



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: January 24, 2023

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1015715 - Building Addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the January 11, 2023 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings **and a window quote dated 11/8/2022**

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Michele & Malcolm Russell-Einhorn
Address: 4711 Waverly Ave., Garrett Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



General Notes

PLANS, PERMITS AND INSPECTIONS

- Produce construction plans showing plan-view and necessary elevations.
- Engineering services have been included
- Building Permits are included (see allowances)
- All necessary inspections are included
- Case cannot be held responsible for time delays caused by city/local jurisdiction inspection scheduling. Also, if upon inspection, the inspector requires any unforeseen addendum or additional information; additional costs incurred will be the homeowner's responsibility.

START-UP:

- If homeowner wishes to keep anything that is scheduled for demolition and removal, they must inform Case prior to start of demolition.
- It is the home-owner's responsibility to remove ALL personal items from the work area prior to start of work.
- We assume the existing structure scheduled to remain is in good condition and will not require reworking.
- Any flower beds, trees, shrubs, bushes or other landscaping the owner wishes to keep must be moved prior to the start of work
- Case will order all Case-provided materials and receive/check-in at Case warehouse, coordinate delivery to job site and store in client designated storage area.
- Case will provide protection and perform the interior and exterior work according to the EPA's "Renovate Right" guidelines.
- Case will provide general site and dust protection as necessary to protect areas outside scope of work. Case will make every effort to minimize the amount of dust to areas outside scope of work, though some dust is inevitable.
- Case will provide weather protection tarps over exposed construction area(s) as practical.
- Portable toilet facilities will be made available to workers for the duration of the project.

DEMOLITION / HAULING

KITCHEN & DINING ROOM

- Remove and haul away:
 - o windows, framing and exterior wall with temporary shoring, per drawings
 - o Interior load bearing walls with shoring, per plans.
 - o Interior non load bearing wall, per plans
 - o Cabinets, tops, hood, and appliances
 - (1) Relocate the refrigerator to an adjoining room on the same level
 - o Sink, faucet, and disposal
 - o Ceiling-mounted directional light fixtures
 - o Remove and haul existing wood flooring as necessary, per drawings
 - (1) We assume that the existing subflooring, which is to remain, is in good condition.
 - o Existing drywall on walls and ceiling to remain as practical. Patching of drywall is anticipated as a result of construction. (See *drywall patch allowance*)
- NOTE: Existing windows, doors, and structural elements (wall and floor framing) to remain unless otherwise specified.

POWDER ROOM

- Remove and haul away:
 - o the corner vanity cabinet, sink and faucet, toilet, lighting fixtures, wood wainscoting/paneling, and bath accessories
 - o Save mirror

2nd FLOOR BATHROOM

- Remove and haul away:
 - o Window, door and all trim
 - o Vanity cabinet, marble top, sink, faucet, lighting fixtures, mirror, medicine cabinet & bath accessories
 - o Toilet, bathtub, tub valve and shower head, glass shower slider
 - o **Disconnect and temporarily relocate washer/ dryer**
 - o Remove existing laundry box drain and water lines off the existing location
 - o All tile from the tub surround and bath floor
 - o All drywall on walls and ceiling
 - o Radiator and cap below floor

MASTER BATHROOM

- Remove and haul away:
 - o Window and trim, per plans

BEDROOM

- Remove and haul away:
 - o Doors, trim, windows, walls per plans
 - o Interior closet pole/shelf
 - o Flooring as necessary
 - o Radiator and cap below floor
 - o Remove and save ceiling-mounted chandelier

3rd FLOOR SEWING ROOM

- Remove and haul away:
 - o Doors, trim, and walls per plans
 - o Shelving units
 - o Flooring as necessary

FOUNDATION

- Layout and coordinate excavation and foundation work
- Excavate and hauling out the dirt for the new pier footings
- Furnish and install concrete footings 20x20 inches wide 30 inches deep for the new brick piers, per plans
- Furnish and install 16x16 brick piers with solid concrete inside and 2 J-bolts on top for the new addition, per plans

HVAC

- We will furnish and install the following for the **first floor**:
 - o 1-Complete duct system with registers and grilles.
 - o Two supply air trunk lines.
 - o Relocate return air box and grilles to the basement.
 - o 2-Eight supply air branch lines.
 - o 3-Extend 2" PVC furnace vent.
 - o 4-Extend dryer vent.
 - o 5-Vent kitchen exhaust.
 - o 6-Make-up air.
 - o 7-Relocate air conditioner.
 - o 8=Mechanical permit
- We will install the following for the **second floor and attic addition**:
 - o 1- SVZ-KP18NA Mitsubishi Indoor Unit
 - o 1- SUZ-KP18NA Mitsubishi Outdoor Unit
 - o 1- MHK2 Thermostat
 - o 1 -EH05-SVZ-S 5 KW heat package
 - o 1- Complete duct system with registers and grilles.
 - 1- supply air trunk line for the second floor.
 - 1- supply air trunk line for the attic.
 - 2- return air trunk lines.
 - o 1-Bath vent
 - o 1-Laundry vent
 - o 1-Emergency drain pan
 - o 1-EZ Trap and Wet Switch condensate safety switch.
 - o Included: Refrigerant lines, condensate drain lines, ductwork, control wiring and start up.

ELECTRICAL

- Provide and install all electrical fixtures and wiring as shown on the electrical plan
- All NEW electrical work to conform to NEC and local codes
- All devices standard white with (10) Araidni dimmers, 2 USB A/C plugs included.
- Heavy up service to 400 amps. No disconnects included. No Pepco Fees included.
- Provide the following dedicated circuits:
 - o 2 bidets, 1 Oven, 1 Induction Cooktop, 1 Hood, 1 dish., 1 disp., 1 fridge, 1 mini fridge, 1 micro, 2 Kit. counter circs., 2 bath gfi, 1 washer, 1 dryer, Relocated 1 AC. for new HVAC unit: (1) 5KW indoor unit & (1) 20amp outdoor unit.
- Furnish and install the following fixtures:
 - o (43) 6" Halos, (2) FV0511, (3) led under-cabinet lights.
- If at time of inspection Case is required to remedy any existing conditions, these changes will be at a time and material cost
- NOTE: No smokes included except in (3) new bedrooms
- NOTE: Paint cabinet in basement needs relocated for new service.

ROUGH CARPENTRY

- Provide temporary shoring of ceilings joists where post and load-bearing walls are to be removed (*see plans for details*)
- Remove a large portion of load-bearing walls, per plans
- Furnish and install the following:
 - o Exterior walls, per drawings: 2x6 studs at 16" on center, headers, 1/2" sheathing & house wrap.
 - o Interior non-load bearing walls, per drawings: 2x4 studs at 16" on center
 - o Ceiling ledger
 - o Ceiling joists at 16" oc.
 - o Floor ledgers and sill plates
 - o Floor joists at 16" on center with 3/4" T&G subfloor
 - o Engineered beam per engineer's specifications (see structural beam allowance)
 - o Rough framed boxing around steel beam as necessary
 - o Shed/Hip/Valley roof: rafters at 16" oc, 1/2" sheathing & 30lb roof felt

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APPLICABLE CODES

CODES DETAILS:
- Plans conform with IRC 2018 and Maryland Building Rehabilitation Code (MBRC)
- All wood in contact with soil or masonry foundations to be pressure treated-AC treated SYP or equivalent. All fasteners used with ACQ treated lumber will meet the ASTM standard A153 and A653, class 185.
- All framing lumber to be SPP #2 unless indicated otherwise.
<u>Design criteria used are as follows:</u>
- Roof load - 30 lbs/ef
- Roof and floor dead load - 10 lbs/ef
- Floor live load in non-sleeping areas - 40 lbs/ef
- Floor live load in sleeping areas - 30 lbs/ef
- Climate Zone 4A
- Seismic design category B
- Terminate damage subjectivity - Moderate to heavy
- Subjectivity to damage from weather - severe
- Subjectivity to decay - slight to moderate
- Winter design temperature - 13 degrees F
- Mean Annual Temperature - 55 degrees F
- Air Freezing Index - 300
- Ice Shield Underlayment Required: Yes
- Wind speed - 115 mph
- Frost line depth - 30"
- Flood hazard - July 2, 1979
- Concrete - 3,000 psi compressive strength at 28 days
- Subfloors - 3/4" APA subfloor/underlayment rated, tongue and groove, glued and nailed to joists
- Roof sheathing - 1/2" OSB with spacers
- Roofing - 215 lb per square asphalt shingles over 15 lbf.

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Development:	Dave Vogt Michael O'Hearn	Management:	Greg Polen
Project No:	26-24-0971	Design:	Kwan Hening Caroline Moore

Russell Residence
 Proposed Remodel Project
 4711 waverly Avenue, Garrett Park, MD 20896
 Cover Sheet

Drawing Log	06/10/2021 - Measure 12/04/2021 - CD 9/30/2022 - Contract
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Date:	12/15/2022	Scale:	1/4" = 1'-0"
Sheet:		Of:	A01

APPROVED
 Montgomery County
 Historic Preservation Commission



REVIEWED
 By Dan.Bruechert at 2:50 pm, Jan 24, 2023

Permit

THESE PLANS HAVE BEEN PREPARED BY CASE DESIGN/MODELING, INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTIES

ROOFING / GUTTERS & DOWNSPOUTS

- Furnish and install up to 163 LF of 6" half round gutters in pre-painted aluminum. Color: White. Secure gutters with combo gutter hangers at every 2'O.C. And up to 76 LF of round downspouts in pre-painted aluminum. Color: White. Secure downspouts with aluminum straps and zip screws.

WINDOWS / DOORS (See schedules for details)

- Furnish & Install (17) windows, per plans
- Furnish & Install only (1) new sliding patio door, per plans

EXTERIOR TRIM & FINISHES

- Furnish and install all new PVC fascia, soffit, rake, corner, and exterior trim boards, per plans
- Furnish and install primed James Hardie fiber-cement lap siding with 7" reveal on the new addition, per drawings
- Furnish and install primed fiber-cement half-round siding on the new addition, per drawings
- Furnish & Install PVC soffits w/ 2" continuous soffit vents
- Furnish and install all decorative pilasters with PVC trim, as per plans
- Layout new stairs, per plans
- 2"x10" pressure-treated joists at every 16"
- Timbertec® Azek 5/4" x 6" decking boards on deck and stair treads (color and style TBD)
 - Deck boards to be pre-drilled and face-screwed into joists w/ color-matching hole plu

INSULATION WORK

- Air seal/fire stop
- Attic roof line – closed cell spray foam (R-49)
- Exterior walls insulation to be open cell spray foam R-21,
- Cold Floor insulation to be closed cell spray foam R-30

DRYWALL WORK

- Install ½" standard drywall on all newly installed walls and ceilings; tape joints and apply 2 coats of drywall mud, sand
- We have included a drywall patch due to holes made to run new electrical wires and/or plumbing pipes, for new second floor laundry (see allowances for details)

INTERIOR TRIM WORK

- Furnish and install the following, per plans:
- Furnish and install interior casing on new windows and patio door to blend with existing
- Furnish and install new baseboard: 2 -Piece, 1x4 FJ Base, w/ 1-3/8" Cap, WM165
- Widen interior door or pass-through opening

KITCHEN

PLUMBING

- Relocate the kitchen sink and faucet per proposed plans
- Make all necessary plumbing connections for (1) sinks, (1) dishwasher, (1) waterline to the refrigerator, (1) disposal, (1) Insta-hot (see fixture schedules)

ELECTRICAL

- The following dedicated circuits are included:
 - 1 Oven, 1 Induction Cooktop, 1 Hood, 1 dish., 1 disp., 1 fridge, 1 mini fridge, 1 micro, 2 kitchen counter circs.
- Furnish and install the following fixtures:
- (43) 6" Halos, (2) FV0511, (3) led under-cabinet lights.

FINISH WORK:

- Layout kitchen and laundry designs and install new cabinets per plans. See schedule for cabinet details
- Owners understand that painted cabinets can develop minor cracks at miter joints.
- Furnish and install cabinet hardware (See schedule for details)
- Provide and install new kitchen and laundry counter tops. (See schedule for details)
 - NOTE: countertops will be provided with a standard edge unless noted otherwise. Countertops may also have "seams" where two slabs of material join. A natural stone countertop, by nature, has small pits and fissures that are not considered imperfections.
- Provide and install kitchen tile backsplash per plans. (See schedule for details)
 - NOTE: due to the nature of stone, glass, and/or handmade ceramic tile, there will be variation in color, finish, texture and dimensions of each piece.
- Furnish and install the following items: (see fixture schedule for details)
 - (1) KITCHEN SINKS
 - (1) KITCHEN FAUCETS
 - (1) DISPOSAL
 - (1) INSTA-HOT

APPLIANCES:

- Owners understand that no warranty is extended towards reinstalled appliances.
- Owner to purchase remaining appliances directly from appliance supplier. Appliance supplier to include delivery of appliances to job site. Owner to arrange for delivery and acceptance of appliances. Case cannot be responsible for any damage associated with Owner not inspecting appliances at the time of delivery.
- Other than the items listed above, install of appliances to be performed by others and is not included within Case's scope of work

MAIN LEVEL FULL BATH

INTERIOR FRAMING AND PREP:

- Frame new interior wall, per plans
- Frame new shower niche, per plans
- Re-enforce walls for grab bars
- Furnish and install new water-resistant drywall (green board), as necessary.
 - New drywall to be taped, blocked, skimmed and, sanded

PLUMBING: (see portfolio on plans for details)

- Relocate Toilet, per plans [floor mounted]
- Furnish and install new lavatory sink & faucet, per plans
- Furnish and install (1) shower drain, (1) shower valve and (1) fixed shower head

ELECTRICAL: (see schedule for details)

- Furnish & install all electrical work , per plans
- Furnish & install new dedicated circuits: (1) bath gfi, (1) bidet
- Furnish & install new (1) Panasonic FV0511 bath fan

FIXTURES AND FINISH SELECTIONS: (see portfolio/schedule on plans for details)

- Furnish & install vanity and wall cabinets, per plans
- Furnish & install quartz vanity top, per plans
- Furnish & install medicine cabinet, per plans
- Furnish & install bath accessories, per plans
- Furnish & install shower bench and grab bars, per plans
- Furnish & install frameless clear tempered glass shower sliding doors

2nd FLOOR HALL BATHROOM

INTERIOR FRAMING AND PREP:

- Frame new interior wall, per plans
- Frame new shower niche, per plans
- Furnish and install new water-resistant drywall (green board), as necessary.
 - New drywall to be taped, blocked, skimmed and, sanded

PLUMBING: (see portfolio on plans for details)

- Relocate Toilet, per plans [floor mounted]
- Furnish and install new lavatory sink & faucet, per plans
- Furnish and install (1) shower drain, (1) shower valve and (1) Hydro rail

ELECTRICAL: (see schedule for details)

- Furnish & install all electrical work , per plans
- Furnish & install new dedicated circuits: (1) bath gfi, (1) bidet
- Furnish & install new (1) Panasonic FV0511 bath fan

TILE: (see schedule for details)

- Furnish & install Schluter® KERDI waterproof membrane on bath and shower floors
- Furnish & install Schluter® DITRA waterproof membrane on shower walls
- Furnish & install new tile on bathroom floor, shower floor and shower walls as per drawings (see schedule for details)
- Furnish & install Schluter tile liner to cap tile edges.
- Furnish & install quartz threshold at entry door, shower curb, knee wall cap

FIXTURES AND FINISH SELECTIONS: (see portfolio/schedule on plans for details)

- Furnish & install vanity and wall cabinets, per plans
- Furnish & install quartz vanity top, per plans
- Furnish & install medicine cabinet, per plans
- Furnish & install bath accessories, per plans
- Furnish & install shower bench and grab bars, per plans
- Furnish & install frameless clear tempered glass shower sliding doors

LAUNDRY ROOM

PLUMBING: (see portfolio on plans for details)

- Furnish and install (1) washer box and (1) washer pan & drain

ELECTRICAL: (see schedule for details)

- Furnish & install new dedicated circuits: (1) dryer and (1) washer

TILE: (see schedule for details)

- Furnish & install Schluter® KERDI waterproof membrane on floor
- Furnish & install new tile on laundry floor, as per drawings (see schedule for details)

FIXTURES AND FINISH SELECTIONS: (see portfolio/schedule on plans for details)

- Furnish & install cabinets and countertops, per plans
- Install interior doors w/ lockset, see schedule for details
- Install laundry & closet doors, door casing and new baseboard to blend with existing
- Install washer and dryer to new electric and plumbing hook ups located on wall

FINISH FLOORING

- Remove and haul away existing wood in kitchen & family room only as necessary
- Supply & install new select grade white strip oak 2 1/4 x 3/4" (not southern grown) on main level:
 - family room,
 - perimeter of new kitchen,
 - old powder room
- 2nd Floor:
 - In (2) new bedrooms
 - closets & common area
- 3rd Floor:
 - In (1) New Bedroom and closet only
- Tooth-in approximately 13lf of new and old flooring in kitchen
- Sand & stain & finish the following areas with 3 coat system of Loba water base polyurethane. Supply & install oak shoe molding.
 - Family room,
 - Kitchen
 - Breakfast area
 - 3 treads & risers to mud room
 - 2nd floor (2) new bedrooms with adjoining closets and common areas.
 - 3rd floor (1) new bedroom and closet
- NOTE: wood needs to acclimate prior to installation. door jambs, base board, stringers, risers will need painted by homeowner. Rooms to be emptied prior to hachers arrival.

WORK NOT INCLUDED

- Appliances have not been included. Installation of appliances by others
- Painting and paint preparation has not been included. All drywall will be finished to a prime-ready condition
- All surface-mounted lights to be supplied by owner and installed by Case
- No changes to the existing water service has been included.
- No audio/video work or material has been included
- No patio/walkway/hardscaping/landscaping has been included, other than what has been specified



REVIEWED
By Dan.Bruechert at 2:50 pm, Jan 24, 2023

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Project No:	216-24-0971	Design:	Kwan-Henning Caroline Moore

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Proposed Remodel Project

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Notes

Drawing Log

06/10/2021 - Measure
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Date:	12/15/2022	Scale:	1/4" = 1'-0"
Sheet:		Of:	
			A02

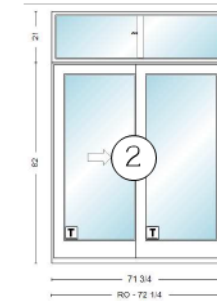
Permit

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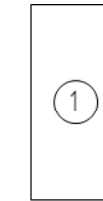
Interior Door Schedule

Label	Qty	Type	RO Size	Location	Description
E		Existing door			Existing, No change
3	1	Swing Simple	2'-4"x6'-8"	Powder Room	Solid Core Door - To Blend With Existing
4	1	Swing Bi-Part	4'-0"x6'-8"	Closet	Solid Core Door - To Blend With Existing
5	1	Swing Simple	2'-6"x6'-8"	Bedroom	Solid Core 5 Panel Door - To Blend With Existing
6	1	Swing Simple	2'-6"x6'-8"	Bedroom	Solid Core 5 Panel Door - To Blend With Existing
7	1	Swing Bi-Part	4'-0"x6'-8"	Closet	Solid Core 5 Panel Door - To Blend With Existing
8	1	Swing Simple	2'-4"x6'-8"	Bathroom	Solid Core 5 Panel Door - To Blend With Existing
9	1	Swing Simple	1'-6"x6'-8"	Linen Closet	Solid Core Door
10	1	Swing Bi-Part	4'-0"x6'-8"	Closet	Solid Core Door - To Blend With Existing
11	1	Swing Simple	2'-6"x6'-8"	Bedroom	Solid Core 5 Panel Door - To Blend With Existing
12	1	Swing Bi-Part	2'-6"x6'-8"	HVAC Closet	Louvered Doors

Exterior Door Schedule

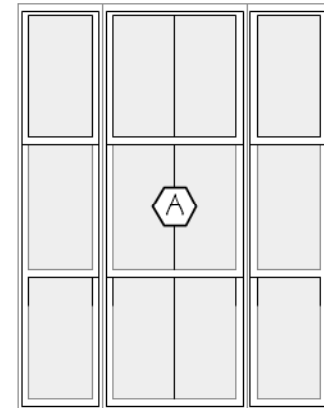


Qty: 1
 Operation: Fixed / Left-Stationary
 Location: Family D2
 RO Size = 72 1/4" x 103 1/2"
 Unit Size = 71 3/4" x 103"

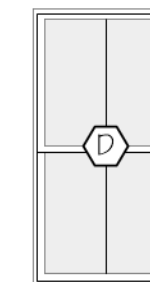


Qty: 1
 Operation: Fixed / Left
 Location: Mud Room D-1
 RO Size = 37" x 103 1/2"
 Unit Size = 36 1/2" x 103"

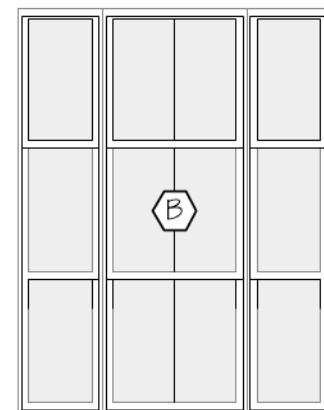
Window Schedule



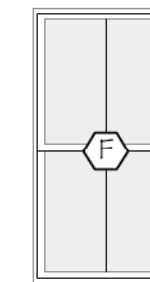
Qty: 3
 Operation: Fixed - Fixed - Fixed
 Location: Family - W- A,B,C
 RO Size = 78 1/2" x 103"
 Unit Size = 78" x 102 1/2"



