



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert Sutton
Chairman

Date: February 22, 2024

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Rebecca Ballo
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #REV 1003919 -Revisions to previously approved HAWP for removal of a brick retaining wall and grading.

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the February 21, 2024 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Sajid Niazi
Address: 1 High Street, Brookeville

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Rebecca Ballo at 301.563.3404 or rebecccah.ballo@montgomeryplanning.org to schedule a follow-up site visit.





**APPLICATION FOR
HISTORIC AREA WORK PERMIT**
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP# 1003919
DATE ASSIGNED _____

APPLICANT:

Name: Sajid Niazi
Address: 2624 Dapple Grey Ct
Daytime Phone: 410-507-1316

E-mail: sajniazi@yahoo.com
City: Olney Zip: 20832
Tax Account No.: 03331876

AGENT/CONTACT (if applicable):

Name: _____
Address: _____
Daytime Phone: _____

E-mail: _____
City: _____ Zip: _____
Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property 1 High Street Brookville MD 20833

Is the Property Located within an Historic District? Y Yes/District Name Brookville
 ___ No/Individual Site Name _____

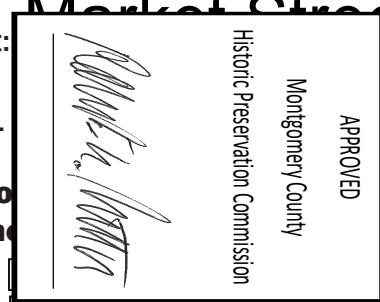
Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: 1 Street: High Street
Town/City: Brookville Nearest Cross Street: Market Street
Lot: 58 Block: _____ Subdivision: 05

TYPE OF WORK PROPOSED: See the checklist on Page 4 to
for proposed work are submitted with this application. In
be accepted for review. Check all that apply:

- | | |
|--|--|
| <input checked="" type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch |
| <input checked="" type="checkbox"/> Addition | <input type="checkbox"/> Fence |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof |


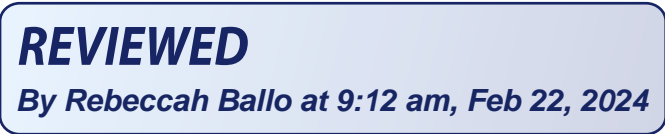


REVIEWED removal/planting
window/Door
By Rebecca Ballo at 9:12 am, Feb 22, 2024

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Sajid Niazi Sajid Niazi 2/1/24
Signature of owner or authorized agent Date

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

Owner's mailing address 2624 Dapple Grey Ct Olney MD 20832	Owner's Agent's mailing address
Adjacent and confronting Property Owners mailing addresses	
212 Market Street, Brookeville Md 20833	211 Market Street, Brookeville MD 20833
3 High Street, Brookeville MD 20833	 Historic Preservation Commission Montgomery County APPROVED
2 High Street #49, Brookeville MD 20833	 <p>REVIEWED By Rebecca Ballo at 9:12 am, Feb 22, 2024</p>

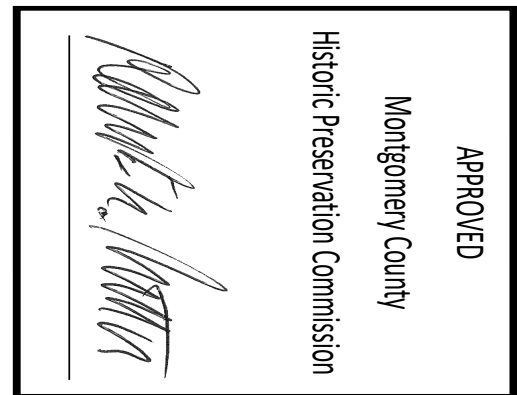
Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Continuance of HAWP 1003919. Submitting the revised plan showing the removal of the small brick wall.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Reference to Historic Area Work Permit #1003919 REV: For building addition, parking lot expansion, fence installation, and site improvements Approval with seven (7) conditions. This submission is to satisfy condition number 7 "A revised grading plan showing the removal of the brick retaining wall and the addition of any other retaining walls, if necessary, must be submitted as a revision to this HAWP#1003919 for review and approval by the HPC prior to the issuance of any building permits.

Attached is the revised plan.



REVIEWED

By Rebecca Ballo at 9:12 am, Feb 22, 2024

Work Item 1: _____

Description of Current Condition:
Continuance of HAWP 1003919. Submitting the revised plan showing the removal of the small brick wall.

