



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: February 16, 2023

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1015640 - Fenestration Alteration

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** by the HPC Staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Megan Doherty
Address: 10 Valley View Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



DESIGN PLANS ARE PROVIDED FOR THE USE OF OUR CUSTOMERS OR THEIR AGENTS FOR THE COMPLETION OF THIS PROJECT ONLY. PLANS REMAIN THE PROPERTY OF MERRICK DESIGN AND BUILD INC. AND CAN NOT BE USED WITHOUT PERMISSION. COPYRIGHT 2019 BY MERRICK DESIGN AND BUILD INC.

ZONING REVIEW

Interior alterations and new window only

CONSUMER INFORMATION NOTES:

- This plan is a benefit to a consumer insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
- This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
- This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
- Any building line and/or Flood Zone information, if shown, is taken from available sources and is subject to interpretation of originator.
- No Title Report furnished.

Notes:

- Setback distances as shown to the principal structure from property lines are approximate. The level of accuracy for this drawing should be taken to be no greater than plus or minus 3 feet.
- Fences, as shown, were located by approximate methods.
- No property corners found.

Abbreviations:
 CONC. = Concrete
 O/H = Overhang
 F/S = Frame Stoop
 G = Gate

LOCATION DRAWING
LOT 49 ~ BLOCK 87
HOLMES & AUSTIN'S SUBDIVISION
OF A PART OF
TAKOMA PARK
 MONTGOMERY COUNTY, MARYLAND

SURVEYOR'S CERTIFICATE

THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD INSPECTION PURSUANT TO THE DEED OR PLAT OF RECORD. EXISTING STRUCTURES SHOWN HAVE BEEN FIELD LOCATED BASED UPON MEASUREMENTS FROM PROPERTY MARKERS FOUND OR FROM EVIDENCE OF LINES OF APPARENT OCCUPATION.

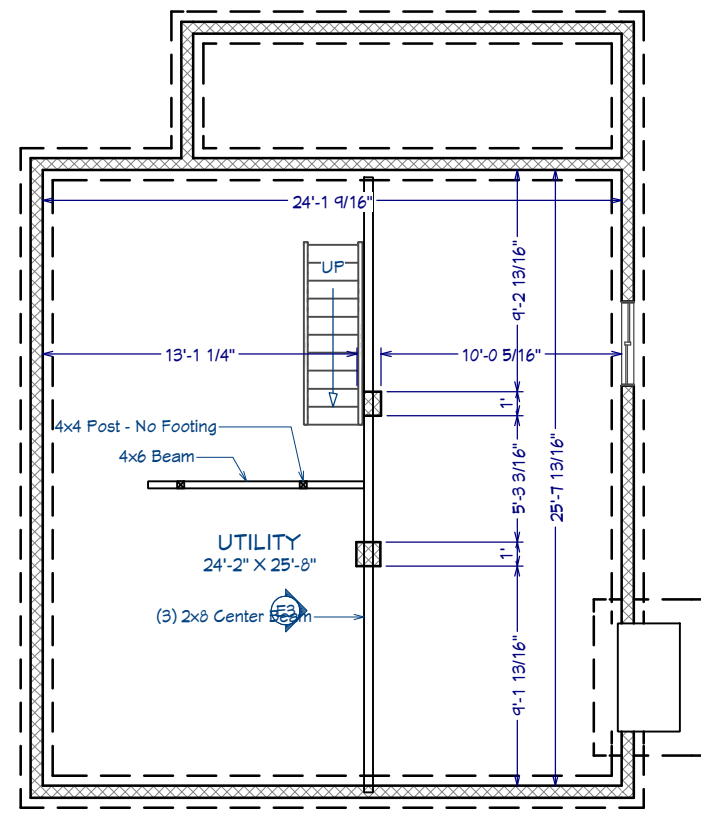
Karla L. Doherty
 MARYLAND PROPERTY LINE SURVEYOR REG. NO. 592
 Expires: 04-07-2023