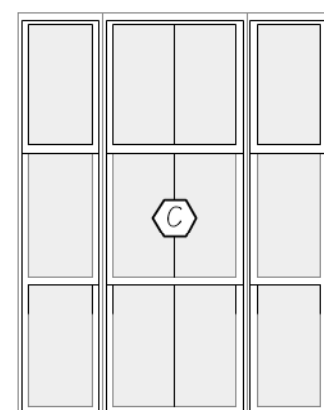
Qty: 1
 Operation: Active/Active
 Location: Breakfast/Kitchen- W- D- Tempered
 RO Size = 36 1/2" x 70"
 Unit Size = 36" x 69 1/2"



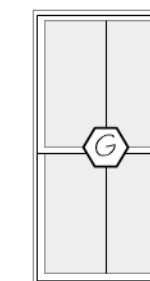
Qty: 3
 Operation: Fixed - Fixed - Fixed
 Location: Family - W- A,B,C
 RO Size = 78 1/2" x 103"
 Unit Size = 78" x 102 1/2"



Qty: 5
 Operation: Active/Active
 Location: Breakfast/Kitchen- W- F,G,H,I,J
 RO Size = 36 1/2" x 70"
 Unit Size = 36" x 69 1/2"



Qty: 3
 Operation: Fixed - Fixed - Fixed
 Location: Family - W- A,B,C
 RO Size = 78 1/2" x 103"
 Unit Size = 78" x 102 1/2"



Qty: 5
 Operation: Active/Active
 Location: Breakfast/Kitchen- W- F,G,H,I,J
 RO Size = 36 1/2" x 70"
 Unit Size = 36" x 69 1/2"

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Schedules

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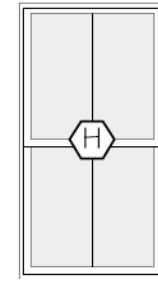
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Of: 1

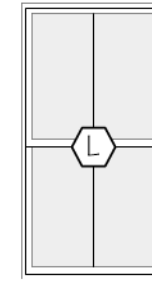
Permit

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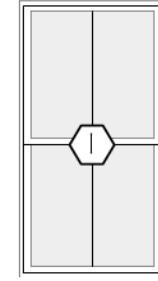
Window Schedule



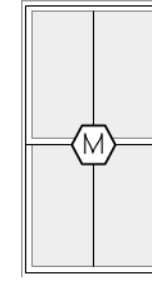
Qty	Operation	Location
5	Active/Active	Breakfast/Kitchen- W- F,G,H,I,J
RO Size = 36 1/2" x 70"		Unit Size = 36" x 69 1/2"



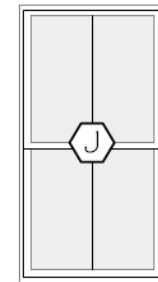
Qty	Operation	Location
7	Active/Active	Rear Bedrooms- W-K,L,M,N,O,P,Q
RO Size = 36 1/2" x 70"		Unit Size = 36" x 69 1/2"



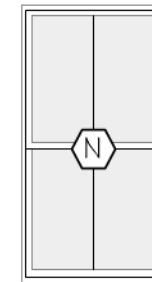
Qty	Operation	Location
5	Active/Active	Breakfast/Kitchen- W- F,G,H,I,J
RO Size = 36 1/2" x 70"		Unit Size = 36" x 69 1/2"



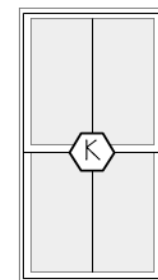
Qty	Operation	Location
7	Active/Active	Rear Bedrooms- W-K,L,M,N,O,P,Q
RO Size = 36 1/2" x 70"		Unit Size = 36" x 69 1/2"



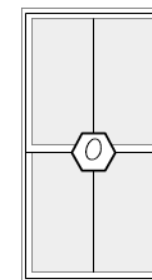
Qty	Operation	Location
5	Active/Active	Breakfast/Kitchen- W- F,G,H,I,J
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Qty	Operation	Location
7	Active/Active	Rear Bedrooms- W-K,L,M,N,O,P,Q
RO Size = 36 1/2" x 70"		Unit Size = 36" x 69 1/2"



Qty	Operation	Location
7	Active/Active	Rear Bedrooms- W-K,L,M,N,O,P,Q
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Qty	Operation	Location
7	Active/Active	Rear Bedrooms- W-K,L,M,N,O,P,Q
RO Size = 36 1/2" x 70"		Unit Size = 36" x 69 1/2"

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(F) 703.534.0207

Development:
Dave Vogt
Michael O'Hearn

Management:
Greg Polen

Project No.:
26-24-0971

Design:
Kwan Heng
Caroline Moore

Russell Residence
Proposed Remodel Project
4711 waverly Avenue, Garrett Park, MD 20896

Schedules

Drawing Log

06/10/2021 - Measure
12/04/2021 - CD
9/30/2022 - Contract

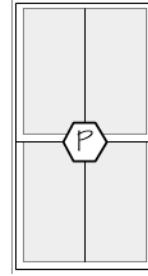
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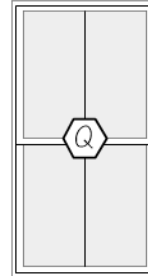
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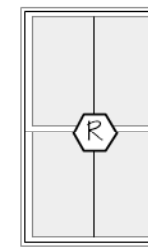
Window Schedule



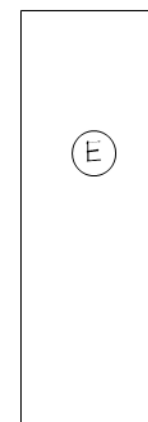
Qty	Operation	Location
7	Active/Active	Rear Bedrooms- W-K,L,M,N,O,P,Q
RO Size = 36 1/2" x 70"		Unit Size = 36" x 69 1/2"



Qty	Operation	Location
7	Active/Active	Rear Bedrooms- W-K,L,M,N,O,P,Q
RO Size = 36 1/2" x 70"		Unit Size = 36" x 69 1/2"



Qty	Operation	Location
7	Active/Active	Rear Bedrooms- W-K,L,M,N,O,P,Q
RO Size = 36 1/2" x 70"		Unit Size = 36" x 69 1/2"



EXISTING DOORS AND WINDOWS

Permit

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Date: 12/15/2022
Scale: 1/4" = 1'-0"

Sheet: A05
Of: 0

Drawing Log
06/10/2021 - Measure
12/04/2021 - CD
9/30/2022 - Contract

Russell Residence
Proposed Remodel Project
4711 waverly Avenue, Garrett Park, MD 20896

Schedules

Project No:
26-24-0971

Design:
Kwan Heng
Caroline Moore

Development:
Dave Vogt
Michael O'Hearn

Management:
Greg Pelen

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 Wash, DC 20005
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 (f) 202.229.3195

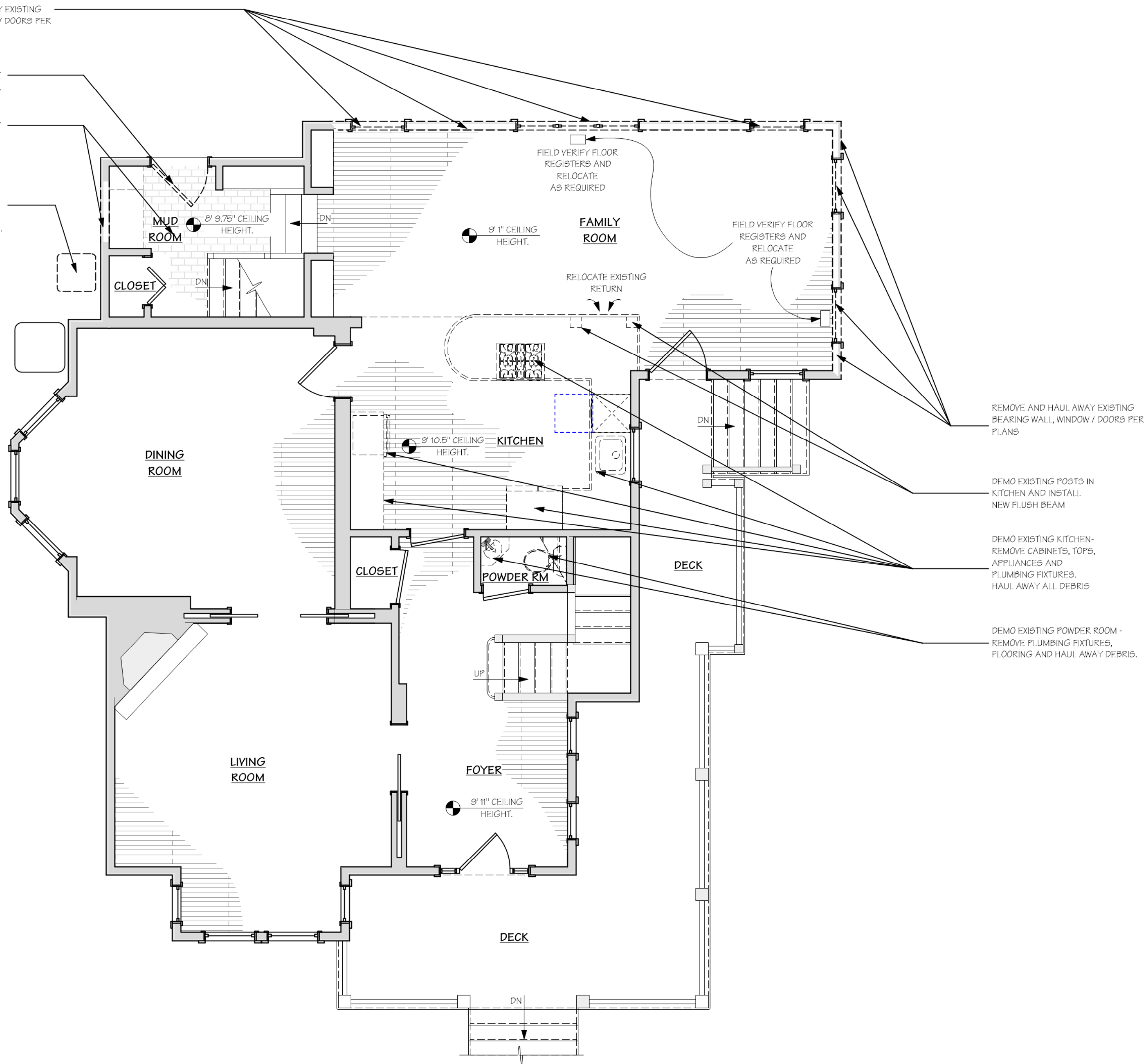
Alexandria, VA 22314
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 Falls Church, VA 22046
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 (f) 703.000.0001

REMOVE AND HAUL AWAY EXISTING BEARING WALL, WINDOW / DOORS PER PLANS

REMOVE AND HAUL AWAY EXISTING EXTERIOR DOOR, INFILL DOOR OPENING.

REMOVE AND HAUL AWAY EXISTING BUILT-IN MUDROOM AND CREATE NEW OPENING FOR MUDROOM ENTRY DOOR.

REMOVE AND RELOCATE A/C CONDENSER. FIELD VERIFY ACTUAL LOCATION.



REMOVE AND HAUL AWAY EXISTING BEARING WALL, WINDOW / DOORS PER PLANS

DEMO EXISTING POSTS IN KITCHEN AND INSTALL NEW FLUSH BEAM

DEMO EXISTING KITCHEN - REMOVE CABINETS, TOPS, APPLIANCES AND PLUMBING FIXTURES. HAUL AWAY ALL DEBRIS

DEMO EXISTING POWDER ROOM - REMOVE PLUMBING FIXTURES, FLOORING AND HAUL AWAY DEBRIS.

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 2:50 pm, Jan 24, 2023

Existing First Floor Plan
1/4" = 1'-0"



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Development:	Dave Vogt Michael O'Hearn	Management:	Greg Polen
Project No.:	26-24-0971	Design:	Kwan Heng Caroline Moore

Russell Residence
Proposed Remodel Project
4711 waverly Avenue, Garrett Park, MD 20896
Existing/Demo 1st Floor Plan

Drawing Log	06/10/2021 - Measure 12/04/2021 - CD 9/30/2022 - Contract
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Date:	12/15/2022	Scale:	1/4" = 1'-0"
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		Sheet:	A06

CREATE NEW OPENING IN LOAD BEARING WALL FOR NEW DOORS TO ACCESS ADDITION

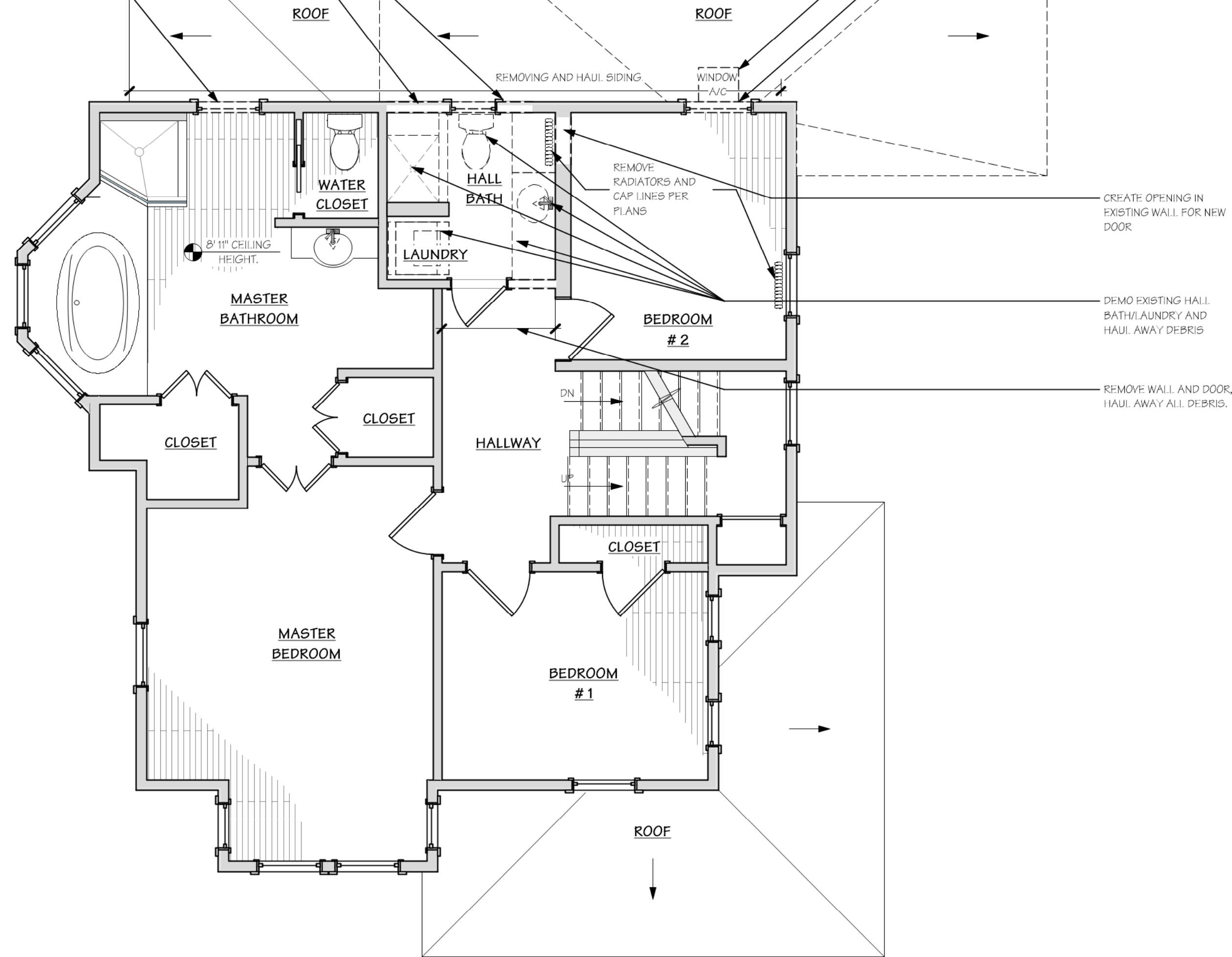
ROOFING AND FRAMING TO REMAIN IN PLACE. OVERFRAME ADD STORY.

REMOVE AND HAUL AWAY EXISTING WINDOW, INFILL WINDOW OPENING.

DEMO EXISTING ROOFING AND HAUL DEBRIS. CEILING TO REMAIN AS PRACTICAL.

REMOVE AND HAUL AWAY EXISTING WINDOW UNIT A/C.

REMOVE AND HAUL AWAY EXISTING WINDOW, INFILL WINDOW OPENING.



Existing Second Floor Plan
1/4" = 1'-0"



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Montgomery County
Historic Preservation Commission

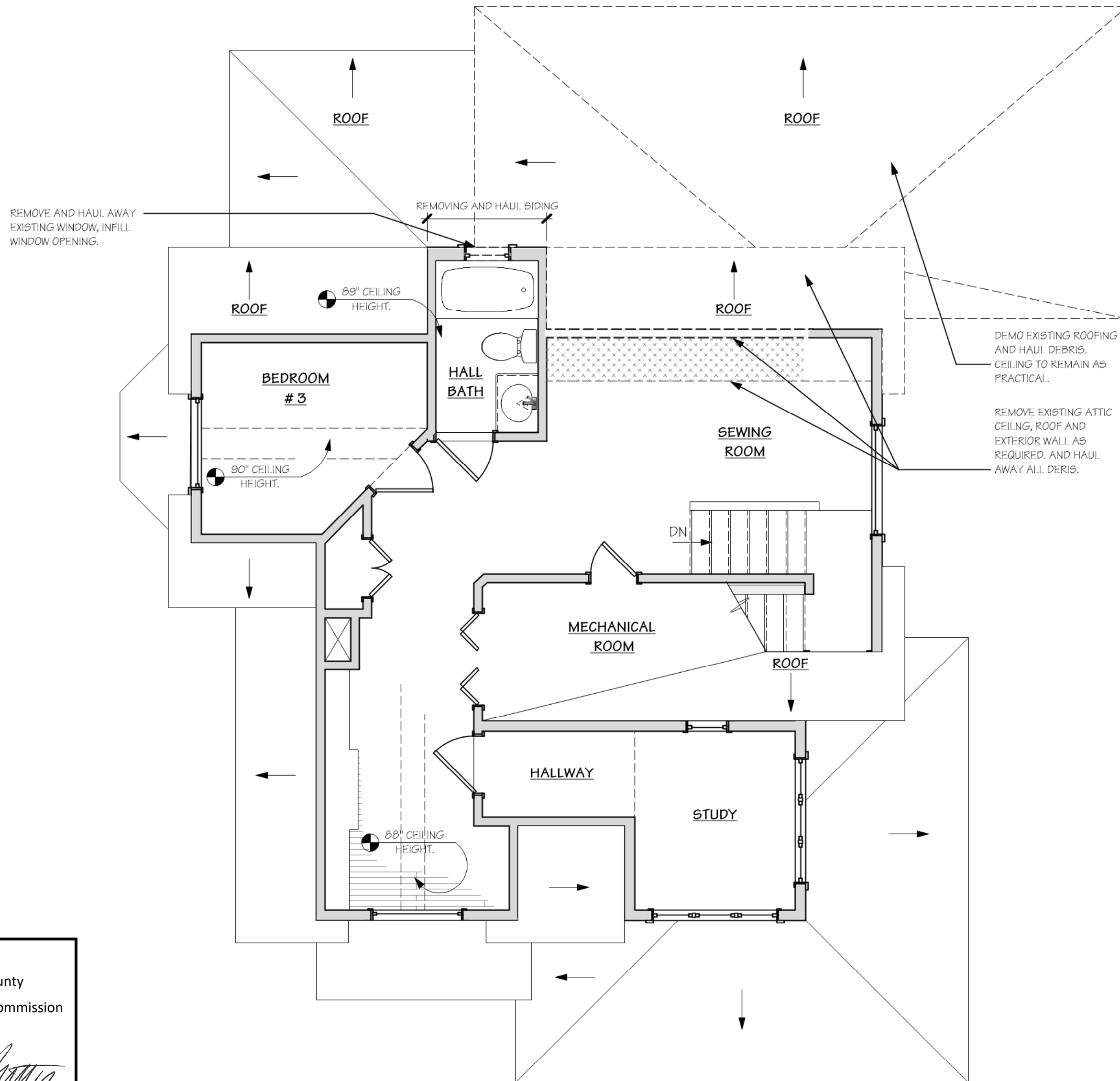
[Signature]

REVIEWED
By Dan.Bruechert at 2:51 pm, Jan 24, 2023

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<p>Case Architects & Remodelers</p> <p>4701 Sangamore Road North Plaza, Suite 40 Bertelsde, MD 20816 (P) 301.229.4500 (F) 301.229.3195</p> <p>1227 14th Street NW Wash, DC 20005 (P) 202.656.2275 (F) 202.229.3195</p> <p>119 N. Washington St. Alexandria, VA 22314 (P) 703.000.0000 (F) 703.000.0001</p> <p>701 Park Avenue Falls Church, VA 22046 (P) 703.241.2860 (F) 703.534.0207</p>	
<p>Project No: 26-24-0971</p>	<p>Design: Kwan Heng Caroline Moore</p>
<p>Development: Dave Vogt Michael O'Hearn</p>	<p>Management: Greg Polen</p>
<p>Russell Residence Proposed Remodel Project 4711 waverly Avenue, Garrett Park, MD 20896</p>	
<p>Existing/Demo 2nd Floor Plan</p>	
<p>Drawing Log</p> <p>06/10/2021 - Measure 12/04/2021 - CD 9/30/2022 - Contract</p>	
<p>Date: 12/15/2022</p>	<p>Scale: 1/4" = 1'-0"</p>
<p>Sheet:</p>	<p>Of:</p>
<p>A07</p>	



REMOVE AND HAUL AWAY EXISTING WINDOW, INFILL WINDOW OPENING.