Proposed Work:
See attached

Work Item 2: _____

Description of Current Condition:

Proposed Work:

Work Item 3: _____

Description of Current Condition:

Proposed Work:

**HISTORIC AREA WORK PERMIT
CHECKLIST OF
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Excavation/ Landscaping	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

NO.	DESCRIPTION	DATE

TAX MAP	WSSC
HJ2	227M03

PLAT 21826

8TH ELECTION DISTRICT
TOWN OF BROOKEVILLE
MARYLAND

**LOT 58
BROOKEVILLE**

PROJ. MGR KJH

DRAWN BY SEC

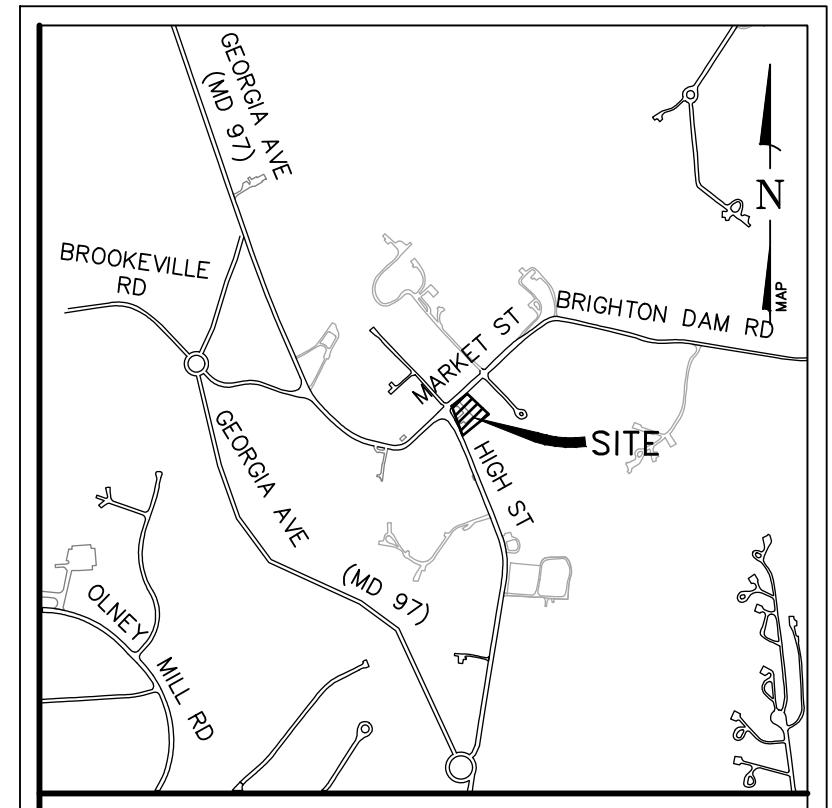
SCALE 1" = 10'

