



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: May 22, 2023

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1016142 - Accessory Dwelling

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the January 11, 2023 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

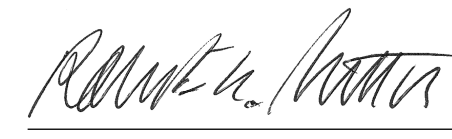
THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Brett Howard
Address: 2115 Salisbury Rd., Silver Spring

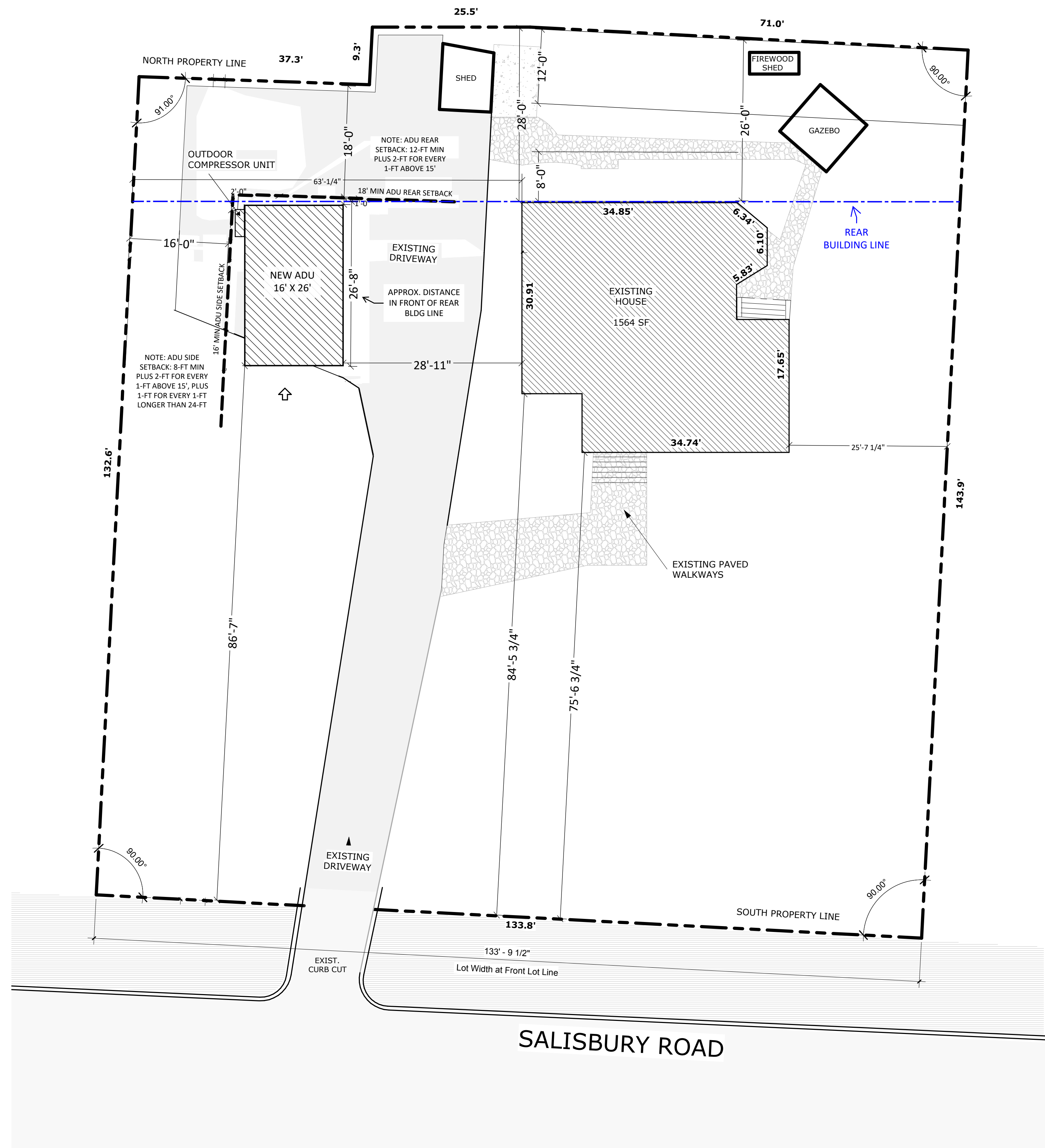
This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



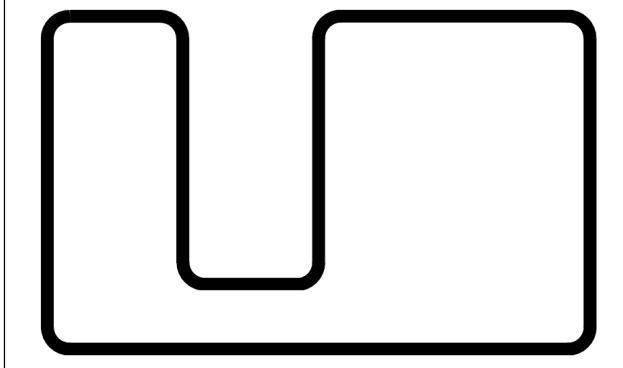
APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 4:24 pm, May 22, 2023



1 site plan



MEASURE

measurearchitects.com

Measure Architects PLLC
4000 Tunlaw Rd NW 822
Washington, DC | 20007
202 810 4281



Dream Big. Build Small.
Builder

ACCESSORY DWELLING

2115 Salisbury Rd
Silver Spring MD 20910
Montgomery County

HOWARD-FARMER
Address
PROJECT # 03-2226



I, Joseph Harris, am responsible for determining that the architectural designs included in this application are in compliance with all relevant laws and regulations of the State of Maryland. I have personally prepared, or directly supervised the preparation of, the architectural designs included in this application.
License# 19731 | Expires 12/30/24
Certification Drawn by:MA Checked by:JH

SITE PLAN

Title
A002
Sheet
Scale 3/32" = 1'-0"