REMOVING AND HAUL SIDING

DEMO EXISTING ROOFING AND HAUL DEBRIS. CEILING TO REMAIN AS PRACTICAL.

REMOVE EXISTING ATTIC CEILING, ROOF AND EXTERIOR WALL AS REQUIRED. AND HAUL AWAY ALL DERIS.

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REVIEWED
By Dan.Bruechert at 2:51 pm, Jan 24, 2023

Existing 3rd Floor Plan
1/4" = 1'-0"



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<p>Project No: 26-24-0971</p> <p>Design: Kwan Henging Caroline Moore</p>		<p>Development: Dave Vogt Michael O'Hearn</p> <p>Management: Greg Polen</p>	
<p>Russell Residence Proposed Remodel Project 4711 waverly Avenue, Garrett Park, MD 20896</p>			
<p>Existing/Demo 3rd Floor Plan</p>			
<p>Drawing Log</p> <p>06/10/2021 - Measure 12/04/2021 - CD 9/30/2022 - Contract</p>		<p>Date: 12/15/2022</p> <p>Scale: 1/4" = 1'-0"</p> <p>Sheet: A08</p>	

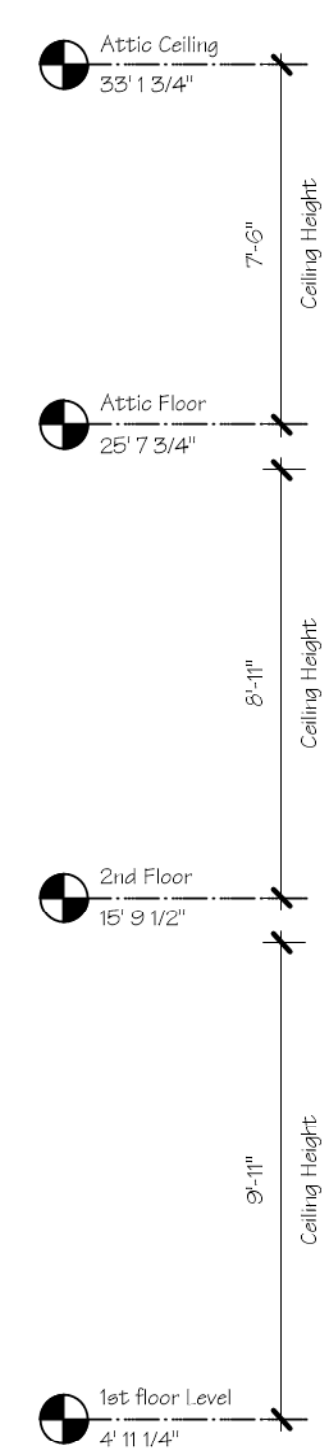
CASE
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(F) 703.534.0207

Alexandria:
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(F) 202.229.3195

Bethesda:
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North Plaza, Suite 40
Bethesda, MD 20816
(P) 301.229.4600
(F) 301.229.3195



Existing Front Elevation
1/4" = 1'-0"

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Historic Preservation Commission

Robert H. Votaw

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By Dan.Bruechert at 2:51 pm, Jan 24, 2023

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Development:
Dave Vogt
Michael O'Hearn

Management:
Greg Pelen

Project No:
26-24-0371

Design:
Kwasi Henning
Caroline Moore

Russell Residence
Proposed Remodel Project
4711 waverly Avenue, Garrett Park, MD 20896
Existing/Demo Front Elevation

Drawing Log

06/10/2021 - Measure
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9/30/2022 - Contract

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Scale: 1/4" = 1'-0"

Sheet: A09
Of:

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REMOVE EXISTING ROOF, FRAMING AND EXTERIOR WALL AS REQUIRED, AND HAUL AWAY ALL DEBRIS.

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 Montgomery County
 Historic Preservation Commission

Robert A. ...

REVIEWED
 By Dan.Bruechert at 2:51 pm, Jan 24, 2023

DEMO EXISTING ROOFING AND HAUL DEBRIS. CEILING TO REMAIN AS PRACTICAL.

REMOVE AND HAUL AWAY EXISTING BEARING WALL, WINDOW AND SHUTTERS PER PLANS

Existing Right Elevation
 1/4" = 1'-0"



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<p>Development: Dave Vogt Michael O'Hearn</p>		<p>Management: Greg Pelen</p>	
<p>Project No.: 26-24-0971</p>		<p>Design: Kwasi Henning Caroline Moore</p>	
<p>Russell Residence Proposed Remodel Project 4711 waverly Avenue, Garrett Park, MD 20896</p>			
<p>Existing/Demo Right Elevation</p>			
<p>Drawing Log</p>			
<p>06/10/2021 - Measure 12/04/2021 - CD 9/30/2022 - Contract</p>			
<p>Date: 12/15/2022</p>	<p>Scale: 1/4" = 1'-0"</p>	<p>Sheet: A10</p>	<p>Of:</p>

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Washington, DC: 1227 14th Street, NW, Wash, DC 20005, (P) 202.956.2275, (F) 202.229.3195

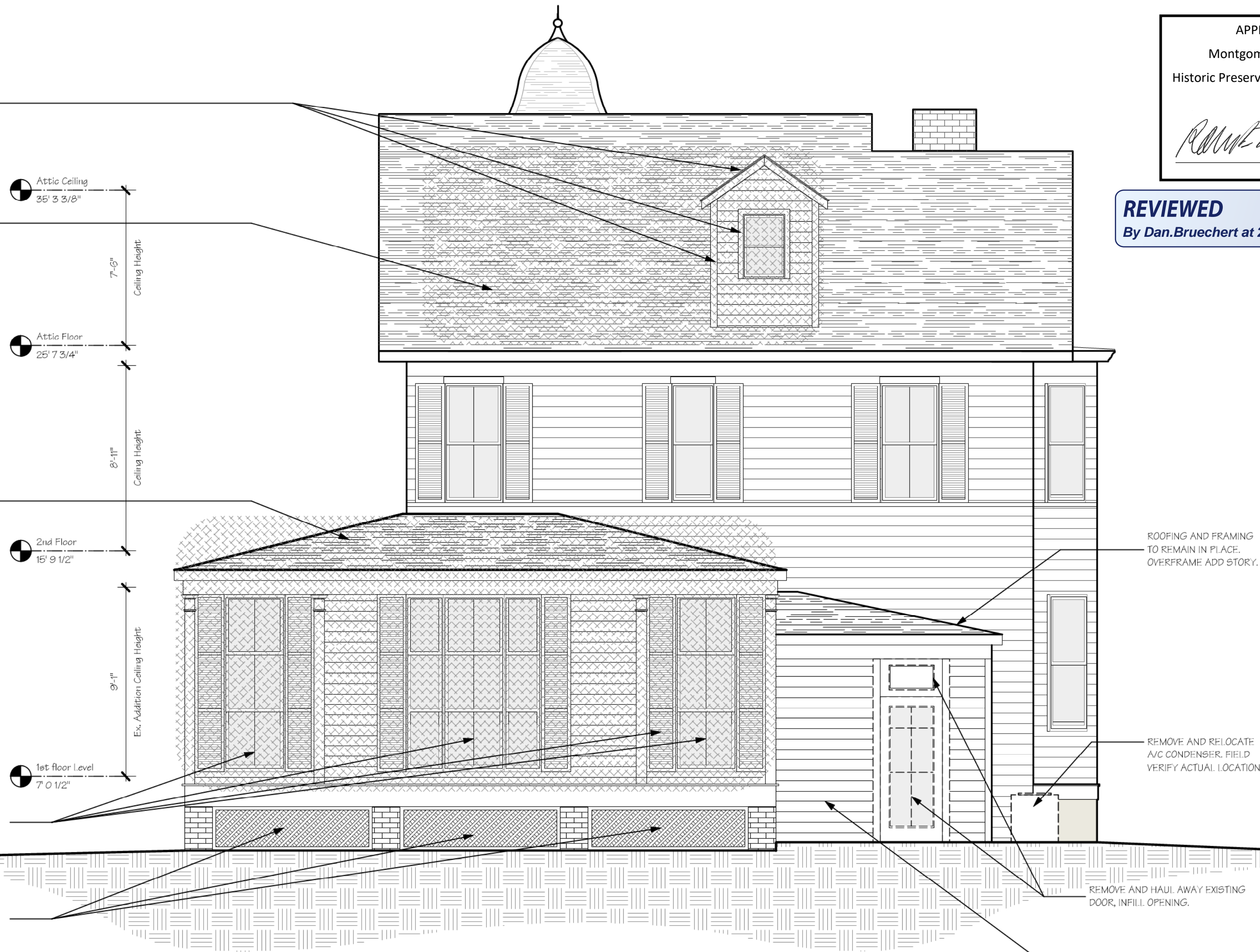
REMOVE EXISTING ROOF, FRAMING AND EXTERIOR WALL AS REQUIRED, AND HAUL AWAY ALL DEBRIS.

CUT AND REMOVE PART OF EXISTING ROOF FRAMING, ROOFING TO CREATE OPENING FOR NEW DORMER ADDITION. HAUL AWAY ALL DEBRIS.

DEMO EXISTING ROOFING AND HAUL DEBRIS. CEILING TO REMAIN AS PRACTICAL.

REMOVE AND HAUL AWAY EXISTING BEARING WALL, WINDOWS AND SHUTTERS PER PLANS

REMOVE AND HAUL AWAY LATTICE PER PLANS



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Historic Preservation Commission

Robert H. [Signature]

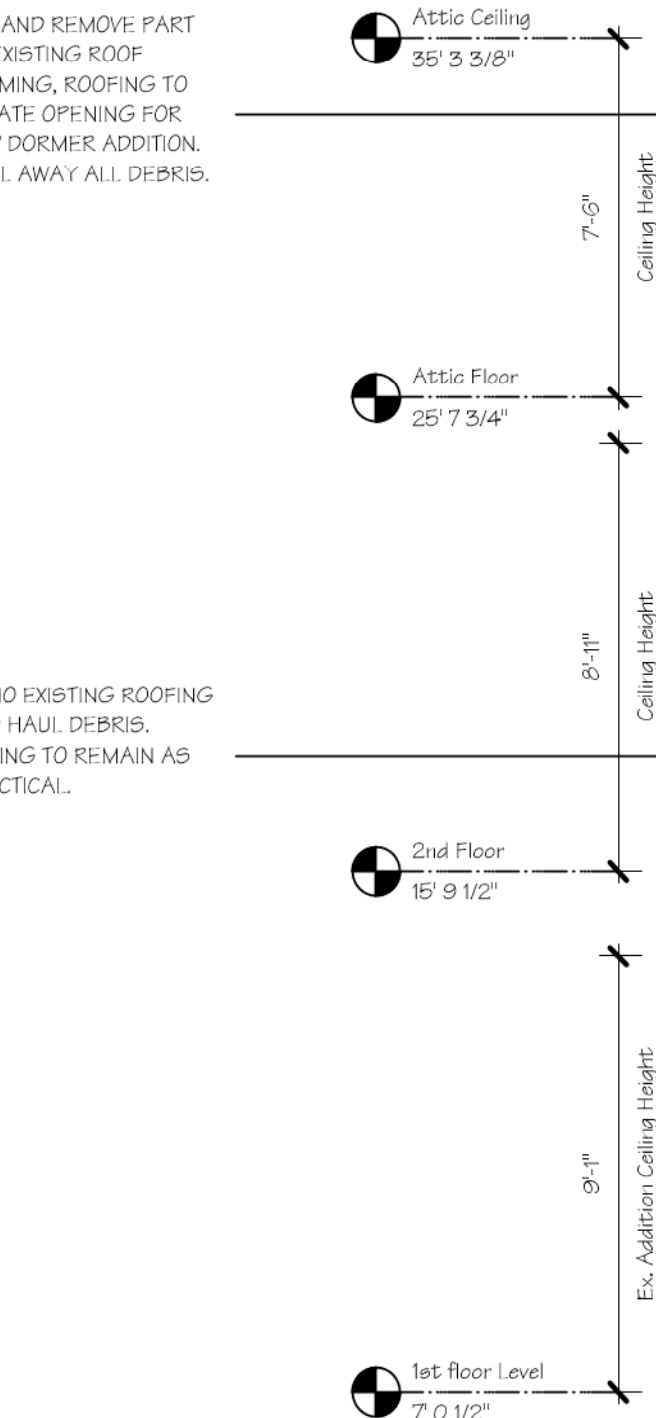
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By Dan.Bruechert at 2:51 pm, Jan 24, 2023

ROOFING AND FRAMING TO REMAIN IN PLACE. OVERFRAME ADD STORY.

REMOVE AND RELOCATE A/C CONDENSER. FIELD VERIFY ACTUAL LOCATION.

REMOVE AND HAUL AWAY EXISTING DOOR, INFILL OPENING.

REMOVE AND HAUL AWAY SIDING.



Existing Rear Elevation
1/4" = 1'-0"



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(F) 202.229.3195

Development: Dave Vogt Michael O'Hearn	Management: Greg Pelen
Project No: 26-24-0371	Design: Kwasi Henning Caroline Moore

Russell Residence
Proposed Remodel Project
4711 waverly Avenue, Garrett Park, MD 20896
Existing/Demo Rear Elevation

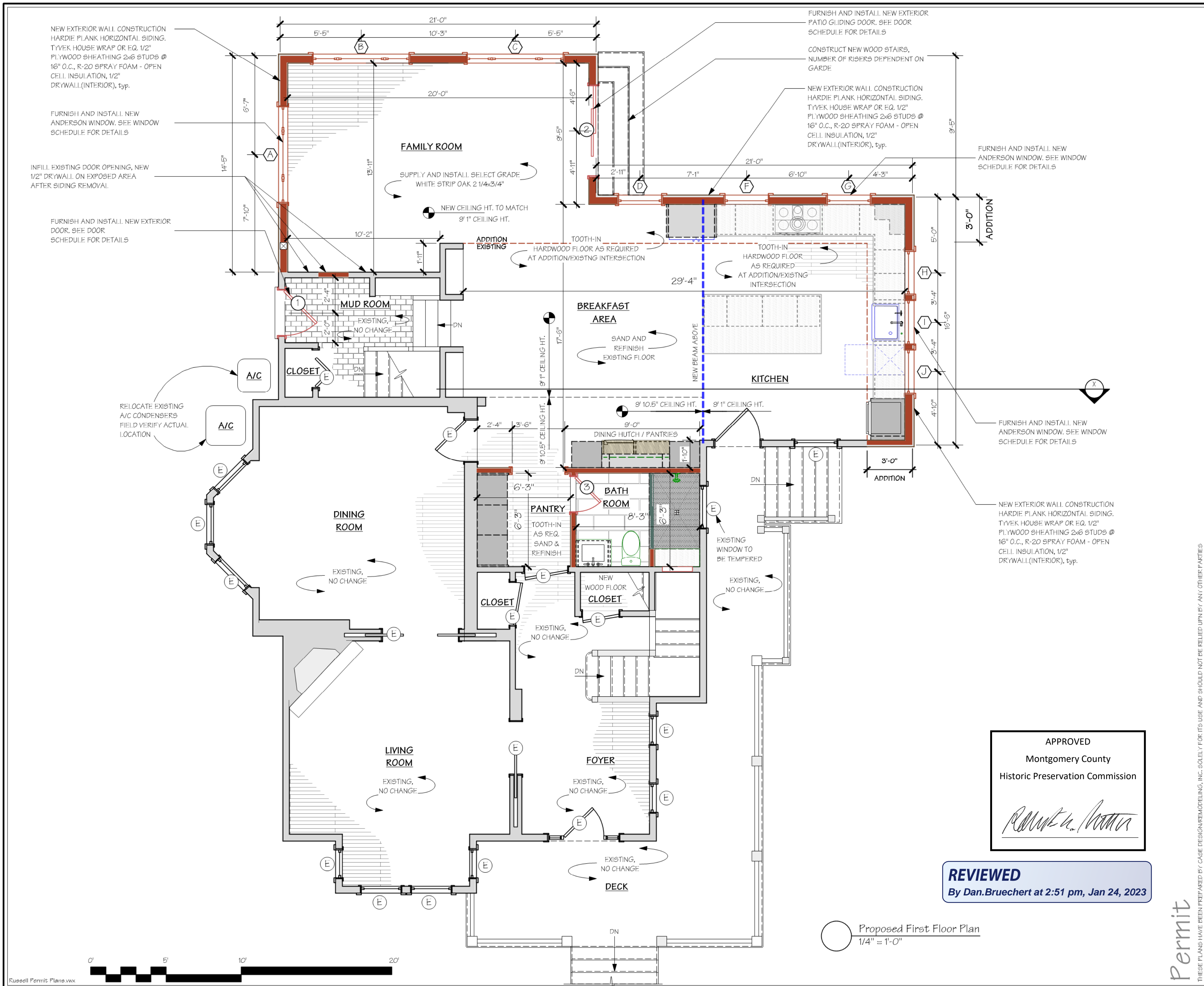
Drawing Log

06/10/2021 - Measure
12/04/2021 - CD
9/30/2022 - Contract

Date: 12/15/2022	Scale: 1/4" = 1'-0"
Sheet: A11	Of:

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Development:	Dave Voigt Michael O'Hanran	Management:	Greg Pelen
Project No:	26-24-0371	Design:	Kwasi Henning Caroline Moore

Russell Residence
Proposed Remodel Project
4711 waverly Avenue, Garrett Park, MD 20896
Proposed 1st Floor Plan

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Historic Preservation Commission

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By Dan.Bruechert at 2:51 pm, Jan 24, 2023

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Drawing Log
06/10/2021 - Measure
12/04/2021 - CD
9/30/2022 - Contract

Date:	12/15/2022	Scale:	1/4" = 1'-0"
Sheet:		Of:	
		Sheet:	A12

Permit

FURNISH AND INSTALL NEW ANDERSON WINDOW. SEE WINDOW SCHEDULE FOR DETAILS

CONSTRUCT 2x4 STUD INTERIOR WALLS @ 16" O.C. WITH 1/2" DRYWALL ON BOTH SIDES, TYP. OF ALL NEW NON LOAD BEARING WALLS

NEW EXTERIOR WALL CONSTRUCTION HARDIE PLANK HORIZONTAL SIDING ON UPPER AREA AND HARDIE SCALOPPED SIDING AT BASE OF 2ND FLOOR EXTERIOR. TYVEK HOUSE WRAP OR EQ. 1/2" PLYWOOD SHEATHING 2x6 STUDS @ 16" O.C., R-20 SPRAY FOAM OPEN CELL INSULATION, 1/2" DRYWALL (INTERIOR), typ.

