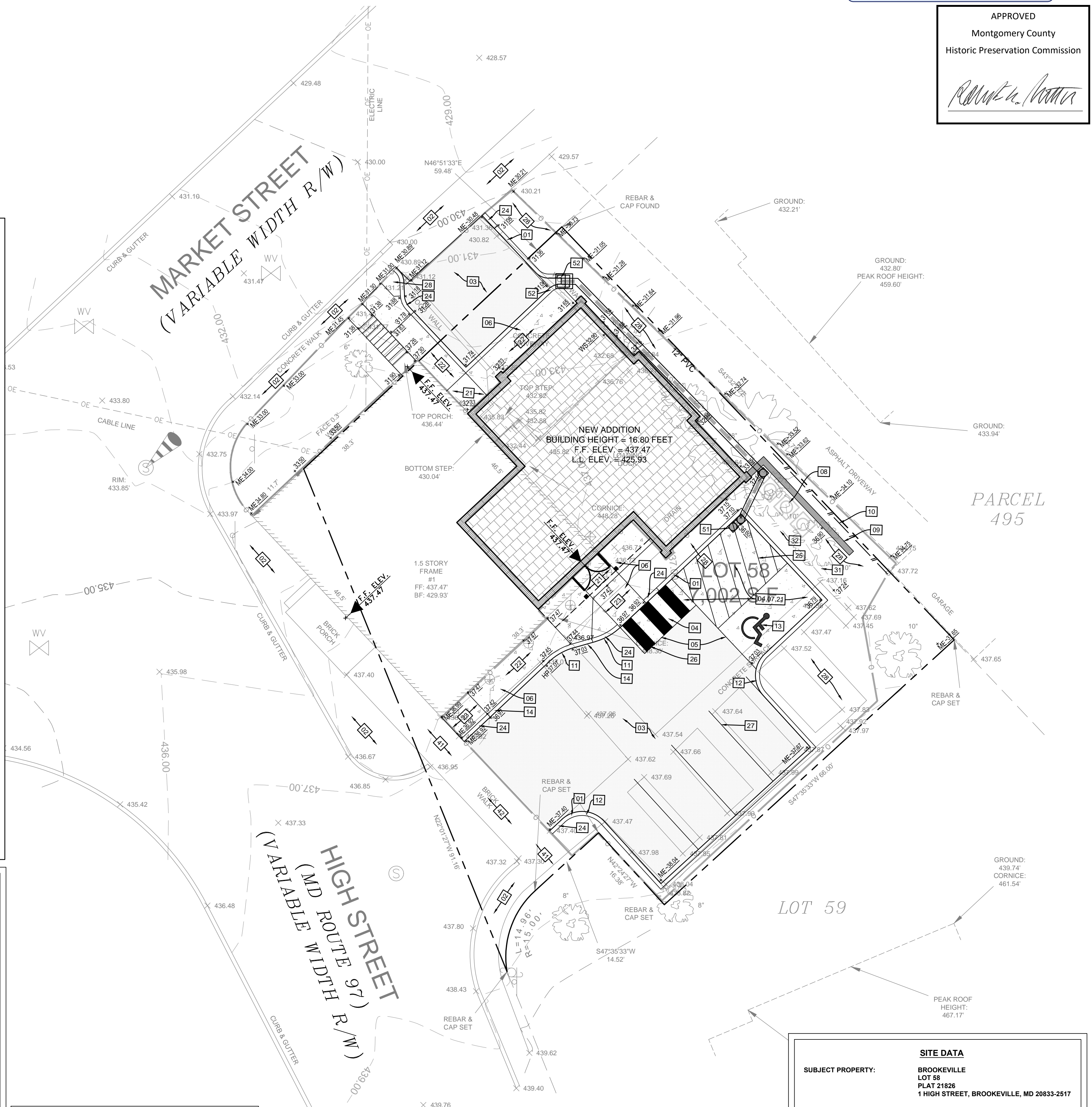
VICINITY MAP  
SCALE 1" = 1,000'

EXISTING CONDITIONS		NEW CONDITIONS	
---402---	CONTOUR (2FT)	---402---	CONTOUR (2FT)
---410---	CONTOUR (2FT)	---410---	CONTOUR (2FT)
x 403.25	SPOT ELEVATION	+63.40	SPOT ELEVATION
=====	CURB & GUTTER	=====	CURB & GUTTER
=====	ASPHALT PAVING	=====	ASPHALT PAVING
=====	CONCRETE PAVING	=====	CONCRETE PAVING
[Symbol]	BUILDING	[Symbol]	BUILDING
---	PROPERTY BOUNDARY	---	PROPERTY BOUNDARY
[Symbol]	LIGHT POLE	[Symbol]	LIGHT POLE
---	SIGN	---	SIGN
--- }---</td <td>LIMIT OF DISTURBANCE</td> <td>---<!--}---</td--> <td>LIMIT OF DISTURBANCE</td> </td>	LIMIT OF DISTURBANCE	--- }---</td <td>LIMIT OF DISTURBANCE</td>	LIMIT OF DISTURBANCE
==	FENCE	==	FENCE
[Symbol]	SEWER MANHOLE	[Symbol]	SEWER MANHOLE
[Symbol]	SIGN	[Symbol]	SIGN
[Symbol]	UTILITY POLE	[Symbol]	UTILITY POLE
[Symbol]	GUY WIRE	[Symbol]	GUY WIRE
[Symbol]	BOLLARD	[Symbol]	BOLLARD
[Symbol]	TREE	[Symbol]	TREE
[Symbol]	WATER VALVE / METER	[Symbol]	WATER VALVE / METER
[Symbol]	ENTRANCE	[Symbol]	ENTRANCE

ABBREVIATIONS	
F.F.	FINISHED FLOOR ELEVATION
RCP	REINFORCED CONCRETE PIPE
TYP	TYPICAL
ME	MATCH EXISTING LINE AND GRADE. ELEVATION PROVIDED AFTER FOR REFERENCE ONLY.
EX	EXISTING
HP	HIGH POINT

**REVIEWED**  
By Michael Kyne at 12:56 pm, Oct 31, 2023

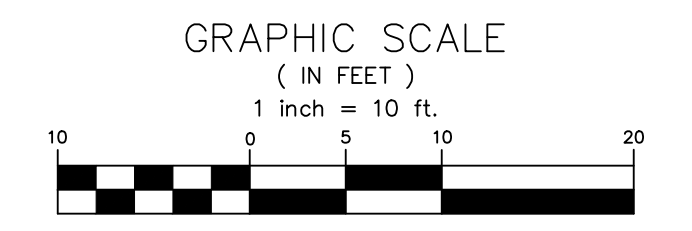
APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*



KEY NOTES	
01	CURB & GUTTER (TYPICAL)
02	PER DISCUSSIONS WITH THE TOWN OF BROOKEVILLE, A FUTURE DEVELOPMENT BY SHA IS EXPECTED ON MAIN STREET AND HIGH STREET WHICH WILL BRING THE EXISTING SIDEWALK INTO COMPLIANCE WITH ADA REQUIREMENTS. THEREFORE, THE EXISTING SIDEWALK AND DRIVEWAY ENTRANCE IN THE PUBLIC RIGHT OF WAY ARE TO REMAIN.
03	ASPHALT PAVEMENT SECTION
04	CONCRETE PAVEMENT SECTION
05	CONCRETE PAVING EDGE OF SLAB (TYPICAL)
06	SITE CONCRETE SIDEWALK (TYPICAL)
07	CONCRETE PAVING JOINT DETAILS
08	CONDENSER UNITS FOR HVAC
09	CONCRETE RETAINING WALL
10	6" VINYL PRIVACY FENCE
11	10' RADIUS ON FACE OF CURB
12	5' RADIUS ON FACE OF CURB
13	INTERNATIONAL ACCESSIBILITY SYMBOL
14	VARIABLE HEIGHT CURB SEE SPOT ELEVATIONS FOR HEIGHT
21	2% MAX SLOPE IN ALL DIRECTIONS (TYPICAL)
22	5% MAX RUNNING SLOPE AND 2% MAX CROSS SLOPE (TYPICAL)
23	8.33% MAX RUNNING SLOPE AND 2% MAX CROSS SLOPE (TYPICAL)
24	NOSE DOWN CURB AND GUTTER TRANSITION
25	4" WIDE PAINTED STRIPES AT 45 DEGREE ANGLE WITH 2" SPACING
26	CROSSWALK STRIPING
27	PARKING STRIPING (TYPICAL)
28	SEE LANDSCAPE PLAN FOR LAWN AND PLANTING AREAS
29	STAIRS. SEE ARCHITECT PLANS FOR DETAILS.
31	RESERVED PARKING / MAX FINE / VAN ACCESSIBLE SIGNS.
32	NO PARKING IN ACCESS AISLE SIGN
41	EXISTING SLOPES DO NOT EXCEED 2% IN ALL DIRECTIONS
42	EXISTING SLOPES DO NOT EXCEED 5% MAX RUNNING SLOPE AND 2% MAX CROSS SLOPE
51	TWO NYLOPLAST 15" PEDESTRIAN GRATES
52	MD 360.01 - 12" OUTLET STRUCTURE
NOTE: ALL ITEMS LISTED TO BE NEW INSTALL UNLESS NOTED DIFFERENTLY.	

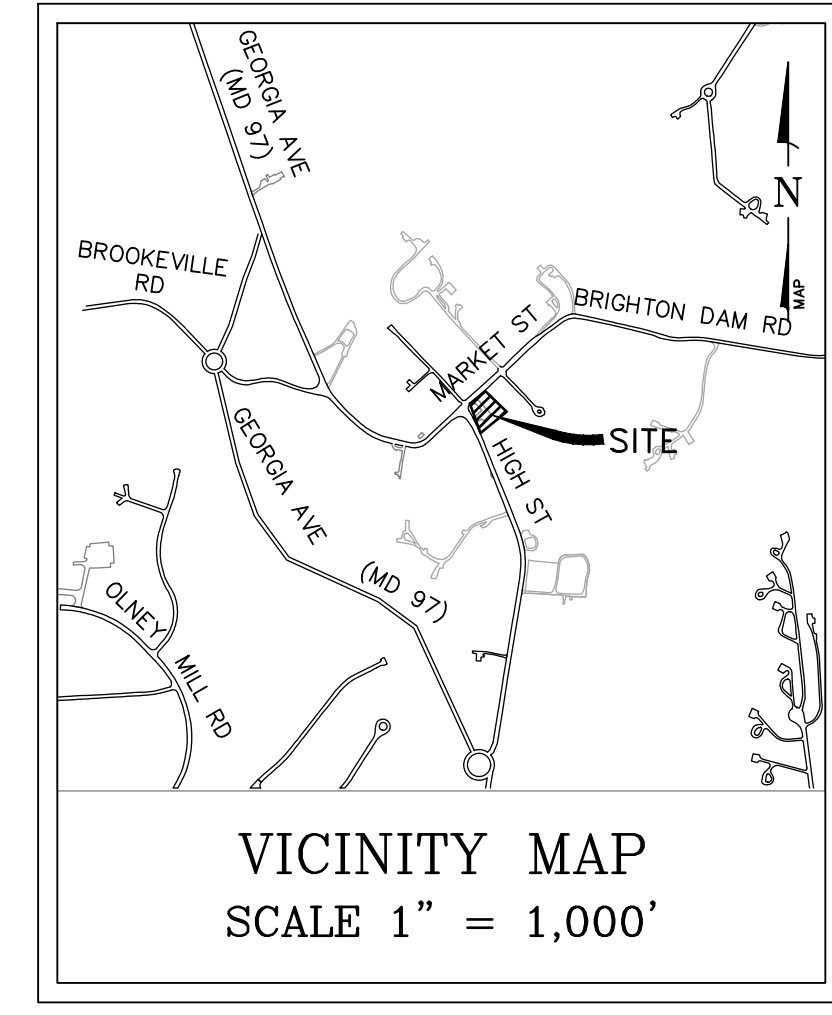
SITE NOTES	
1.	PROPERTY, BOUNDARY AND TOPOGRAPHIC INFORMATION FROM A MARCH, 2022 TOPOGRAPHIC SURVEY PREPARED BY REAL ESTATE SURVEYORS AND DEVELOPERS, LLC.
3.	THE PROJECT IS LOCATED WITHIN THE MUNICIPAL BOUNDARIES OF THE TOWN OF BROOKEVILLE. THE TOWN OF BROOKEVILLE HAS PLANNING AND ZONING AUTHORITY.
4.	THE PROJECT IS LOCATED WITHIN THE TOWN OF BROOKEVILLE COMPREHENSIVE PLAN.
5.	THE PROJECT IS LOCATED WITHIN THE BROOKEVILLE HISTORIC DISTRICT.
6.	THE PROJECT IS LOCATED WITHIN THE PATUXENT PRIMARY MANAGEMENT AREA
7.	EXISTING UTILITIES SHOWN ARE BASED ON VISIBLE SURVEYED APPURTENANCES AND PAINT MARKINGS, ACCESSIBLE STRUCTURES AND PLANS OF RECORD.
8.	THE PROJECT LOCATED WITHIN WATER SERVICE CATEGORY W-1 WITHIN THE MUNICIPALITY OF THE TOWN OF BROOKEVILLE. AREAS SERVED BY COMMUNITY (PUBLIC) SYSTEMS THAT ARE EITHER EXISTING OR UNDER CONSTRUCTION.
9.	THE PROJECT IS LOCATED WITHIN SEWER SERVICE CATEGORY S-1 WITHIN THE MUNICIPALITY OF THE TOWN OF BROOKEVILLE. AREAS SERVED BY COMMUNITY (PUBLIC) SYSTEMS THAT ARE EITHER EXISTING OR UNDER CONSTRUCTION.
10.	THE PROJECT IS LOCATED WITHIN THE HAWLINGS RIVER - REDDY BRANCH WATERSHED.
11.	HIGH STREET (MD 97) IS A ROADWAY OPERATED AND MAINTAINED BY THE MARYLAND STATE HIGHWAY ADMINISTRATION.
12.	MARKET STREET IS A ROADWAY OPERATED AND MAINTAINED BY THE TOWN OF BROOKEVILLE.
13.	THE TOTAL LAND DISTURBANCE ASSOCIATED WITH THE PROPOSED CONSTRUCTION WILL BE LESS THAN 5000 SQUARE FEET AND/OR WILL RESULT IN LESS THAN 100 CUBIC YARDS OF EARTH MOVEMENT.
14.	COMPLIANCE WITH THE INTERNATIONAL GREEN CONSTRUCTION CODE (IGCC) WILL NOT BE REQUIRED FOR THIS PROJECT.
15.	ALL UTILITIES SHOWN ARE CONCEPTUAL AND SUBJECT TO CHANGE. SERVICING UTILITY COMPANIES INCLUDE: WATER & SEWER: WSSC NATURAL GAS: WASHINGTON GAS ELECTRIC: POTOMAC ELECTRIC POWER CO. TELECOMMUNICATIONS: VERIZON & COMCAST

GENERAL CONSTRUCTION NOTES	
1.	CALL "MISS UTILITY" ("ONE CALL" AT 811 OR 1-800-257-7777) TWO FULL BUSINESS DAYS PRIOR TO BEGINNING ANY CONSTRUCTION THAT CAUSES DISTURBANCE. HOMEOWNERS & REGISTERED EXCAVATORS MAY FILE REQUESTS ONLINE AT <a href="http://www.missutility.net">http://www.missutility.net</a>
2.	SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS, THIS OFFICE IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES.
3.	REFER TO ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.



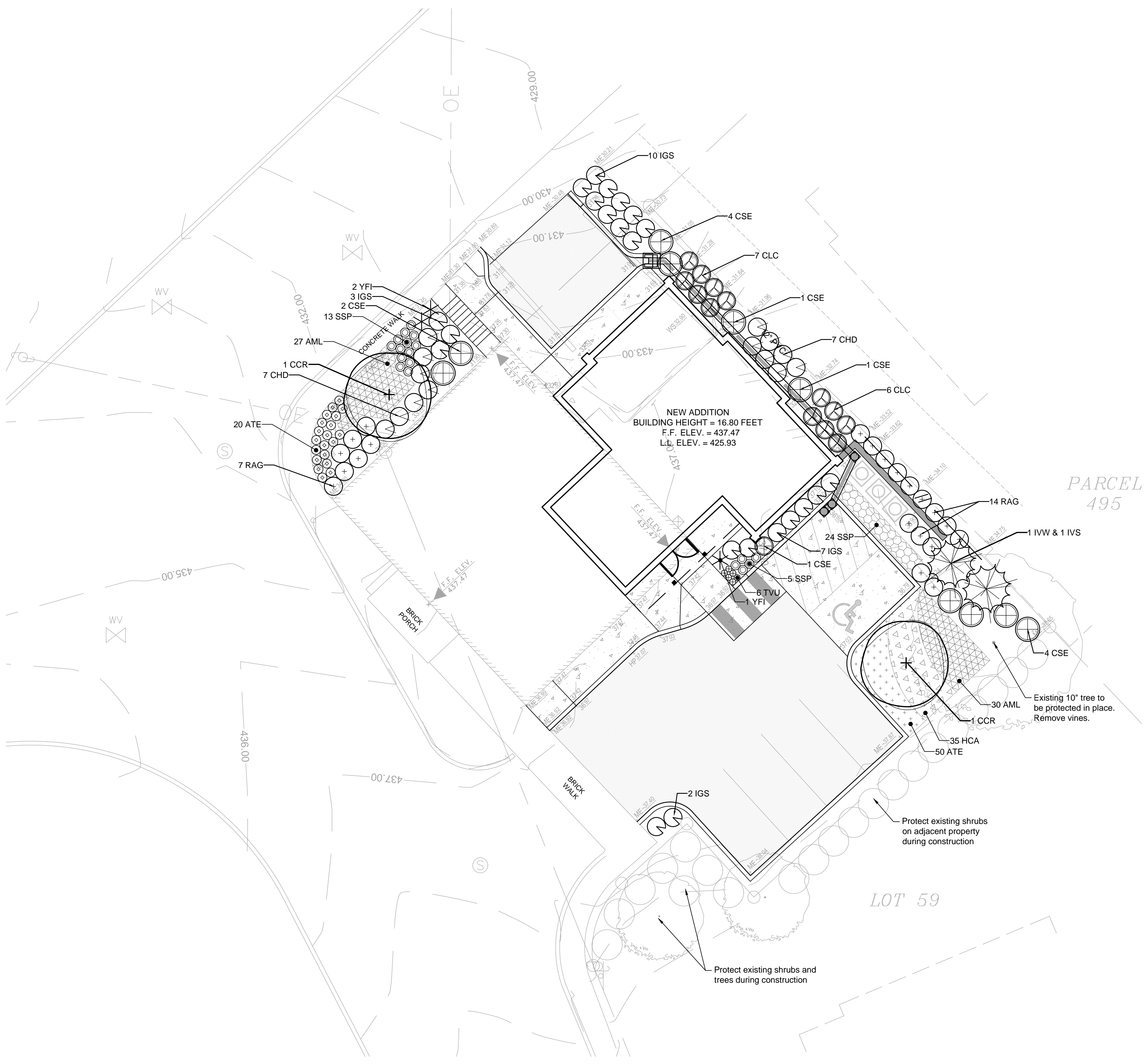
SITE DATA	
SUBJECT PROPERTY:	BROOKEVILLE LOT 58 PLAT 21826 1 HIGH STREET, BROOKEVILLE, MD 20833-2517
PROPERTY OWNER:	ONE HIGH STREET, LLC 10500 LITTLE PATUXANT PARKWAY, SUITE S710 COLUMBIA, MD 21044
TRACT AREA:	7,002 SQUARE FEET (0.16074 ACRES)
PRIOR DEDICATIONS:	NONE
PROPOSED DEDICATION:	NONE PROPOSED
ZONING CLASSIFICATION:	HISTORIC VILLAGE COMMERCIAL (HVC)
PROPOSED USE:	PROFESSIONAL AND BUSINESS OFFICES
GROSS FLOOR AREA <sup>1</sup> :	2,789 SQUARE FEET
FOOTNOTES	1. AS DEFINED UNDER THE MONTGOMERY COUNTY ZONING ORDINANCE (89-4.1.7-C)