DATE 08.09.2023

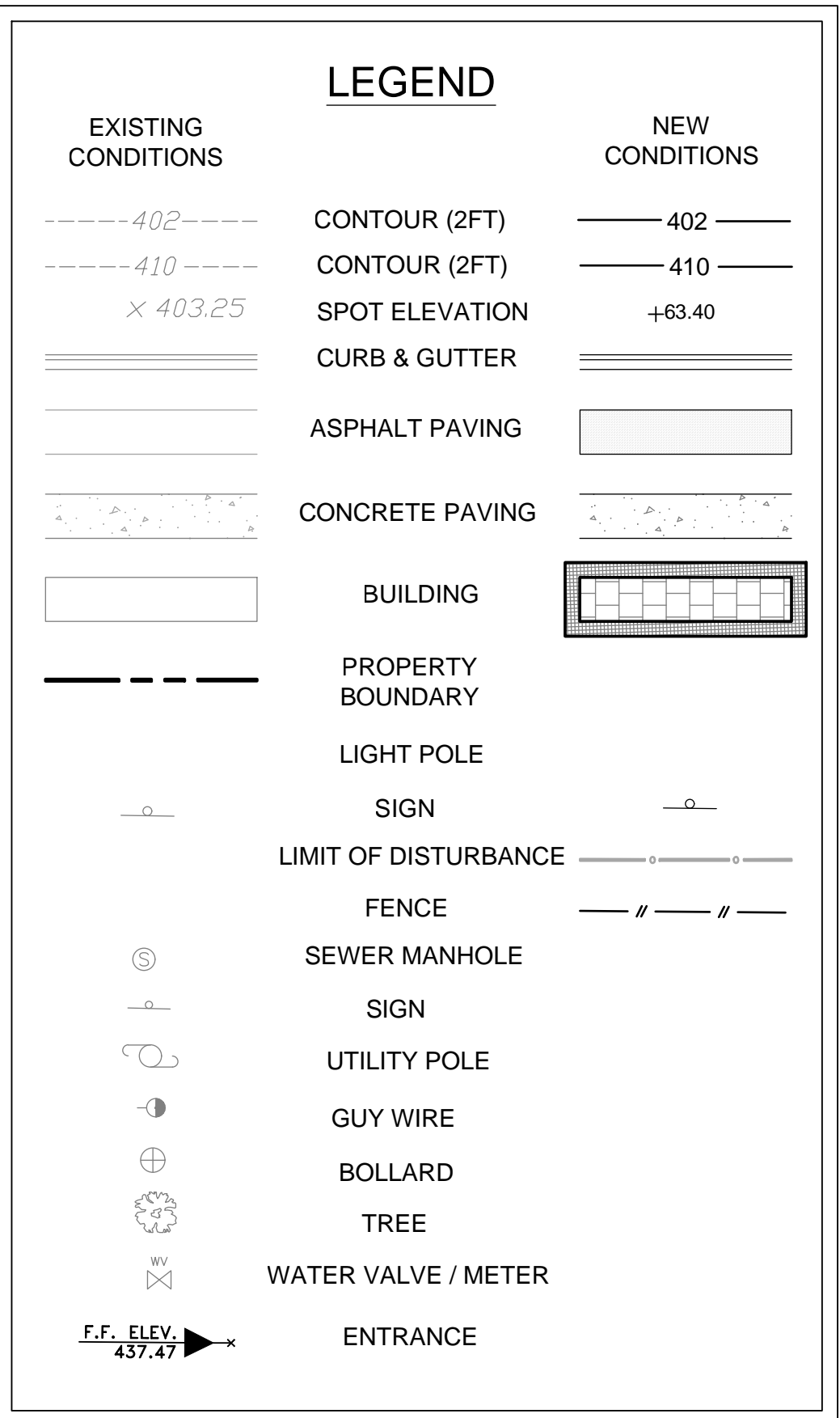
SITE PLAN

PROJECT NO. 2021.276.11

SHEET NO. 1 OF 1



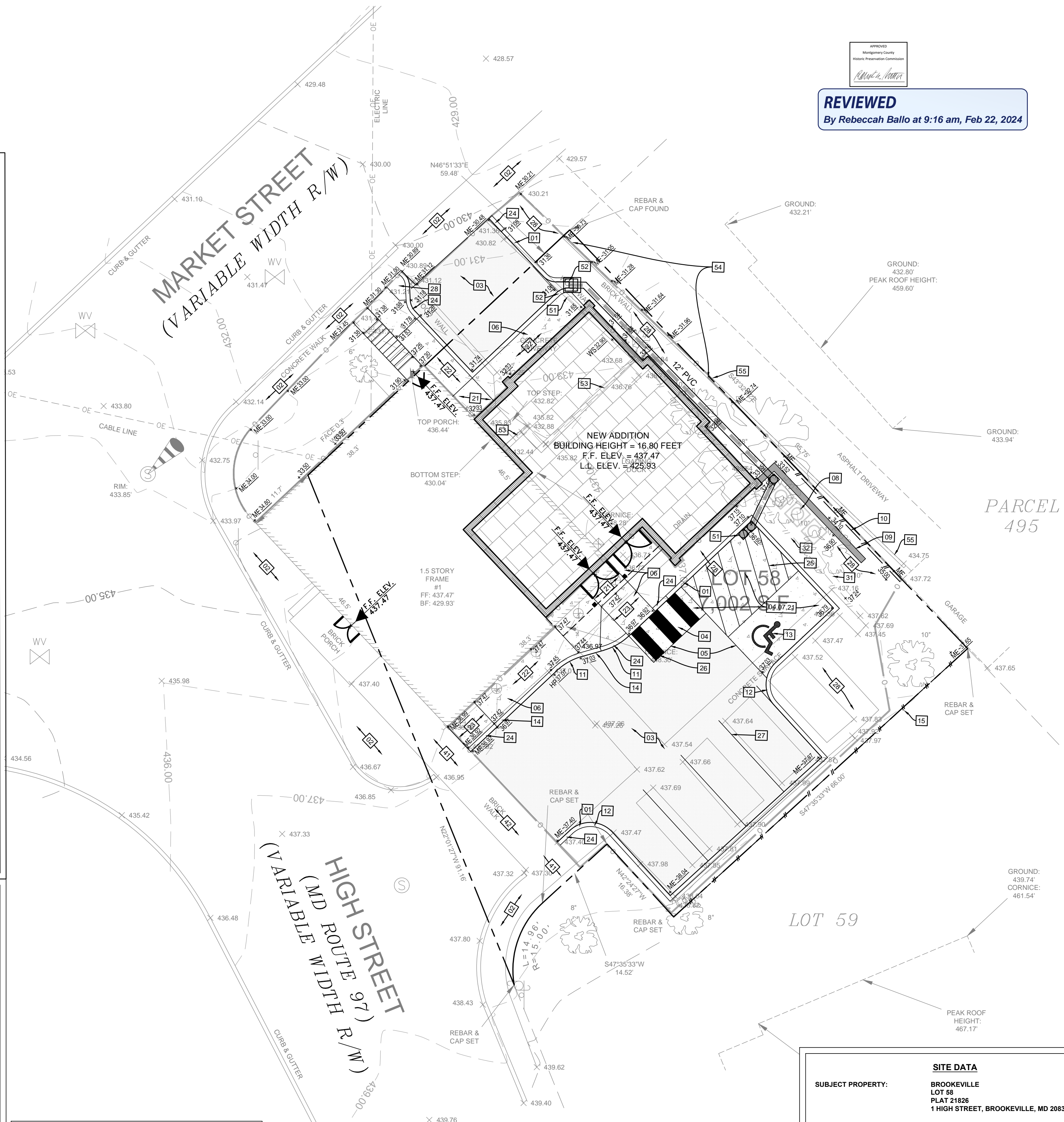
VICINITY MAP
SCALE 1" = 1,000'



ABBREVIATIONS

F.F.	FINISHED FLOOR ELEVATION
RCP	REINFORCED CONCRETE PIPE
TYP	TYPICAL
ME	MATCH EXISTING LINE AND GRADE. ELEVATION PROVIDED AFTER FOR REFERENCE ONLY.
EX	EXISTING
HP	HIGH POINT

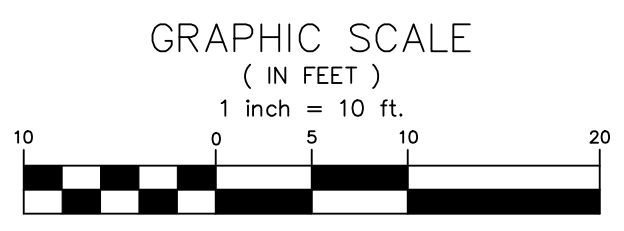
REVIEWED
By Rebecca Ballo at 9:16 am, Feb 22, 2024