TYPICAL ROOF CONSTRUCTION:
2x10 ROOF RAFTERS @ 16" o.c. R-49
CLOSED CELL INSULATION AND FELT
BUSTER UNDERLAYMENT OVER
ENTIRE ROOF DECKING, TIMBERLINE
HDZ SHINGLES BY GAF-COLOR:TBD

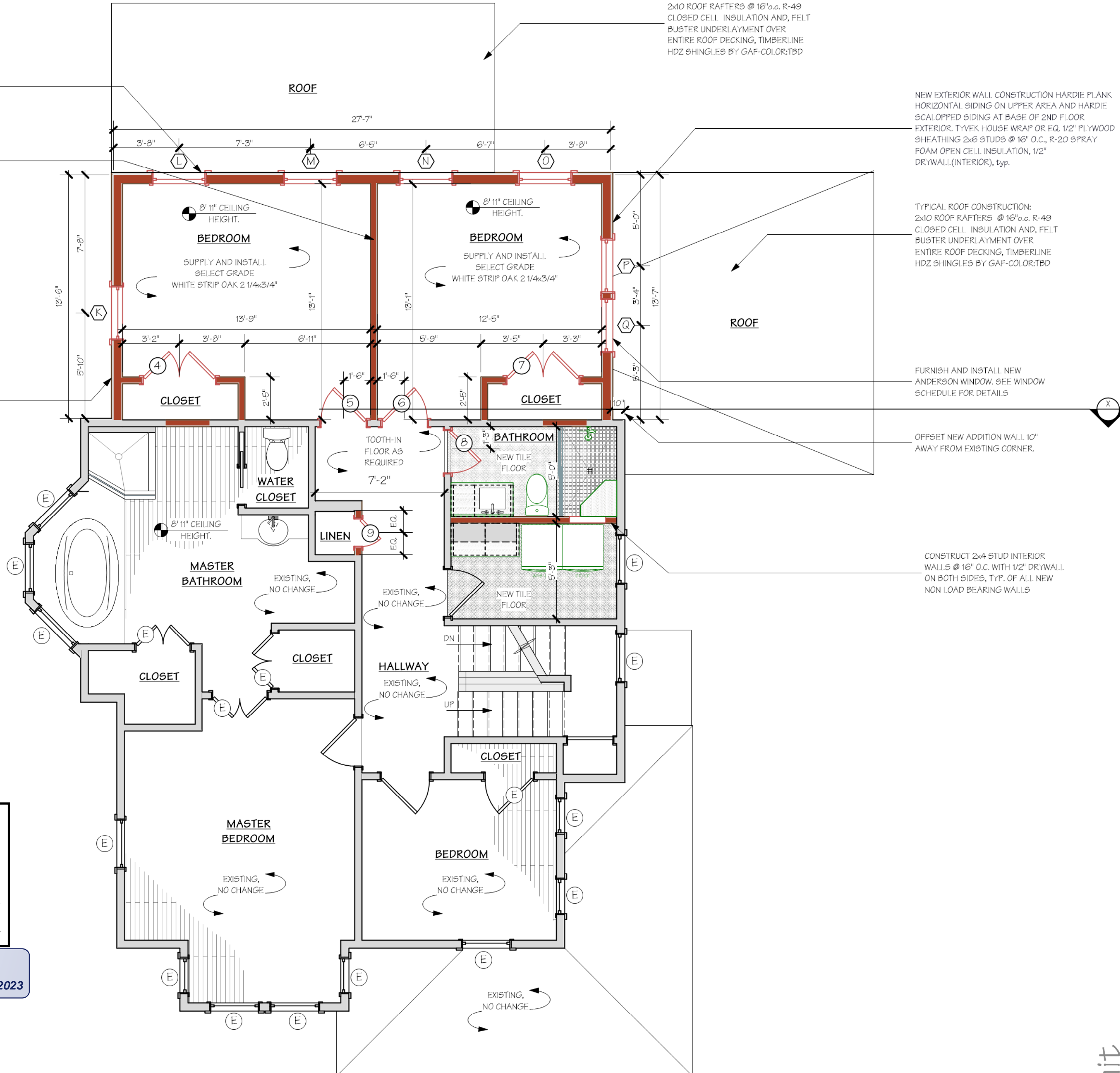
NEW EXTERIOR WALL CONSTRUCTION HARDIE PLANK HORIZONTAL SIDING ON UPPER AREA AND HARDIE SCALOPPED SIDING AT BASE OF 2ND FLOOR EXTERIOR. TYVEK HOUSE WRAP OR EQ. 1/2" PLYWOOD SHEATHING 2x6 STUDS @ 16" O.C., R-20 SPRAY FOAM OPEN CELL INSULATION, 1/2" DRYWALL (INTERIOR), typ.

TYPICAL ROOF CONSTRUCTION:
2x10 ROOF RAFTERS @ 16" o.c. R-49
CLOSED CELL INSULATION AND FELT
BUSTER UNDERLAYMENT OVER
ENTIRE ROOF DECKING, TIMBERLINE
HDZ SHINGLES BY GAF-COLOR:TBD

FURNISH AND INSTALL NEW ANDERSON WINDOW. SEE WINDOW SCHEDULE FOR DETAILS

OFFSET NEW ADDITION WALL 10" AWAY FROM EXISTING CORNER.

CONSTRUCT 2x4 STUD INTERIOR WALLS @ 16" O.C. WITH 1/2" DRYWALL ON BOTH SIDES, TYP. OF ALL NEW NON LOAD BEARING WALLS



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Montgomery County
Historic Preservation Commission

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REVIEWED
By Dan.Bruechert at 2:51 pm, Jan 24, 2023



Proposed Second Floor Plan
1/4" = 1'-0"

Permit

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Development:	Dave Vozit Michael O'Hearn	Management:	Greg Polen
Project No.:	26-24-0371	Design:	Kwasi Henning Caroline Moore

Russell Residence
Proposed Remodel Project
4711 waverly Avenue, Garrett Park, MD 20896
Proposed 2nd Floor Plan

Drawing Log

06/10/2021 - Measure
12/04/2021 - CD
9/30/2022 - Contract

Date:	12/15/2022	Scale:	NA
Sheet:		Of:	
		Sheet:	A13

TYPICAL ROOF CONSTRUCTION:
2x10 ROOF RAFTERS @ 16" o.c. R-49
CLOSED CELL INSULATION AND FELT
BUSTER UNDERLAYMENT OVER
ENTIRE ROOF DECKING, TIMBERLINE
HDZ SHINGLES BY GAF-COLOR:TBD

FURNISH AND INSTALL NEW
ANDERSON WINDOW. SEE WINDOW
SCHEDULE FOR DETAILS

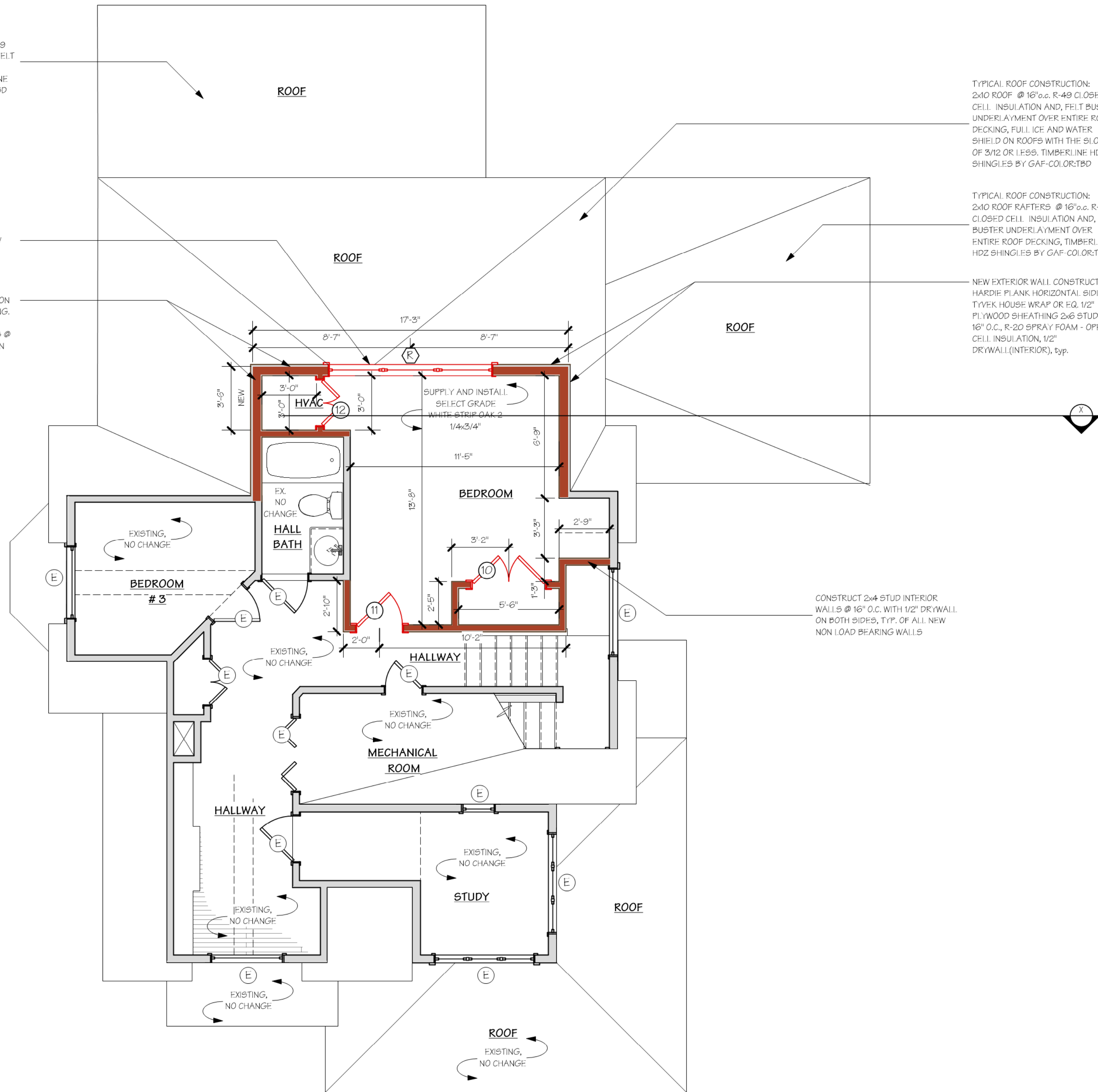
NEW EXTERIOR WALL CONSTRUCTION
HARDIE PLANK HORIZONTAL SIDING.
TYVEK HOUSE WRAP OR EQ. 1/2"
PLYWOOD SHEATHING 2x6 STUDS @
16" O.C., R-20 SPRAY FOAM - OPEN
CELL INSULATION, 1/2"
DRYWALL (INTERIOR), typ.

TYPICAL ROOF CONSTRUCTION:
2x10 ROOF RAFTERS @ 16" o.c. R-49
CLOSED CELL INSULATION AND FELT
BUSTER UNDERLAYMENT OVER ENTIRE ROOF
DECKING, FULL ICE AND WATER
SHIELD ON ROOFS WITH THE SLOPE
OF 3/12 OR LESS, TIMBERLINE HDZ
SHINGLES BY GAF-COLOR:TBD

TYPICAL ROOF CONSTRUCTION:
2x10 ROOF RAFTERS @ 16" o.c. R-49
CLOSED CELL INSULATION AND FELT
BUSTER UNDERLAYMENT OVER
ENTIRE ROOF DECKING, TIMBERLINE
HDZ SHINGLES BY GAF-COLOR:TBD

NEW EXTERIOR WALL CONSTRUCTION
HARDIE PLANK HORIZONTAL SIDING.
TYVEK HOUSE WRAP OR EQ. 1/2"
PLYWOOD SHEATHING 2x6 STUDS @
16" O.C., R-20 SPRAY FOAM - OPEN
CELL INSULATION, 1/2"
DRYWALL (INTERIOR), typ.

CONSTRUCT 2x4 STUD INTERIOR
WALLS @ 16" O.C. WITH 1/2" DRYWALL
ON BOTH SIDES, TYP. OF ALL NEW
NON LOAD BEARING WALLS



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Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 2:51 pm, Jan 24, 2023



1 Proposed 3rd Floor Plan
1/4" = 1'-0"

Permit

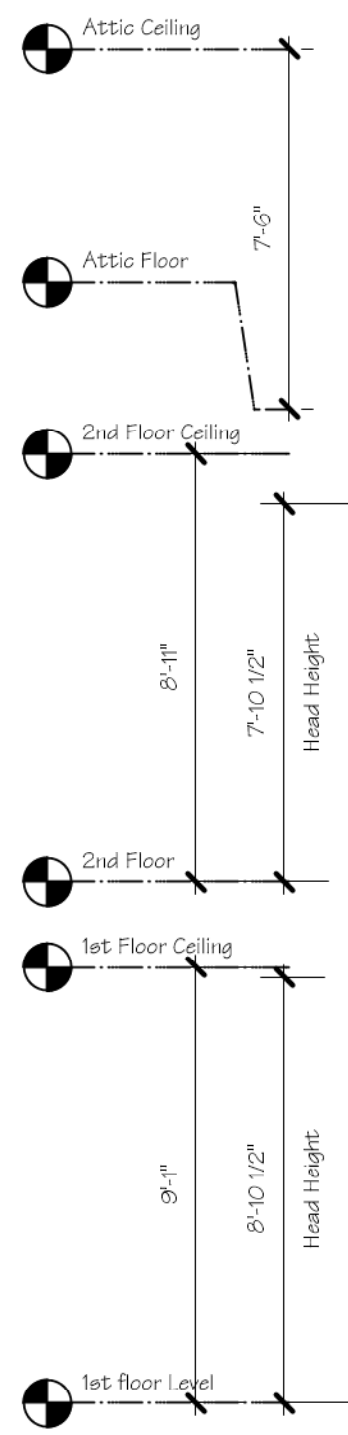
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<p>CASE Architects & Remodelers</p> <p>4701 Sangamore Road North Plaza, Suite 40 Bertelsde, MD 20816 (P) 301.229.4500 (F) 301.229.3195</p> <p>19 N. Washington St. Falls Church, VA 22046 (P) 703.000.0000 (F) 703.534.0207</p>	
<p>Development: Dave Vogt Michael O'Hearn</p>	<p>Management: Greg Polen</p>
<p>Project No: 26-24-0971</p>	<p>Design: Kwan Hening Caroline Moore</p>
<p>Russell Residence Proposed Remodel Project 4711 waverly Avenue, Garrett Park, MD 20896</p>	
<p>Proposed 3rd Floor Plan</p>	
<p>Drawing Log</p> <p>06/10/2021 - Measure 12/04/2021 - CD 9/30/2022 - Contract</p>	
<p>Date: 12/15/2022</p>	<p>Scale: 1/4" = 1'-0"</p>
<p>Sheet:</p>	<p>Of: A14</p>

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 Montgomery County
 Historic Preservation Commission



REVIEWED
 By Dan.Bruechert at 2:52 pm, Jan 24, 2023



- TYPICAL ROOF CONSTRUCTION:
 2x10 ROOF RAFTERS @ 16"o.c. R-49
 CLOSED CELL INSULATION AND FELT
 BUSTER UNDERLAYMENT OVER
 ENTIRE ROOF DECKING, TIMBERLINE
 HDZ SHINGLES BY GAF-COLOR-TBD
- FURNISH AND INSTALL NEW 6" HALF
 ROUND GUTTERS IN PRE-PAINTED
 ALUMINUM. COLOR: WHITE. SECURE
 GUTTERS WITH COMBO GUTTER
 HANGERS AT EVERY 2' O.C.
- FURNISH AND INSTALL NEW PILASTER
 DETAILS ON EXTERIOR PER PLANS TO
 BLEND WITH EXISTING
- NEW EXTERIOR WALL CONSTRUCTION
 HARDIE PLANK HORIZONTAL SIDING,
 TYVEK HOUSE WRAP OR EQ. 1/2"
 PLYWOOD SHEATHING 2x6 STUDS @
 16" O.C., R-20 SPRAY FOAM - OPEN
 CELL INSULATION, 1/2"
 DRYWALL (INTERIOR), typ.
- FURNISH AND INSTALL 16x16 PIERS
 WITH SOLID CONCRETE INSIDE AND 2
 J-BOLTS ON TOP FOR THE NEW
 ADDITION WITH LATTICE BETWEEN
 PIERS



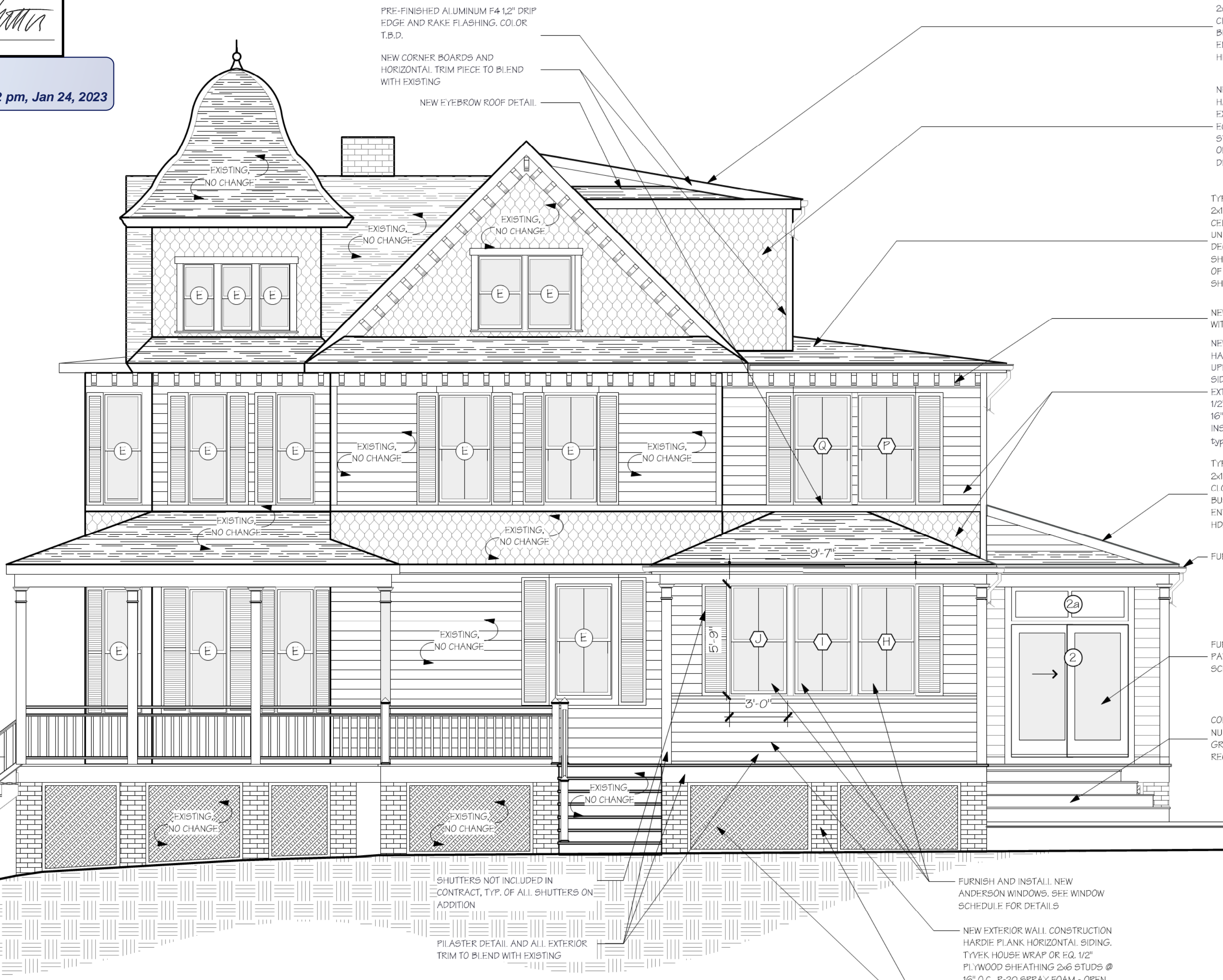
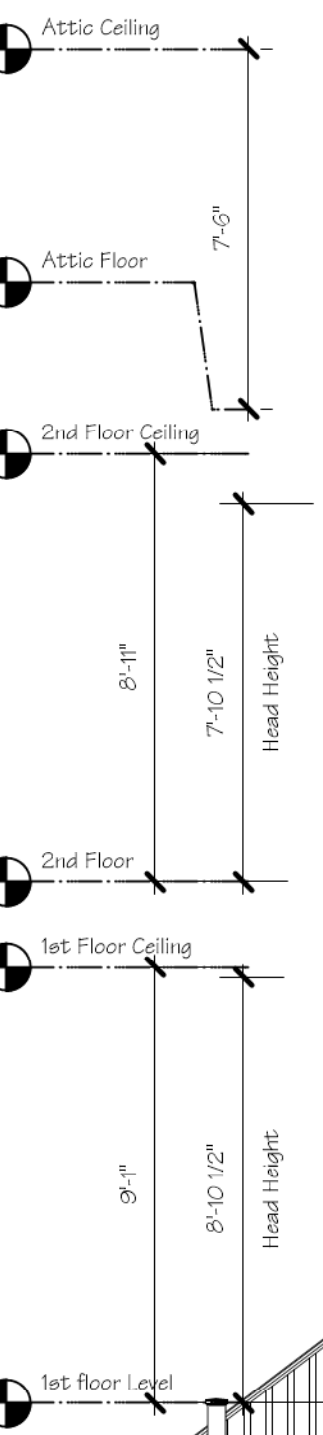
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<p>Case Architects & Remodelers</p> <p>4701 Sangamore Road North Plaza, Suite 40 Bethesda, MD 20816 (P) 301.229.4600 (F) 301.229.3195</p> <p>1227 14th Street NW Wash, DC 20005 (P) 202.656.2275 (F) 202.229.3195</p> <p>119 N. Washington St. Alexandria, VA 22314 (P) 703.000.0000 (F) 703.000.0001</p> <p>701 Park Avenue Falls Church, VA 22046 (P) 703.241.2860 (F) 703.534.0207</p>	
<p>Development: Dave Vogt Michael O'Hearn</p>	<p>Management: Greg Polen</p>
<p>Project No.: 26-24-0971</p>	<p>Design: Kwana Henning Caroline Moore</p>
<p>Russell Residence Proposed Remodel Project 4711 waverly Avenue, Garrett Park, MD 20896</p>	
<p>Proposed Front Elevation</p>	
<p>Drawing Log</p> <p>06/10/2021 - Measure 12/04/2021 - CD 9/30/2022 - Contract</p>	<p>Date: 12/15/2022</p> <p>Scale: 1/4" = 1'-0"</p> <p>Sheet: A15</p>

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Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 2:52 pm, Jan 24, 2023



PREF-FINISHED ALUMINUM F4 1.2" DRIP
EDGE AND RAKE FLASHING. COLOR
T.B.D.

NEW CORNER BOARDS AND
HORIZONTAL TRIM PIECE TO BLEND
WITH EXISTING

NEW EYEBROW ROOF DETAIL

TYPICAL ROOF CONSTRUCTION:
2x10 ROOF RAFTERS @ 16" o.c. R-49
CLOSED CELL INSULATION AND FELT
BUSTER UNDERLAYMENT OVER
ENTIRE ROOF DECKING, TIMBERLINE
HDZ SHINGLES BY GAF-COLOR:TBD

NEW EXTERIOR WALL CONSTRUCTION
HARDIE SCALLOPPED SIDING
EXTERIOR TYVEK HOUSE WRAP OR
EQ. 1/2" PLYWOOD SHEATHING 2x6
STUDS @ 16" O.C., R-20 SPRAY FOAM
OPEN CELL INSULATION, 1/2"
DRYWALL (INTERIOR), typ.