REFERENCES

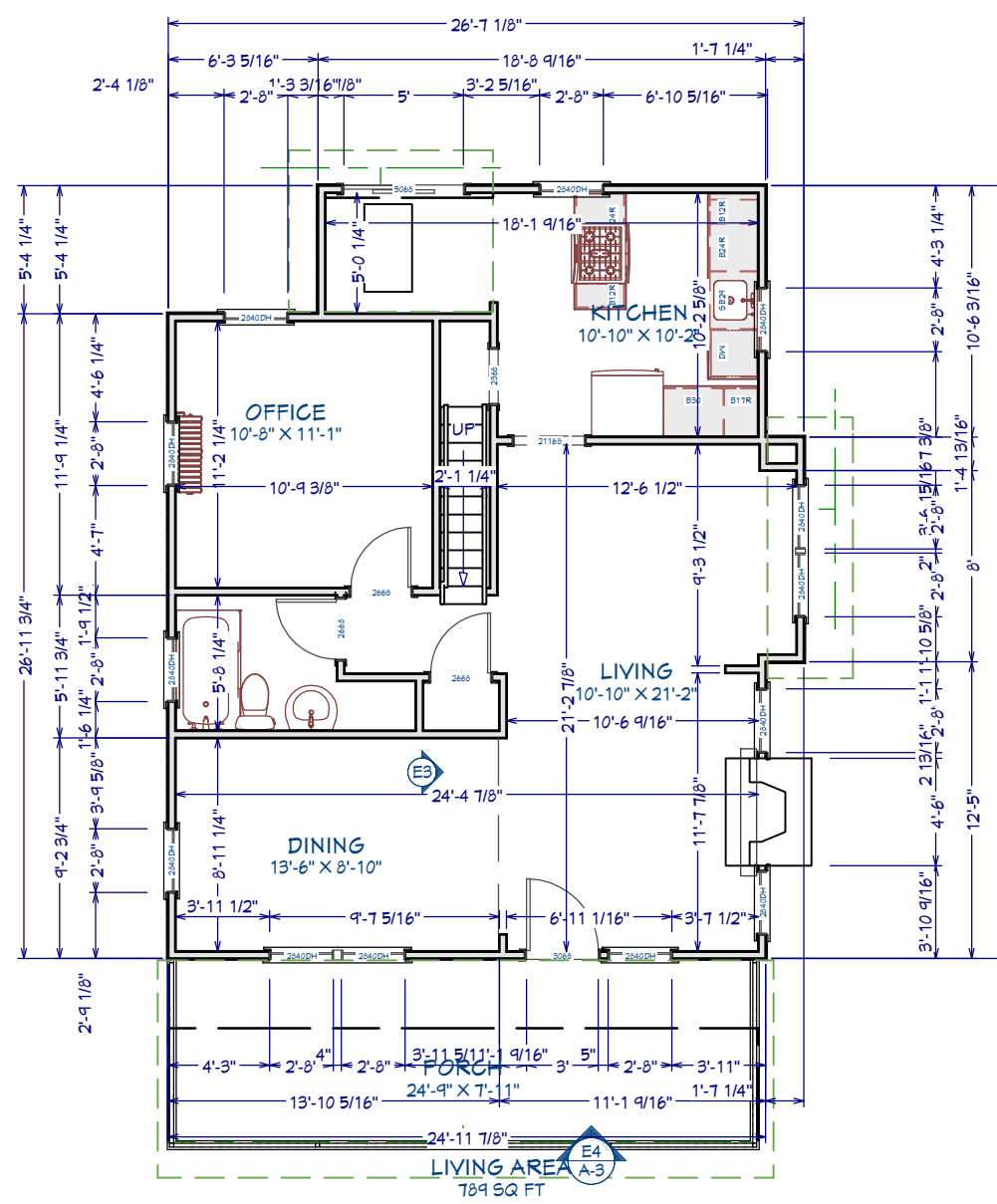
PLAT BK. 3
 PLAT NO. 223

SNIDER & ASSOCIATES
 LAND SURVEYORS
 19544 Amaranth Drive
 Germantown, Maryland 20874
 301/948-5100 Fax 301/948-1286
 WWW.SNIDERSURVEYS.COM

DATE OF LOCATIONS SCALE: 1" = 20'
WALL CHECK: DRAWN BY: TON
HSE. LOC.: 09-19-22 **JOB NO.:** 22-03082-HL



Basement Plan



1st Floor Plan

APPROVED
 Montgomery County
 Historic Preservation Commission

Ronald H. ...