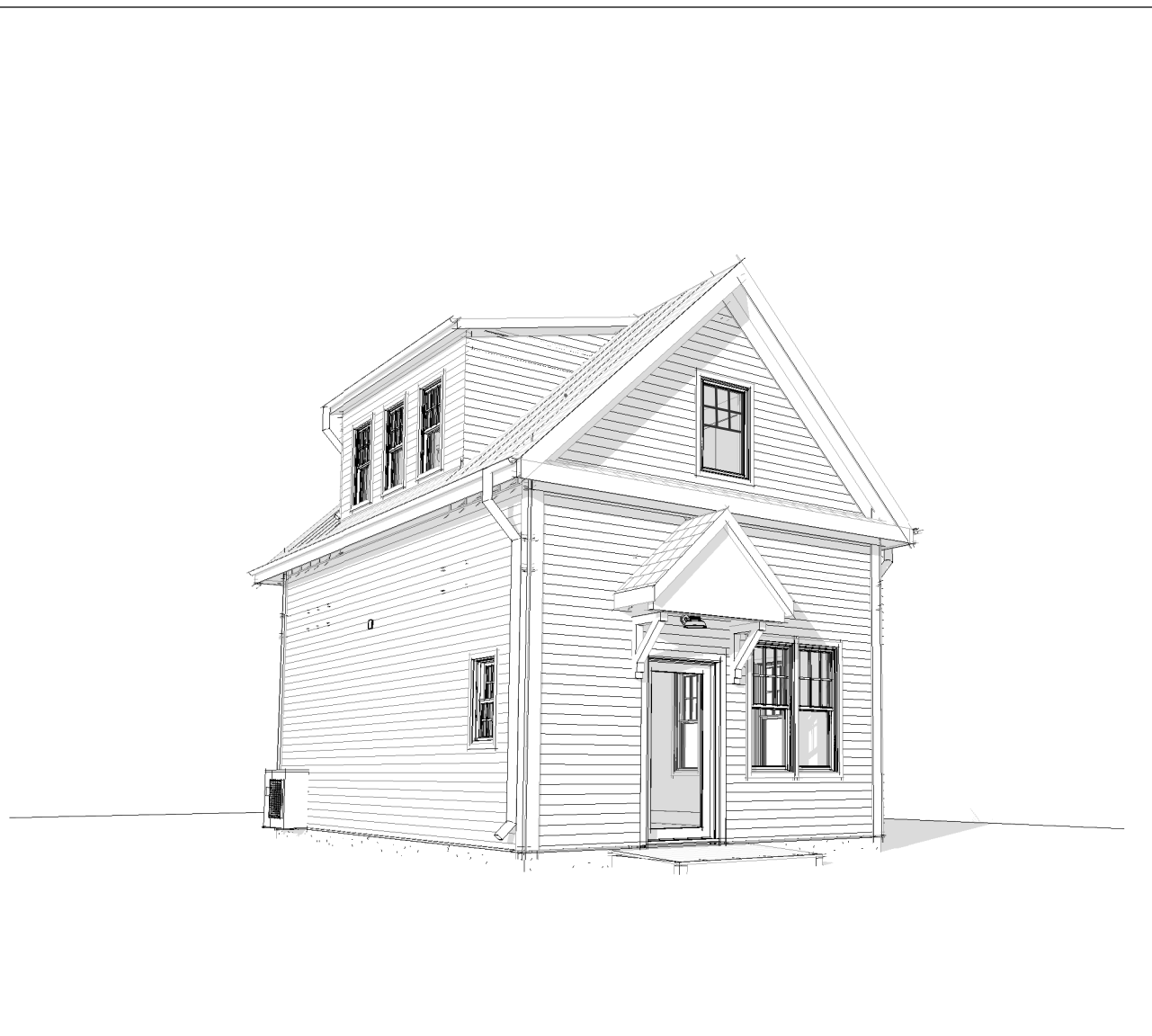
ACCESSORY DWELLING

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Montgomery County

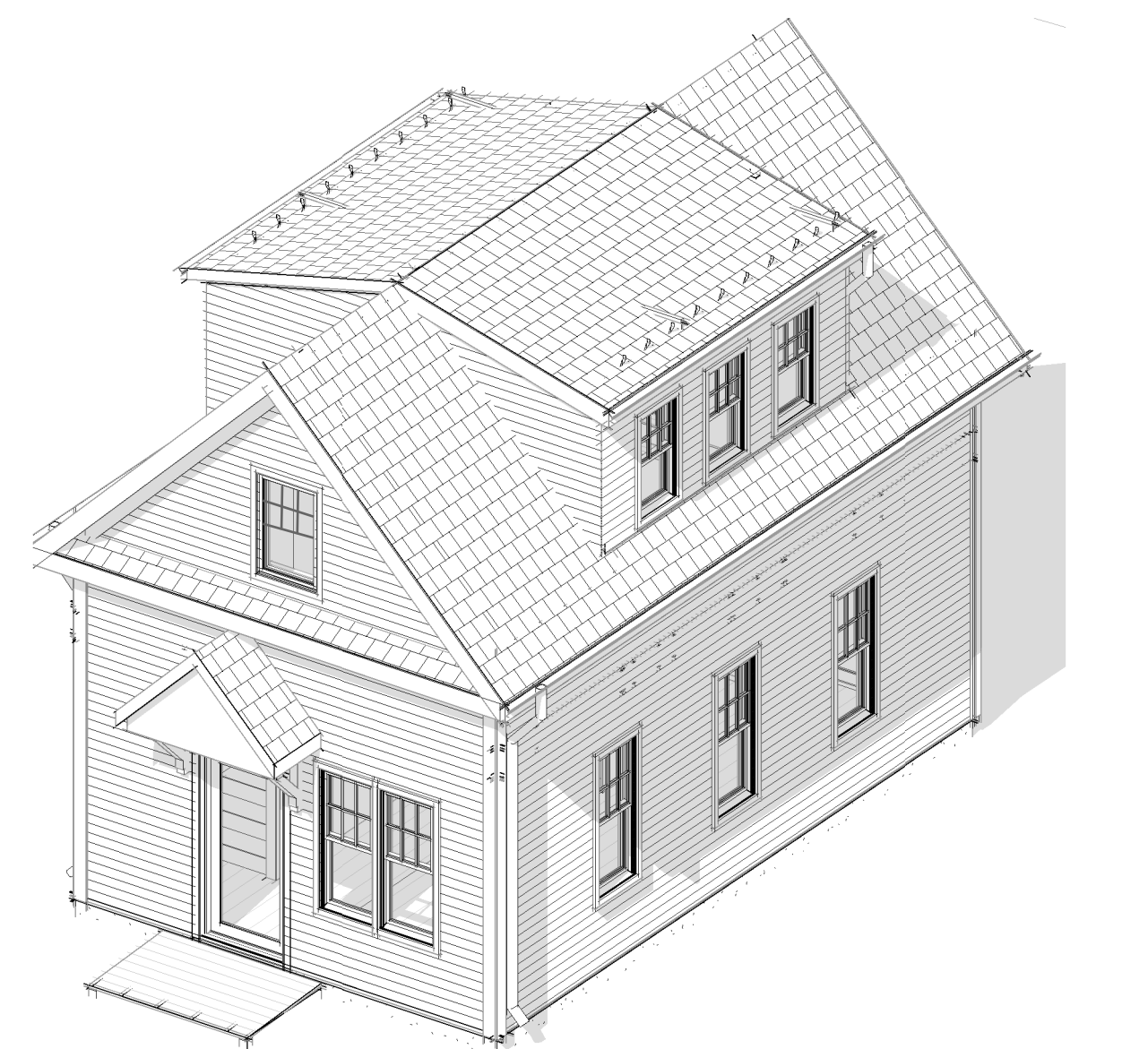
PERMIT SET 02/23/2023

THIS AREA MUST REMAIN BLANK FOR JURISDICTIONAL STAMPS

ILLUSTRATIVE VIEWS



REAR YARD VIEW



AERIAL VIEW

SYMBOLS

	NORTH ARROW		ELEVATION
	ELEVATION		DOOR TYPE
	PLAN / SECTION DETAIL		PARTITION TYPE
	BUILDING SECTION		ELEVATION NOTE
	WALL / SECTION DETAIL		WINDOW TYPE
	INTERIOR ELEVATIONS		REVISIONS

GENERAL NOTES

STANDARDS & PROCEDURES:
1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH ALL CODES & REQUIREMENTS EFFECTIVE IN THE PROJECT JURISDICTION AND AMENDMENTS, AND ALL OTHER APPLICABLE FEDERAL, AND LOCAL LAWS AND ORDINANCES, ACCESSIBILITY CODES, STANDARDS, AND REGULATORY AGENCIES.
2. ALL WORK SHALL BE OF THE HIGHEST QUALITY FOLLOWING THE CONTRACT DOCUMENTS, PROJECT SPECIFICATIONS, MANUFACTURERS SPECIFICATIONS AND RECOMMENDATIONS, AND THE BEST ACCEPTED TRADE PRACTICES AND STANDARDS.
3. DETAILS SHOWN ARE INTENDED TO BE INDICATIVE OF THE PROFILES AND TYPES OF DETAILING REQUIRED FOR THE WORK. DETAILS NOT SHOWN ARE SIMILAR IN CHARACTER TO THOSE DETAILED.
4. EACH CONTRACTOR SHALL KEEP ACCURATE RECORDS OF ALL WORK WHICH DIFFERS FROM CONTRACT DOCUMENTS SO THAT ACCURATE RECORD DRAWINGS AND SPECIFICATIONS CAN BE KEPT AND PROVIDED BY THE CONTRACTOR TO THE OWNER AT PROJECT CLOSEOUT.
5. EACH CONTRACTOR SHALL VISIT THE SITE AND BE KNOWLEDGEABLE OF CONDITIONS THEREOF. FAILURE TO EXAMINE THE SITE AND DETERMINE EXISTING CONDITIONS OR NATURE OF NEW CONSTRUCTION, OR NATURE AND EXTENT OF WORK TO BE PERFORMED BY OTHER TRADES WILL NOT BE CONSIDERED A BASIS FOR GRANTING OF ADDITIONAL COMPENSATION.
6. THE CONTRACTOR SHALL INVESTIGATE, VERIFY AND BE RESPONSIBLE FOR ALL REQUIREMENTS OF THE PROJECT AND SHALL NOTIFY THE ARCHITECT OF ANY CONDITIONS CONTRARY TO THE CONSTRUCTION DOCUMENTS THAT REQUIRE MODIFICATION BEFORE PROCEEDING WITH THE WORK.
7. THE CONTRACTOR SHALL PROTECT ALL EXISTING SITE ELEMENTS, ADJACENT BUILDINGS AND STREETS FROM DAMAGE DUE TO THE CONSTRUCTION OPERATIONS, AND REPAIR OR REPLACE ANY ELEMENTS DAMAGED DURING THE PROJECT.
8. CONTRACTOR SHALL WORK WITH OWNER TO TEST FOR RADON OR ANY HAZARDOUS MATERIAL, AND SHALL REMEDIATE AS REQUIRED BY LOCAL AND NATIONAL LAWS.

DIMENSIONS:
1. DO NOT SCALE THE DRAWINGS, DIMENSIONS SHALL GOVERN. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALL SCALE. WHERE A DISCREPANCY MAY EXIST BETWEEN DRAWINGS AND SPECIFICATIONS, THE MORE RESTRICTIVE OR EXPENSIVE REQUIREMENTS SHALL GOVERN. NUMBER DIMENSIONS SHALL BE FOLLOWED IN PREFERENCE TO SCALE MEASUREMENTS AND ALL MEASUREMENTS MUST BE VERIFIED AT THE BUILDING SITE.
2. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS ON SITE, AND SHALL NOTIFY THE ARCHITECT IN WRITING OF ANY DISCREPANCIES, OMISSIONS AND/OR CONFLICTS BEFORE PROCEEDING WITH THE WORK.
3. ALL PARTITIONS ARE DIMENSIONED TO THE FACE, UNLESS NOTED OTHERWISE. WHERE SPECIFIC DIMENSIONS, DETAILS AND/OR DESIGN INTENT CANNOT BE DETERMINED, NOTIFY ARCHITECT IN WRITING BEFORE PROCEEDING WITH WORK IN QUESTION.
4. DOOR OPENINGS THAT ARE NOT DIMENSIONALLY LOCATED ARE TO BE CENTERED BETWEEN WALLS OR POSITIONED WITH ONE JAMB CASING TRIM AGAINST AN ADJACENT WALL OR COLUMN AS SHOWN ON THE PLANS AND/OR DETAILS.