- KEY NOTES**
- CURB & GUTTER (TYPICAL)
 - PER DISCUSSIONS WITH THE TOWN OF BROOKEVILLE, A FUTURE DEVELOPMENT BY SHA IS EXPECTED ON MAIN STREET AND HIGH STREET WHICH WILL BRING THE EXISTING SIDEWALK INTO COMPLIANCE WITH ADA REQUIREMENTS. THEREFORE, THE EXISTING SIDEWALK AND DRIVEWAY ENTRANCE IN THE PUBLIC RIGHT OF WAY ARE TO REMAIN.
 - ASPHALT PAVEMENT SECTION
 - CONCRETE PAVEMENT SECTION
 - CONCRETE PAVING EDGE OF SLAB (TYPICAL)
 - SITE CONCRETE SIDEWALK (TYPICAL)
 - CONCRETE PAVING JOINT DETAILS
 - CONDENSER UNITS FOR HVAC
 - CONCRETE RETAINING WALL
 - 6' WOOD PRIVACY FENCE
 - 10' RADIUS ON FACE OF CURB
 - 5' RADIUS ON FACE OF CURB
 - INTERNATIONAL ACCESSIBILITY SYMBOL
 - VARIABLE HEIGHT CURB SEE SPOT ELEVATIONS FOR HEIGHT
 - 4' HIGH WOOD PICKET FENCE
 - 2% MAX SLOPE IN ALL DIRECTIONS (TYPICAL)
 - 5% MAX RUNNING SLOPE AND 2% MAX CROSS SLOPE (TYPICAL)
 - 8.33% MAX RUNNING SLOPE AND 2% MAX CROSS SLOPE (TYPICAL)
 - NOSE DOWN CURB AND GUTTER TRANSITION
 - 4" WIDE PAINTED STRIPES AT 45 DEGREE ANGLE WITH 2' SPACING
 - CROSSWALK STRIPING
 - PARKING STRIPING (TYPICAL)
 - SEE LANDSCAPE PLAN FOR LAWN AND PLANTING AREAS
 - STAIRS. SEE ARCHITECT PLANS FOR DETAILS.
 - RESERVED PARKING / MAX FINE / VAN ACCESSIBLE SIGNS.
 - NO PARKING IN ACCESS AISLE SIGN
 - EXISTING SLOPES DO NOT EXCEED 2% IN ALL DIRECTIONS
 - EXISTING SLOPES DO NOT EXCEED 5% MAX RUNNING SLOPE AND 2% MAX CROSS SLOPE
 - TWO NYLOPLAST 15" PEDESTRIAN GRATES
 - MD 360.01 - 12" OUTLET STRUCTURE
 - EXISTING RETAINING WALL TO BE REMOVED
 - EXISTING BRICK RETAINING WALL TO BE REMOVED
 - EXISTING BRICK RETAINING WALL TO REMAIN
- NOTE: ALL ITEMS LISTED ABOVE TO BE NEW INSTALL UNLESS NOTED DIFFERENTLY.

- SITE NOTES**
- PROPERTY, BOUNDARY AND TOPOGRAPHIC INFORMATION FROM A MARCH, 2022 TOPOGRAPHIC SURVEY PREPARED BY REAL ESTATE SURVEYORS AND DEVELOPERS, LLC.
 - THE PROJECT IS LOCATED WITHIN THE MUNICIPAL BOUNDARIES OF THE TOWN OF BROOKEVILLE. THE TOWN OF BROOKEVILLE HAS PLANNING AND ZONING AUTHORITY.
 - THE PROJECT IS LOCATED WITHIN THE TOWN OF BROOKEVILLE COMPREHENSIVE PLAN.
 - THE PROJECT IS LOCATED WITHIN THE BROOKEVILLE HISTORIC DISTRICT.
 - THE PROJECT IS LOCATED WITHIN THE PATUXENT PRIMARY MANAGEMENT AREA
 - EXISTING UTILITIES SHOWN ARE BASED ON VISIBLE SURVEYED APPURTENANCES AND PAINT MARKINGS, ACCESSIBLE STRUCTURES AND PLANS OF RECORD.
 - THE PROJECT LOCATED WITHIN WATER SERVICE CATEGORY W-1 WITHIN THE MUNICIPALITY OF THE TOWN OF BROOKEVILLE. AREAS SERVED BY COMMUNITY (PUBLIC) SYSTEMS THAT ARE EITHER EXISTING OR UNDER CONSTRUCTION.
 - THE PROJECT IS LOCATED WITHIN SEWER SERVICE CATEGORY S-1 WITHIN THE MUNICIPALITY OF THE TOWN OF BROOKEVILLE. AREAS SERVED BY COMMUNITY (PUBLIC) SYSTEMS THAT ARE EITHER EXISTING OR UNDER CONSTRUCTION.
 - THE PROJECT IS LOCATED WITHIN THE HAWLINGS RIVER - REDDY BRANCH WATERSHED.
 - HIGH STREET (MD 97) IS A ROADWAY OPERATED AND MAINTAINED BY THE MARYLAND STATE HIGHWAY ADMINISTRATION.
 - MARKET STREET IS A ROADWAY OPERATED AND MAINTAINED BY THE TOWN OF BROOKEVILLE.
 - THE TOTAL LAND DISTURBANCE ASSOCIATED WITH THE PROPOSED CONSTRUCTION WILL BE LESS THAN 5000 SQUARE FEET AND/OR WILL RESULT IN LESS THAN 100 CUBIC YARDS OF EARTH MOVEMENT.
 - COMPLIANCE WITH THE INTERNATIONAL GREEN CONSTRUCTION CODE (IGCC) WILL NOT BE REQUIRED FOR THIS PROJECT.
 - ALL UTILITIES SHOWN ARE CONCEPTUAL AND SUBJECT TO CHANGE. SERVICING UTILITY COMPANIES INCLUDE:
WATER & SEWER: WSSC
NATURAL GAS: WASHINGTON GAS
ELECTRIC: POTOMAC ELECTRIC POWER CO.
TELECOMMUNICATIONS: VERIZON & COMCAST