REVIEWED
 By Dan.Bruechert at 2:08 pm, Feb 16, 2023

INDEX OF DRAWINGS

LABEL	TITLE	COMMENTS
A-1	FIRST FLR PLAN	
A-2	EXISTING AND DEMOLITION PLAN	
A-3	FRONT ELEVATIONS	
A-4	OFFICE CABINETS	
S-1	STRUCTURAL PLANS	
E-1	ENERGY PLAN AND SECTION	

PROJECT DESCRIPTION

Alteration - Single family, two story wood frame structure with full, unfinished basement. Existing first floor rooms remain unchanged. Second floor, remove one non-bearing interior partition and modify closets. Add one new fixed window on front elevation

PERMIT FEE CALCULATIONS

Floor	Alteration
Basement	0 sf
First Floor	0 sf
Second Floor	80 sf
Totals	80 sf

CODE NOTES

All work to be in accordance with 2018 IRC and IECC, International Residential Code and as amended by Montgomery County Executive Regulations. All chapters, tables, sections, figures and appendices are from the 2018 IRC.

RESIDENTIAL CODE PARAMETERS

Ground Snow Load	30 PSF
Design Wind Speed	115 MPH
Seismic Category	B
Weathering	Severe
Frost Line Depth	30 inches
Termite	Moderate to Heavy
Decay	Slight to Moderate
Winter Design Temperature	13 F
Ice Shield Underlayment	Required
Flood Hazards	July 2, 1979
Air Freezing Index	300
Mean Annual Temperature	55 F
Soil Bearing Capacity	2000PSF

DESIGN LOADS

Uninhabitable attic without storage	10PSF
Uninhabitable attic with limited storage	20PSF
Habitable Attic with stairs	30PSF
Balconies and Fire Escapes	40PSF
Guardrails and Handrails	200lb lateral
Passenger Garage	50PSF
Rooms other than Sleeping	40 PSF
Sleeping Rooms	30PSF
Stairs	40PSF