COORDINATION:
1. REFER TO THE SPECIFICATIONS AND CIVIL, ARCHITECTURAL, STRUCTURAL, MECHANICAL, ELECTRICAL, AND PLUMBING DRAWINGS FOR FULL COORDINATION OF THE WORK.
2. THE CONTRACTOR SHALL COORDINATE ADDITIONAL SUPPORT OR CONCEALED BLOCKING REQUIRED FOR INSTALLATION OF HANDRAILS, MILLWORK, WALL PANELS, GRAB BARS, CABINETS AND ALL OTHER SURFACE MOUNTED COMPONENTS.
3. THE CONTRACTOR SHALL COORDINATE AND VERIFY THE EXACT SIZE AND LOCATION OF ALL FLOOR PENETRATIONS AND WALL OPENINGS WITH EACH OF THE RESPECTIVE MECHANICAL, ELECTRICAL, PLUMBING AND FIRE PROTECTION TRADES.
4. THE CONTRACTOR SHALL COORDINATE LAYOUT OF CEILING MOUNTED FIXTURES, DEVICES, AND DUCTWORK, AND SHALL IDENTIFY POTENTIAL CONFLICTS INVOLVING ELEMENTS WITHIN THE CEILING CAVITY. ANY VARIATIONS OR CONFLICTS WITH LAYOUT OR CEILING HEIGHT SHOWN SHALL BE REVIEWED WITH THE ARCHITECT PRIOR TO INSTALLATION.
5. ALL CONDUIT, PIPING, DUCTWORK, AND MECHANICAL SYSTEMS SHALL BE INSTALLED WITHIN OR TIGHT TO THE UNDERSIDE OF STRUCTURE WHERE FEASIBLE, UNLESS NOTED OTHERWISE.
6. REFER TO MEPFP DRAWINGS FOR EXTENT OF CONCRETE EQUIPMENT PADS. THE CONTRACTOR SHALL COORDINATE THE SIZE AND LOCATION OF THE CONCRETE PADS WITH THE EQUIPMENT INSTALLER.

INSTALLATION:
1. PROVIDE EXPANSION AND/OR CONTROL JOINTS IN ACCORDANCE WITH SPECIFIED OR DRAWN REQUIREMENTS. IN THE ABSENCE OF SPECIFIED OR DRAWN REQUIREMENTS, PROVIDE JOINTS IN ACCORDANCE WITH ACCEPTED INDUSTRY STANDARDS. LOCATIONS SHALL BE REVIEWED AND ACCEPTED BY THE ARCHITECT PRIOR TO INSTALLATION.
2. ALL OPENINGS IN FIRE-RATED FLOORS AND FIRE-RATED WALLS INCLUDING SPACES BETWEEN DUCTS, PIPES, CONDUIT, ETC. SHALL BE CLOSED OFF BY APPROVED FIRE SAFING MATERIAL TO MAINTAIN FIRE RATING CONTINUITY OF RATED FLOOR AND WALL CONSTRUCTION. ALL OPENINGS AND PENETRATIONS SHALL BE SEALED TO PREVENT PASSAGE OF SMOKE AND FLAMES IN FIRE-RATED ASSEMBLIES.
3. ALL DISSIMILAR METALS SHALL BE EFFECTIVELY ISOLATED FROM EACH OTHER IN ORDER TO AVOID GALVANIC ACTION.
ALL ABOVE NOTES APPLY UNLESS OTHERWISE SPECIFIED ON DRAWINGS OR IN SPECIFICATIONS.
ANY DISCREPANCIES SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE CONSTRUCTION BEGINS.
ALL AS-BUILT DIMENSIONS ARE APPROXIMATE, VERIFY IN FIELD, UNLESS NOTED OTHERWISE.

CODE STANDARDS

CODE	CODE/EDITION
ACCESSIBILITY	COMAR 05.02.02, ADAAG & FHAG
COMMERCIAL BUILDING	ICC INTERNATIONAL BUILDING CODE/2018 MBCR MARYLAND BUILDING REHABILITATION CODE IGCC 2012 GREEN BUILDING CODE
COMMERCIAL FUEL GAS	ICC INTERNATIONAL FUEL GAS CODE/2018
COMMERCIAL MECHANICAL	ICC INTERNATIONAL MECHANICAL CODE/2018
ELECTRICAL	NFPA 70 NATIONAL ELECTRICAL CODE/2014
ENERGY CONSERVATION	ICC INT'L. ENERGY CONSERVATION CODE/2018
FIRE ALARM	NFPA72/2013 & COMAR NFPA72/2013
LIFE-SAFETY	NFPA1 & 101/2018
PLUMBING & GAS	WSSC PLUMBING CODE 2018 INTERNATIONAL FUEL AND GAS CODE
RESIDENTIAL BUILDING & MECHANICAL	ICC INTERNATIONAL RESIDENTIAL CODE/2018 MBCR MARYLAND BUILDING REHABILITATION CODE
RESIDENTIAL SPRINKLERS	NFPA13D/2018 COMAR NFPA13D/2018
EXISTING BUILDING CODE	INTERNATIONAL EXG. BLDG. CODE - 2018 (IEBC)
COMMERCIAL SPRINKLERS	NFPA13R/2018 NFPA13/2018 COMAR NFPA13R/2018 COMAR NFPA13/2018
SWIMMING POOLS & SPAS	2015 INT'L. SWIMMING POOL AND SPA CODE

ABBREVIATIONS	DESIGN CRITERIA
ABOVE..... ABV	DESIGN CRITERIA
ABOVE FINISHED FLOOR..... A.F.F.	FLOOR LOAD 40 PSF
APPROXIMATE..... APPROX.	GROUND SNOW LOAD 30 PSF
AT..... @	ROOMS OTHER THAN SLEEPING: MIN. 40 PSF
AVERAGE..... AVG	STAIRS: MIN. 40 PSF
BEAM..... BM	FLOOR/CLG. DEFLECTION: L/360
BETWEEN..... BTW.	WIND CRITERIA 115 MPH
BOARD..... BD	CONCRETE WEATHERING: SEVERE
BOTTOM OF..... B.O.	TERMITE INFESTATION: MODERATE TO HEAVY
BRICK..... BR.	DECAY PROBABILITY: SLIGHT TO MODERATE
BUILDING..... BLDG	SEISMIC DESIGN CATEGORY: B
CEILING..... CLG	FROST LINE DEPTH: 30 IN.
CENTER LINE..... C.L.	WINTER DESIGN TEMP.: 13°F
CERAMIC TILE..... C.T.	ICE SHIELD UNDERLAYMENT: REQUIRED
CLEAN OUT..... C.O.	FLOOD HAZARDS: 29038
COLUMN..... COL.	AIR FREEZING INDEX: 300
CONCRETE..... CONC.	MEAN ANNUAL TEMPERATURE: 55°F
CONCRETE MASONRY UNIT..... CMU	SPECIES/GRADE OF FRAMING LUMBER:
CONTINUOUS..... CONT.	SPRUCE PINE FIR NO. 1 OR NO. 2
DEMOLISH..... DEMO.	BEARING
DETAIL..... DET.	FOUNDATION CALCULATIONS ARE BASED ON
DIAMETER..... Ø, DIAM.	2000 PSF MINIMUM SOIL BEARING. IT IS THE
DIMENSION..... DIM.	CONTRACTOR'S RESPONSIBILITY TO BE
DOOR..... DR	CERTAIN THAT SOIL CONDITIONS MEET OR
DOWNPOUT..... D.S.	EXCEED 2500 PSF BEARING. IF SOIL
DRAWING..... DWG	CONDITIONS ARE INADEQUATE, NOTIFY
EACH..... EA.	ARCHITECT.
ELECTRICAL..... ELEC.	COLUMN FOUNDATIONS
ELEVATION..... EL.	SHALL BE CONSTRUCTED PER ENGINEER'S
EQUIPMENT..... EQUIP.	DRAWINGS.
EQUAL..... EQ.	STRUCTURAL STEEL
EXISTING..... EXG.	SHALL BE A-36 AND SHALL BE DETAILED AND
EXTERIOR..... EXT.	ERECTED AS PER A.I.S.C. MANUAL.
FEET..... FT.	FLOOR JOIST
FINISHED FLOOR..... F.F.	SIZE AND DIRECTION AS INDICATED ON
FLOOR..... FLR.	DRAWINGS. DOUBLE JOIST UNDER ALL
FOUNDATION..... FNDN	PARTITIONS. DOUBLE JOIST UNDER ALL
GALVANIZED..... GALV.	BATHROOMS. ARRANGE FLOOR JOISTS TO
GRADE..... GR.	ACCOMMODATE AIR CONDITIONING AND
HEIGHT..... HT	HEATING DUCTS AND PLUMBING. FLOOR
INCH..... IN.	TRUSSES OR SIMILAR MAY BE SUBSTITUTED
INSULATION..... INSUL.	FOR DIMENSIONAL LUMBER UNLESS
INTERIOR..... INT.	OTHERWISE INDICATED. CROSS BRACING OF
LIGHT..... LT.	FLOOR JOISTS SHALL BE AT 6'-0" O.C. MAX.
MASONRY OPENING..... M.O.	INTERIOR PARTITIONS
MECHANICAL..... MECH.	2x4'S @ 16" O.C. UNLESS NOTED OTHERWISE.
MINIMUM..... MIN.	LINTELS
MISCELLANEOUS..... MISC.	UNLESS OTHERWISE INDICATED, PROVIDE
NUMBER..... #, NO.	LOOSE ANGLE LINTELS FOR EACH 4" OF
NOT IN CONTRACT..... N.I.C.	MASONRY W/ THE 3 1/2" LEG HORIZONTAL.
ON CENTER..... O.C.	STEEL LINTELS SHALL HAVE 6" BEARING EACH
OPENINGS..... OPNG	END.
PANTEELED..... PNTD.	
PLYWOOD..... PLYWD	
PLATE..... PL.	
PRESSURE TREATED..... P.T.	
RETURN AIR GRILLE..... R.A.G.	
ROUGH OPENING..... R.O.	
RISER..... R.	
ROOM..... RM	
SECTION..... SEC.	
SPECIAL..... SPEC.	
STEEL..... STL.	
STRUCTURAL..... STRUCT.	
STRUCT. INSUL. PANEL..... S.I.P.	
TO BE DETERMINED..... T.B.D.	
TO BE SPECIFIED..... T.B.S.	
TO MATCH EXISTING..... T.M.E.	
TONGUE AND GROOVE..... T & G	
TOP OF..... T.O.	
TREAD..... T.	
TYPICAL..... TYP.	
UNLESS NOTED OTHERWISE..... U.N.O.	
VERIFY IN FIELD..... V.I.F.	
WITH..... WJ	
WOOD..... WD	
WATER PROOF..... W.P.	