HISTORIC VILLAGE COMMERCIAL (HVC) DEVELOPMENT STANDARDS		
	PERMITTED/REQUIRED	PROVIDED BY THIS PLAN
BUILDING HEIGHT: SECTION 10-401. (c) (1)	NORMALLY 25 FT.	16.8 FT.
SETBACKS: SECTION 10-401. (c) (2)	SEE FOOTNOTE 1)	
SECTION 10-401. (c) (3)	SEE FOOTNOTE 2)	
SECTION 10-401. (c) (4)	SEE FOOTNOTE 3)	
<b>VEHICLES</b>		
MINIMUM REQUIRED, FOR OFFICE AND PROFESSIONAL (OFFICE): 59-6.2.4.B	7 SPACES (2.25 PER 1,000 SF)	7 SPACES
ACCESSIBLE SPACES: 59-6.2.3.B / COMAR 05.01.07 AND 05.02.02	1 SPACES (THAT IS VAN ACCESSIBLE)	1 SPACES (THAT IS VAN ACCESSIBLE)
MOTORCYCLE / SCOOTER SPACES: 59-6.2.3.C	NA <sup>6</sup>	0
MINIMUM BICYCLE PARKING SPACES: 59-6.2.4.C	NA <sup>6</sup>	0
FOOTNOTES: 1) ALL SETBACKS MUST DEMONSTRATE A COMPATIBLE RELATIONSHIP TO ADJACENT EXISTING AND PROPOSED DEVELOPMENT. 2) ANY NEW REDEVELOPMENT OR ADDITIONS TO EXISTING STRUCTURES MUST SATISFACTORILY DEMONSTRATE TO THE PLANNING COMMISSION THAT THE REDEVELOPMENT WILL BE CONSISTENT AND COMPATIBLE WITH THE HISTORIC HERITAGE AND DESIGN OF BROOKEVILLE AND SURROUNDING RESIDENTIAL USES. THE PLANNING COMMISSION SHALL EVALUATE ANY NEW REDEVELOPMENT BASED ON ITS DESIGN CHARACTERISTICS, USE OF CONSTRUCTION MATERIALS AND PROPOSED SETBACKS, HEIGHT AND ADEQUACY OF PARKING. 3) USE APPROVAL. ALL PROPERTIES IN THIS ZONE MUST OBTAIN A HISTORIC USE PERMIT FROM THE PLANNING COMMISSION FOR ANY CHANGE IN USE. ALL SUCH APPLICATIONS MUST BE SUBMITTED ON FORMS MADE AVAILABLE BY THE TOWN AND SHALL DEMONSTRATE THAT THE PROPOSED USE IS OF A NATURE AND SCALE CONSISTENT WITH THE HISTORIC HERITAGE OF THE TOWN AND COMPLIES WITH THE REQUIREMENTS OF THIS ZONE. IN PARTICULAR, SUCH APPLICATION MUST INCLUDE (1) INFORMATION AS TO THE INTENDED NUMBER OF EMPLOYEES/WORKERS, ANTICIPATED NUMBER OF VISITORS/CUSTOMERS/STUDENTS, AND INTENDED HOURS OF OPERATION AND (2) A PARKING PLAN, AND MUST DESCRIBE HOW THE APPLICATION WILL ACHIEVE THE OBJECTIVES OF THIS ORDINANCE. SUCH APPLICATION MUST PROVIDE A DETAILED DESCRIPTION OF ANY PROPOSED SIGNAGE, WHICH MAY NOT BE ILLUMINATED, AND DESCRIBE WHETHER THE PROPOSED USE WILL USE EQUIPMENT OR ANY PROCESS WHICH MAY CREATE NOISE, VIBRATION, GLARE, FUMES, ODORS OR ELECTRICAL OR ELECTRONIC INTERFERENCE DETECTABLE BEYOND THE WALLS OF THE STRUCTURE. 4) THE TOWN OF BROOKEVILLE ZONING ORDINANCE DOES NOT INCLUDE SPECIFIC PARKING METRICS. THE INFORMATION SHOWN HEREON IS BASED ON THE MONTGOMERY COUNTY REQUIREMENTS. 5) PARKING FACILITY CONTAINS LESS THAN 50 SPACES. 6) DEVELOPMENT STANDARD NOT APPLICABLE IN HVC ZONE		



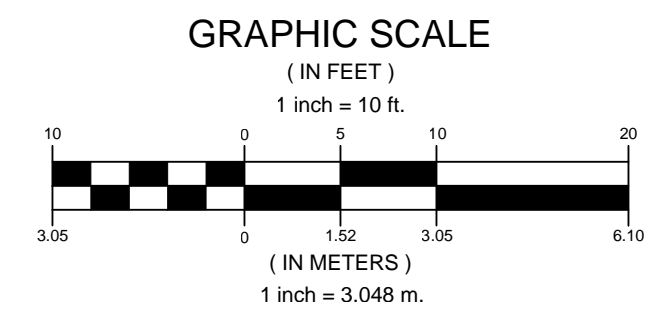
**REVIEWED**  
By Michael Kyne at 12:56 pm, Oct 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission  
*[Signature]*



LANDSCAPE PLANT LIST							
KEY	QTY	BOTANICAL NAME	COMMON NAME	CAL	HGT	ROOT	SPACING
<b>EVERGREEN AND ORNAMENTAL TREES</b>							
CCR	2	Cercis canadensis 'Appalachian Red'	Appalachian Red Redbud		8-10' ht.	B&B	AS SHOWN
IVW	1	Ilex verticillata 'Winter Red'	Winter Red Winterberry		5-6'	B&B	AS SHOWN
IVS	1	Ilex verticillata 'Southern Gentleman'	Southern Gentleman Winterberry		5-6'	B&B	AS SHOWN
<b>DECIDUOUS AND EVERGREEN SHRUBS</b>							
AML	57	Aronia melanocarpa 'UCONNAM165'	LowScape Mound Chokecherry		12-18"	#3 Cont.	24" o.c.
CHD	14	Cephalotaxus harringtonia 'Duke Gardens'	Duke Gardens Japanese Plum Yew		24-30"	#7 Cont.	36" o.c.
CLC	13	Clethra alnifolia 'Caleb'	Vanilla Spice™ Summersweet		24-30"	#3 Cont.	36" o.c.
CSE	11	Cornus sericea	Red Osier Dogwood		24-30"	#3 Cont.	48" o.c.
IGS	22	Ilex glabra 'Shamrock'	Shamrock Inkberry		24-30"	#3 Cont.	36" o.c.
RAG	21	Rhus aromatica 'Gro-Low'	Prostrate Fragrant Sumac		12-18"	#3 Cont.	36" o.c.
<b>HERBACEOUS PERENNIALS</b>							
ATE	70	Andropogon ternarius	Silver Bluestem			#1 Cont.	18" o.c.
MCP	35	Muhlenbergia capillaris	Muhly Grass			#1 Cont.	24" o.c.
TVU	6	Thymus vulgaris 'Silver Posie'	Variiegated English Thyme			#1 Cont.	12" o.c.
SSP	42	Schizachyrium scoparium 'Prairie Munchkin'	Dwarf Little Bluestem			#1 Cont.	18" o.c.
YFI	3	Yucca filamentosa	Adam's Needle Yucca			#3 Cont.	30" o.c.

Note: Plant counts are provided for the convenience of the contractor. The plan dominates on any discrepancies between the table and the plan. Contractor is responsible for verifying the counts and bringing any discrepancies to the attention of the landscape architect and client before proceeding. The planting plan must be carefully followed to ensure good plant survival and acceptance of landscaping upon completion of the project. Failure to install the specified plants in the specified locations will result in the rejection of the entire planting area, and the contractor will be required to reinstall the plantings as shown on the plans at their own expense. Substitutions are not allowed without prior approval of the landscape architect.



**811**  
Know what's below.  
Call before you dig.  
FOR UTILITY LOCATIONS  
CONTACT "ONE CALL" AT 811  
AT LEAST 48 HOURS  
PRIOR TO CONSTRUCTION

REVISIONS		
NO.	DESCRIPTION	DATE

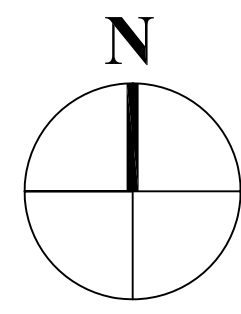
TAX MAP HUR2 WSSC 227N03  
PLAT 21826  
8TH ELECTION DISTRICT  
TOWN OF BROOKVILLE  
MARYLAND

**LOT 58  
BROOKVILLE**

PROJ. MGR KJH  
DRAWN BY PHR  
SCALE 1" = 10'  
DATE 08.09.2023

**CONSTRUCTION  
LANDSCAPE PLAN**

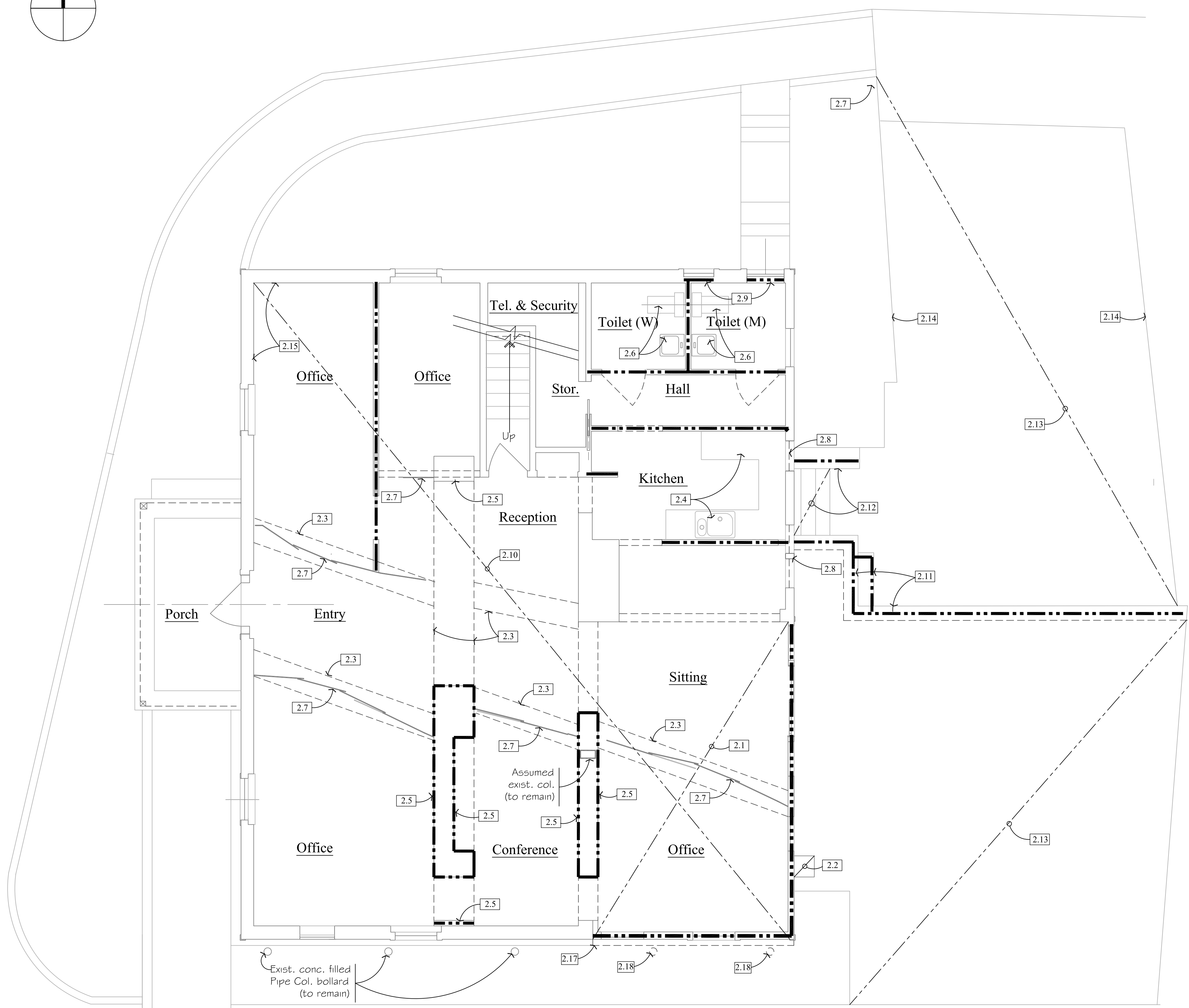
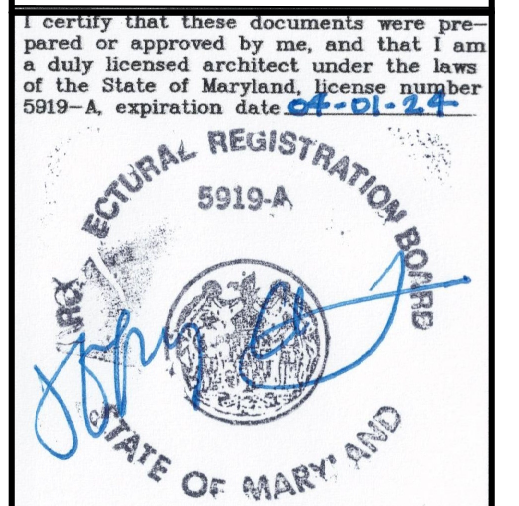
**L2.01**  
PROJECT NO. 2021.276.11  
SHEET NO. 1 OF 2



**REVIEWED**  
By Michael Kyne at 12:56 pm, Oct 31, 2023

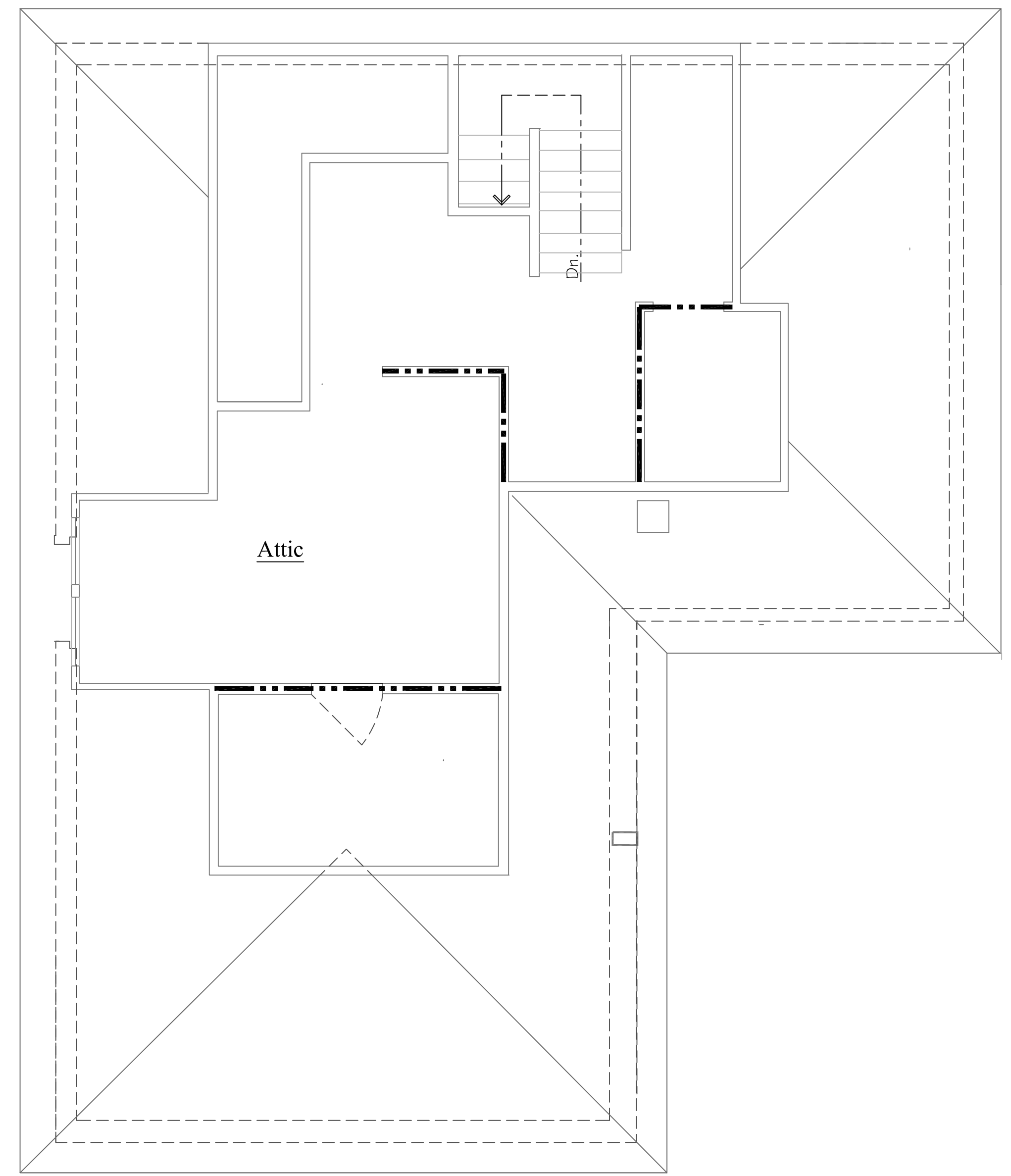
APPROVED  
Montgomery County  
Historic Preservation Commission  
*Robert A. Porter*