3300 PLYERS MILL ROAD
 KENSINGTON, MD 20895
 301-946-2356
 MHIC LICENSE #: 38984
 DC LICENSE #: 50004406



Client Information

Megan Doherty and Joseph Gordon
 10 Valley View Ave
 Takoma Park, MD 20912

Project Description

Remove interior partition

First Flr Plan



Date Printed

12/12/2022

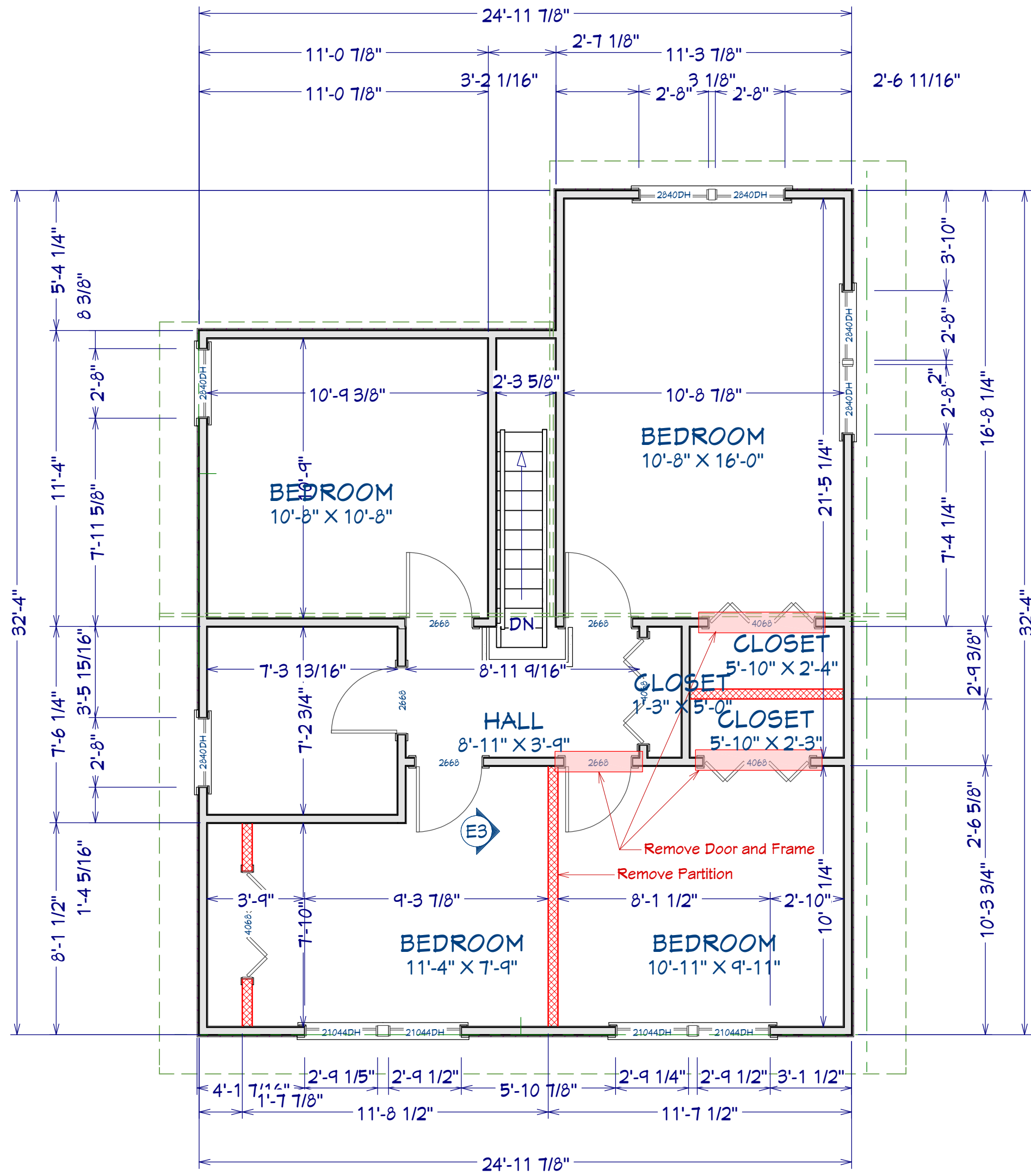
Revision

Scale UNLESS NOTED OTHERWISE

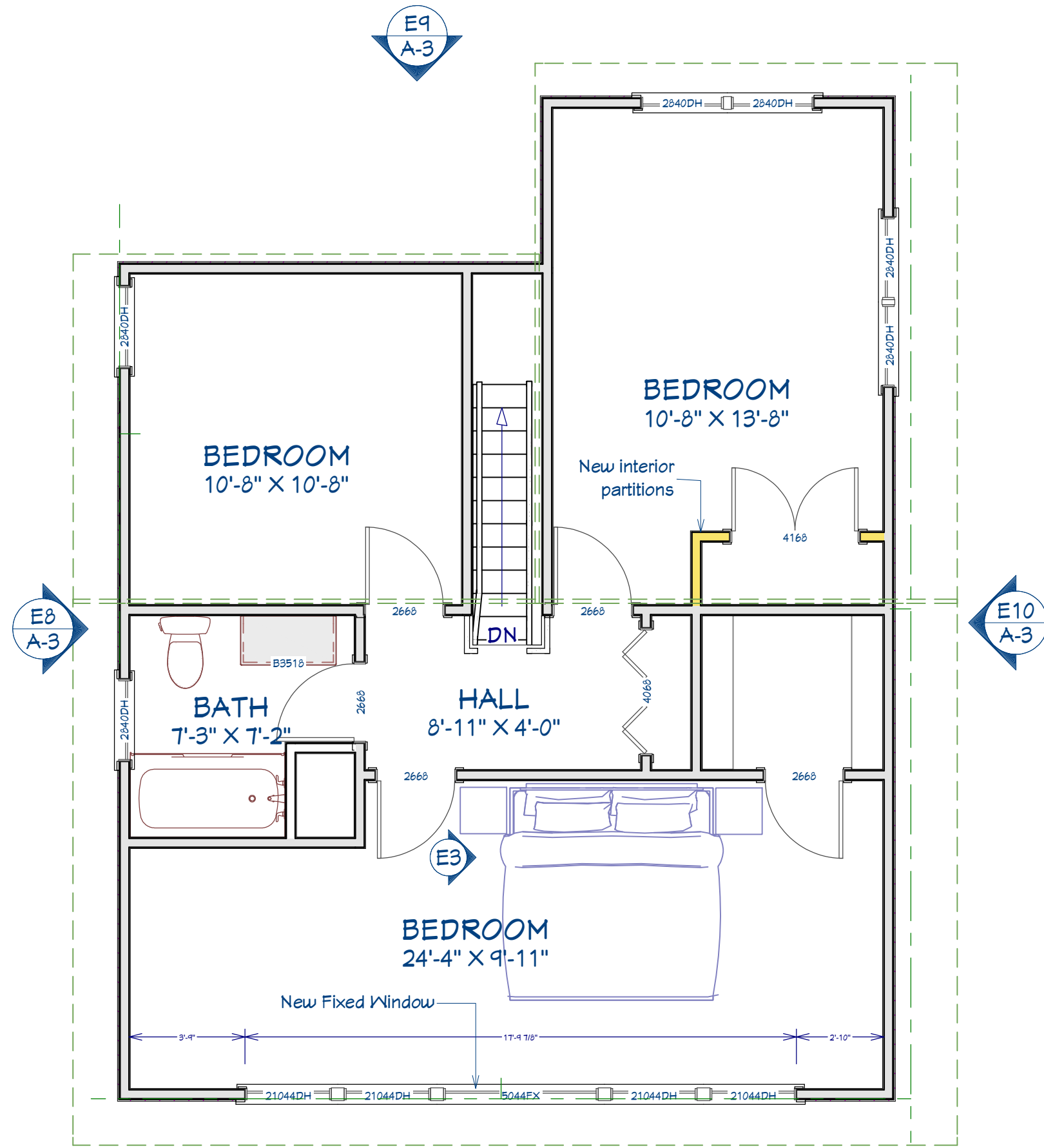
1/4"=1'-0"

Sheet Number

A-1



Existing 2nd Floor Plan



Proposed 2nd Floor Plan



APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 2:08 pm, Feb 16, 2023



Client Information

Megan Doherty and Joseph Gordon
10 Valley View Ave
Takoma Park, MD 20912

Project Description

Remove interior partition

Existing and Demolition Plan



Date Printed

12/12/2022

Revision

Scale UNLESS NOTED OTHERWISE

1/4"=1'-0"

Sheet Number

A-2

DESIGN PLANS ARE PROVIDED FOR THE USE OF OUR CUSTOMERS OR THEIR AGENTS FOR THE COMPLETION OF THIS PROJECT ONLY. PLANS REMAIN THE PROPERTY OF MERRICK DESIGN AND BUILD INC. AND CAN NOT BE USED WITHOUT PERMISSION. COPYRIGHT 2019 BY MERRICK DESIGN AND BUILD INC.

3300 PLYERS MILL ROAD
KENSINGTON, MD 20895
301-946-2356
MHIC LICENSE #: 38984
DC LICENSE #: 50004406



Elevation 10



Elevation 9



Elevation 8

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

REVIEWED
By Dan.Bruechert at 2:08 pm, Feb 16, 2023



Elevation 4



Elevation 7 Proposed front elevation with new 2nd floor fixed window

Client Information

Megan Doherty and Joseph Gordon
10 Valley View Ave
Takoma Park, MD 20912

Project Description

Remove interior partition

Front Elevations



Date Printed

12/12/2022

Revision

Scale UNLESS NOTED OTHERWISE

1/4"=1'-0"

Sheet Number

A-3