ZONING ANALYSIS

MONTGOMERY CO. ZONING ORDINANCE (2014)		
ZONE: R-60	LOT SIZE: 18,738 SF	
A. PLACEMENT	min. required	provided
FRONT SETBACK	60'-0"	85'-5"
SIDE SETBACK	16'	18'
REAR SETBACK	18'	19'
COVERAGE	max. allowed	provided
	35%	11%
	6,558 SF	2,071 SF
B. HEIGHT	max. allowed	provided
	20'	17'-5"
C. GROSS FLOOR AREA	MAXIMUM GROSS FLOOR AREA FOR A DETACHED ADU MUST BE AT LEAST OF:	
	I. 50% OF FOOTPRINT OF PRINCIPAL DWELLING;	
	II. 10% OF LOT AREA; OR	
	III. 1,200 SF OF GROSS FLOOR AREA.	
	PRINCIPAL DWELLING FOOTPRINT: 1,554 SF	
	50% OF PRINCIPAL FOOTPRINT: 772 SF	
	ADU GROSS FLOOR AREA: 763 SF	

SHEET INDEX	
A001	COVER SHEET
A002	SITE AND DRAINAGE PLANS
C001	EXISTING PLAT
A101	FLOOR PLANS
A201	ELEVATIONS AND SCHEDULES
A202	SECTIONS
A502	SECTION DETAILS
EN001	ENERGY HVAC AND THERMAL BARRIER
S101	STRUCTURAL PLANS
E101	ELECTRICAL PLANS

CONTRACTOR
BACKYARD HOMES LLC
MIKE NOVOTNY
PHONE: (202) 866-HOME
EMAIL: MNOVOTNY@BACKYARD.HOMES
(MD MHC CONTRACTOR/SALESMAN LICENSE # 151602)

ARCHITECT
MEASURE ARCHITECTS PLLC
JOE HARRIS, AIA
PHONE: (202) 810-4281
EMAIL: JHARRIS@MEASUREARCHITECTS.COM

SCOPE OF WORK

THIS BUILDING PERMIT IS FOR NEW CONSTRUCTION TO BUILD A DETACHED ACCESSORY DWELLING UNIT.

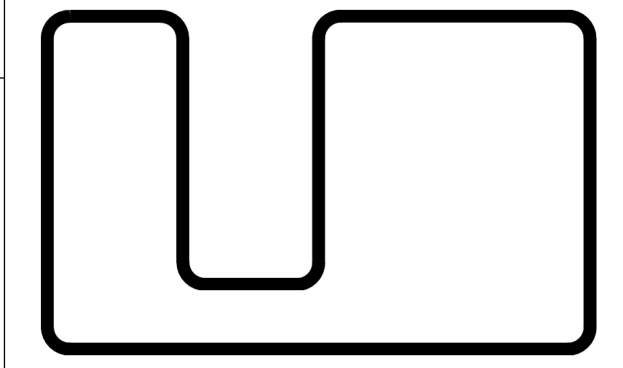
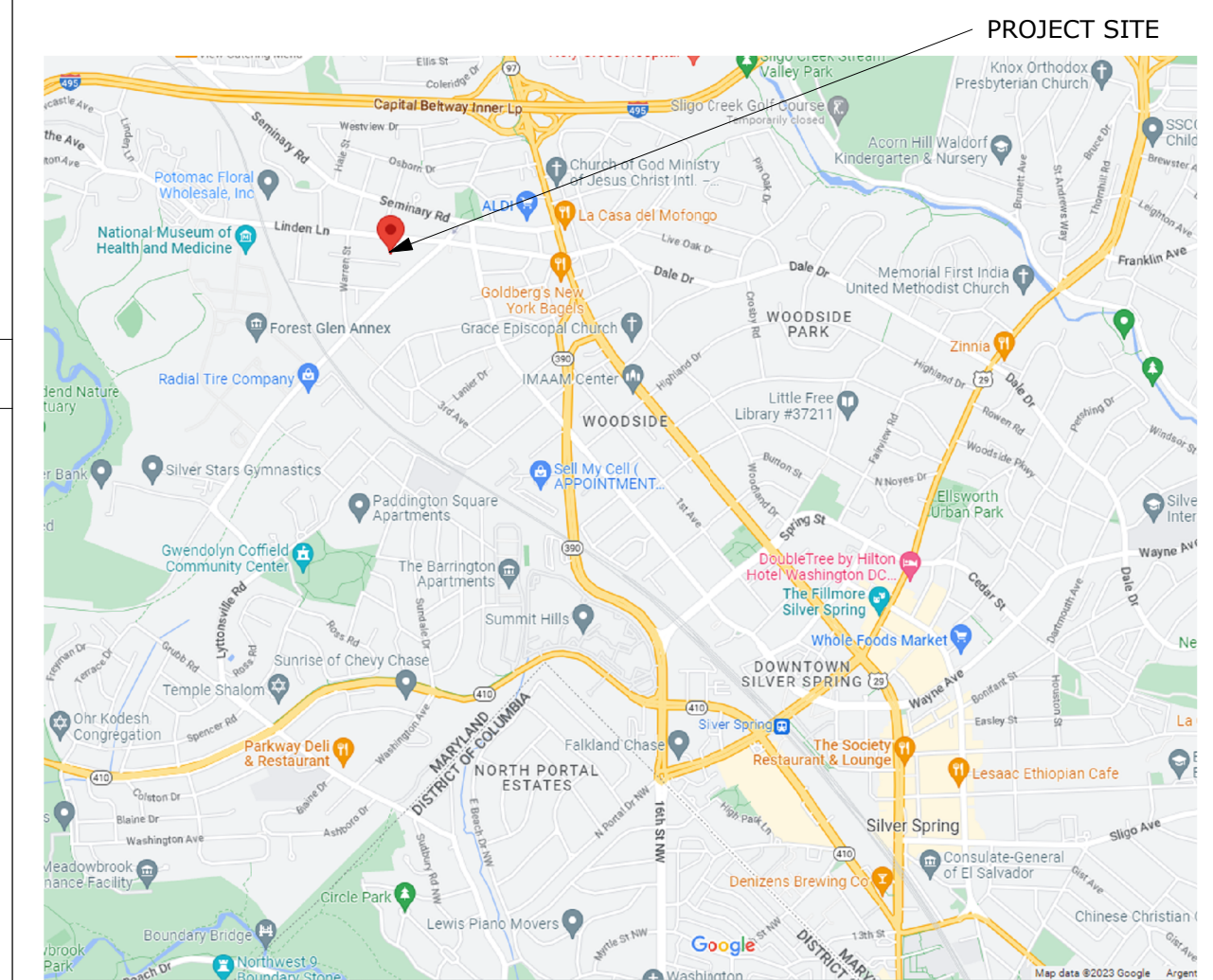
CONSTRUCTION TYPE: V-B
OCCUPANCY: GROUP R-3
ALLOWABLE HEIGHT: 20' (Zoning requirement)
SPRINKLERED: YES