**Jeffrey A. Lees, AIA**  
**ARCHITECT**  
Baltimore, MD 410-377-8009  
Corolla, NC 252-453-4335



**FIRST FLOOR DEMOLITION PLAN**

- Demolition Notes**
- 2.1 Remove exist. shed roofed addition in its entirety.
  - 2.2 Remove exist. masonry chimney.
  - 2.3 Remove all gyp. bd bulkheads and ductwork.
  - 2.4 Disconnect exist. Kitchen appliances, plumbing fixtures, and trim, and remove all Kitchen cabinets and countertops.
  - 2.5 Remove exist. "Apple Ply" wall finishes.
  - 2.6 Remove exist. plumbing fixtures and trim, and all accessories, including grab bars.
  - 2.7 Remove exist. etched glass panels and tracks
  - 2.8 Remove exist. window(s) and close opening.
  - 2.9 Remove finishes and framing to uncover/expose exist. window & door; repair window and door as required.
  - 2.10 Remove exist. marble floor tiles throughout.
  - 2.11 Remove former loading dock wall in its entirety.
  - 2.12 Remove conc. steps and stone sidewall.
  - 2.13 Remove exist. conc. slab.
  - 2.14 Remove timber garden wall.
  - 2.15 Remove wood wainscoting
  - 2.16 Remove window air conditioner; repair window sash as req'd.
  - 2.17 Sawcut exist curb and remove rear 14' ± section as part of shed demo.
  - 2.18 Remove exist. conc. filled pipe bollard



**ATTIC DEMOLITION PLAN**

Addition and Alterations to  
**#1 HIGH STREET**  
Brookville, MD 20833  
for **SAJID S. NIAZI**

TITLE  
**DEMOLITION PLANS**

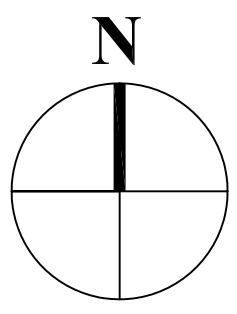
REVISIONS

SCALE  
1/4" = 1'-0"

DATE  
09 August, 2023

DRAWING NO.

**D-1**



REVIEWED  
By Michael Kyne at 12:56 pm, Oct 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission

*Robert H. ...*

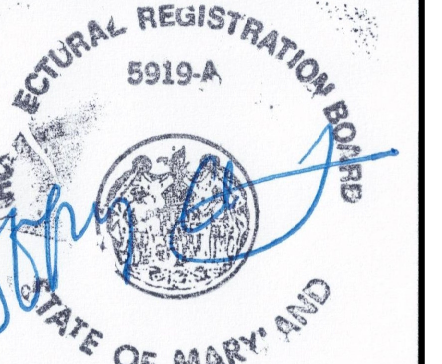
LEGEND

- Denotes exist. construction (to remain)
- Denotes exist. wall to be removed
- Denotes new construction
- Denotes line of wall or beam above, or hidden feature behind viewing plane
- Wall construction type
- Concrete
- Brick
- Block (Concrete Masonry Units)
- Flexible (Batt) Insulation
- Wood (rough framing or blocking)
- Renovation Note
- Exist. door and frame to remain
- Exist. Door Pair to remain-repair as directed.
- Door Number- see sched. Sheet A-9
- Finish Sched. reference- see Sheet A-9
- Window Sched. reference- see Sheet A-9
- Alum. Storefront Frame reference- See A-9

Dimensions are given to structure, i.e. face of studs, or face of block, unless noted otherwise as finished dimensions.

Jeffrey A. Lees, AIA  
ARCHITECT  
Baltimore, MD 410-377-8009  
Corolla, NC 252-453-4335

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 5919-A, expiration date 04-01-24



Addition and Alterations to  
**#1 HIGH STREET**  
Brookville, MD 20833  
for SAJID S. NIAZI

TITLE  
**FOUNDATION PLAN**

REVISIONS

SCALE  
1/4" = 1'-0"

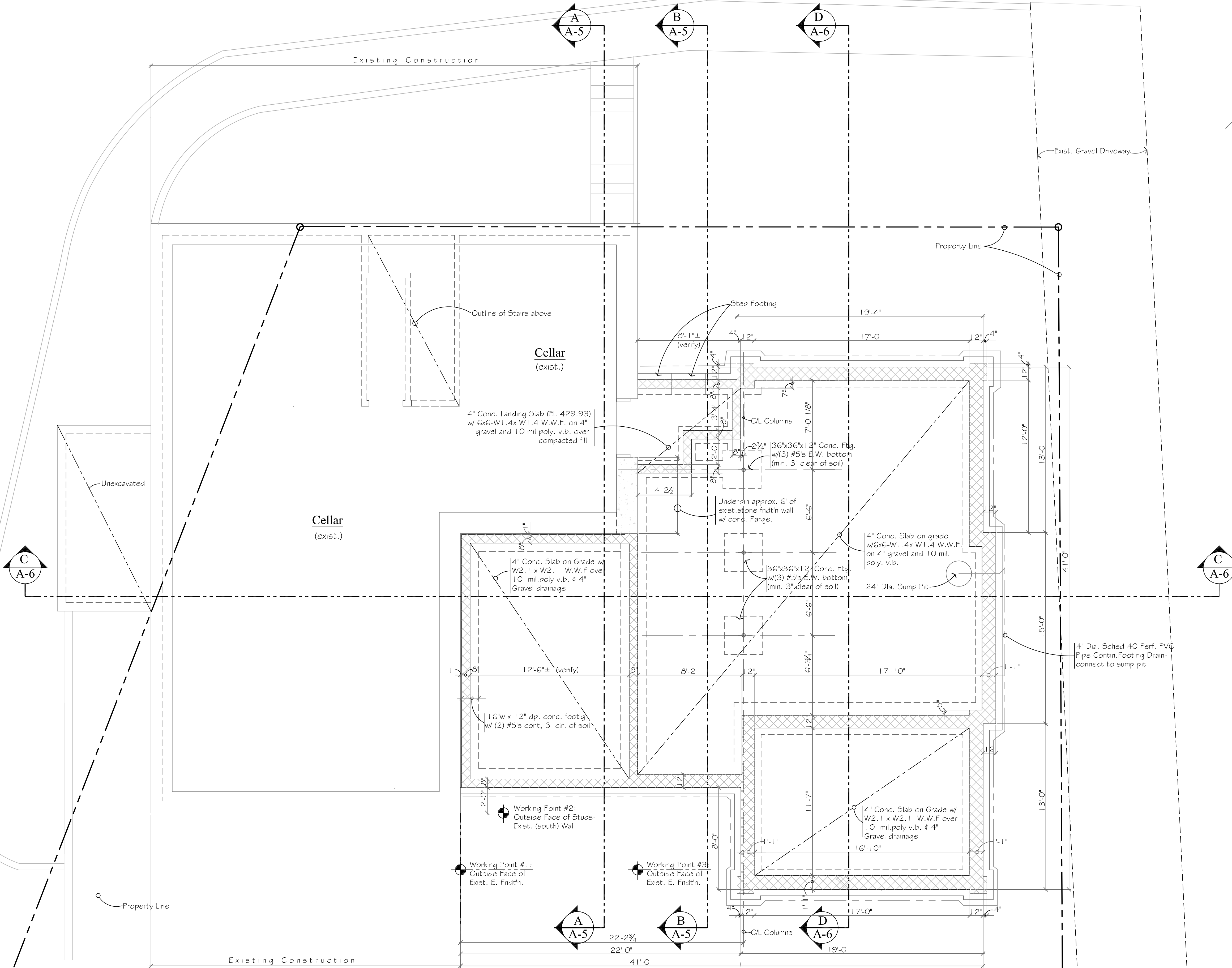
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09 August, 2023

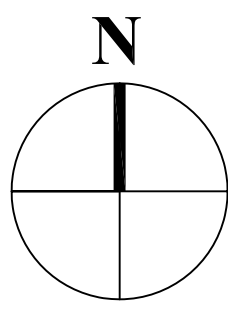
DRAWING NO.

**A-1**

MARKET STREET

HIGH STREET





**Renovation Notes**

- 3.1 New Conc. curb and Gutter
- 3.2 New Conc. sidewalk
- 3.3 Sawcut Conc. Curb
- 3.5 Carefully remove brick paving and install 5" w. x 32" dp conc. tumdown w/#4s @18" vert. and #4's Top & bottom 3" from top or bottom. Reinstall brick paving.
- 3.6 Cast-in-place concrete stairs
- 4.1 Exist. Brick Steps to be rebuilt.
- 4.2 Face Brick retaining wall
- 4.3 Portland cement parging on cmu's
- 4.4 Parge exist. stone foundation
- 6.1 Infill wall framing where window is removed (match exist. framing, sheathing, and interior finish).
- 6.2 Patch exist. siding to match exist. where window is removed. Paint entire wall.
- 6.3 Rehabilitate exist sash door to make operable.
- 6.4 Rehabilitate exist. window as req'd to make operable
- 7.1 R-10 Rigid Extruded Polystyrene Insulation

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By Michael Kyne at 12:56 pm, Oct 31, 2023

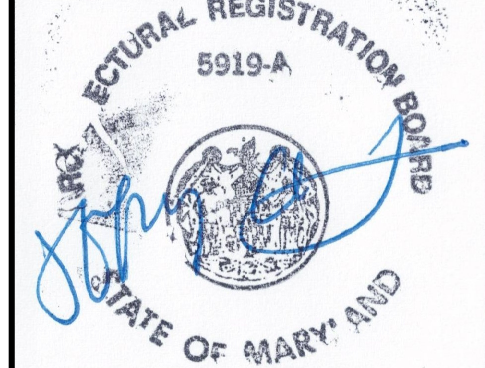
**APPROVED**  
Montgomery County  
Historic Preservation Commission  
*Robert H. [Signature]*

**LEGEND**

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- Door Number- see sched. Sheet A-9
- Finish Sched. reference- see Sheet A-9
- Window Sched. reference- see Sheet A-9
- Alum. Storefront Frame reference- See A-9

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**Addition and Alterations to**  
**#1 HIGH STREET**  
Brookville, MD 20833  
for **SAJID S. NIAZI**

TITLE  
**BASEMENT FLOOR PLAN**

REVISIONS

SCALE  
1/4" = 1'-0"

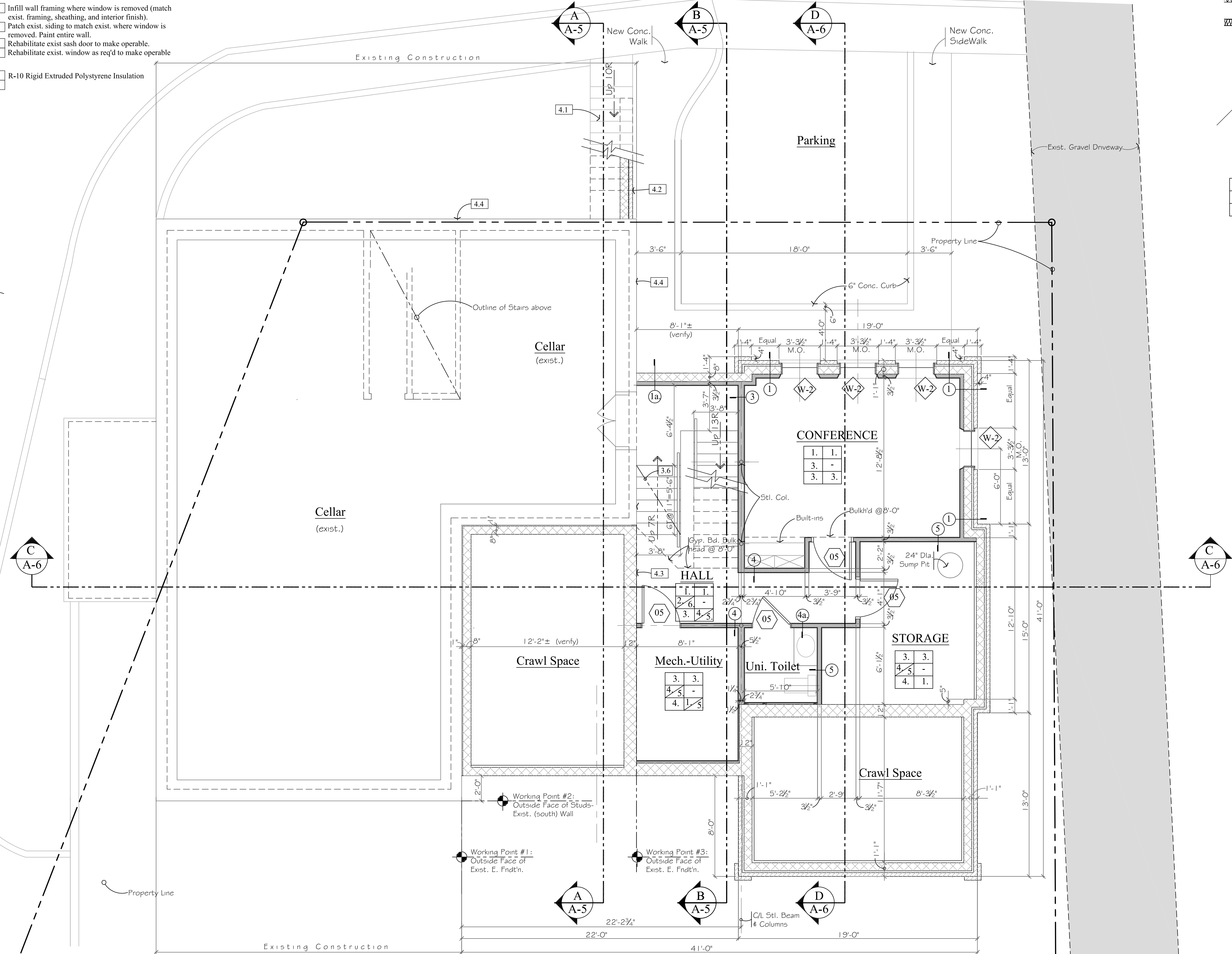
DATE  
09 August 2023

DRAWING NO.

**A-2**

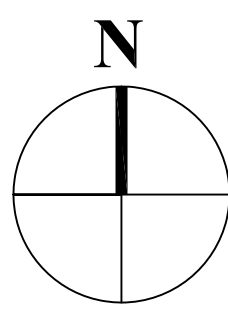
MARKET STREET

HIGH STREET



**Jeffrey A. Lees, AIA**  
**ARCHITECT**  
Baltimore, MD 410-377-8009  
Corolla, NC 252-453-4335





**Renovation Notes**

- 3.1 New Conc. curb and Gutter
- 3.2 New Conc. sidewalk
- 3.3 Sawcut Conc. Curb
- 3.5 Carefully remove brick paving and install 8" w. x 32" dp conc. turndown w/#4s @ 18" vert. and #4's Top & bottom 3" from top or bottom. Reinstall brick paving
- 4.1 Exist. Brick Steps to be rebuilt.
- 4.2 Face Brick retaining wall
- 6.1 Infill wall framing where window is removed (match exist. framing, sheathing, and interior finish).
- 6.2 Patch exist. siding to match exist. where window is removed. Paint entire wall.
- 6.3 Rehabilitate exist. sash door to make operable.
- 6.4 Rehabilitate exist. window as req'd to make operable
- 7.1 Remove exist. head trim and flash above door; reinstall wood trim and paint.