- GENERAL CONSTRUCTION NOTES**
- CALL "MISS UTILITY" ("ONE CALL" AT 811 OR 1-800-257-7777) TWO FULL BUSINESS DAYS PRIOR TO BEGINNING ANY CONSTRUCTION THAT CAUSES DISTURBANCE. HOMEOWNERS & REGISTERED EXCAVATORS MAY FILE REQUESTS ONLINE AT <http://www.missutility.net>
 - SHOULD THE CONTRACTOR DISCOVER DISCREPANCIES BETWEEN THE DRAWINGS AND FIELD CONDITIONS, THIS OFFICE IS TO BE NOTIFIED IMMEDIATELY TO RESOLVE THE SITUATION. SHOULD THE CONTRACTOR MAKE FIELD CORRECTIONS OR ADJUSTMENTS WITHOUT NOTIFYING THE ENGINEER, THEN THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR THOSE CHANGES.
 - REFER TO ARCHITECTURAL DRAWINGS FOR ALL BUILDING DIMENSIONS.



SITE DATA

SUBJECT PROPERTY: BROOKEVILLE LOT 58 PLAT 21826 1 HIGH STREET, BROOKEVILLE, MD 20833-2517

PROPERTY OWNER: ONE HIGH STREET, LLC 10500 LITTLE PATUXANT PARKWAY, SUITE S710 COLUMBIA, MD 21044

TRACT AREA: 7,002 SQUARE FEET (0.16074 ACRES)

PRIOR DEDICATIONS: NONE

PROPOSED DEDICATION: NONE PROPOSED

ZONING CLASSIFICATION: HISTORIC VILLAGE COMMERCIAL (HVC)

PROPOSED USE: PROFESSIONAL AND BUSINESS OFFICES

GROSS FLOOR AREA: 2,789 SQUARE FEET

FOOTNOTES
1. AS DEFINED UNDER THE MONTGOMERY COUNTY ZONING ORDINANCE (69-4.1.7-C)