Level	Gross Area
first floor	410 SF
second floor	352 SF
Grand total	763 SF



REVIEWED
By Dan.Bruechert at 4:24 pm, May 22, 2023

VICINITY MAP



MEASURE

measurearchitects.com
Measure Architects PLLC
4000 Tunlaw Rd NW 822
Washington, DC | 20007
202 810 4281



ACCESSORY DWELLING

2115 Salisbury Rd
Silver Spring MD 20910
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Address
PROJECT # 03-2226



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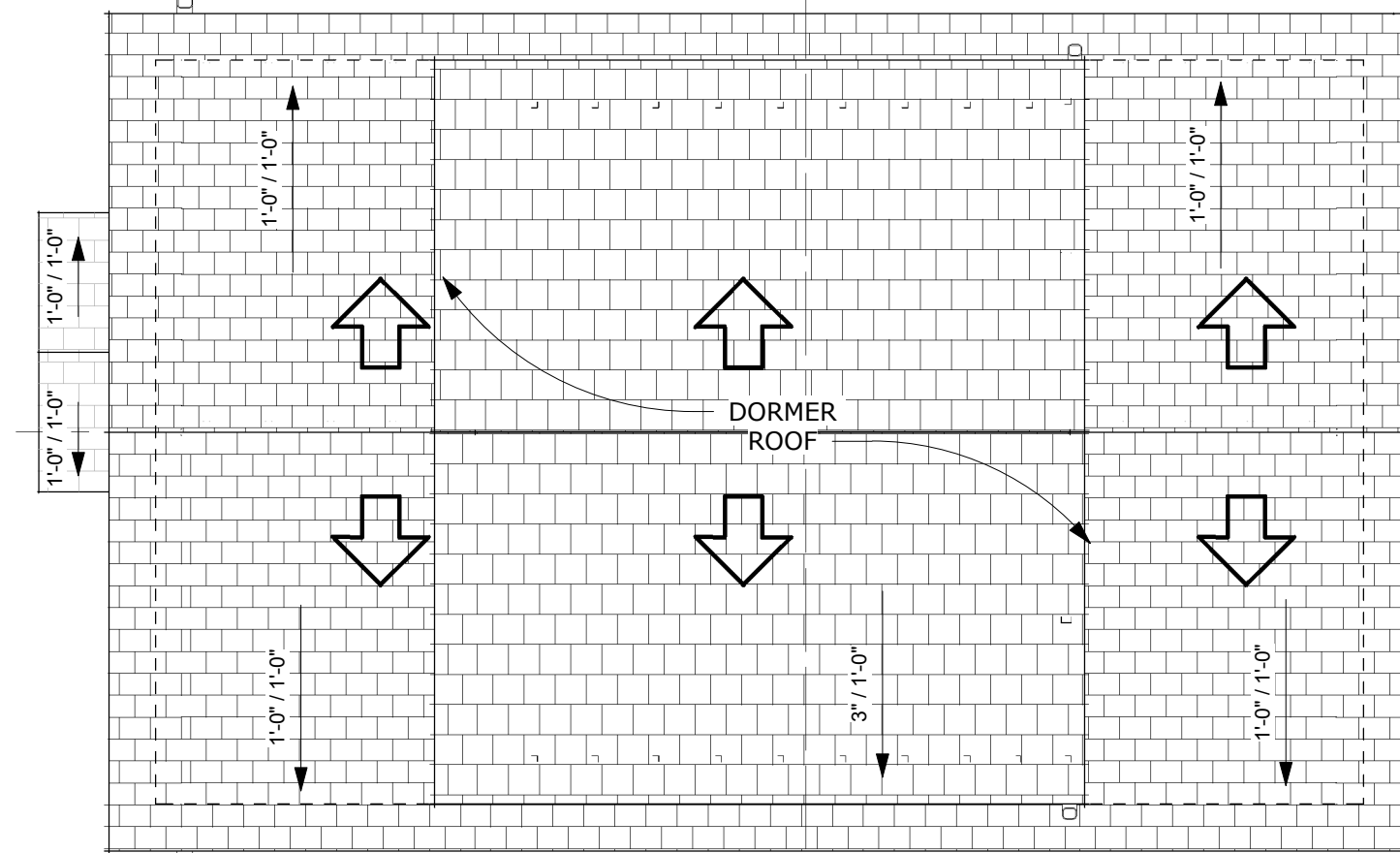
COVER SHEET

Title
Sheet **A001**
Scale

APPROVED
Montgomery County
Historic Preservation Commission



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By Dan.Bruechert at 4:24 pm, May 22, 2023



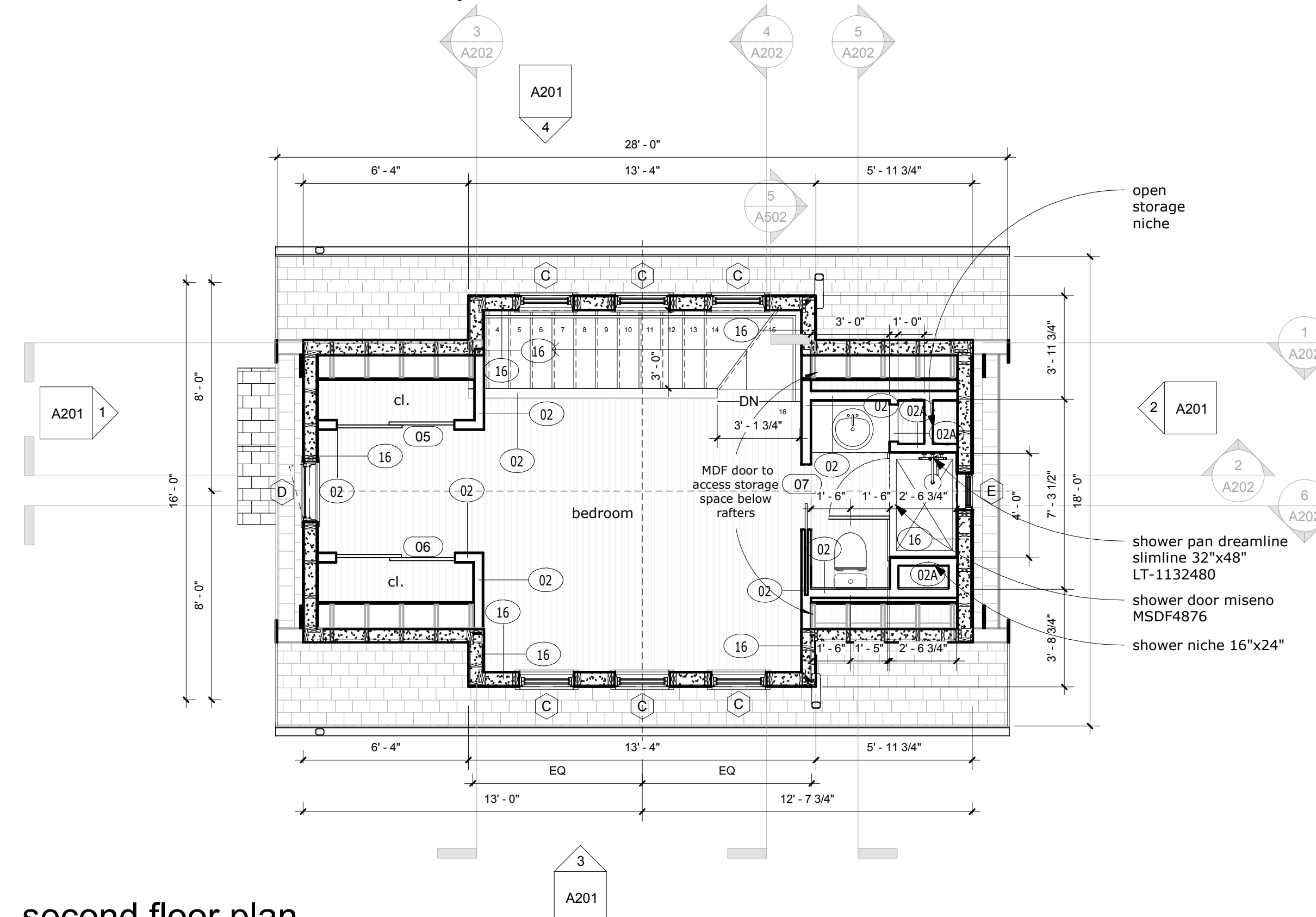
3 roof plan
scale: 1/4" = 1'-0"