**REVIEWED**  
By Michael Kyne at 12:56 pm, Oct 31, 2023

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Montgomery County  
Historic Preservation Commission

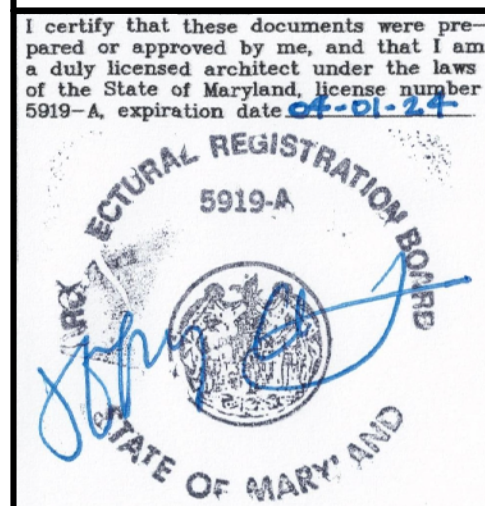
*Robert H. [Signature]*

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- Block (Concrete Masonry Units)
- Flexible (Batt) Insulation
- Wood (rough framing or blocking)
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- Exist. door and frame to remain
- Exist. Door Pair to remain-repair as directed.
- Door Number- see sched. Sheet A-9
- Finish Sched. reference- see Sheet A-9
- Window Sched. reference- see Sheet A-9
- Alum. Storefront Frame reference- See A-9

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**Jeffrey A. Lass, AIA**  
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Corolla, NC 252-453-4335



**Addition and Alterations to**  
**#1 HIGH STREET**  
Brookville, MD 20833  
for **SAJID S. NIAZI**

**FIRST FLOOR PLAN**

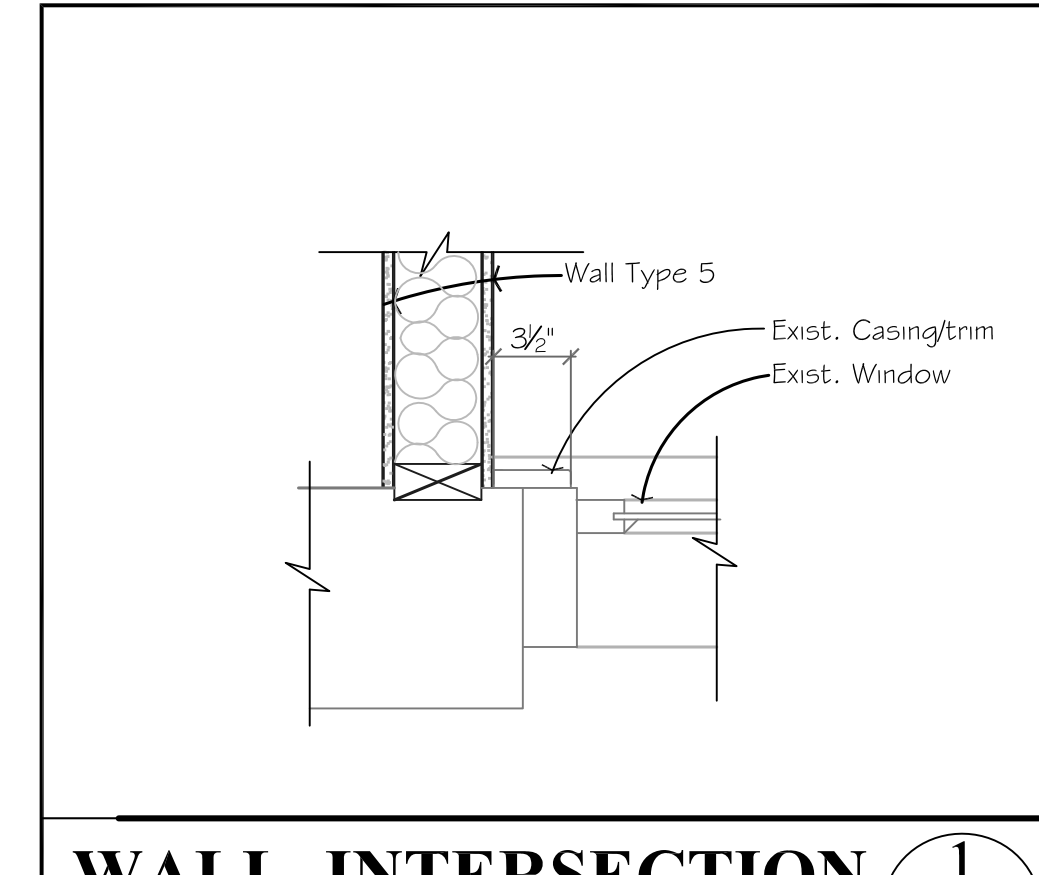
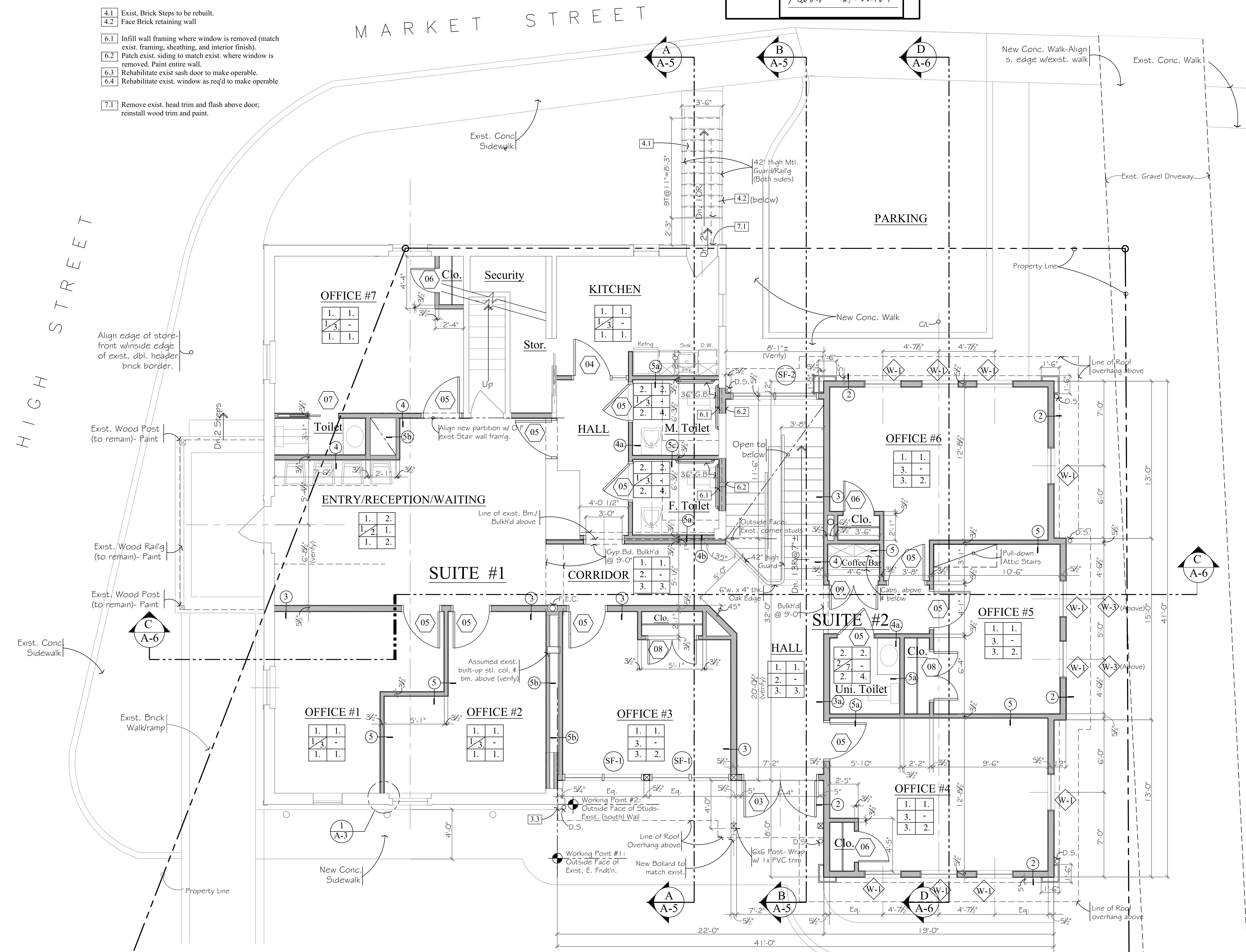
REVISIONS

SCALE  
1/4" = 1'-0"

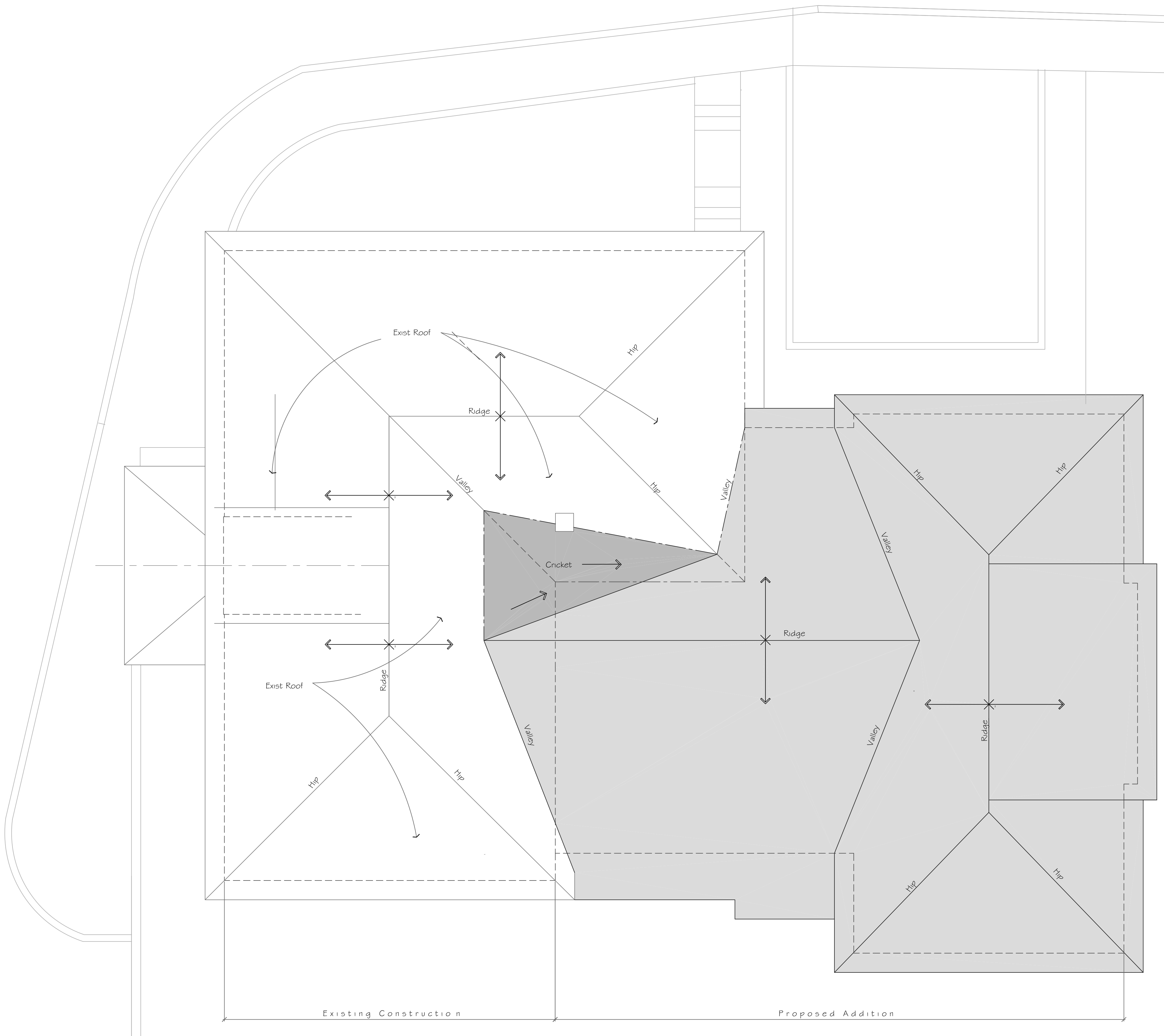
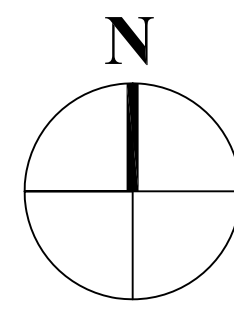
DATE  
09 August, 2023

DRAWING NO.

**A-3**



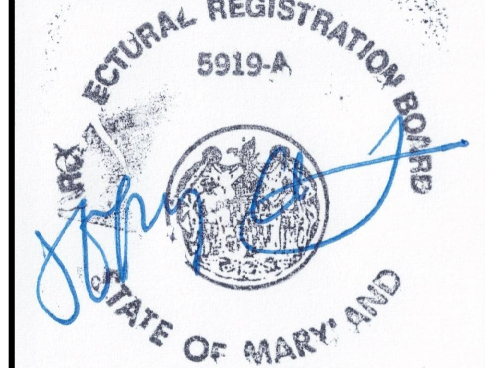
**WALL INTERSECTION 1**  
Scale: 1/2" = 1'-0"



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By Michael Kyne at 12:56 pm, Oct 31, 2023

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Montgomery County  
Historic Preservation Commission  
*Robert A. ...*

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**Addition and Alterations to**  
**#1 HIGH STREET**  
Brookville, MD 20833  
for **SAJID S. NIAZI**

TITLE  
**ROOF PLAN**

REVISIONS

SCALE  
1/4" = 1'-0"

DATE  
09 August, 2023

DRAWING NO.

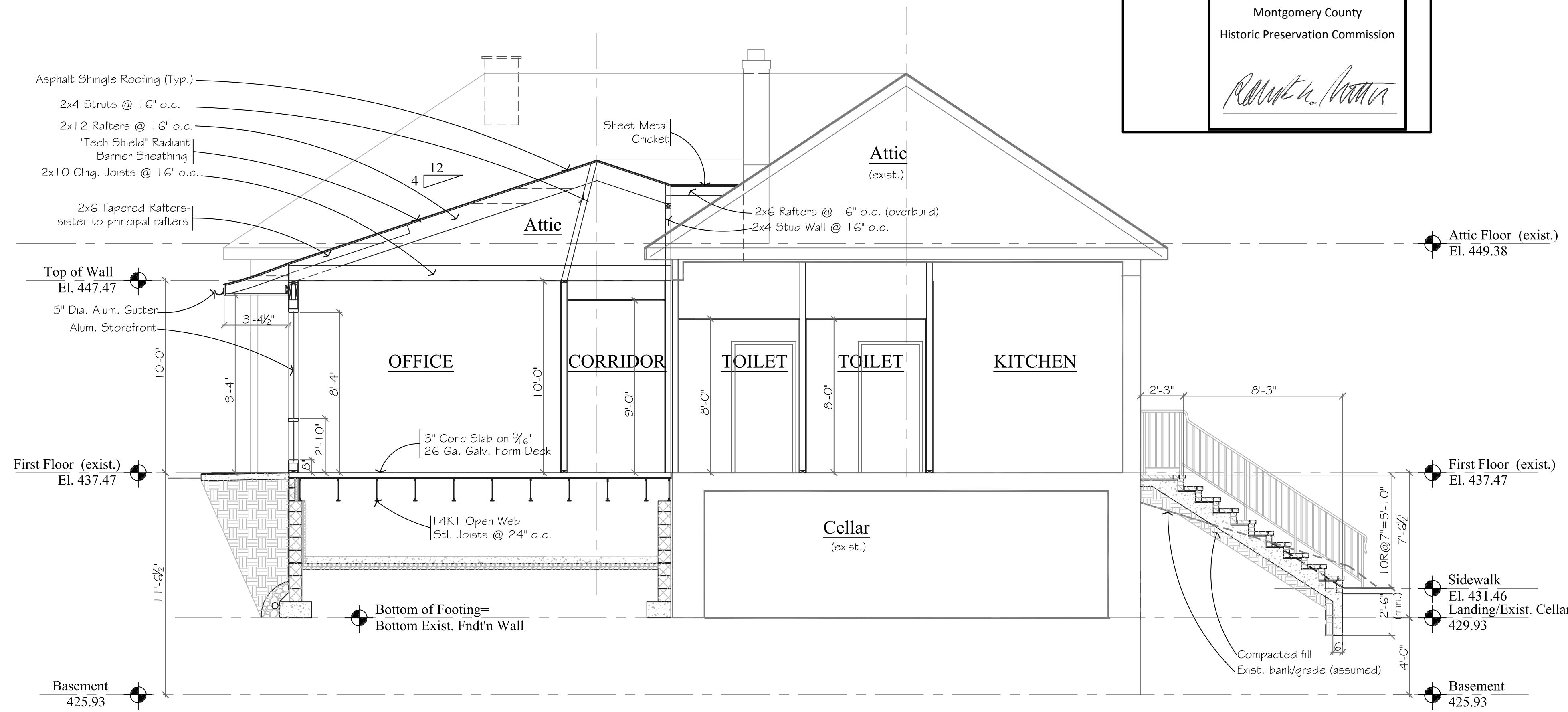
**A-4**

**Jeffrey A. Lees, AIA**  
**ARCHITECT**  
Baltimore, MD 410-377-8009  
Corolla, NC 252-453-4335

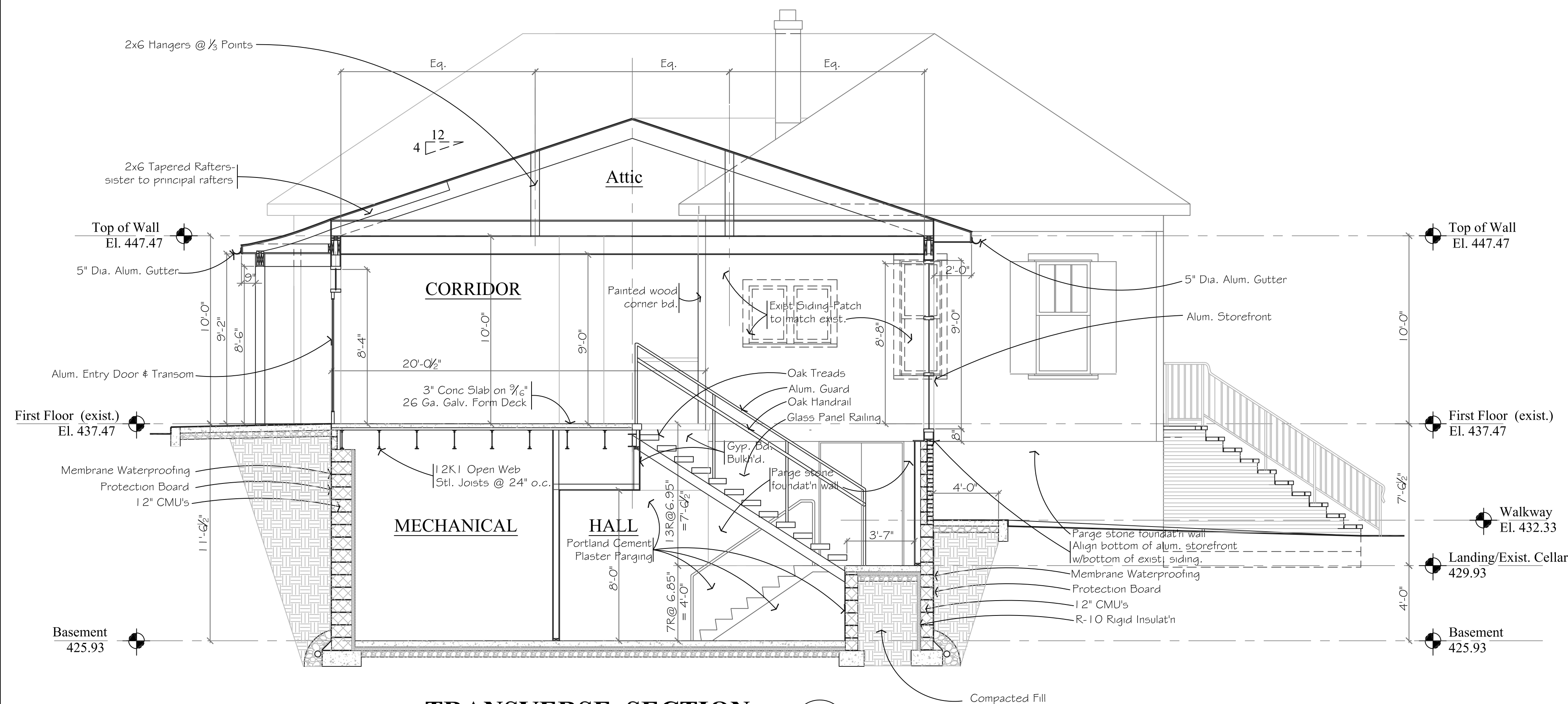
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Historic Preservation Commission