HISTORIC VILLAGE COMMERCIAL (HVC) DEVELOPMENT STANDARDS

	PERMITTED/REQUIRED	PROVIDED BY THIS PLAN
BUILDING HEIGHT: SECTION 10-401. (c) (1)	NORMALLY 25 FT.	16.8 FT.
SETBACKS: SECTION 10-401. (c) (2)	SEE FOOTNOTE 1)	
SECTION 10-401. (c) (3)	SEE FOOTNOTE 2)	
SECTION 10-401. (c) (4)	SEE FOOTNOTE 3)	
VEHICLES	VEHICLE & BICYCLE PARKING REQUIREMENTS¹⁾	
MINIMUM REQUIRED, FOR OFFICE AND PROFESSIONAL (OFFICE): 59-6.2.4.B	7 SPACES (2.25 PER 1,000 SF)	7 SPACES
ACCESSIBLE SPACES: 59-6.2.3.B / COMAR 05.01.07 AND 05.02.02	1 SPACES (THAT IS VAN ACCESSIBLE)	1 SPACES (THAT IS VAN ACCESSIBLE)
MOTORCYCLE / SCOOTER SPACES: 59-6.2.3.C	NA ²⁾	0
MINIMUM BICYCLE PARKING SPACES: 59-6.2.4.C	NA ²⁾	0
FOOTNOTES:	1) ALL SETBACKS MUST DEMONSTRATE A COMPATIBLE RELATIONSHIP TO ADJACENT EXISTING AND PROPOSED DEVELOPMENT. 2) ANY NEW REDEVELOPMENT OR ADDITIONS TO EXISTING STRUCTURES MUST SATISFACTORILY DEMONSTRATE TO THE PLANNING COMMISSION THAT THE REDEVELOPMENT WILL BE CONSISTENT AND COMPATIBLE WITH THE HISTORIC HERITAGE AND DESIGN OF BROOKEVILLE AND SURROUNDING RESIDENTIAL USES. THE PLANNING COMMISSION SHALL EVALUATE ANY NEW REDEVELOPMENT BASED ON ITS DESIGN CHARACTERISTICS, USE OF CONSTRUCTION MATERIALS AND PROPOSED SETBACKS, HEIGHT AND ADEQUACY OF PARKING. 3) USE APPROVAL. ALL PROPERTIES IN THIS ZONE MUST OBTAIN A HISTORIC USE PERMIT FROM THE PLANNING COMMISSION FOR ANY CHANGE IN USE. ALL SUCH APPLICATIONS MUST BE SUBMITTED ON FORMS MADE AVAILABLE BY THE TOWN AND SHALL DEMONSTRATE THAT THE PROPOSED USE IS OF A NATURE AND SCALE CONSISTENT WITH THE HISTORIC HERITAGE OF THE TOWN AND COMPLIES WITH THE REQUIREMENTS OF THIS ZONE. IN PARTICULAR, SUCH APPLICATION MUST INCLUDE (1) INFORMATION AS TO THE INTENDED NUMBER OF EMPLOYEES/WORKERS, ANTICIPATED NUMBER OF VISITORS/CLIENTS/STUDENTS, AND INTENDED HOURS OF OPERATION AND (2) A PARKING PLAN, AND MUST DESCRIBE HOW THE APPLICATION WILL ACHIEVE THE OBJECTIVES OF THIS ORDINANCE. SUCH APPLICATION MUST PROVIDE A DETAILED DESCRIPTION OF ANY PROPOSED SIGNAGE, WHICH MAY NOT BE ILLUMINATED, AND DESCRIBE WHETHER THE PROPOSED USE WILL USE EQUIPMENT OR ANY PROCESS WHICH MAY CREATE NOISE, VIBRATION, GLARE, FUMES, ODDORS OR ELECTRICAL OR ELECTRONIC INTERFERENCE DETECTABLE BEYOND THE WALLS OF THE STRUCTURE. 4) THE TOWN OF BROOKEVILLE ZONING ORDINANCE DOES NOT INCLUDE SPECIFIC PARKING METRICS; THE INFORMATION SHOWN HEREON IS BASED ON THE MONTGOMERY COUNTY REQUIREMENTS. 5) PARKING FACILITY CONTAINS LESS THAN 50 SPACES. 6) DEVELOPMENT STANDARD NOT APPLICABLE IN HVC ZONE	

From: [Saj Niazi](#)
To: [Michael Kyne](#); [Ballo, Rebecca](#)
Subject: Fw: Tonight's Meeting
Date: Saturday, January 27, 2024 1:17:11 PM
Attachments: [C2.01 - Site Plan.pdf](#)
[image001.png](#)
[image002.png](#)

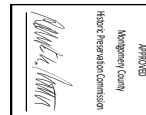
[EXTERNAL EMAIL] Exercise caution when opening attachments, clicking links, or responding.

Hi Rebecca,

Per your comment below, my engineer has updated the cite plan. See the attached please to satisfy the condition "A revised grading plan showing the removal of the brick retaining wall and the addition of any other retaining walls, if necessary, must be submitted as a revision to this HAWP#1003919 for review and approval by the HPC prior to the issuance of any building permits".

Thank you.

Saj Niazi Cell 410-507-1316



REVIEWED

By Rebecca Ballo at 9:13 am, Feb 22, 2024

----- Forwarded Message -----

From: Kyle Hughes <khughes@mhgpa.com>
To: Sajniazi <sajniazi@yahoo.com>
Cc: Stephen Crum <scrum@mhgpa.com>; Jeffrey Lees <jalees@jeffreyleesarchitect.com>
Sent: Saturday, January 27, 2024 at 10:36:29 AM EST
Subject: RE: Tonight's Meeting

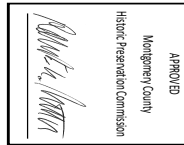
Hi Saj,

Please see attached for an updated plan that reflects removing around half of this brick wall. The other half (the half closer to the shed) is in your neighbor's property and we therefore will not be able to remove it without their permission. The historic area work permit staff will understand that we cannot do something that is not in our property so they should be agreeable to this.

Below is the wall that is being requested to be removed:



Thank you,



Kyle Hughes, PE, MBA



Project Manager



9220 Wightman Road, Suite 120

Montgomery Village, MD 20886

Mobile: 240.732.3046 (preferred)

Office: 301.670.0840

Email: Khughes@MHGPA.com

www.mhgpa.com

From: Sajniazi <sajniazi@yahoo.com>