TYPICAL ROOF CONSTRUCTION:
2x10 ROOF @ 16" o.c. R-49 CLOSED
CELL INSULATION AND FELT BUSTER
UNDERLAYMENT OVER ENTIRE ROOF
DECKING, FULL ICE AND WATER
SHIELD ON ROOFS WITH THE SLOPE
OF 3/12 OR LESS. TIMBERLINE HDZ
SHINGLES BY GAF-COLOR:TBD

NEW CORNICE DETAILS TO BLEND
WITH EXISTING

NEW EXTERIOR WALL CONSTRUCTION
HARDIE PLANK HORIZONTAL SIDING ON
UPPER AREA AND HARDIE SCALOPPED
SIDING AT BASE OF 2ND FLOOR
EXTERIOR TYVEK HOUSE WRAP OR EQ.
1/2" PLYWOOD SHEATHING 2x6 STUDS @
16" O.C., R-20 SPRAY FOAM OPEN CELL
INSULATION, 1/2" DRYWALL (INTERIOR),
typ.

TYPICAL ROOF CONSTRUCTION:
2x10 ROOF RAFTERS @ 16" o.c. R-49
CLOSED CELL INSULATION AND FELT
BUSTER UNDERLAYMENT OVER
ENTIRE ROOF DECKING, TIMBERLINE
HDZ SHINGLES BY GAF-COLOR:TBD

FURNISH AND INSTALL NEW
PATIO GLIDING DOOR. SEE DOOR
SCHEDULE FOR DETAILS

CONSTRUCT NEW WOOD STAIRS,
NUMBER OF RISERS DEPENDENT ON
GRADE. STAIRS ABOVE 30" WILL
REQUIRE RAILING. T.B.D

SHUTTERS NOT INCLUDED IN
CONTRACT, TYP. OF ALL SHUTTERS ON
ADDITION

PILASTER DETAIL AND ALL EXTERIOR
TRIM TO BLEND WITH EXISTING

FURNISH AND INSTALL NEW
ANDERSON WINDOWS. SEE WINDOW
SCHEDULE FOR DETAILS

NEW EXTERIOR WALL CONSTRUCTION
HARDIE PLANK HORIZONTAL SIDING.
TYVEK HOUSE WRAP OR EQ. 1/2"
PLYWOOD SHEATHING 2x6 STUDS @
16" O.C., R-20 SPRAY FOAM - OPEN
CELL INSULATION, 1/2"
DRYWALL (INTERIOR), typ.

FURNISH AND INSTALL 16x16 PIERS
WITH SOLID CONCRETE INSIDE AND 2
J-BOLTS ON TOP FOR THE NEW
ADDITION WITH LATTICE BETWEEN
PIERS

Proposed Right Elevation
1/4" = 1'-0"



CASE
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(F) 703.000.0001

701 Park Avenue
Falls Church, VA 22046
(P) 703.241.2900
(F) 703.534.0227

Development:	Dave Vogt Michael O'Hearn	Management:	Greg Pelen
Project No:	26-24-0371	Design:	Kwasi Henning Caroline Moore

Russell Residence
Proposed Remodel Project
4711 waverly Avenue, Garrett Park, MD 20896
Proposed Right Elevation

Drawing Log

06/10/2021 - Measure
12/04/2021 - CD
01/30/2022 - Contract

Date:	12/15/2022	Scale:	1/4" = 1'-0"
Sheet:		Of:	
		Sheet:	A16

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Historic Preservation Commission



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By Dan.Bruechert at 2:52 pm, Jan 24, 2023

TYPICAL ROOF CONSTRUCTION:
2x10 ROOF RAFTERS @ 16"o.c. R-49
CLOSED CELL INSULATION AND FELT
BUSTER UNDERLAYMENT OVER
ENTIRE ROOF DECKING, TIMBERLINE
HDZ SHINGLES BY GAF-COLOR:TBD

SHUTTERS NOT INCLUDED IN
CONTRACT, TYP. OF ALL SHUTTERS ON
ADDITION

TYPICAL ROOF CONSTRUCTION:
2x10 ROOF RAFTERS @ 16"o.c. R-49
CLOSED CELL INSULATION AND FELT
BUSTER UNDERLAYMENT OVER
ENTIRE ROOF DECKING, TIMBERLINE
HDZ SHINGLES BY GAF-COLOR:TBD

FURNISH AND INSTALL NEW

NEW CORNER BOARDS AND
HORIZONTAL TRIM PIECE TO BLEND
WITH EXISTING

FURNISH AND INSTALL NEW
ANDERSON WINDOWS. SEE WINDOW
SCHEDULE FOR DETAILS. PVC WINDOW
AND DOOR TRIM TO BLEND WITH
EXISTING

NEW EXTERIOR WALL CONSTRUCTION
HARDIE PLANK HORIZONTAL SIDING.
TYVEK HOUSE WRAP OR EQ. 1/2"
PLYWOOD SHEATHING 2x6 STUDS @
16" O.C., R-20 SPRAY FOAM - OPEN
CELL INSULATION, 1/2"
DRYWALL (INTERIOR), typ.

FURNISH AND INSTALL 16x16 PIERS
WITH SOLID CONCRETE INSIDE AND 2
J-BOLTS ON TOP FOR THE NEW
ADDITION WITH LATTICE BETWEEN
PIERS

CONSTRUCT NEW WOOD STAIRS,
NUMBER OF RISERS DEPENDENT ON
GRADE. STAIRS ABOVE 30" WILL
REQUIRE RAILING. T.B.D

Proposed Rear Elevation
1/4" = 1'-0"

TYPICAL ROOF CONSTRUCTION:
2x10 ROOF RAFTERS @ 16"o.c. R-49
CLOSED CELL INSULATION AND FELT
BUSTER UNDERLAYMENT OVER
ENTIRE ROOF DECKING, TIMBERLINE
HDZ SHINGLES BY GAF-COLOR:TBD

NEW CORNER BOARDS AND
HORIZONTAL TRIM PIECE TO BLEND
WITH EXISTING

PILLASTER DETAIL AND ALL EXTERIOR
TRIM TO BLEND WITH EXISTING

FURNISH AND INSTALL NEW
ANDERSON WINDOWS. SEE WINDOW
SCHEDULE FOR DETAILS

NEW EXTERIOR WALL CONSTRUCTION
HARDIE PLANK HORIZONTAL SIDING.
TYVEK HOUSE WRAP OR EQ. 1/2"
PLYWOOD SHEATHING 2x6 STUDS @
16" O.C., R-20 SPRAY FOAM - OPEN
CELL INSULATION, 1/2"
DRYWALL (INTERIOR), typ.

FURNISH AND INSTALL 16x16 PIERS
WITH SOLID CONCRETE INSIDE AND 2
J-BOLTS ON TOP FOR THE NEW
ADDITION WITH LATTICE BETWEEN
PIERS



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CASE
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 (P) 703.000.0000
 (F) 703.000.0001
 Falls Church, VA 22046
 (P) 703.241.2900
 (F) 703.534.0207

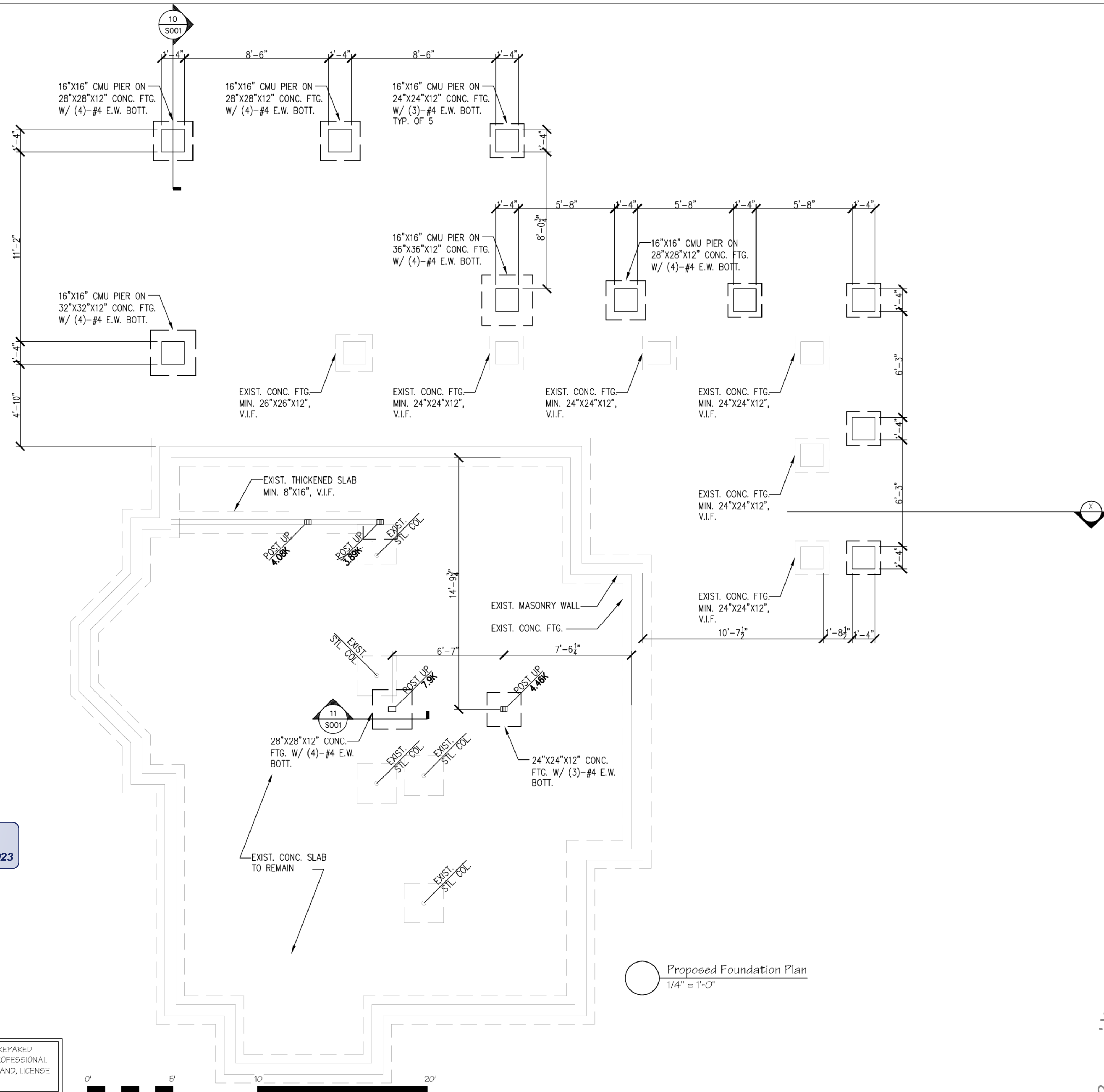
Development:	Dave Vogt Michael O'Hearn	Management:	Greg Pelen
Project No.:	26-24-0971	Design:	Kwasi Henning Caroline Moore

Russell Residence
Proposed Remodel Project
4711 waverly Avenue, Garrett Park, MD 20896
Proposed Rear Elevation

Drawing Log

06/10/2021 - Measure
12/04/2021 - CD
9/30/2022 - Contract

Date:	12/15/2022	Scale:	1/4" = 1'-0"
Sheet:		Of:	
		Sheet:	A17



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 Historic Preservation Commission

[Signature]

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 By Dan.Bruechert at 2:52 pm, Jan 24, 2023

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Proposed Foundation Plan
 1/4" = 1'-0"

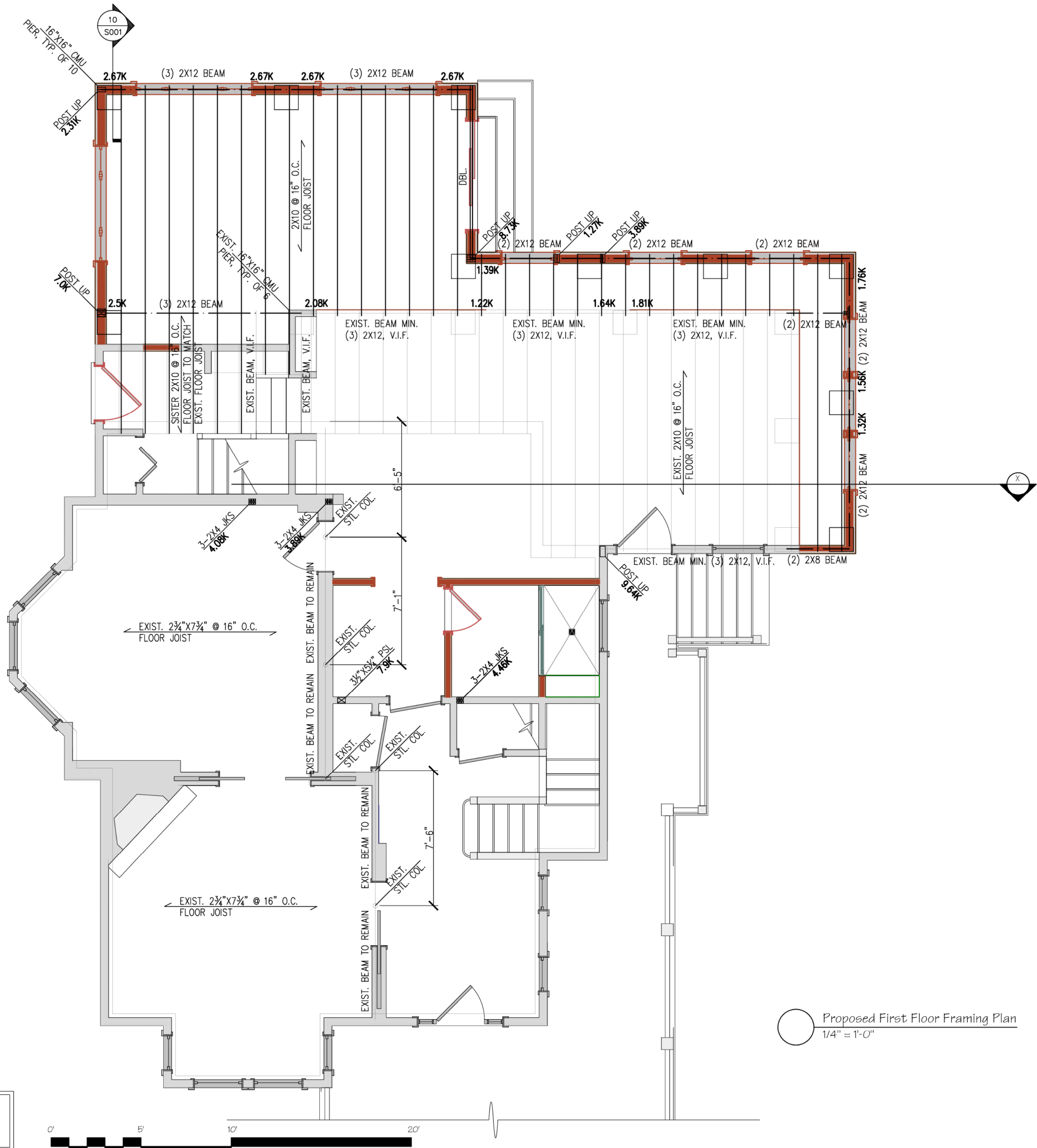
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<p>Project No: 25-24-0971</p>	<p>Design: Kwasi Henning Caroline Moore</p>	<p>Russell Residence Proposed Remodel Project 4711 waverly Avenue, Garrett Park, MD 20896</p>
<p>Drawing Log</p> <p>06/10/2021 - Measure 12/04/2021 - CD 9/30/2022 - Contract</p>	<p>Date: 12/15/2022</p> <p>Scale: 1/4" = 1'-0"</p>	<p>Sheet: S01</p>

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Proposed First Floor Framing Plan
 1/4" = 1'-0"



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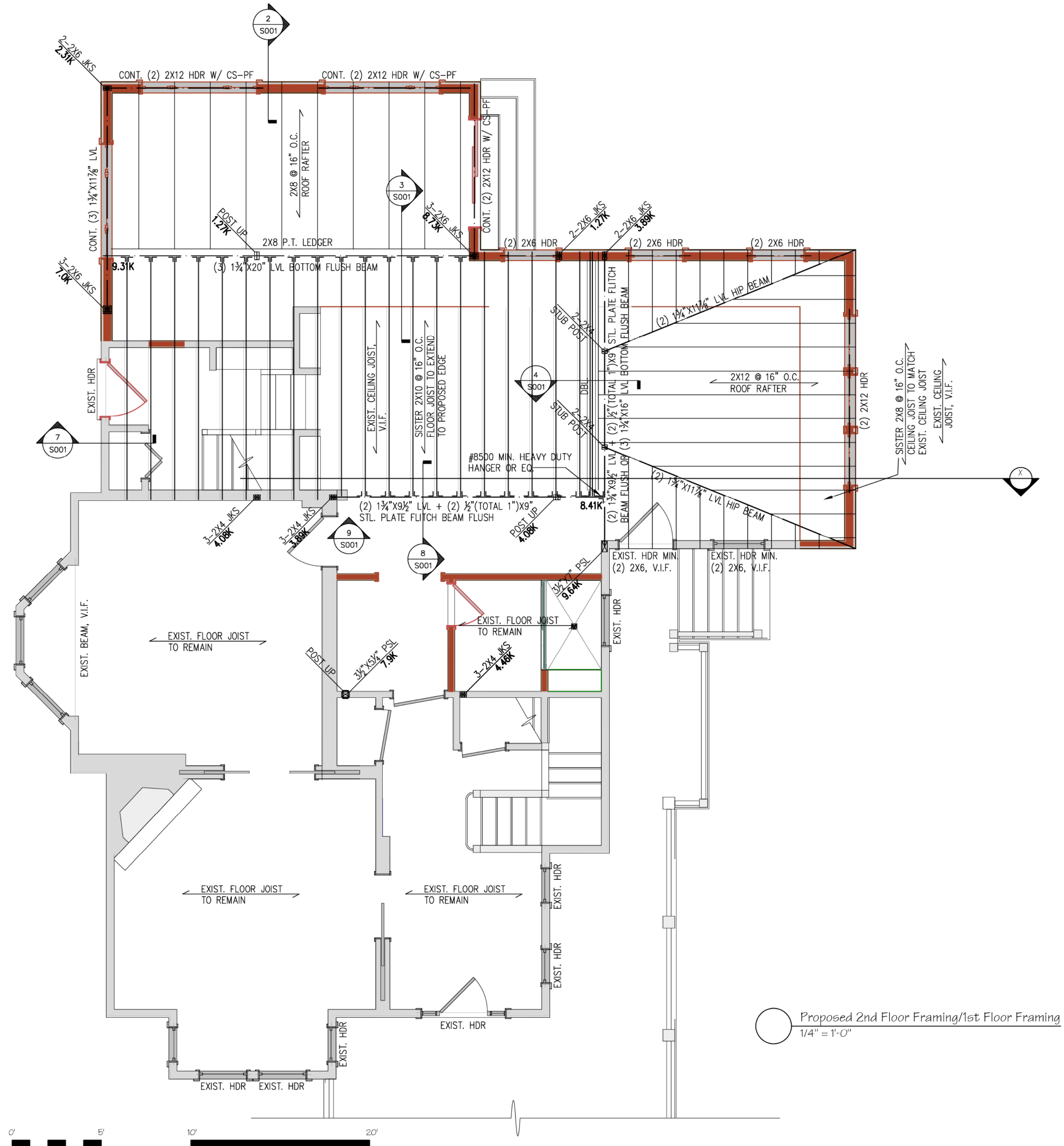
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<p>CASE Architects & Remodelers</p> <p>4701 Sangamore Road North Plaza, Suite 40 Bethesda, MD 20816 (P) 301.229.4600 (F) 301.229.3195</p> <p>119 N. Washington St. Falls Church, VA 22046 (P) 703.241.2900 (F) 703.534.0227</p> <p>1227 14th Street NW Wash, DC 20005 (P) 202.956.2275 (F) 202.229.3195</p>	
<p>Development: Dave Vogt Michael O'Hearn</p>	<p>Management: Greg Pelen</p>
<p>Project No: 26-24-0971</p>	<p>Design: Kwasi Henig Caroline Moore</p>
<p>Russell Residence Proposed Remodel Project 4711 waverly Avenue, Garrett Park, MD 20896</p>	
<p>Proposed Floor Framing Plan</p>	
<p>Drawing Log</p> <p>06/10/2021 - Measure 12/04/2021 - CD 9/30/2022 - Contract</p>	
<p>Date: 12/15/2022</p>	<p>Scale: 1/4" = 1'-0"</p>
<p>Sheet: S02</p>	<p>Of:</p>

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Robert A. Votaw

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 By Dan.Bruechert at 2:52 pm, Jan 24, 2023