*Robert L. ...*



**TRANSVERSE SECTION** (A-A)  
A-5



**TRANSVERSE SECTION** (B-B)  
A-5

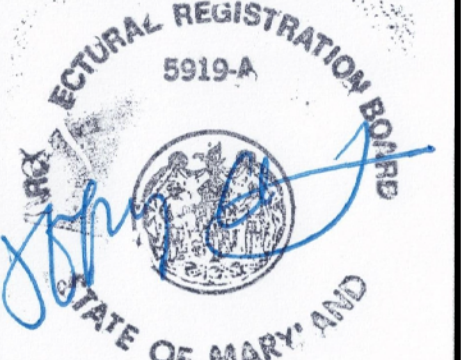
**WINDOW WALL @ STAIRS**

Scale: 1/2" = 1'-0"

1  
A-5

Jeffrey A. Lees, AIA  
ARCHITECT  
Baltimore, MD 410-377-8009  
Corolla, NC 252-453-4335

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Addition and Alterations to  
**#1 HIGH STREET**  
Brookville, MD 20833  
for SAJID S. NIAZI

TITLE  
**TRANSVERSE SECTIONS**

REVISIONS

SCALE  
1/4" = 1'-0"

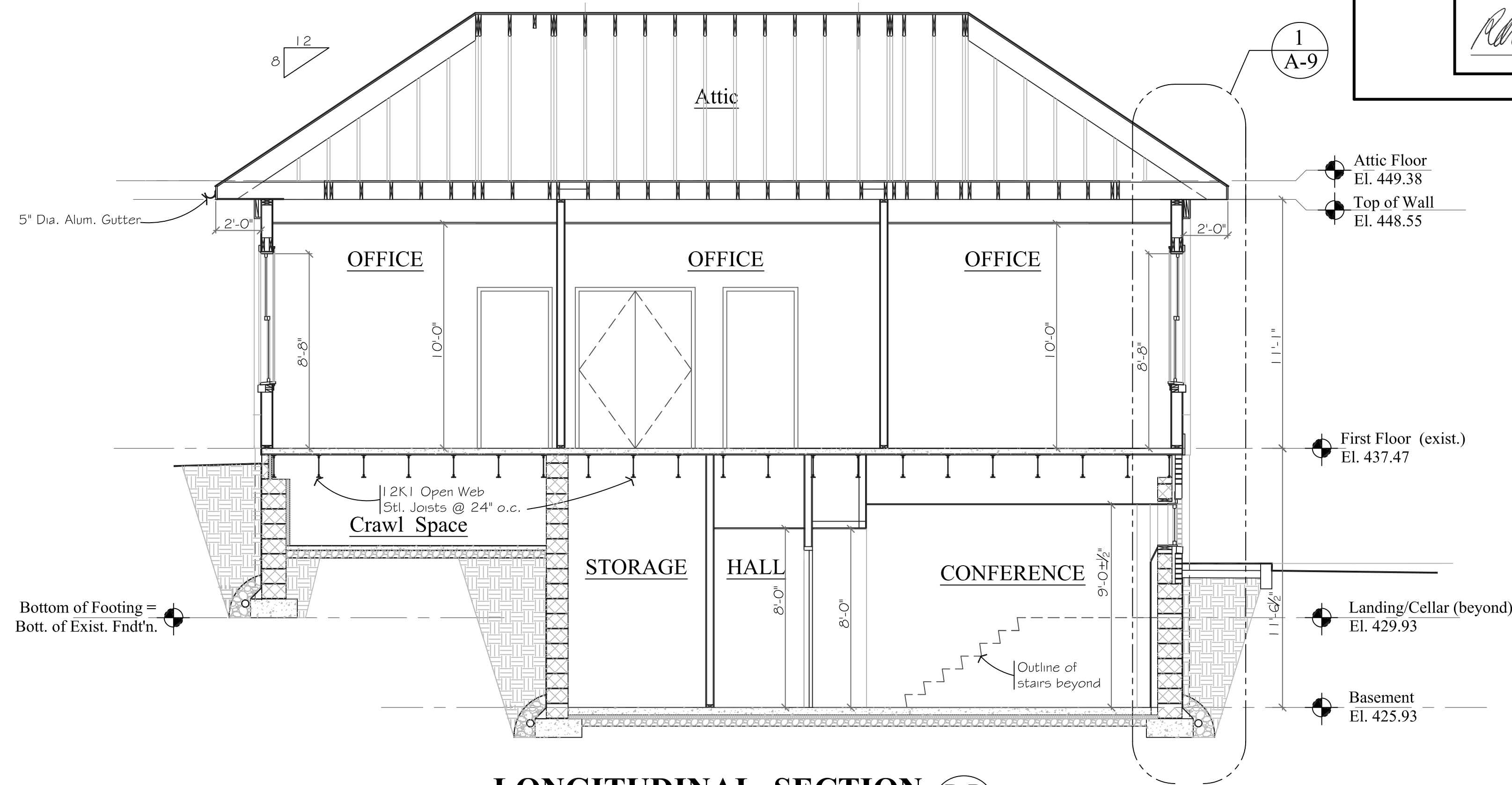
DATE  
09 August, 2023

DRAWING NO.

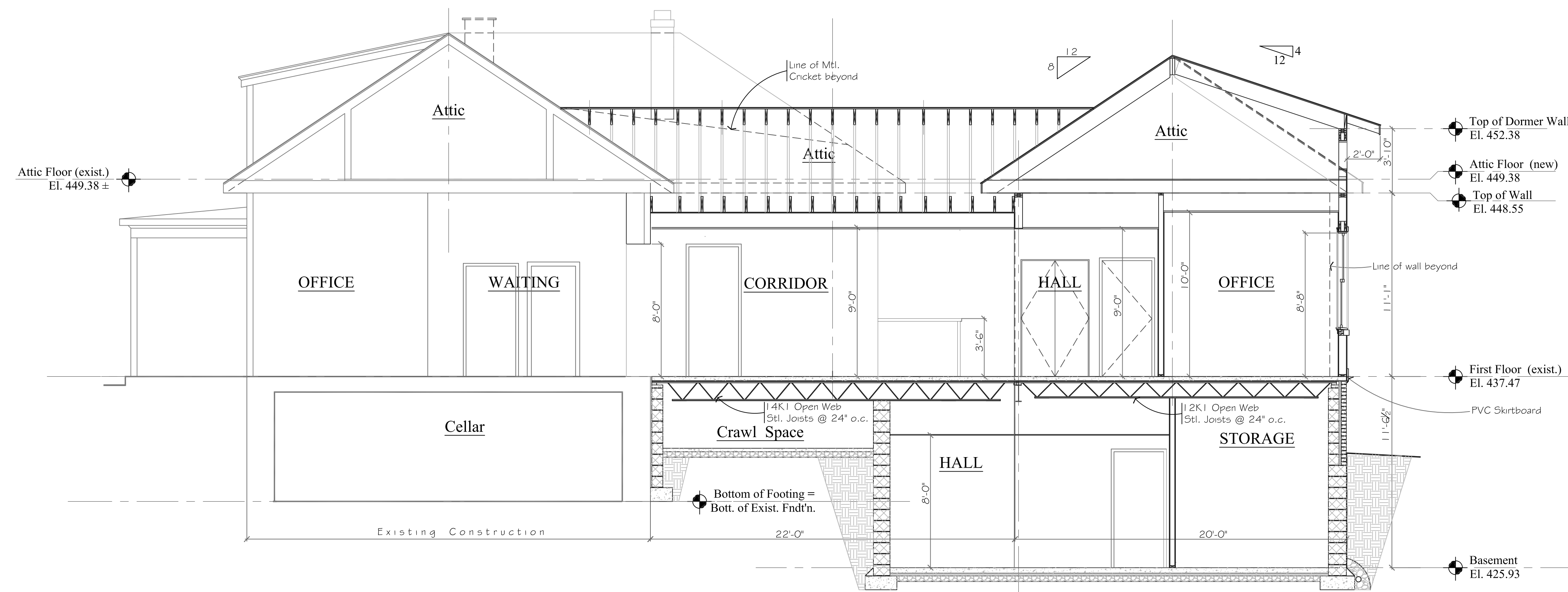
**A-5**

**REVIEWED**  
By Michael Kyne at 12:56 pm, Oct 31, 2023

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Montgomery County  
Historic Preservation Commission  
*Robert H. [Signature]*



**LONGITUDINAL SECTION D-D**  
A-6



**LONGITUDINAL SECTION C-C**  
A-6

**Jeffrey A. Lees, AIA**  
ARCHITECT  
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Corolla, NC 252-453-4335

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Addition and Alterations to  
**#1 HIGH STREET**  
Brookville, MD 20833  
for SAJID S. NIAZI

TITLE  
**LONGITUDINAL SECTIONS**

REVISIONS

SCALE  
1/4" = 1'-0"

DATE  
09 August, 2023

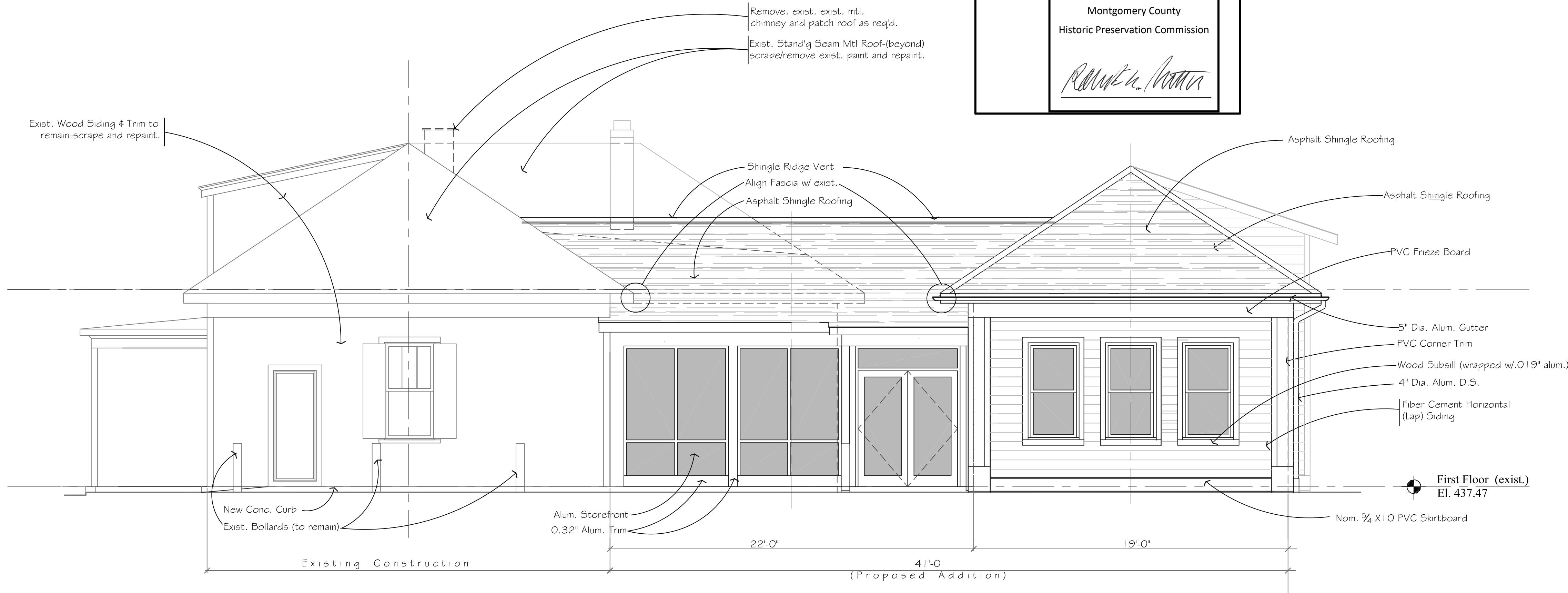
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**A-6**

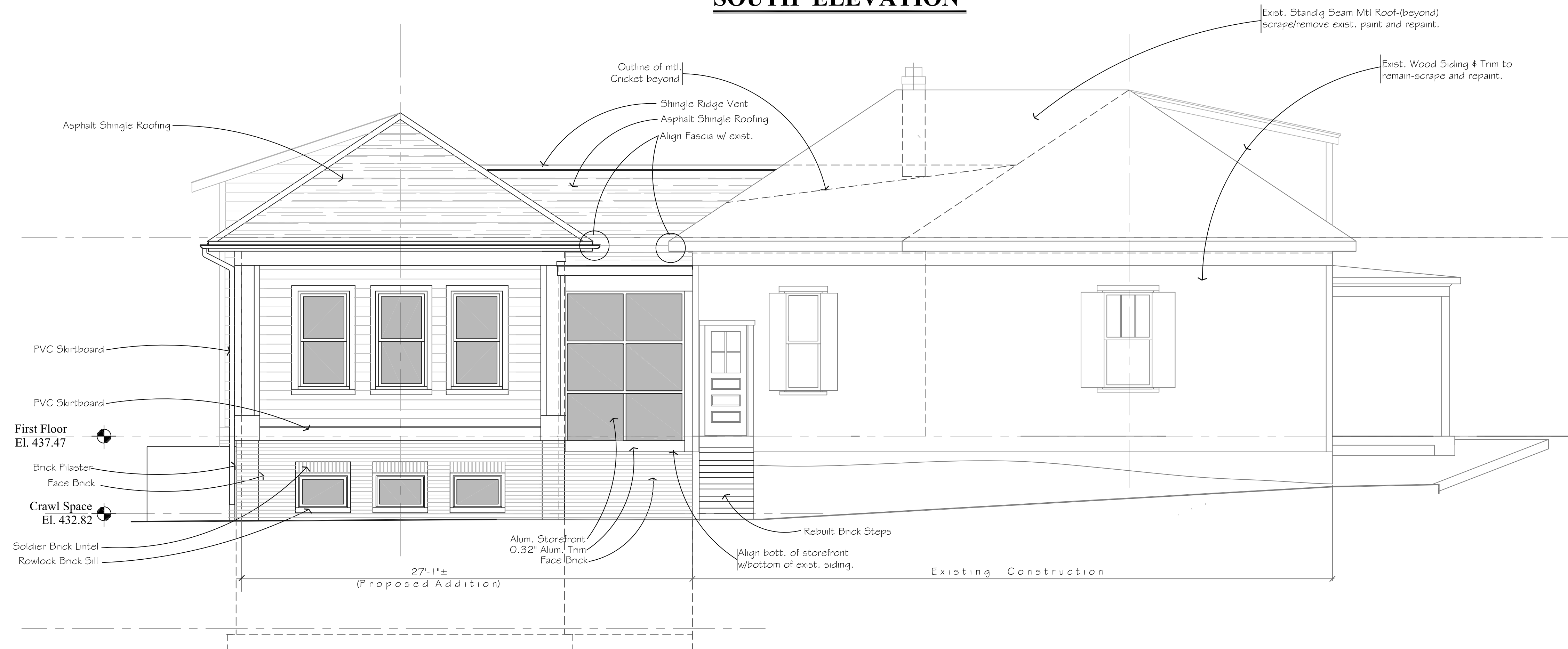
**REVIEWED**  
By Michael Kyne at 12:56 pm, Oct 31, 2023

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Montgomery County  
Historic Preservation Commission

*Robert L. ...*



**SOUTH ELEVATION**



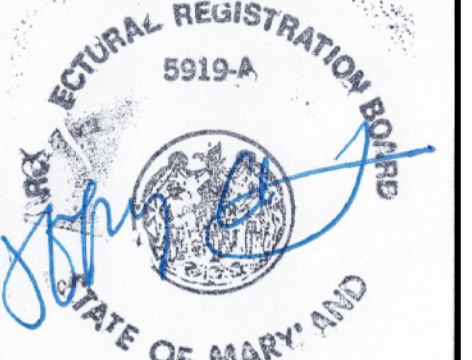
**NORTH ELEVATION**

Jeffrey A. Lees, AIA

ARCHITECT

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Corolla, NC 252-453-4335

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Addition and Alterations to

**#1 HIGH STREET**  
Brookville, MD 20833

for SAJID S. NIAZI

TITLE  
**NORTH & SOUTH ELEVATIONS**

REVISIONS

SCALE  
1/4" = 1'-0"

DATE  
09 August, 2023

DRAWING NO.