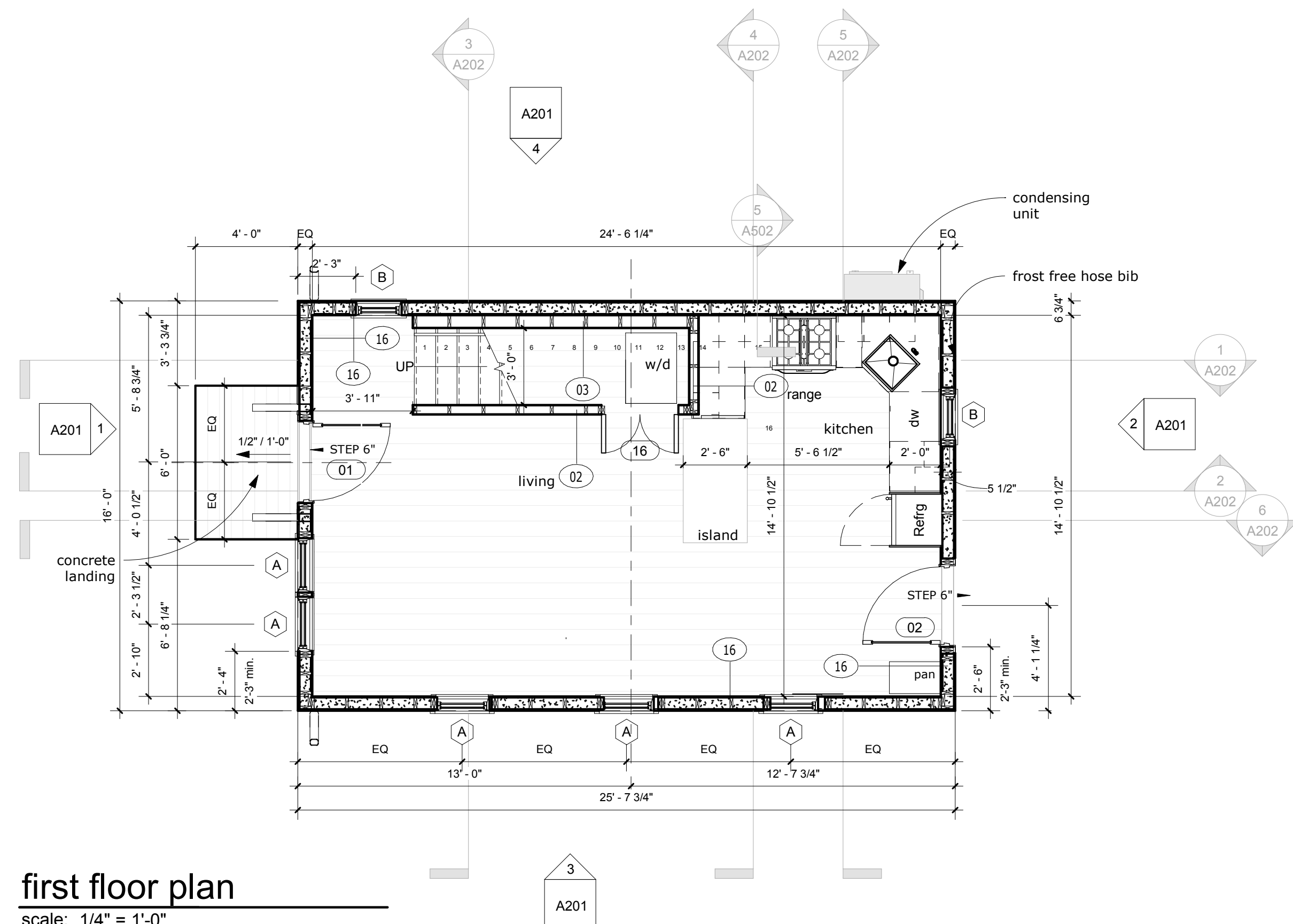
4 3d view
scale:

RENDERING FOR ILLUSTRATIVE PURPOSES ONLY.
REFER TO ELEVATIONS

THIS AREA TO REMAIN BLANK PER JURISDICTION REQ'S.



2 second floor plan
scale: 1/4" = 1'-0"



1 first floor plan
scale: 1/4" = 1'-0"

SHEET NOTES

1. PROVIDE WOOD BLOCKING IN STUD PARTITIONS AS REQUIRED FOR SUPPORT AND/OR INSTALLATION OF DOOR FRAMES, MOULDINGS, MILLWORK, WALL PANELS, HANDRAILS, GRAB BARS, WINDOW TREATMENTS, AND ALL OTHER WALL MOUNTED ITEMS.
2. WATER RESISTANT GYPSUM BOARD SHALL BE USED FOR THE FULL HEIGHT OF PARTITION CONSTRUCTION AT BATHROOMS, KITCHENS, AND PARTITIONS WHICH CONTAIN PLUMBING FIXTURES (SUCH AS WET WALLS AND WALLS ADJACENT TO AND BEHIND PLUMBING FIXTURES) U.N.O. COATED GLASS MAT BACKER BOARD SHALL BE USED AT PARTITIONS WITH TILE FINISH.
3. USE GALVANIZED METAL CORNER BEADS AND EDGE TRIMS IN ALL EXPOSED WORK, POSITIVELY ATTACHED WITH FASTENERS. INSTALL FINISHED 'J'-BEAD EDGE AT TOP OF GYPSUM BOARD PANELS TERMINATING AT FACE OF CEILINGS TO ALLOW FOR SEALANT.
4. COORDINATE LOCATIONS OF ALL OPENINGS REQUIRED IN MASONRY PARTITIONS WITH ARCHITECTURAL, STRUCTURAL AND MEP DRAWINGS. REFER TO STRUCTURAL DRAWINGS FOR LINTEL SCHEDULE AND REINFORCING SCHEDULE.
5. PROVIDE AND COORDINATE LOCATIONS OF PIPE PROTECTION TO BE INSTALLED IN PARTITIONS TO PREVENT FUTURE DAMAGE TO PIPING WITHIN.

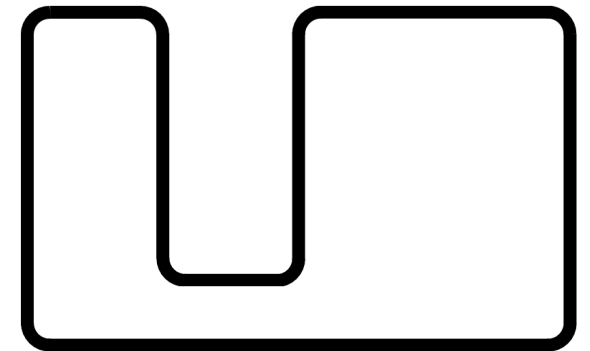
WALL LEGEND

- NEW 2X4 INTERIOR PARTITION, U.N.O.
- NEW 2X6 EXTERIOR WALL W/ R-20 INSUL. MIN, U.N.O.

PARTITION SCHEDULE

01A	FURRING 2x3 WOOD STUD @ 16" O.C.
02	2x4 WOOD STUD @ 16" O.C.
02A	FURRING 2x4 WOOD STUD @ 16" O.C., R-13 INSUL WHERE INDICATED
03	2x6 WOOD STUD @ 16" O.C.
16	2x6 WOOD STUD @ 16" O.C., FIBER CEMENT (SPEC PER ELEVATIONS), R-20 INSUL. TYP. U.N.O.
32	8" C.I.P. CONCRETE

Level	Gross Area
first floor	410 SF
second floor	352 SF
Grand total	763 SF



MEASURE

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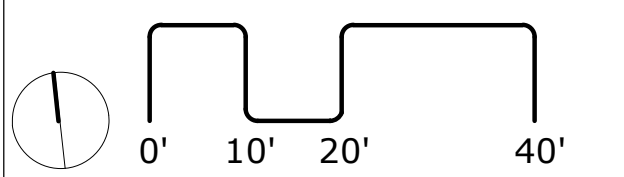
Address

PROJECT #	03-2226	
#	Description	Date
	CONTRACT SET	01/25/2023
	PERMIT SET	02/23/2023