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<p>Russell Residence Proposed Remodel Project 4711 waverly Avenue, Garrett Park, MD 20896</p>		<p>Proposed 2nd Flr /1st Flr Roof Frmg Plan</p>	
<p>Development: Dave Vogt Michael O'Hearn</p>		<p>Management: Greg Polen</p>	
<p>Project No: 26-24-0971</p>		<p>Design: Kwan Henning Caroline Moore</p>	
<p>Drawing Log</p> <p>06/10/2021 - Measure 12/04/2021 - CD 9/30/2022 - Contract</p>		<p>Date: 12/15/2022 Scale: 1/4" = 1'-0" Sheet: Of S03</p>	

CASE
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 (F) 301.229.3195

Alexandria, VA
 119 N. Washington St.
 Falls Church, VA 22046
 (P) 703.000.0000
 (F) 703.534.0207

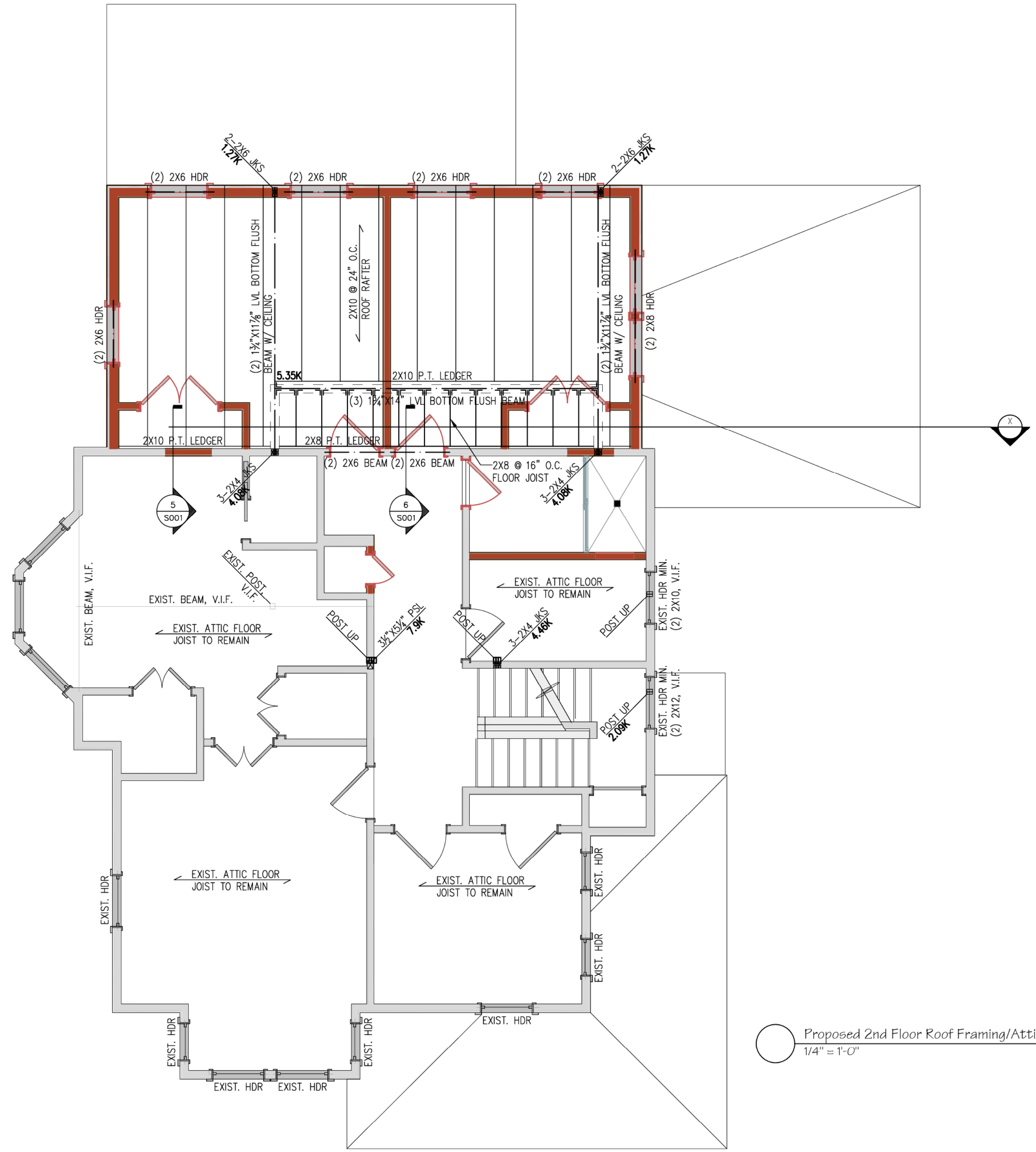
Washington, DC
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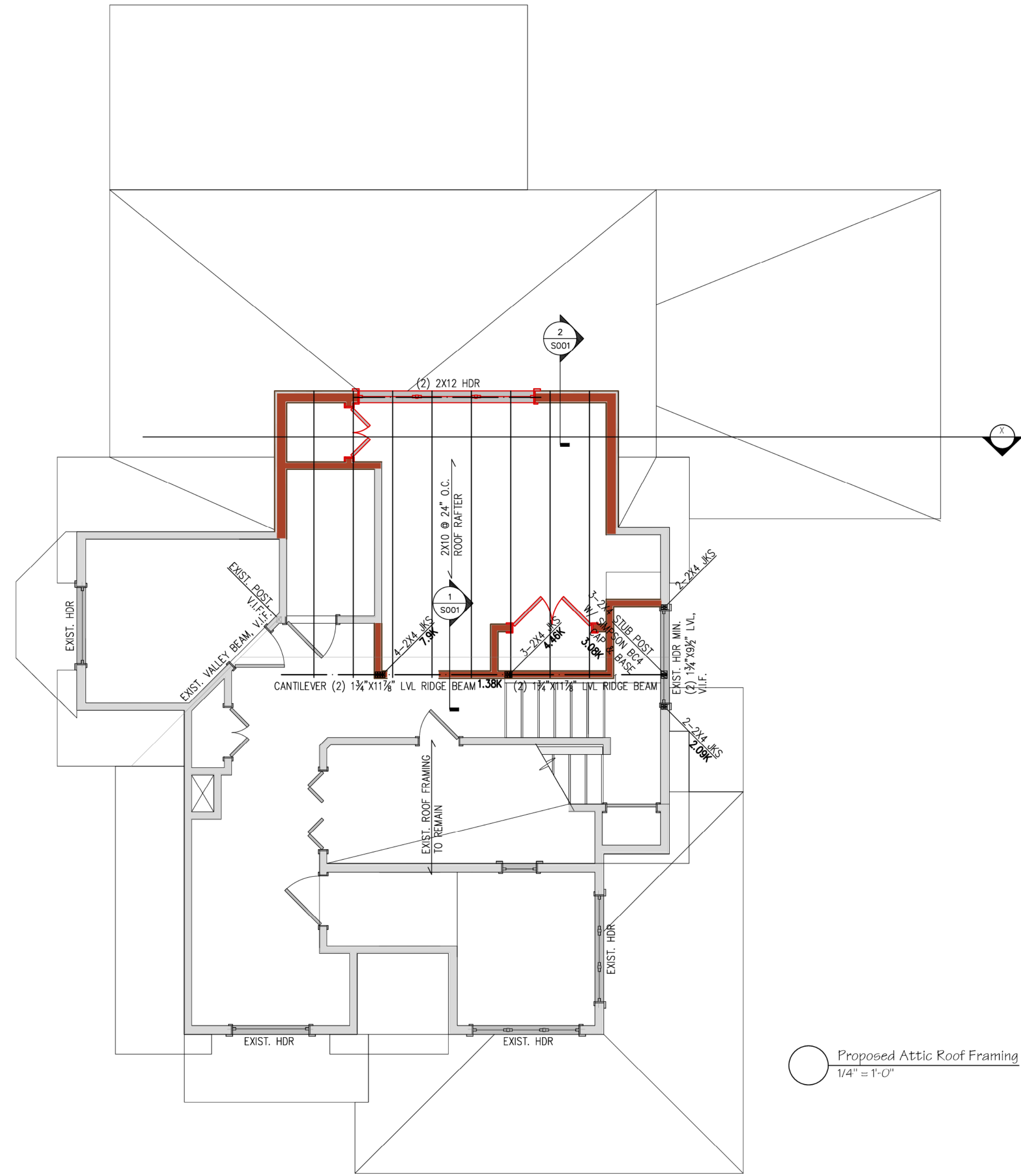
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 By Dan.Bruechert at 2:56 pm, Jan 24, 2023



○ Proposed Attic Roof Framing
 1/4" = 1'-0"



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Russell Permit: Plans.vwx

Permit

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Date: 12/15/2022	Scale: 1/2" = 1'-0"	Of: 5
Sheet: S05	Drawing Log	
06/10/2021 - Measure		
12/04/2021 - CD		
9/30/2022 - Contract		

Russell Residence
 Proposed Remodel Project
 4711 waverly Avenue, Garrett Park, MD 20896
Proposed Attic Roof Framing Plan

Project No: 26-24-0971	Design: Kwasi Henning Caroline Moore
Development: Dave Yoat Michael O'Hearn	Management: Greg Pelen

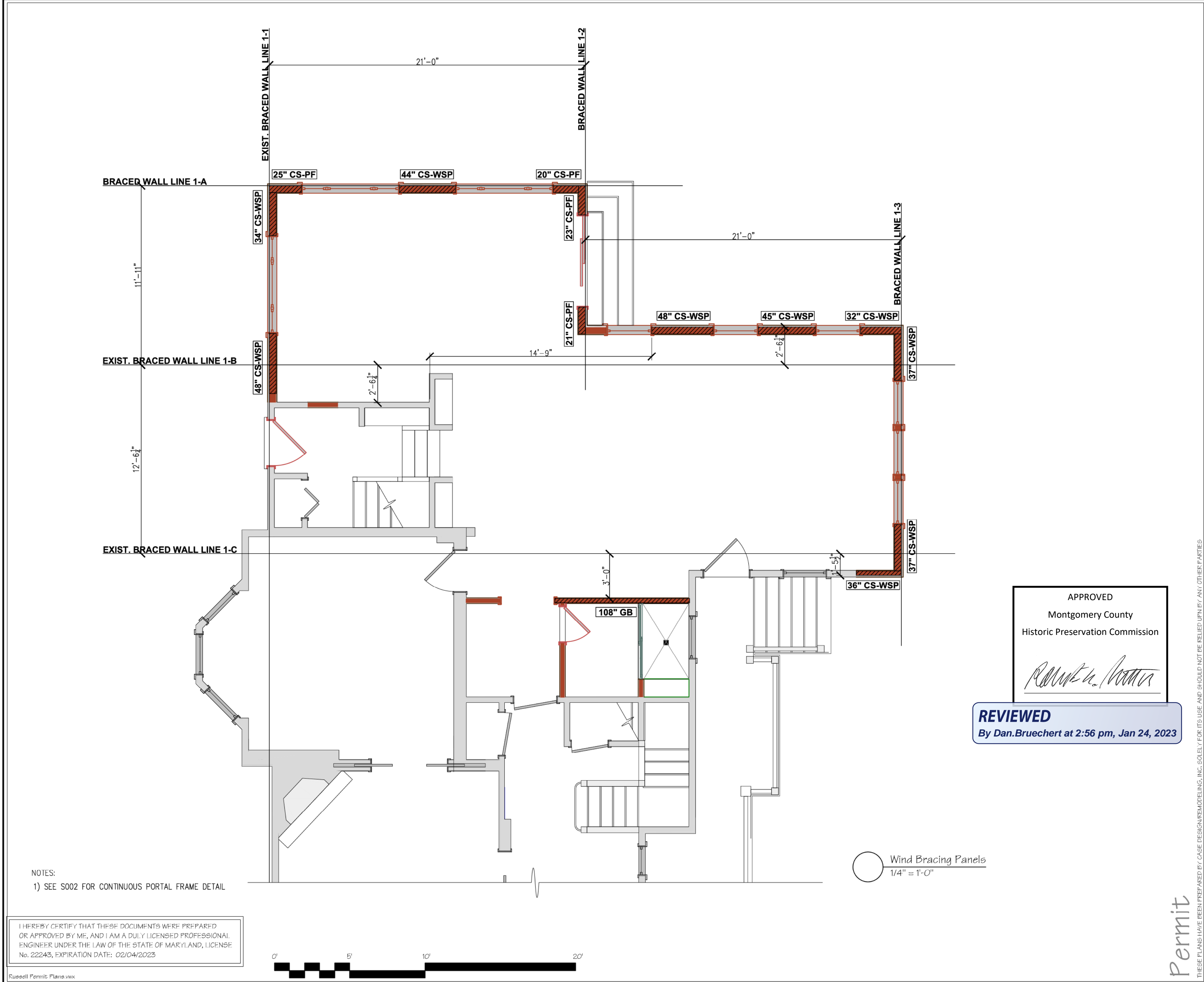
CASE
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Bethesda:
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Washington, DC:
 1227 14th Street, NW
 Wash, DC 20005
 (P) 202.556.2275
 (F) 202.229.3195



NOTES:
1) SEE S002 FOR CONTINUOUS PORTAL FRAME DETAIL

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Wind Bracing Panels
1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

Robert H. ...

REVIEWED
By Dan.Bruechert at 2:56 pm, Jan 24, 2023

CASE
Architects & Remodelers

Bethesda, MD 20816
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 Washington, DC
 1227 14th Street NW
 Wash, DC 20005
 (P) 202.956.2275
 (F) 703.000.0001
 Alexandria, VA 22314
 119 N. Washington St.
 Falls Church, VA 22046
 (P) 703.000.0000
 (F) 703.534.0207

Project No: 26-24-0971	Design: Kwan Heng Caroline Moore
Development: Dave Vogt Michael O'Hearn	Management: Greg Polen

Russell Residence
Proposed Remodel Project
4711 waverly Avenue, Garrett Park, MD 20896
Wind Bracing Panels

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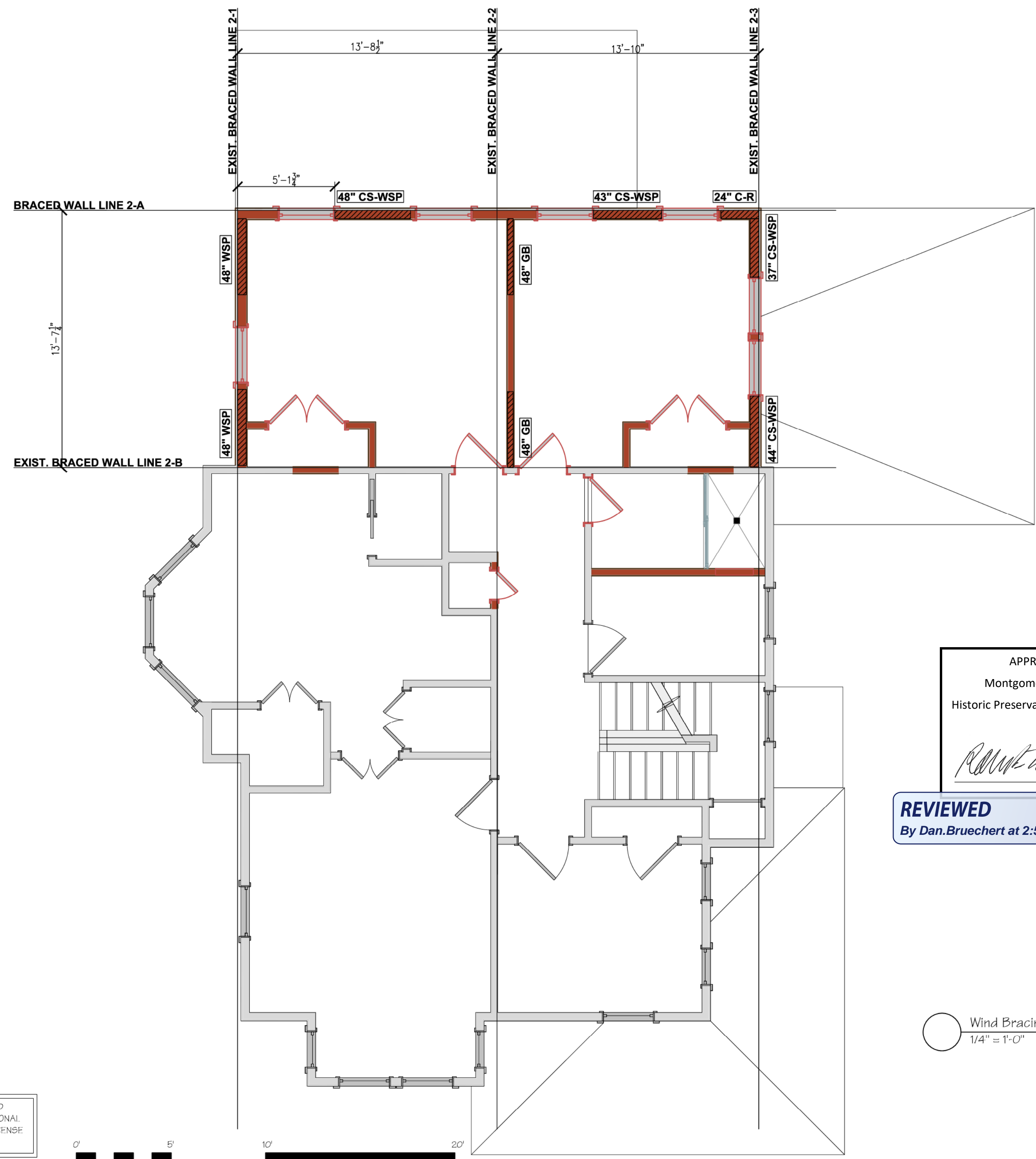
Drawing Log
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Date: 12/15/2022	Scale:
Sheet: S06	Of:

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Russell Permit: Plans.vwx



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Historic Preservation Commission

Ronald A. Adams

REVIEWED
By Dan.Bruechert at 2:56 pm, Jan 24, 2023

○ Wind Bracing Panels
1/4" = 1'-0"

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Date:	12/15/2022	Scale:	1/2" = 1'-0"
Sheet:		Of:	
		Sheet:	S07

Drawing Log
06/10/2021 - Measure
12/04/2021 - CD
09/30/2022 - Contract

Russell Residence
Proposed Remodel Project
4711 waverly Avenue, Garrett Park, MD 20896
Wind Bracing Panels

Project No:	26-24-0971	Design:	Kyran Henning Caroline Moore
Development:	Dave Vogt Michael O'Hearn	Management:	Greg Polen

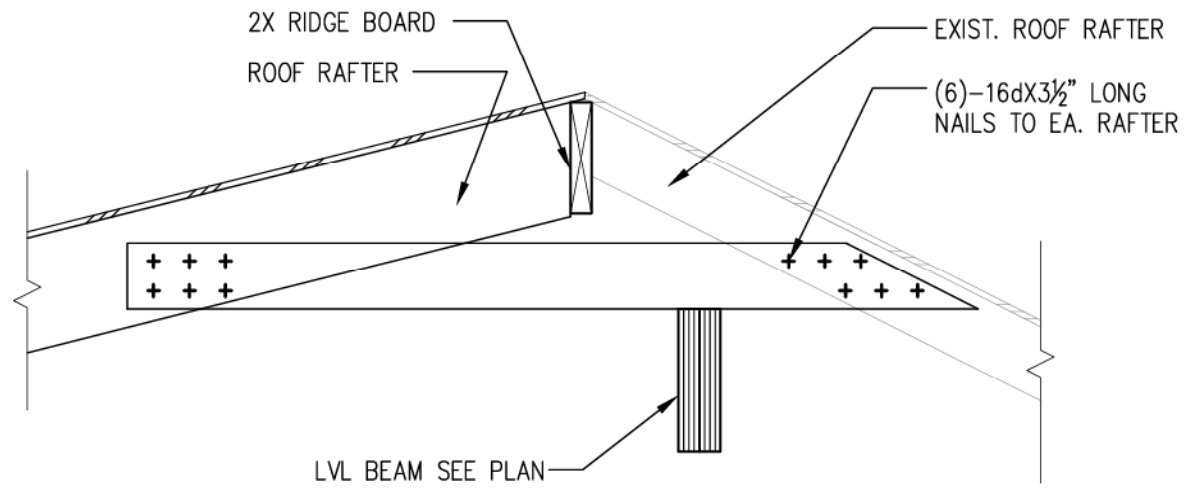
CASE
Architects & Remodelers

Bethesda, MD 20816
 (P) 301.229.4600
 (F) 301.229.3195

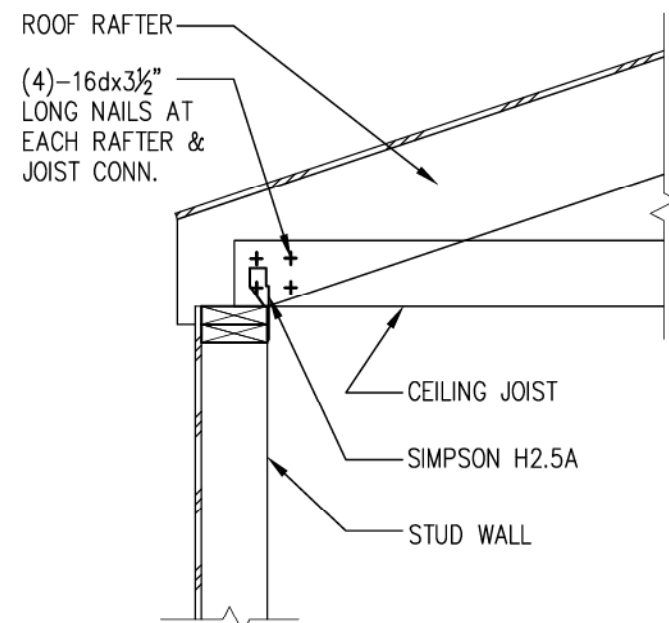
Falls Church, VA 22046
 (P) 703.241.2860
 (F) 703.534.0207