**A-7**

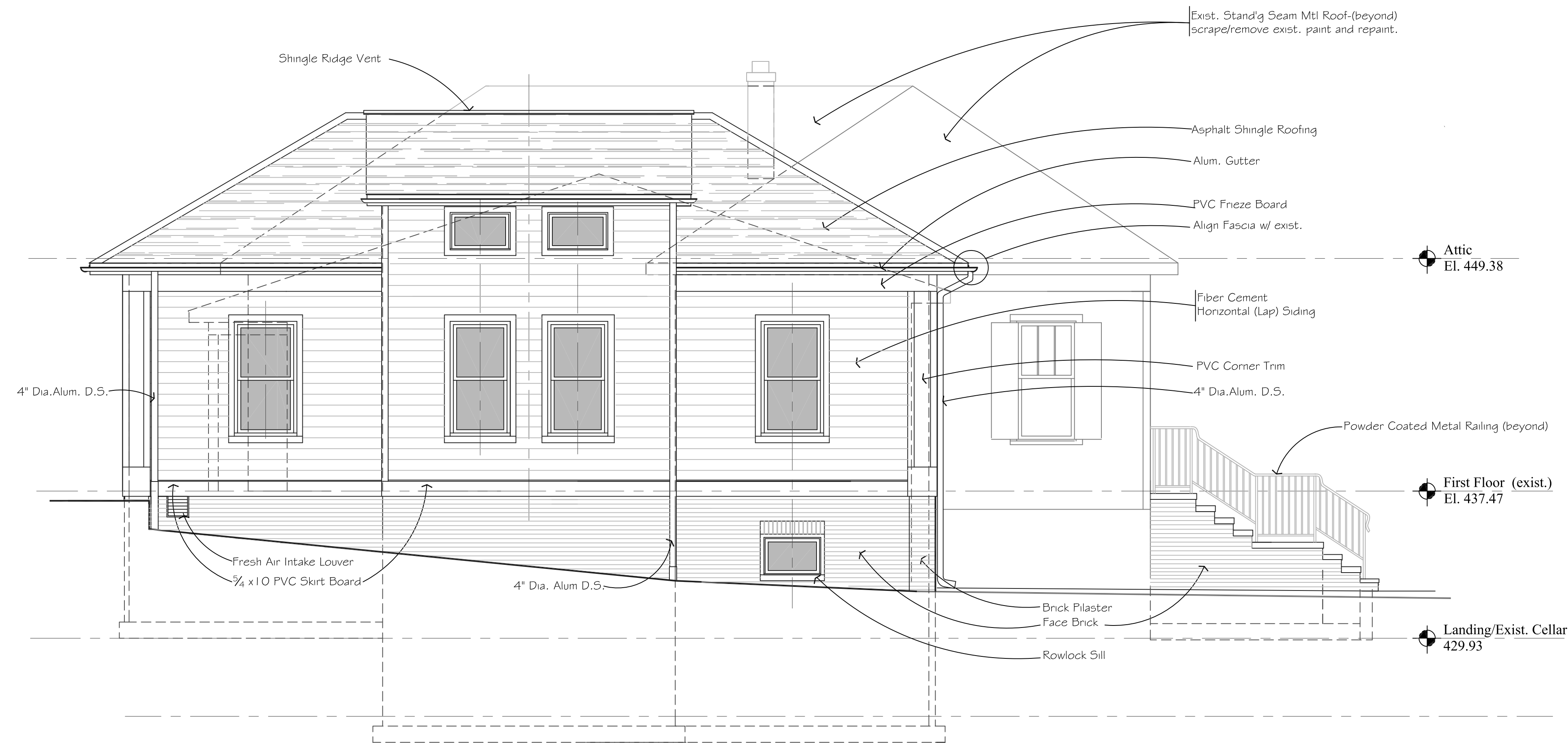
**REVIEWED**  
By Michael Kyne at 12:56 pm, Oct 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission

*Robert H. [Signature]*



**WEST (front) ELEVATION**



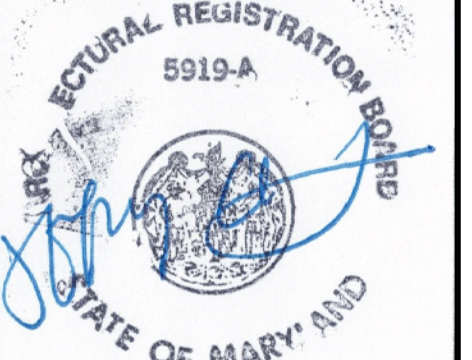
**EAST ELEVATION**

Jeffrey A. Lees, AIA

ARCHITECT

Baltimore, MD 410-377-8009  
Corolla, NC 252-453-4335

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Addition and Alterations to

**#1 HIGH STREET**  
Brookville, MD 20833

for SAJID S. NIAZI

TITLE  
**EAST & WEST ELEVATIONS**

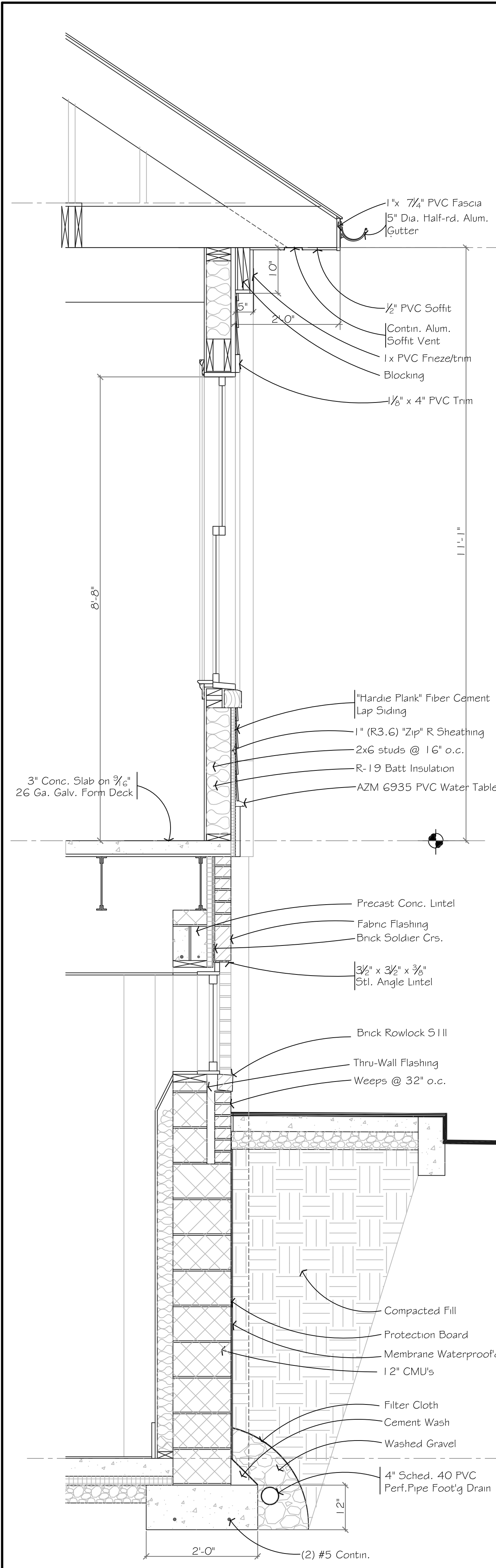
REVISIONS

SCALE  
1/4" = 1'-0"

DATE  
09 August, 2023

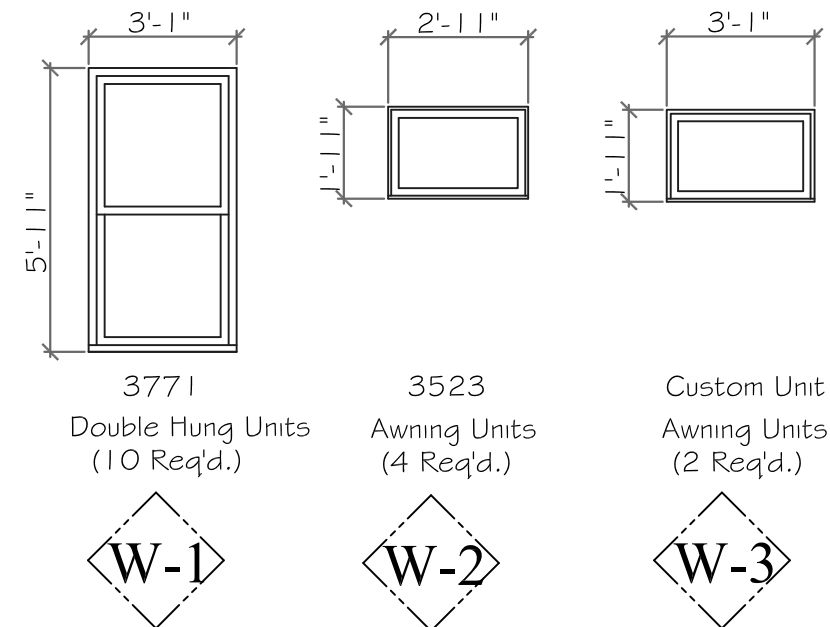
DRAWING NO.

**A-8**



**TYPICAL WALL SECTION**  
Scale: 3/4" = 1'-0"  
1  
A-9

**WINDOW SCHEDULE**

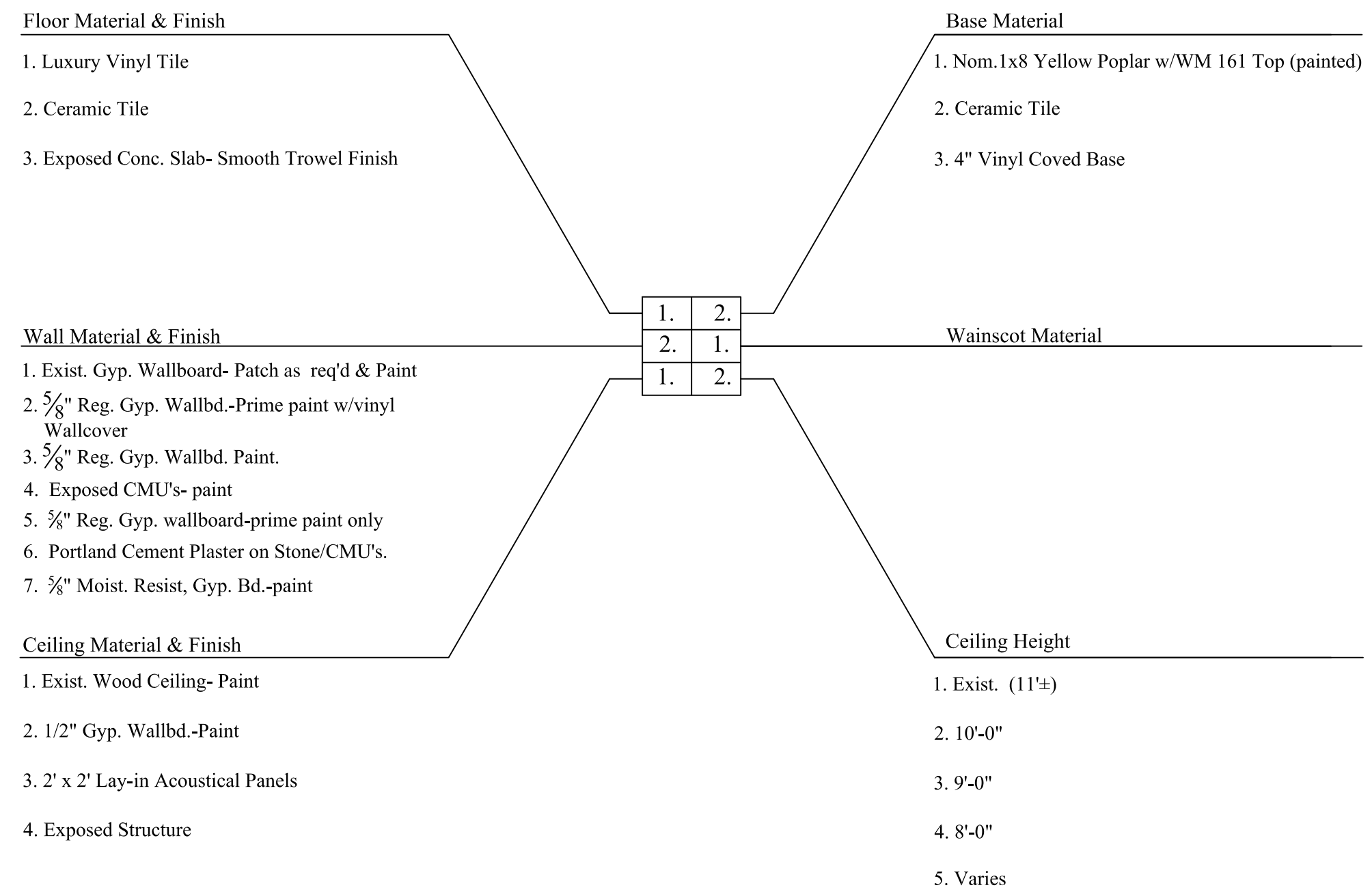


- Window Notes**
1. Window designations for size and budgeting based on Pella Architect Series Traditional. Frame (unit) dimensions given.
  2. Glazing: Standard Low E 4 Glass, NFRC Unit Performance as follows:  
Double Hungs: U factor 0.29, SHGC 0.30  
Awnings: U Factor 0.27, SHGC 0.25
  3. Exterior cladding color/finish: White
  4. Interior Sash: White
  5. Hardware: Essential Collection-White finish
  6. Furnish "InView" screens for all operable units.
  7. Prep all units for stool & apron.

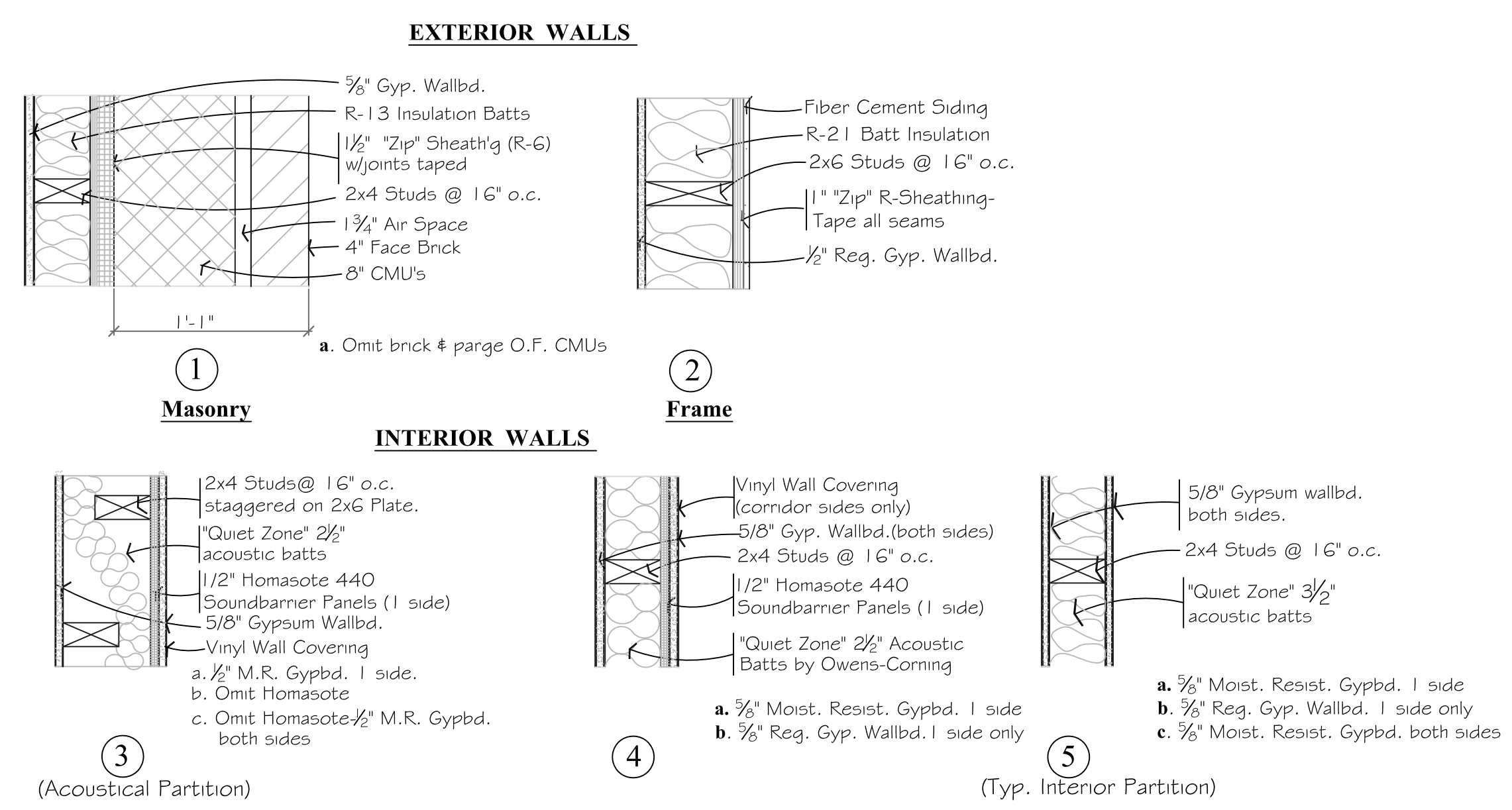
**REVIEWED**  
By Michael Kyne at 12:56 pm, Oct 31, 2023

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Montgomery County  
Historic Preservation Commission  
*Robert H. [Signature]*

**FINISH SCHEDULE**



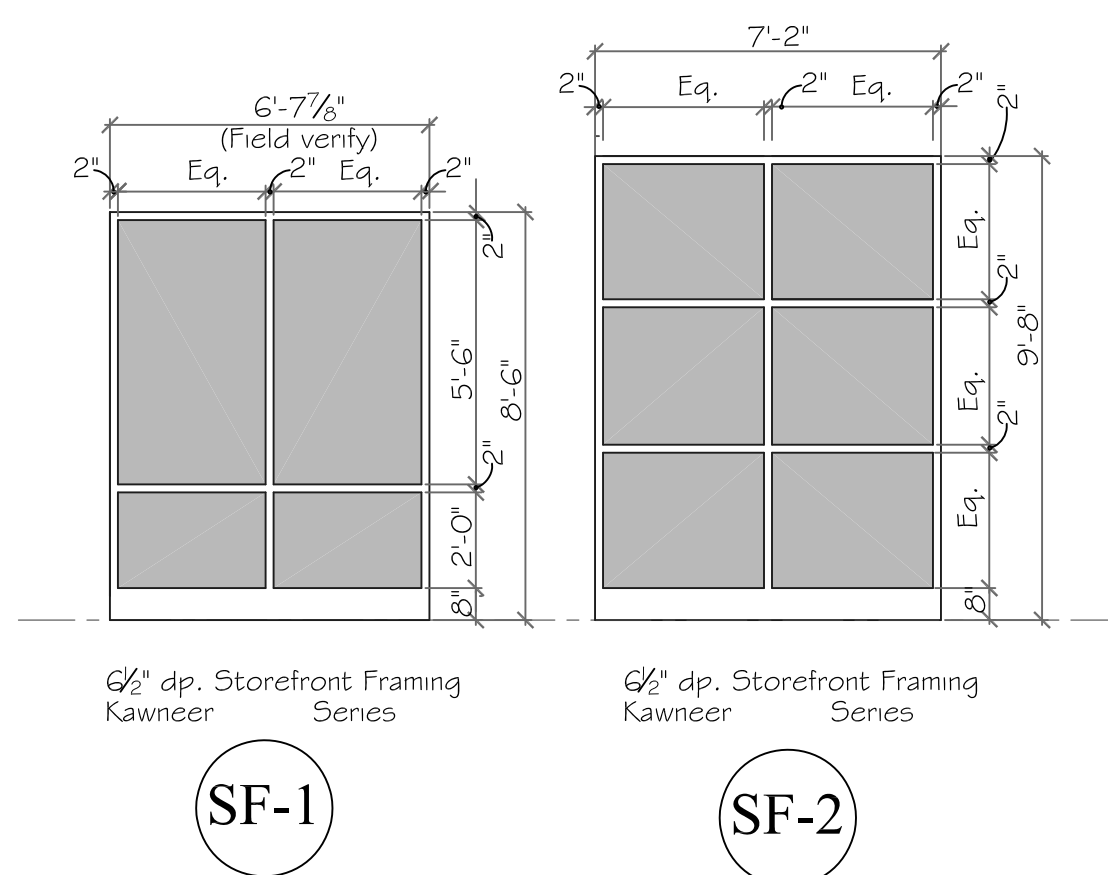
**WALL TYPES**  
Scale: 1/2" = 1'-0"