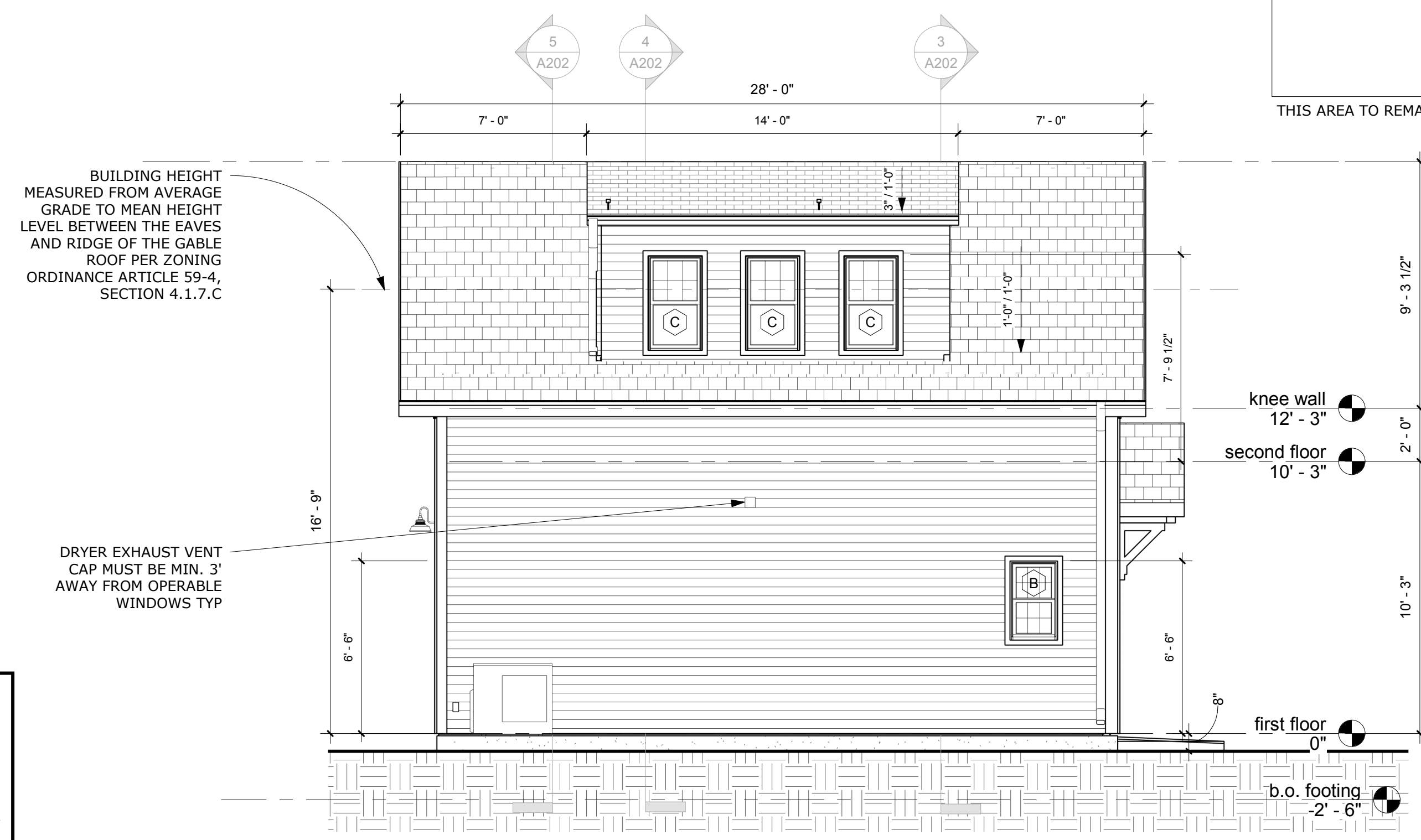


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FLOOR PLANS



Title
A101
Sheet
Scale As indicated

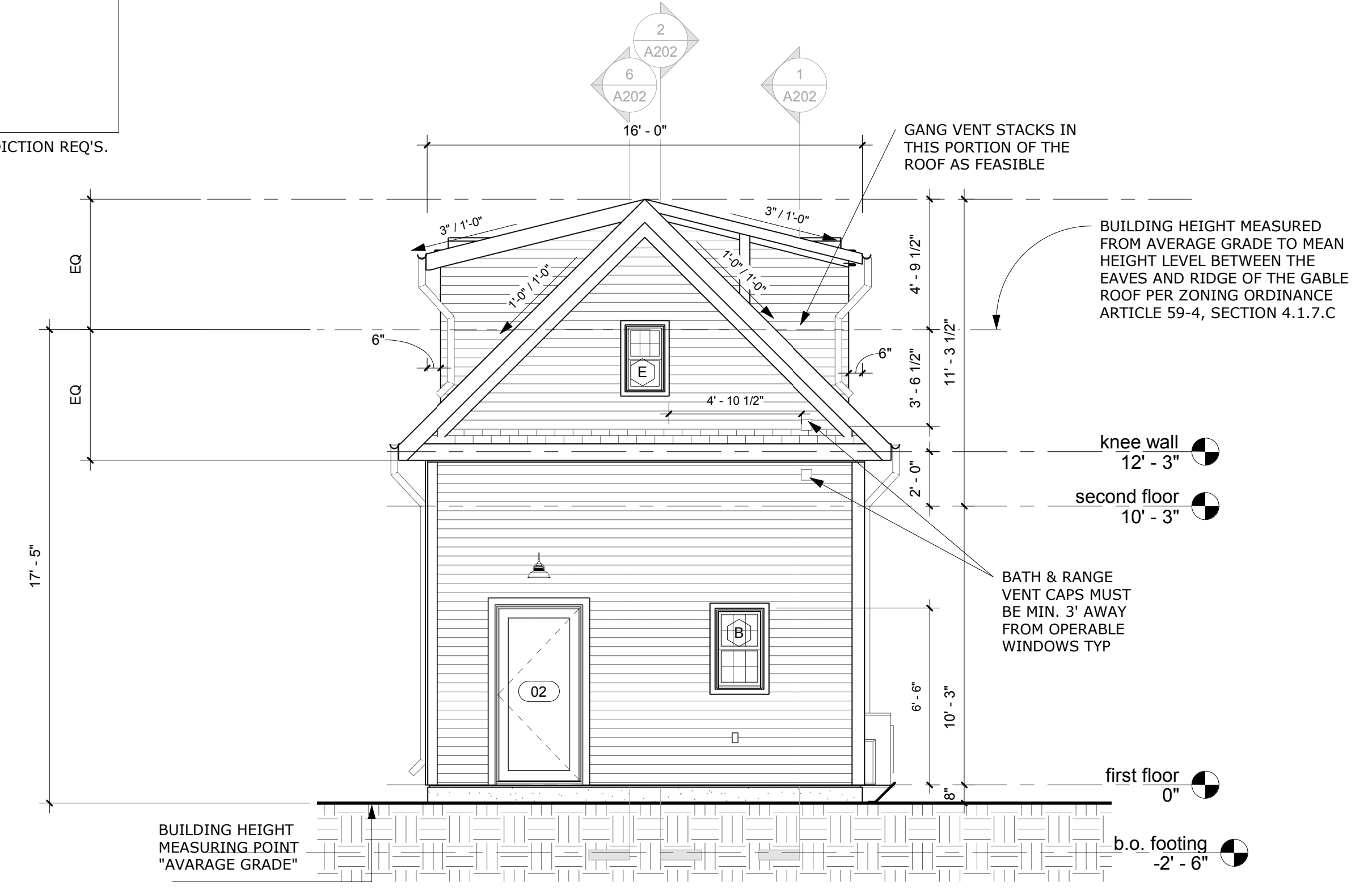


4 side elevation
scale: 1/4" = 1'-0"