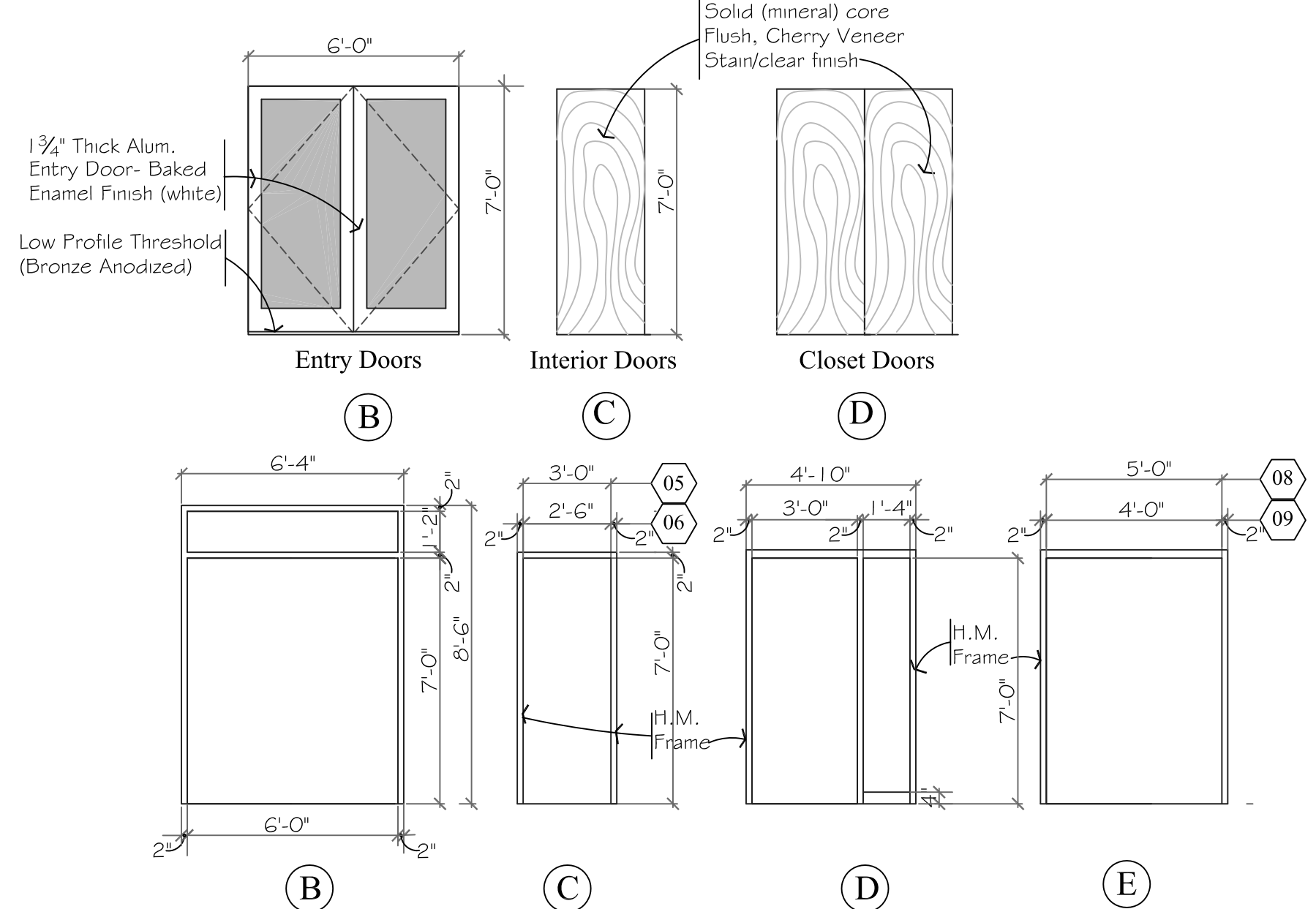
**DOOR SCHEDULE**

Number	DOOR			FRAME					Remarks		
	Type	Construction	Finish	Type	Head	Jamb	Transom	Sidelight		Construction	Finish
03	B		Pr. 3'-0" x 7'-0" x 1 3/4"	B							
04	C		3'-0" x 7'-0" x 1 3/4"	D							
05	C		3'-0" x 7'-0" x 1 3/4"	C							
06	C		2'-6" x 7'-0" x 1 3/4"	C							
07	C		2'-6" x 7'-0" x 1 3/4"	F							
08			Pr. 2'-0" x 7'-0" x 1 3/4"	E							

**STOREFRONT SCHEDULE**



**DOOR & FRAME TYPES**



**Door Notes**

1. Furnish all interior doors with wrap-around type hollow metal frames.
2. All doors shall have 1 1/2" pairs of 4 1/2" x 4 1/2" rounded edge butt hinges. Finish: Brushed Chrome.
3. Furnish exterior doors with automatic closers, magnetic weatherstripping, and entrance type bored lockset with lever handles. Finish: Brushed Chrome. Key per owner direction.
4. Furnish cylindrical bored passage (latch) sets with lever type handles for interior doors, except all Toilet Rooms shall have privacy lock. Trim finish: Brushed chrome.
5. Furnish all Office doors with Pemko Acoustic Seal Sets (Pemko-STCSET-1E) by Assa Abloy. Mortise Office doors to receive Automatic Door Bottoms.

**Jeffrey A. Lees, AIA**  
**ARCHITECT**  
Baltimore, MD 410-377-8009  
Corolla, NC 252-453-4335

**SAJID S. NIAZI**  
for SAJID S. NIAZI  
20833  
Brookville, MD

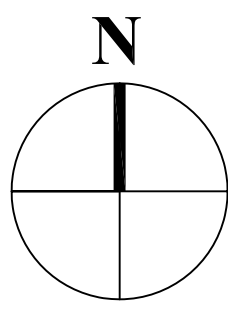
**SECTIONS & SCHEDULES**

REVISIONS

SCALE  
1/4" = 1'-0"

DATE  
09 August, 2023

DRAWING NO.  
**A-9**



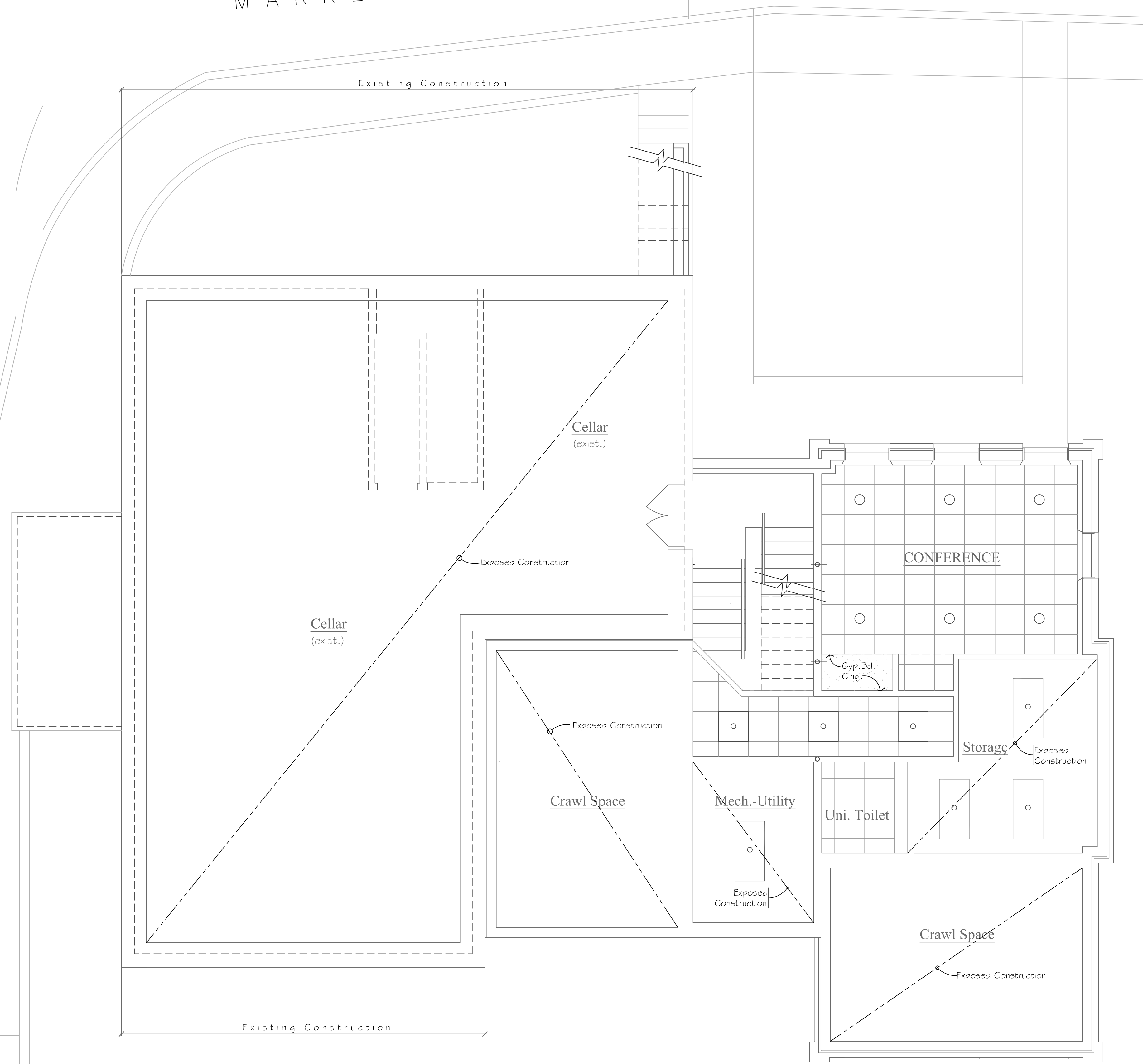
**REVIEWED**  
By Michael Kyne at 12:56 pm, Oct 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission

*Robert H. ...*

MARKET STREET

HIGH STREET

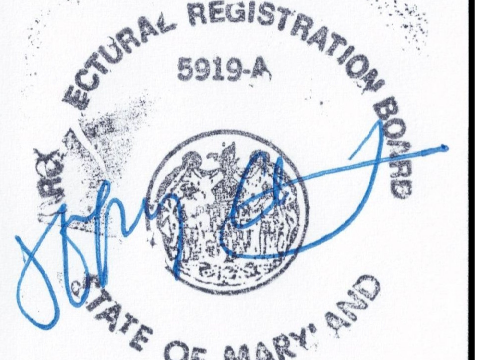


Jeffrey A. Lees, AIA

ARCHITECT

Baltimore, MD 410-377-8009  
Corolla, NC 252-453-4335

I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 5919-A, expiration date 04-01-24



Addition and Alterations to

**#1 HIGH STREET**

Brookville, MD 20833

for SAJID S. NIAZI

TITLE

**BASEMENT  
REFLECTED  
CLNG. PLAN**

REVISIONS

SCALE

1/4" = 1'-0"

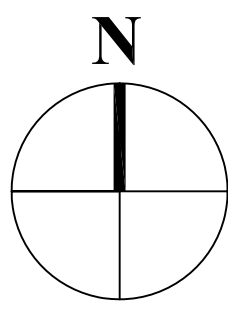
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07 August, 2023

DRAWING NO.

**A-10**



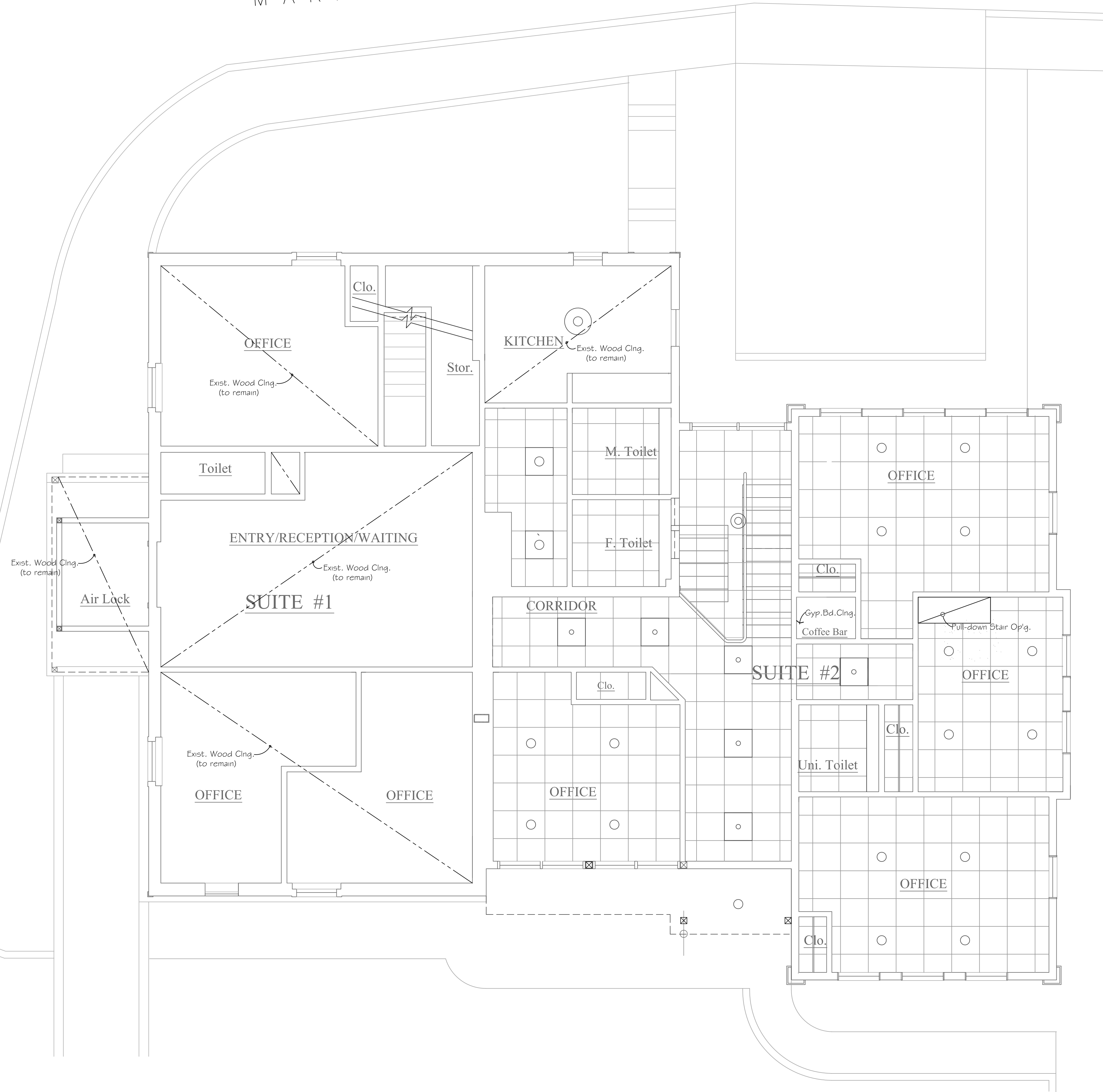


**REVIEWED**  
By Michael Kyne at 12:56 pm, Oct 31, 2023

APPROVED  
Montgomery County  
Historic Preservation Commission

MARKET STREET

HIGH STREET

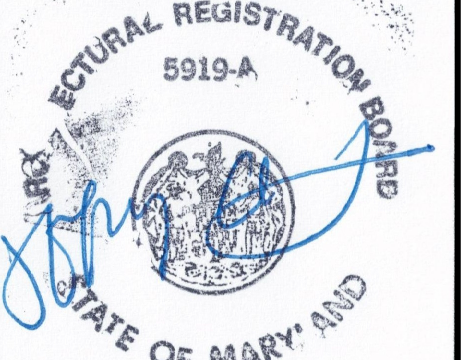


Jeffrey A. Lees, AIA

ARCHITECT

Baltimore, MD 410-377-8009  
Corolla, NC 252-453-4335

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Addition and Alterations to

**#1 HIGH STREET**

Brookville, MD 20833

for SAJID S. NIAZI

TITLE  
**FIRST FLOOR  
REFLECTED  
CLNG. PLAN**

REVISIONS

SCALE  
1/4" = 1'-0"

DATE  
09 August, 2023

DRAWING NO.

**A-11**

PART I: GENERAL

**REVIEWED**

*By Michael Kyne at 12:58 pm, Oct 31, 2023*

- 1.01 Description: This section specifies the fabrication, finishing and installation of interior floating stairs, aluminum railings/guards for the interior stairs, and exterior ornamental aluminum railings for the side entry stairs
- 1.02 System Performances: Provide railing and handrails as specified and installed, comply with the following minimum performance:
  - A. Handrails and Toprails: Capable of withstanding the loads indicated:
    - 1. Concentrated load of 200lb./ft. applied vertically at any point
  - B. Balusters or pickets: Capable of withstanding the loads indicated over gross area of guard.
- 1.03 Submittals:
  - A. Shop Drawings: Submit shop drawings for fabrication and erection of interior floating stairs, handrails, guards, and railings for both interior and exterior stairs. Include plans, elevations, and details of fittings, connections, and anchorages to other work. Provide templates for anchor and bolt installation by others.
  - B. Samples/Mock-ups: Submit 2' wide full size exterior ornamental railing sample/mock-up to architect for submission to Historic District Commission.



PART II: PRODUCTS

- 2.01 Acceptable Manufacturers/Products:
  - A. Exterior Stairs:
    - 1. Ornamental Handrail: Aluminum Alloy 6063-T52, mill finish. Terminate handrail at bottom (starter) step with Bevel Lamb's Tongue-Julius Blum & Co. # 6934-B, and at house wall with square terminal #6934-E.
    - 2. Pickets: Bar stock, Aluminum Alloy 6063-T52, mill finish, bar stock, 3/4" square bars, length as shown on drawings.
    - 3. Starter Posts: 1-1/4" Sq. Aluminum Tubing
    - 4. Top and Bottom Channels: 1-1/4" x 3/4" (top) and 1-1/4" x 1-1/4" (bottom)
    - 5. Fasteners: Use fasteners of same basic metal as the fastened metal, unless otherwise indicated. Do not use metals which are corrosive or incompatible with materials joined. Provide concealed fasteners for interconnection of handrail and railing components and for their attachment to other work, except where exposed fasteners are unavoidable or are the standard fastening method for handrail and railing system indicated.
    - 6. Anchors and inserts: Provide anchors of proper type, size, and material for type of loading and installation condition shown, as recommended by manufacturer, unless otherwise indicated. Furnish inserts, as required, to be set

into concrete or masonry work

**REVIEWED**

**By Michael Kyne at 12:58 pm, Oct 31, 2023**

B. Interior Floating Stairs:

- 1. Manufacturer: View Rail Flight Mono stringer system w/open risers, and solid red oak treads.
- 2. Guard Rails:
  - a. Top Rails and posts: Aluminum, square (black).
  - b. Balustrade: 1/2" tempered glass panel
  - c. Handrails: 2-1/4" dia. Red Oak



2.02 Fabrication:

- A. Welded Connections: Fabricate handrails below for interconnections of members by with applicable AWS specifications, using finish indicated. Grind exposed welds smooth with adjoining surfaces.

2.03 Metal Finishes: (Aluminum)

- A. General: Comply with NAAM "Metal Finishes Manual" for recommendations and designations of finishes.
- B. Preparation: Clean surfaces of dirt, grease, and loose rust or mill scale, followed by a conversion coating of type suited to organic coating applied over it.
- C. Furnish exterior railing and handrail components with factory applied Powder Coat Finish (Black). Coordinate selection of paint with finish paint requirements specified in Division 9.

PART III: EXECUTION

3.01 Preparation:

- A. Coordinate setting drawings, diagrams, templates, instructions, and directions for installation of anchorages, such as sleeves, concrete inserts, anchor bolts, and miscellaneous items having integral anchors, which are to be embedded in concrete as masonry construction. Coordinate delivery of such items to project site.
- B. Field Measurements: Take field measurements prior to preparation of shop drawings and fabrication, where possible. Do not delay job progress; allow for adjustments during installation where taking field measurements before might delay work.

3.02 Installation:

- A. Fit exposed connections accurately together to form tight, hairline joints.
- B. Perform cutting, drilling and fitting required for installation of handrails and railings, set work accurately in location, alignment, and elevation, plumb, level, true and free of rack, measured from established lines and levels. Do not weld, cut or abrade surfaces of handrails and railing components which have been coated or finished after fabrication, and are intended for field connection by mechanical means without further cutting or fitting.
- C. Field Welding: Comply with applicable AWS specification for procedures of manual shielded metal-arc welding, for appearance and quality of welds made, and for methods used in correcting welding work. Weld connections which are not to be left as exposed joints, but cannot be shop welded because of shipping size limitations. Grind exposed joints smooth and touch-up shop paint coat.
- D. Adjust handrails and railings prior to anchoring to ensure matching alignment at abutting joints. Space posts at interval indicated, or if not indicated, as required by design loadings.
- E. Field Painting: See Division 9.

3.03 Adjust and Clean:

- A. Touch-up Painting: Immediately after erection, clean field welds and abraded areas of paint finish, and paint any exposed areas with same material.

\*\*\*\*\*

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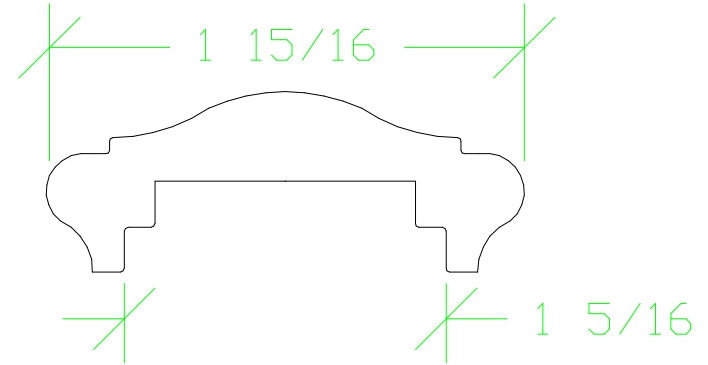
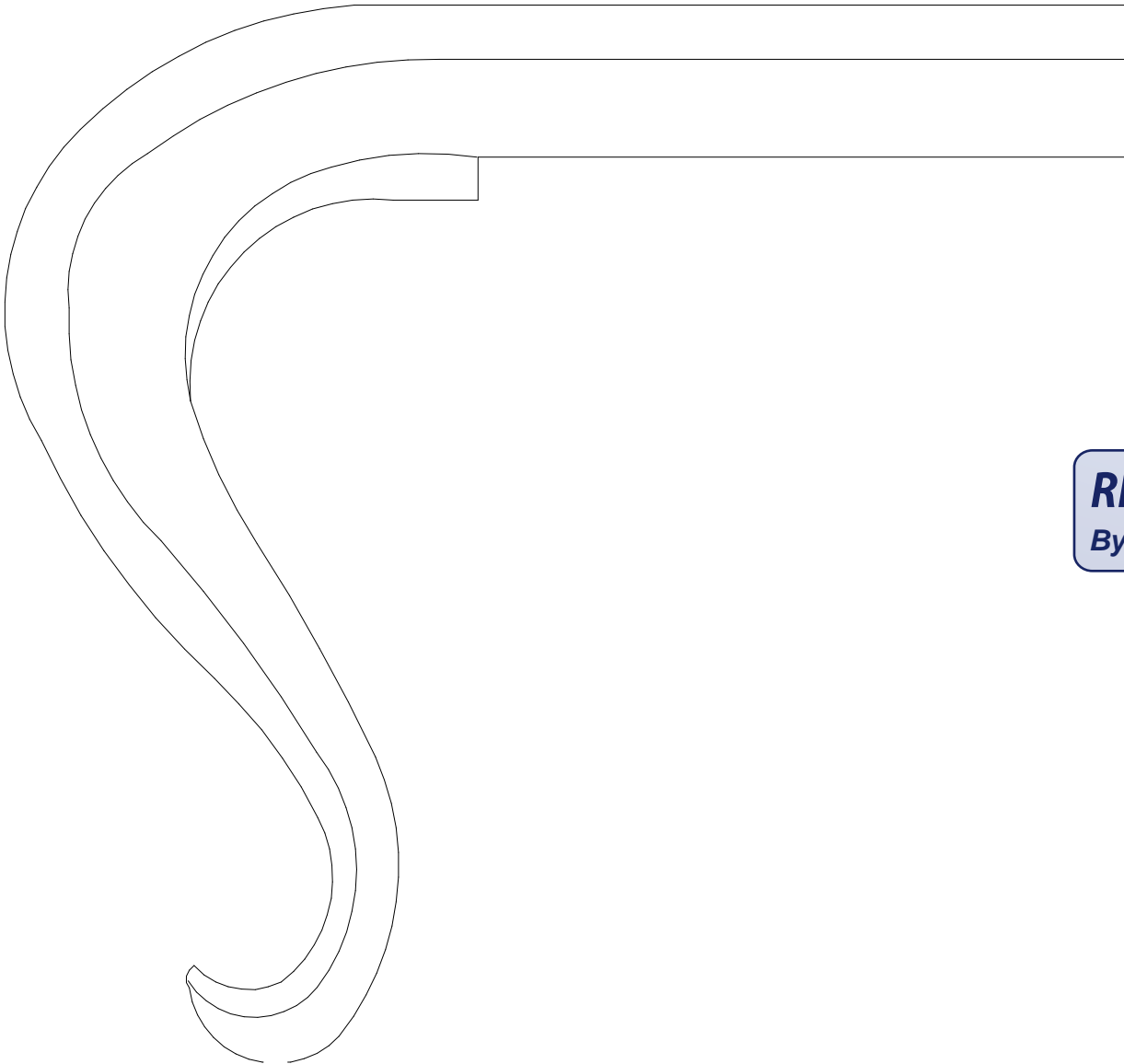
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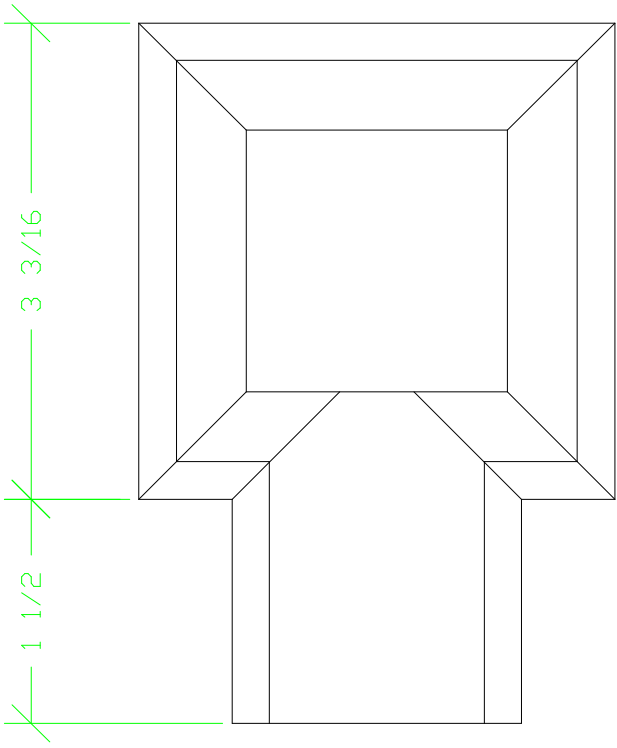


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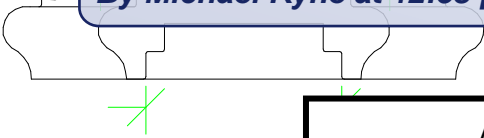


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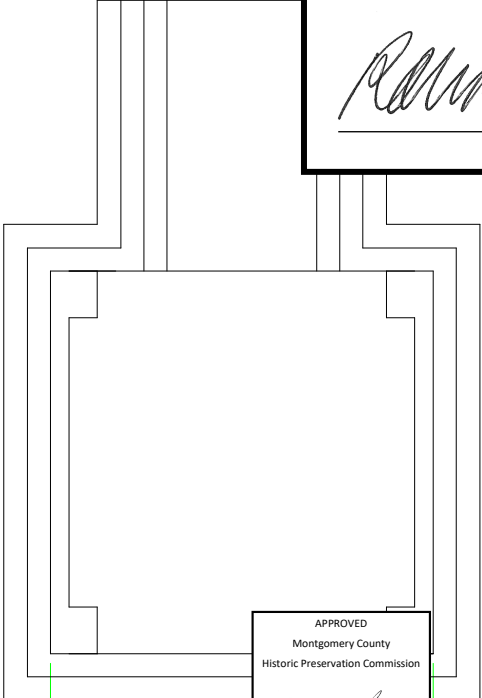


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1-15/16"

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1-1/16"

1-5/16"

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*Robert H. Potter*



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★★★★★ (9) Questions & Answers (3)



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Product Details

Specifications

Dimensions

Actual backer rail length (in.)	95.875 in
Actual backer rail thickness (in.)	1.75 in
Actual backer rail width (in.)	2.75 in

Actual panel height (in.)	48 in
Actual panel thickness (in.)	2.438 in
Actual panel width (in.)	95.875 in
Actual Picket Length (in.)	
Actual picket thickness (in.)	0.688 in
Actual picket width (in.)	2.75 in
Nominal backer rail length (in.)	96 in
Nominal backer rail thickness (in.)	2 in
Nominal backer rail width (in.)	3 in
Nominal panel height (ft.)	4 ft
Nominal panel width (ft.)	8 ft
Nominal picket length (ft.)	4 ft
Nominal picket thickness (in.)	1 in
Nominal picket width (in.)	3 in

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## Details

Color Family	White
Color/Finish	Cedar
Contact Type Allowed	Above Ground
Features	Paintable, Stainable
Fencing Installation Type	Surface Mounted
Fencing Product Type	Wood Fence Panels
Includes	No Additional Items Included

Material	Wood
Nominal panel thickness (in.)	2.5 in
Number of pickets for panels	16
Number of rails for panels	
Panel Assembly	Assembled Panel
Panel Design	Spaced
Panel Top Shape	Flat
Picket Top Style	French C
Product Weight (lb.)	65 lb
Recommended Fastener	Screws
Structure Type	Temporary

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### Warranty / Certifications

Manufacturer Warranty	see store for details
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How can we improve our product information? Provide feedback.

### Questions & Answers

3 Questions

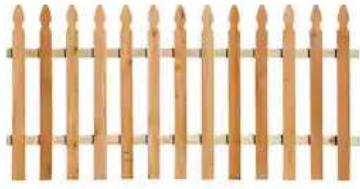


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**\$137**<sup>19</sup> /package

Concord 5 ft. H x 3.2 ft. W Pressure Treated Cedar Wood Slatted Panel Flat Top Privacy Fence Screen 1 Panel

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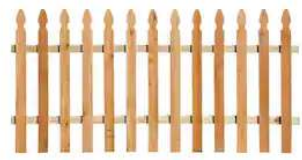


**Outdoor Essentials**  
3-1/2 ft. x 8 ft. Western Red Cedar Privacy Flat Top Fence Panel Kit

★★★★★ (38)

**\$88<sup>80</sup>** /package






**Outdoor Essentials**  
3-1/2 ft. x 8 ft. Western Red Cedar Spaced Picket French Gothic Fence Panel Kit

★★★★★ (54)

**\$95<sup>61</sup>**



Concord 5 ft. H x 3.2 ft. W Pressure Treated Cedar Wood Slatted Panel Flat Top Privacy Fence Screen 1 Package

★★★★★ (9)

**\$118<sup>76</sup>**

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<b>Nominal panel height (ft.)</b>	4 ft	4 ft	
<b>Features</b>	Paintable, Stainable	Paintable, Stainable	
<b>Nominal panel width (ft.)</b>	8 ft	8 ft	3.2 ft
<b>Panel Design</b>	Spaced Picket	Privacy	Privacy

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**Picket Top Style**

French Gothic

Flat Top

French Gothic

Flat Top

**Loading Recommendations**

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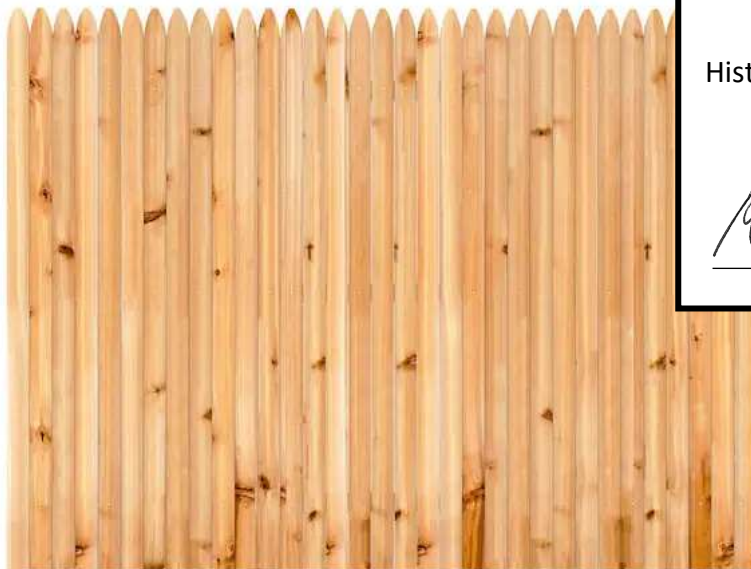
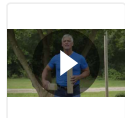
Internet # 312596971 Model # 405799 Store SKU # 1000967431

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### 6 ft. x 8 ft. Cedar Moulded Stockade Fence Panel

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### Product Details

### Specifications

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### Dimensions

Actual backer rail length (in.)	96 in
Actual backer rail thickness (in.)	1.5 in
Actual backer rail width (in.)	2.5 in
Actual panel height (in.)	72 in
Actual panel thickness (in.)	2.125 in
Actual panel width (in.)	96 in
Actual Picket Length (in.)	72 in
Actual picket thickness (in.)	0.688 in
Actual picket width (in.)	2.875 in
Nominal backer rail length (in.)	96 in
Nominal backer rail thickness (in.)	2 in
Nominal backer rail width (in.)	3 in
Nominal panel height (ft.)	6 ft
Nominal panel width (ft.)	8 ft
Nominal picket length (ft.)	6 ft
Nominal picket thickness (in.)	1 in
Nominal picket width (in.)	3 in

### Details

Color Family	Brown
Color/Finish	Wood

Contact Type Allowed	Above Ground
Features	Paintable, Stainable
Fencing Installation Type	No Dig
Fencing Product Type	Wood Fence Panels
Includes	<b>REVIEWED</b> <small>Items Included</small> By Michael Kyne at 12:58 pm, Oct 31, 2023
Material	Wood
Nominal panel thickness (in.)	2.125 in
Number of pickets for panels	33
Number of rails for panels	3
Panel Assembly	Assembled
Panel Design	Privacy
Panel Top Shape	Flat
Picket Top Style	French Gothic
Product Weight (lb.)	67 lb
Recommended Fastener	Nails
Structure Type	Ornamental, Permanent



### Warranty / Certifications

Manufacturer Warranty	N/A
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### Questions & Answers

5 Questions

### Customer Reviews

3.6 out of 5 ★★★★★ (9)

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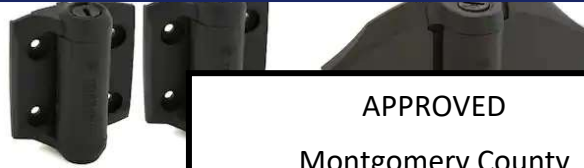


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