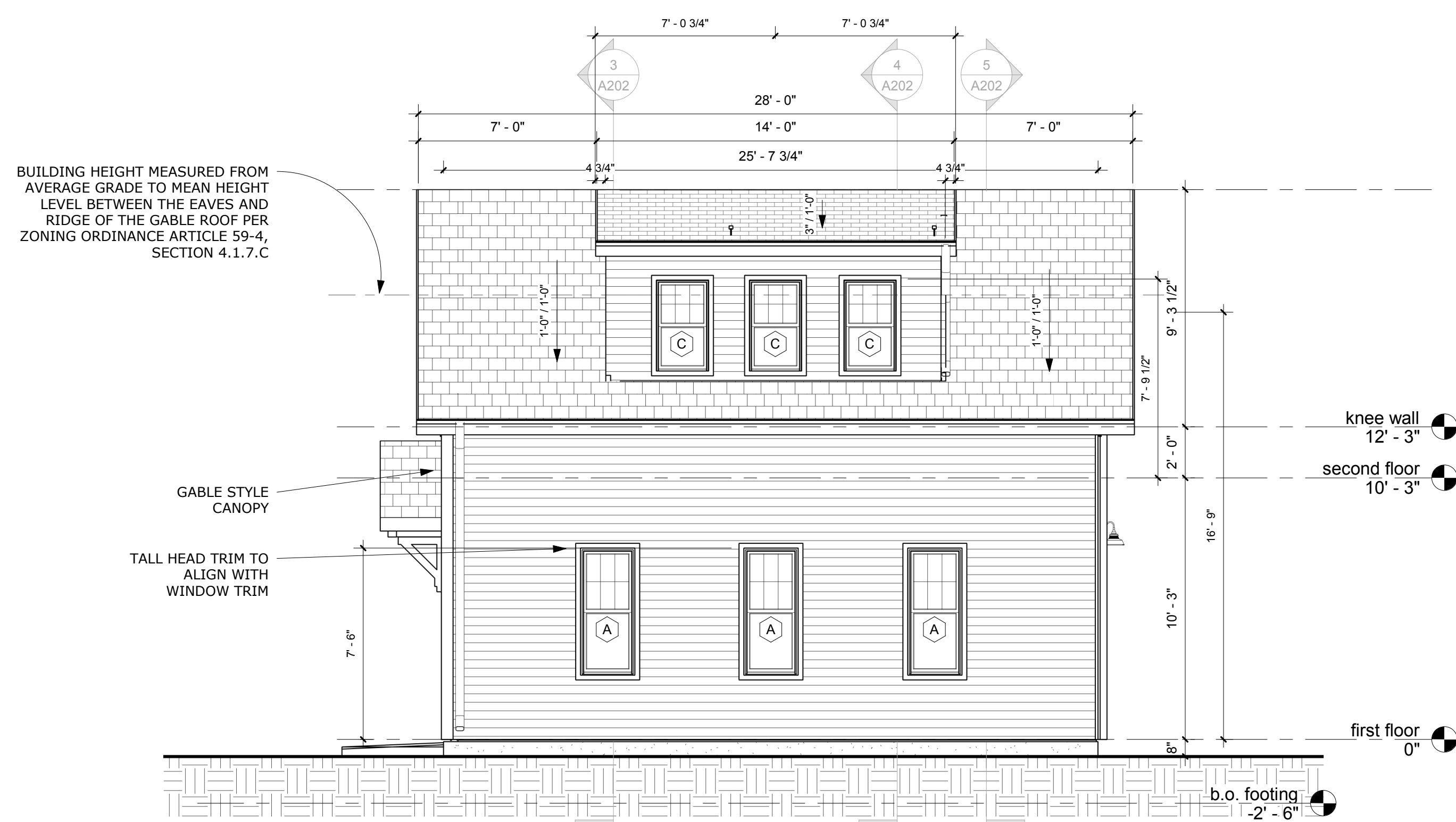
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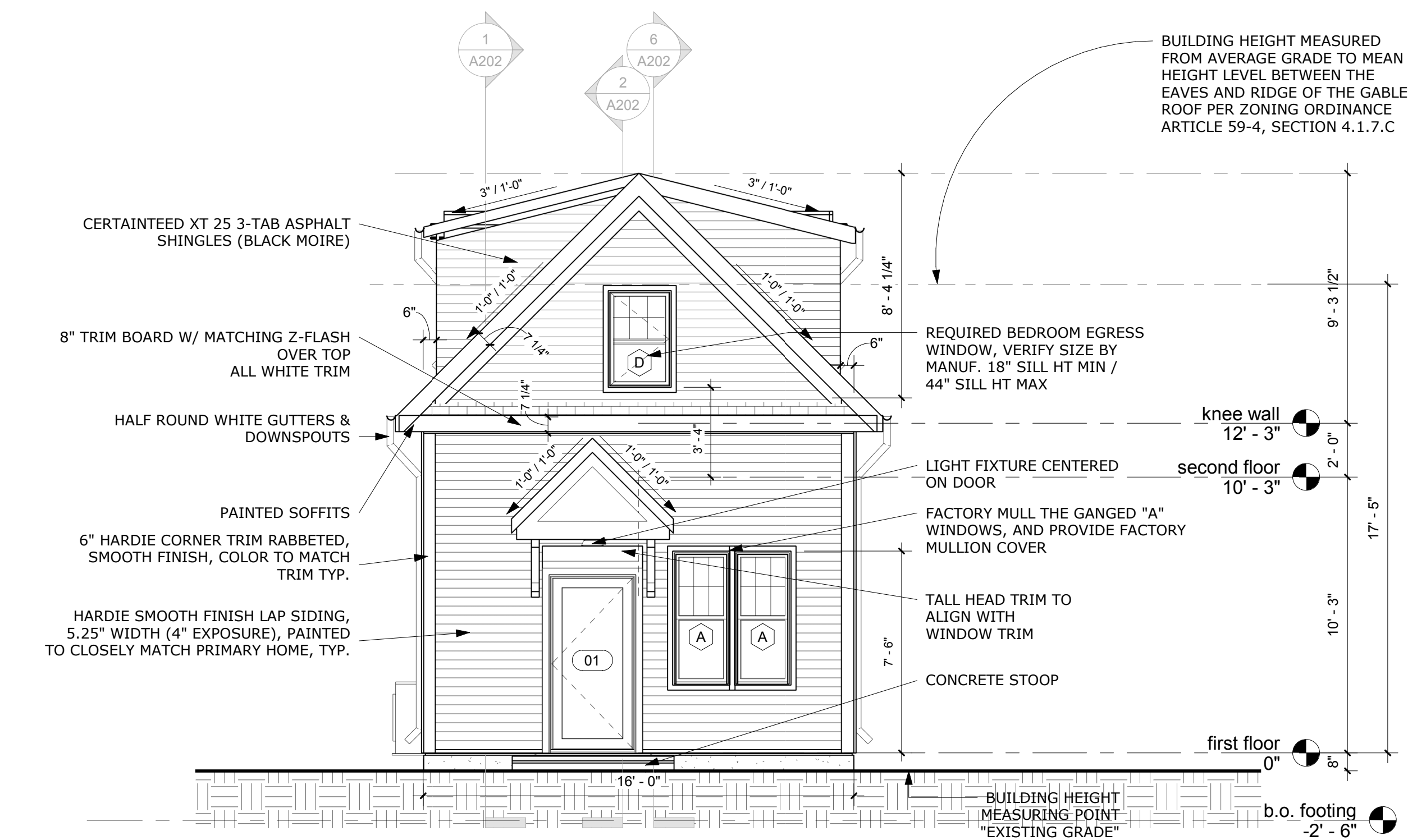
THIS AREA TO REMAIN BLANK PER JURISDICTION REQ'S.



2 rear elevation
scale: 1/4" = 1'-0"



3 side elevation
scale: 1/4" = 1'-0"



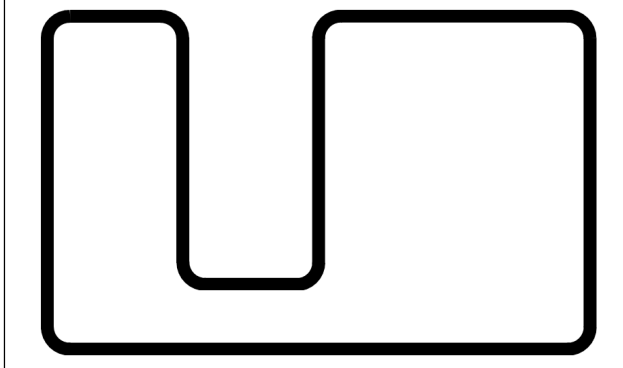
1 front elevation
scale: 1/4" = 1'-0"

WINDOW SCHEDULE

Type Mark	Count	Manufacturer	Window Type	Nominal Height	Nominal Width	Comments	Type Comments	Egress Window
A	5	Marvin Windows and Doors	Elevate Double Hung	5' - 0"	2' - 2"	Clad Wood Ebony,Stone White Finish; 1" Dual-Pane IG Low E2 with Argon	U-0.32; SHGC 0.4	No
B	2	Marvin Windows and Doors	Elevate Double Hung	3' - 0"	1' - 10"	Clad Wood Ebony,Stone White Finish; 1" Dual-Pane IG Low E2 with Argon	U-0.32; SHGC 0.4	No
C	6	Marvin Windows and Doors	Elevate Double Hung	3' - 8"	2' - 2"	Clad Wood Ebony,Stone White Finish; 1" Dual-Pane IG Low E2 with Argon	U-0.32; SHGC 0.4	No
D	1	Marvin Windows and Doors	Elevate Casement	3' - 7"	2' - 5"	Clad Wood Ebony,Stone White Finish; 1" Dual-Pane IG Low E2 with Argon	U-0.32; SHGC 0.4	Yes
E	1	Marvin Windows and Doors	Essential Double Hung	2' - 6"	1' - 6"	Clad Wood Ebony,Stone White Finish; 1" Dual-Pane IG Low E2 with Argon - Frosted and Tempered	U-0.32; SHGC 0.4	No

DOOR SCHEDULE

Mark	Count	Manufacturer	Type	Height	Width	Description	Type Comments
01	1	ProVia Heritage	ProVia 460	6' - 7 1/2"	3' - 2 3/4"	Smooth Fiberglass	U-0.32; SHGC 0.4
02	1	ProVia Heritage	ProVia 460	6' - 7 1/2"	3' - 2 3/4"	Smooth Fiberglass	U-0.32; SHGC 0.4
05	1	Reeb Monroe Style, HC	30" Panels	6' - 8"	4' - 6"		
06	1	Reeb Monroe Style, HC	30" Panels	6' - 8"	4' - 6 3/4"		
07	1	Reeb Monroe Style, HC	30" x 80" pocket	6' - 8"	2' - 6"		



MEASURE

measurearchitects.com

Measure Architects PLLC
4000 Tunlaw Rd NW 822
Washington, DC | 20007
202 810 4281



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ACCESSORY DWELLING

2115 Salisbury Rd
Silver Spring MD 20910
Montgomery County

Address

PROJECT # 03-2226

#	Description	Date
CONTRACT SET		01/25/2023
PERMIT SET		02/23/2023



I, Joseph Harris, am responsible for determining that the architectural designs included in this application are in compliance with all relevant laws and regulations of the State of Maryland. I have personally prepared, or directly supervised the preparation of, the architectural designs included in this application.
License# 19731 | Expires 12/30/24
Certification Drawn by:MA Checked by:JH

ELEVATIONS AND SCHEDULES

Title
Sheet **A201**
Scale 1/4" = 1'-0"