Alexandria, VA 22314
 (P) 703.000.0000
 (F) 703.000.0001

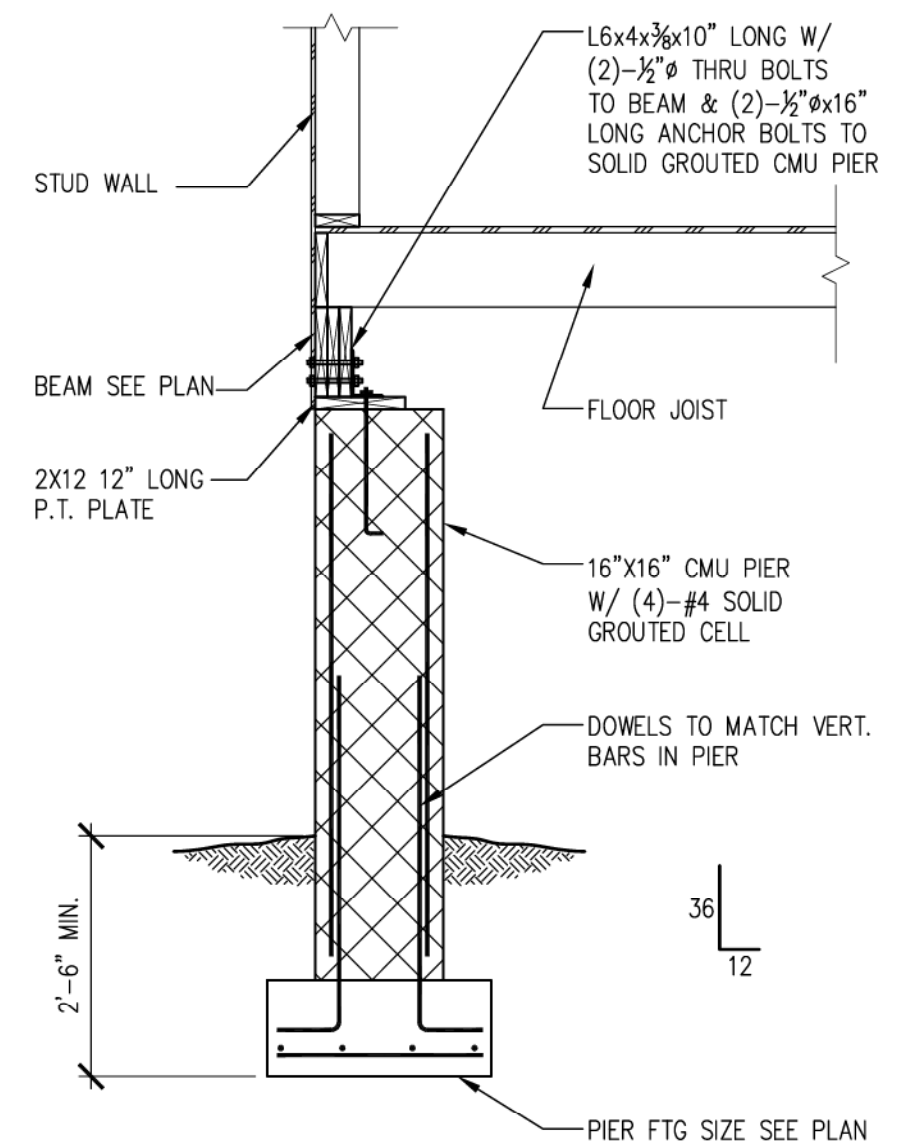
Washington, DC 20005
 1227 14th Street NW
 Wash, DC 20005
 (P) 202.956.2275
 (F) 202.229.3195



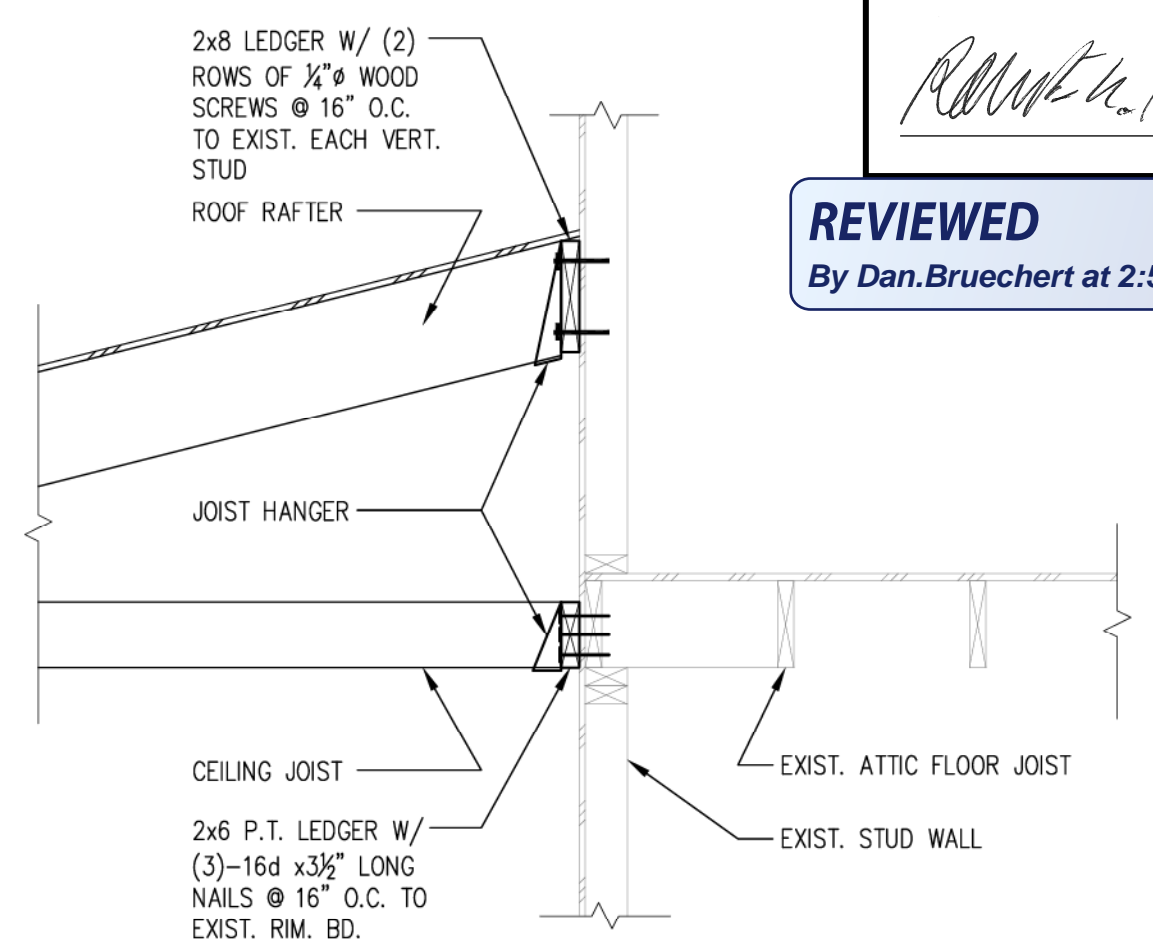
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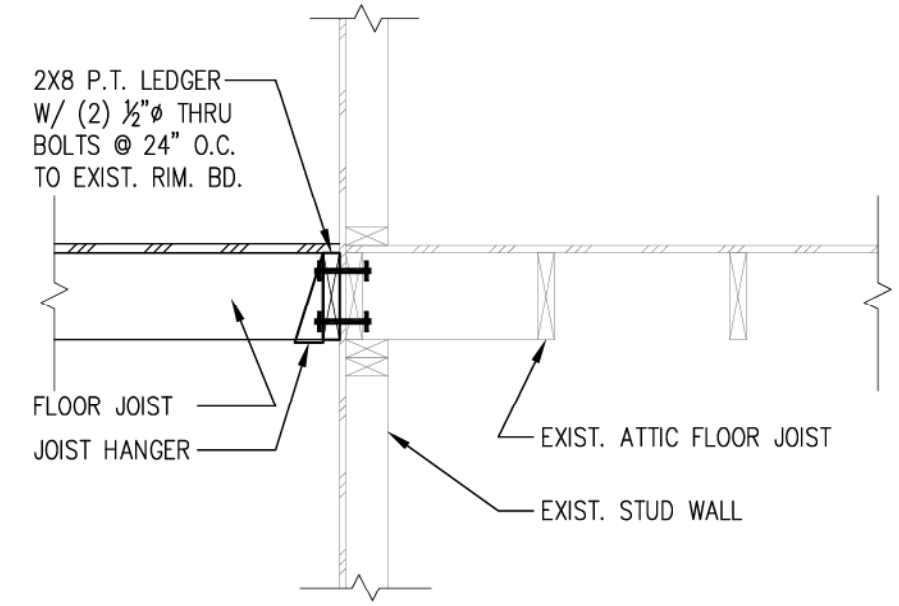
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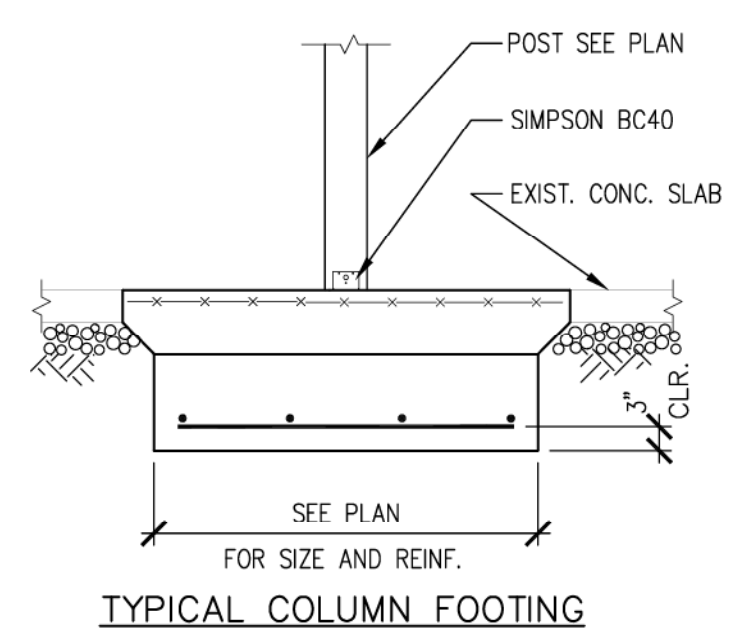
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SECTION 5
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S001



SECTION 6
NOT TO SCALE
S001



SECTION 11
SCALE: NTS
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APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 2:56 pm, Jan 24, 2023

I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAW OF THE STATE OF MARYLAND, LICENSE No. 22243, EXPIRATION DATE: 02/04/2023



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Architects & Remodelers

Bethesda
4707 Sangamore Road
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(P) 301.229.4500
(F) 301.229.3195

Washington, DC
1227 14th Street NW
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(F) 202.229.3195

Alexandria
119 N. Washington St.
Falls Church, VA 22046
(P) 703.000.0000
(F) 703.534.0207

Development:
Dave Vogt
Michael O'Hearn

Management:
Greg Polen

Project No:
26-24-0971

Design:
Kwasi Henning
Caroline Moore

Russell Residence
Proposed Remodel Project
4711 waverly Avenue, Garrett Park, MD 20896

Details

Drawing Log

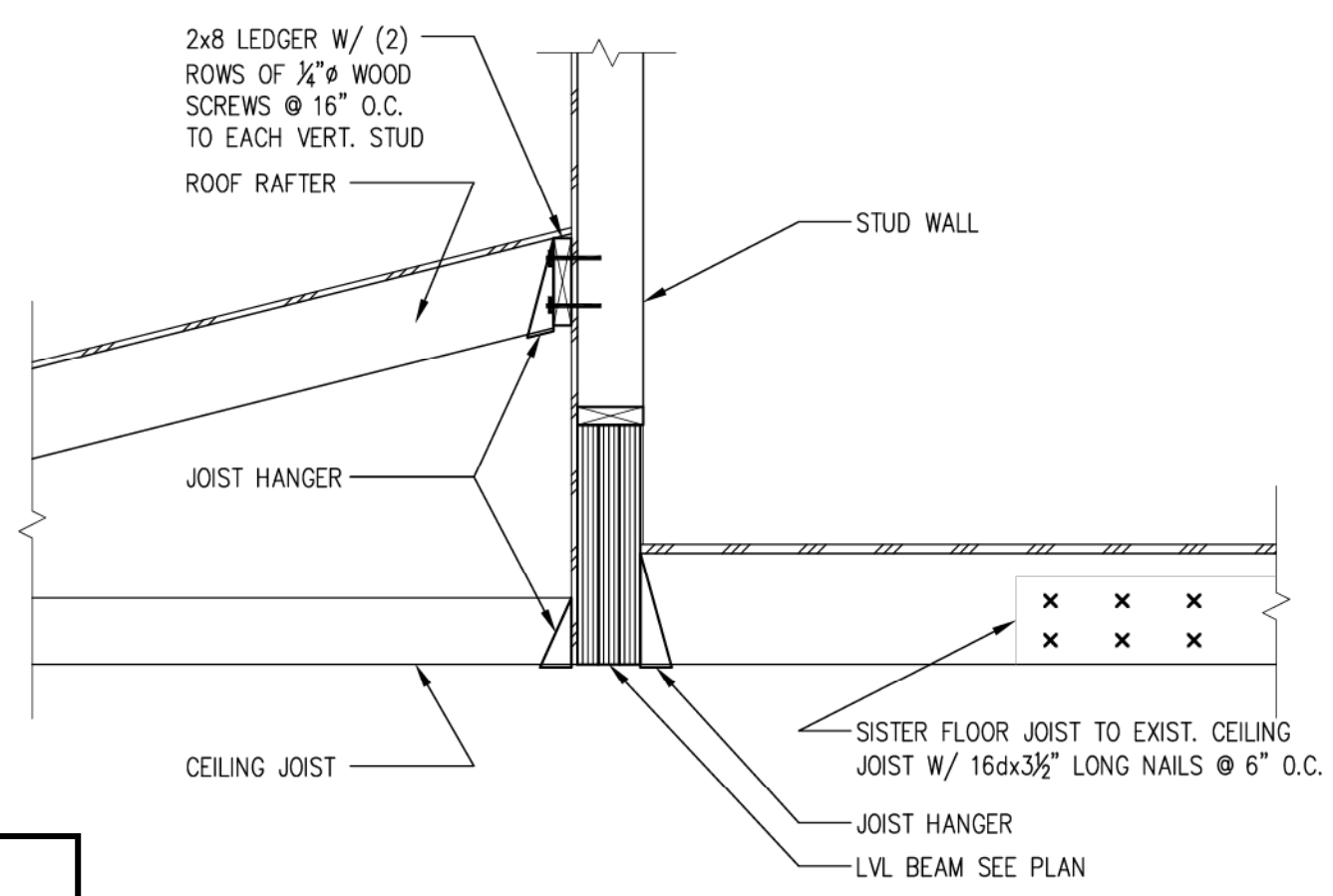
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12/04/2021 - CD
9/30/2022 - Contract

Date: 12/15/2022
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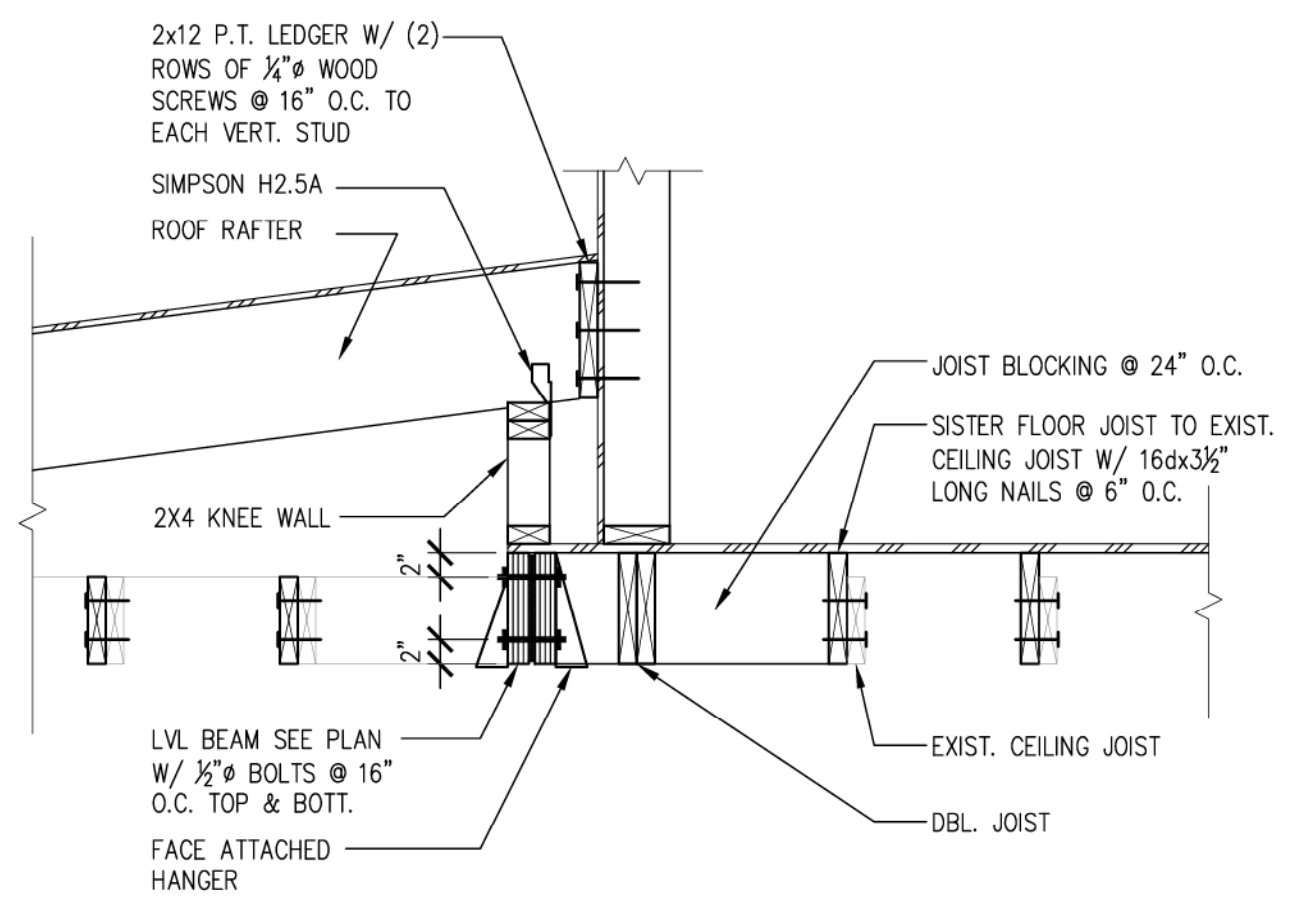
Sheet: 508
Of:

Permit

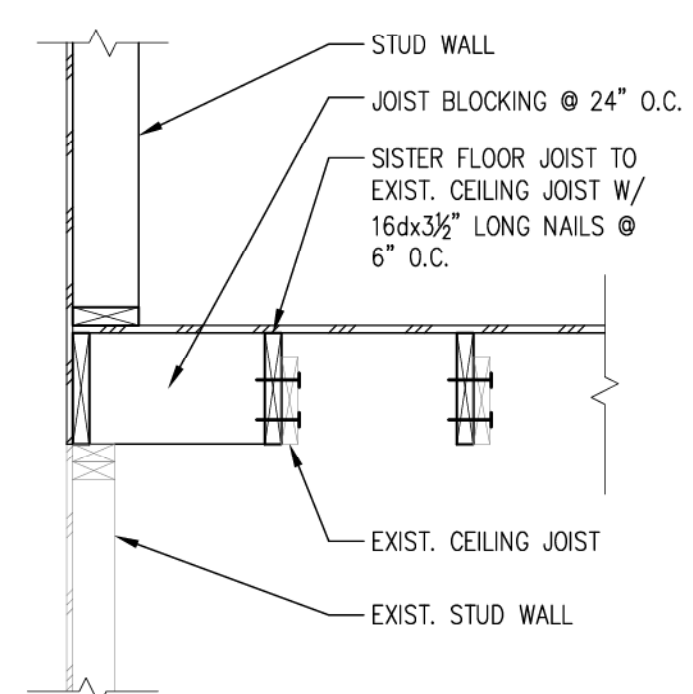
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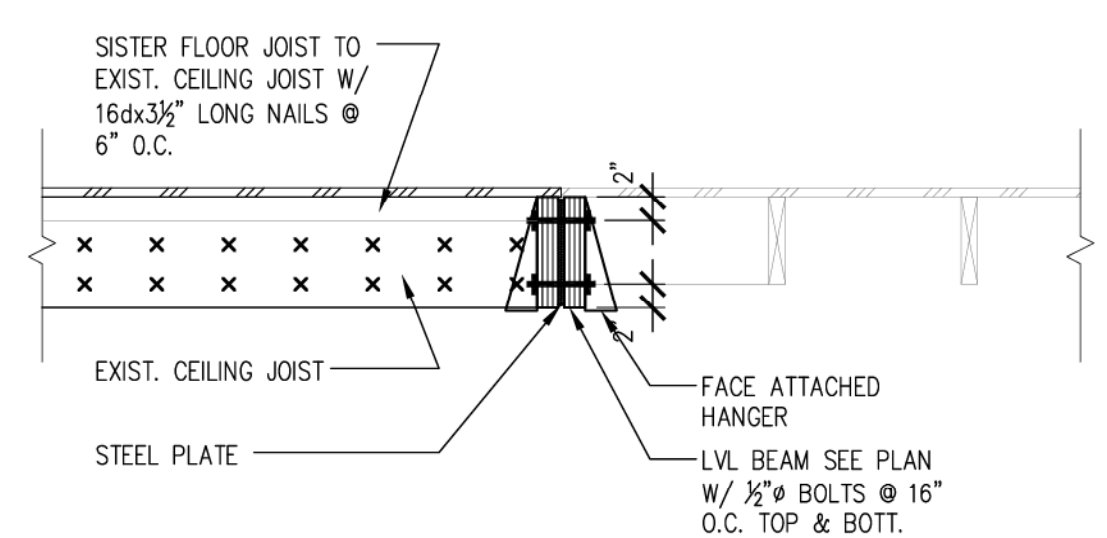
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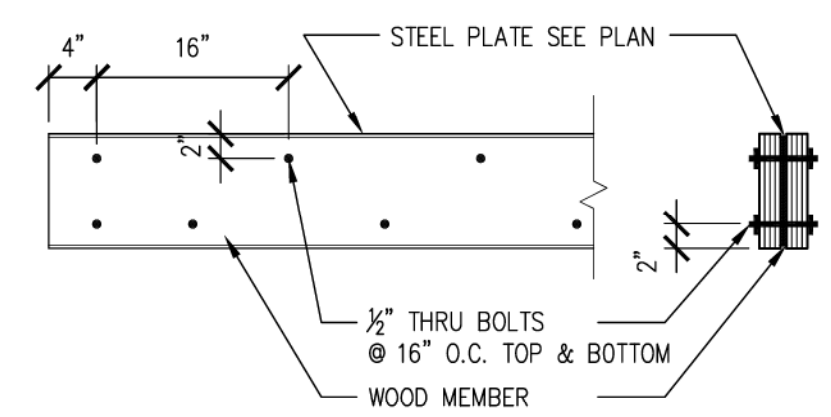
SECTION 4
NOT TO SCALE



SECTION 7
NOT TO SCALE



SECTION 8
NOT TO SCALE



SECTION 9
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Historic Preservation Commission

[Signature]

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By Dan.Bruechert at 2:56 pm, Jan 24, 2023

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 (P) 202.959.2275
 (F) 202.229.3195
 Alexandria, VA 22314
 119 N. Washington St.
 Falls Church, VA 22046
 (P) 703.000.0000
 (F) 703.000.0001

Development: Dave Vogt Michael O'Hearn	Management: Greg Polen
Project No: 26-24-0971	Design: Kwan Hening Caroline Moore

Russell Residence
Proposed Remodel Project
4711 waverly Avenue, Garrett Park, MD 20896

Details

Drawing Log

06/10/2021 - Measure
12/04/2021 - CD
9/30/2022 - Contract

Permit

Date: 12/15/2022	Scale:
Sheet: S09	Of:

THESE PLANS HAVE BEEN PREPARED BY CASE DESIGN/MODELING, INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTIES.

BRACED WALL PANEL NOTES:

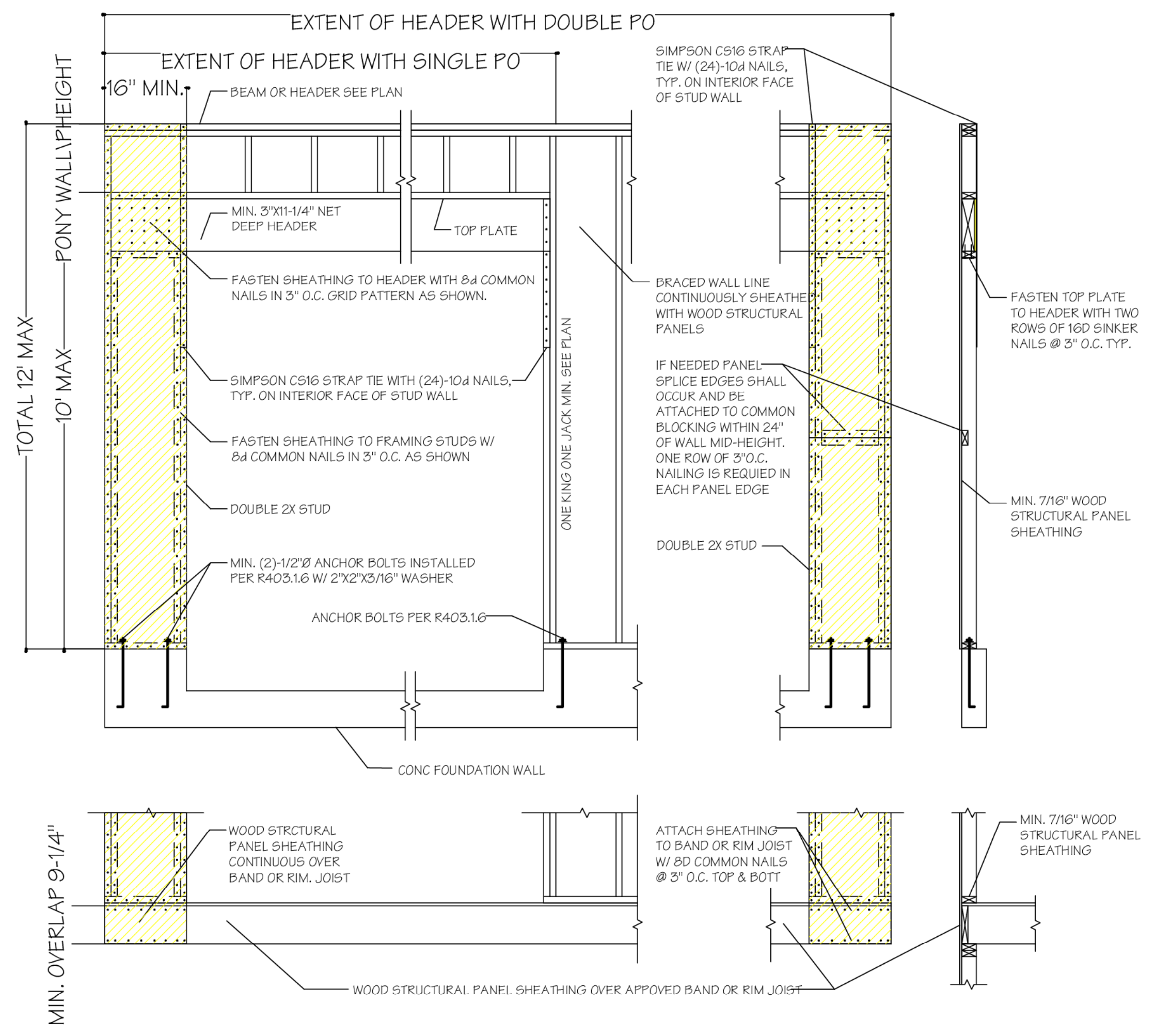
- 1) THE EXTERIOR WALL SHALL BE BRACED WITH CONTINUOUS SHEATHING (CS) IN ACCORDANCE WITH R602.10.4 IRC2009 AS FOLLOWS:
 2X4 MIN. SPF (STUD GRADE) SPACED @ 16" O.C. MAX.
 EXTERIOR WALL SHEATHING - 7/16" OSB OR PLYWOOD
 FASTENERS - 8d X 2" LONG NAILS @ 6" O.C. @ PANEL EDGES & 12" O.C. @ INTERMEDIATE SUPPORT
- 2) WOOD STRUCTURAL PANEL (WSP) SHALL BE CONSTRUCTED THE SAME AS CS ABOVE, AND ALL EDGES OF BRACED WALL PANELS (WSP OR CS-WSP) SHALL BE BLOCKED WITH 2X4 BLOCKING AND THE SAME EDGE NAILING AS ABOVE.
- 3) MINIMUM BRACED WALL PANEL LENGTH IS IN ACCORDANCE WITH TABLE R602.10.4.2
- 4) GYPSUM BOARD (GB) BRACED WALL SHALL BE FINISHED AS FOLLOWS:
 INTERIOR WALL FINISH - 1/2" GYPSUM BOARD, UNBLOCKED
 FASTENERS - 6d X 2" COMMON NAIL @ 7" O.C. @ EDGES & 8" IN FIELD OR NO. 6 1-1/4" SCREWS @ 4" O.C. @ EDGES & 8" IN FIELD
- 5) ABBREVIATIONS & LEGEND
 CS CONTINUOUS SHEATHING
 WSP WOOD STRUCTURAL PANEL
 CS-PF CONTINUOUS SHEATHING PORTAL FRAME
 GB GYPSUM BOARD
 SW SHEAR WALL

APPROVED
 Montgomery County
 Historic Preservation Commission



REVIEWED
 By Dan.Bruechert at 2:56 pm, Jan 24, 2023

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TYPICAL PORTAL FRAME CS-PF BRACE DETAIL

Permit

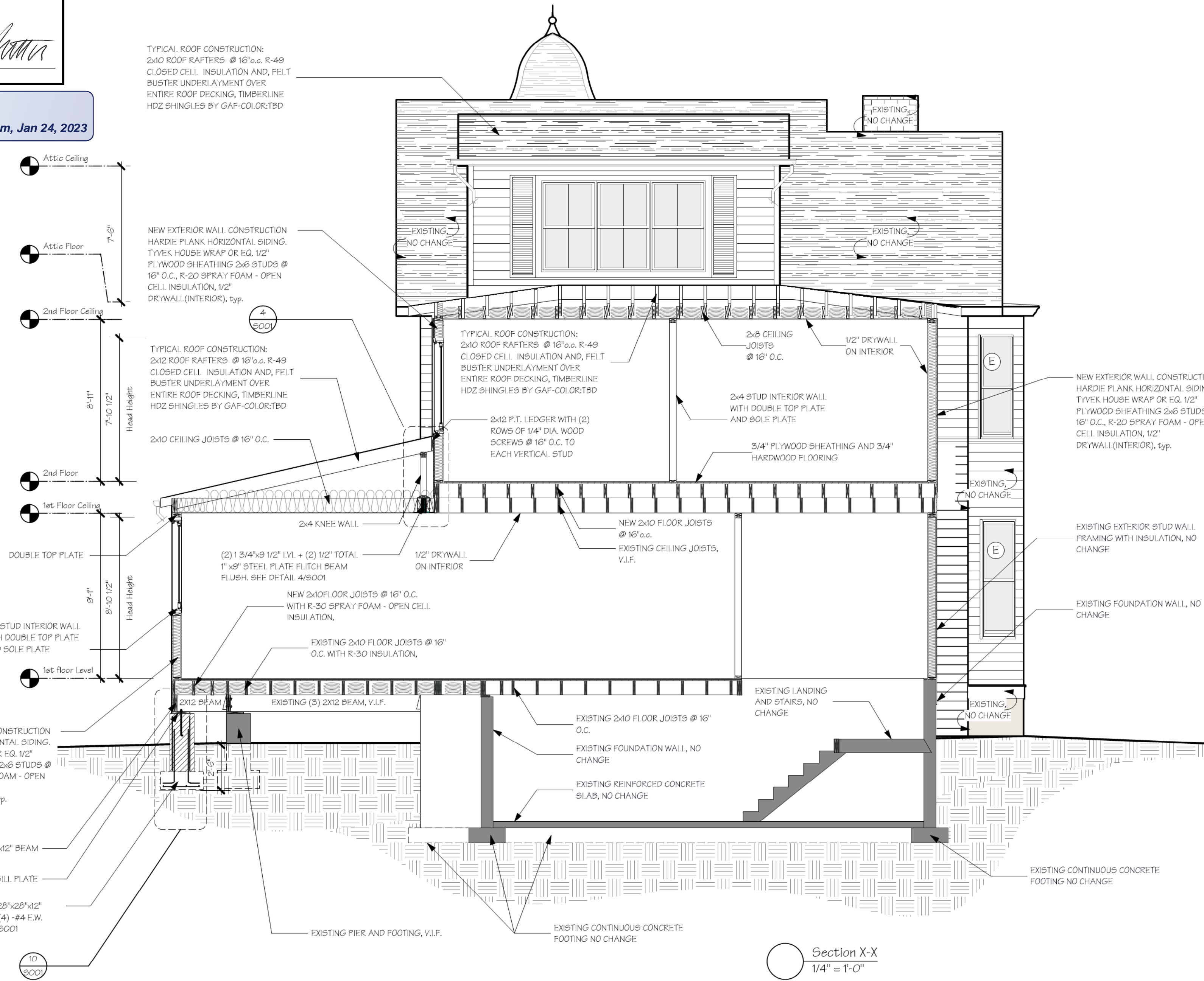
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Bethesda 4701 Sangamore Road North Plaza, Suite 40 Bethesda, MD 20816 (P) 301.229.4500 (F) 301.229.3195	Washington, DC 1227 14th Street NW Wash, DC 20005 (P) 202.959.2275 (F) 202.229.3195
Falls Church 701 Park Avenue Falls Church, VA 22046 (P) 703.241.2800 (F) 703.534.0207	Alexandria 119 N. Washington St. Falls Church, VA 22034 (P) 703.000.0000 (F) 703.000.0001
Development: Dave Vogt Michael O'Hearn	Management: Greg Polen
Project No.: 26-24-0971	Design: Kwan Hening Caroline Moore
Russell Residence Proposed Remodel Project 4711 waverly Avenue, Garrett Park, MD 20896	
Details	
Drawing Log 06/10/2021 - Measure 12/04/2021 - CD 9/30/2022 - Contract	Date: 12/15/2022 Scale: 1/2" = 1'-0" Sheet: Of: S10

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REVIEWED
 By Dan.Bruechert at 2:57 pm, Jan 24, 2023



Section X-X
 1/4" = 1'-0"



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Bethesda
 4701 Sangamore Road
 North Plaza, Suite 40
 Bethesda, MD 20816
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CASE
 Architects & Remodelers

Alexandria
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 (F) 703.000.0001

Washington, DC
 1227 14th Street, NW
 Wash, DC 20005
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Falls Church
 701 Park Avenue
 Falls Church, VA 22046
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 (F) 703.534.0207

Development:	Dave Vogt Michael O'Hearn	Management:	Greg Polen
Project No:	26-24-0971	Design:	Kwan Henging Caroline Moore

Russell Residence
 Proposed Remodel Project
 4711 waverly Avenue, Garrett Park, MD 20896

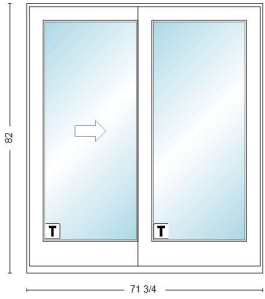
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Drawing Log
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12/04/2021 - CD
9/30/2022 - Contract

Date:	12/15/2022	Scale:	1/2" = 1'-0"
Sheet:	S11	Of:	

Permit



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
200	1	Left-Stationary	Family D2	\$3,725.77	\$3,725.77

RO Size = 72 1/4" x 82 1/2"

Unit Size = 71 3/4" x 82"

AFRS60610, Unit, E-Series Gliding Door 2 Panel-AFRS, 4 9/16" Frame Depth, Factory Assembled, No Flange, Bronze - Painted On-Floor Sill, 4 11/16" Stile Width, 4 11/16" Top Rail Height, 8" Bottom Rail Height, White 2604 Exterior Frame, White 2604 Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, Left-Stationary, Dual Pane Low-E4 Tempered Argon Fill Ovolo Glass Stop Stainless Glass / Grille Spacer, Newbury, Bright Brass, Bright Brass, White, 2604, Full Screen, Aluminum, Top Hung Gliding

Trim Set 1: AFRS Left-Stationary Newbury Bright Brass PN:2565684

Auxiliary Foot Lock 1: AFRS Bright Brass PN:2565710

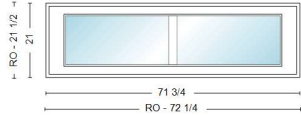
Insect Screen 1: E-Series Gliding Door 2 Panel-AFRS, 32 7/8" X 78" AFRS60610 Full Screen Aluminum Top Hung Gliding White 2604

<u>Unit #</u>	<u>U-Factor</u>	<u>SHGC</u>	<u>ENERGY STAR</u>	<u>Clear Opening/Unit #</u>	<u>Width</u>	<u>Height</u>	<u>Area (Sq. Ft)</u>	<u>Comments:</u>
A1	0.32	0.27	NO	A1	27.3125	78.0625	14.8061	

<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
300	1	Stationary	Transom over slider- Field mulled	\$1,653.77	\$1,653.77

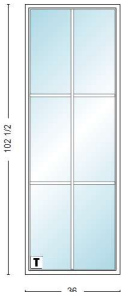
RO Size = 72 1/4" x 21 1/2"

Unit Size = 71 3/4" x 21"



AFDTO 5' 11 3/4"X1' 9", Unit, E-Series Outswing Door Transom-Contemporary, Standard Panel, 4 9/16" Frame Depth, Factory Assembled, No Flange, Sash Set, 4 11/16" Stile Width, 2 3/4" Top Rail Height, 2 3/4" Bottom Rail Height, White 2604 Exterior Frame, White 2604 Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, Stationary, Dual Pane Low-E4 Standard Argon Fill Full Divided Light (FDL) 2 Wide, 1 High, Specified Equal Light Pattern, White, 2604, Pine w/White - Painted, Chamfer Exterior Grille Bar/ Ovolo Interior Grille Bar, 2 1/4" Grille Bar, Ovolo Glass Stop Stainless Glass / Grille Spacer

<u>Unit #</u>	<u>U-Factor</u>	<u>SHGC</u>	<u>ENERGY STAR</u>	<u>Comments:</u>
A1	0.34	0.2	NO	



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
400	1	Fixed	Breakfast/Kitchen- W-D Tempered	\$1,906.50	\$1,906.50

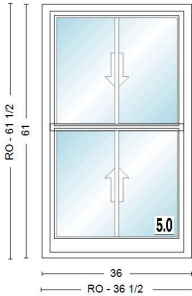
RO Size = 36 1/2" x 103"

Unit Size = 36" x 102 1/2"

CAUX 3'X8' 6 1/2", Unit, E-Series Spec Rectangle, 2 7/8" Frame Depth, Rigid Vinyl w/Integral Vinyl Drip Cap, Direct Set, White 2604 Exterior Frame, Pine w/White - Painted Interior Frame, Fixed, Dual Pane Low-E4 Tempered Argon Fill Full Divided Light (FDL) 2 Wide, 3 High, Specified Equal Light Pattern, White, 2604, Pine w/White - Painted, Chamfer Exterior Grille Bar/ Ovolo Interior Grille Bar, 7/8" Grille Bar, Ovolo Glass Stop Stainless Glass / Grille Spacer
Wrapping: 5 9/16" Interior Extension Jamb Pine / White - Painted Standard Complete Unit Extension Jambs, Factory Applied

Unit #	U-Factor	SHGC	ENERGY STAR
A1	0.29	0.32	YES

Comments:



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
500	5	Active/Active	Breakfast/Kitchen- W- F,G,H,I,J	\$1,200.22	\$6,001.10

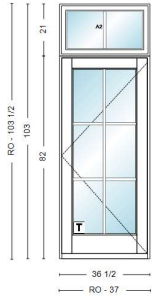
RO Size = 36 1/2" x 61 1/2"

Unit Size = 36" x 61"

TCLDH3051, Unit, E-Series Double-Hung, Equal Sash, 4 9/16" Frame Depth, Rigid Vinyl w/Integral Vinyl Drip Cap, White 2604 Exterior Frame, White 2604 Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, Active/Active, Dual Pane Low-E4 Standard Argon Fill Full Divided Light (FDL) 2 Wide, 1 High, Specified Equal Light Pattern, White, 2604, Pine w/White - Painted, Chamfer Exterior Grille Bar/ Ovolo Interior Grille Bar, 7/8" Grille Bar, Ovolo Glass Stop Stainless Glass / Grille Spacer, 2 Sash Locks Bright Brass, BeigeJamb Liner, Clad Exterior / Wood InteriorJamb Liner Inserts, White, 2604, Full, Aluminum
Wrapping: 5 9/16" Interior Extension Jamb Pine / White - Painted Standard Complete Unit Extension Jambs, Factory Applied

Insect Screen 1: E-Series Double-Hung, TCLDH3051 Full Aluminum White 2604

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	Comments:
A1	0.33	0.27	NO	A1	31.6875	24.2500	5.33630	



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
600	1	Stationary / Left	Mud Room D-1	\$3,341.71	\$3,341.71

RO Size = 37" x 103 1/2"

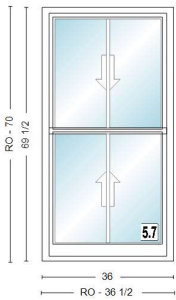
Unit Size = 36 1/2" x 103"

Mull: Factory Mull, Andersen Stack Mull, Drip Mull Horizontal Mull Material
 CAX 3' 1/2"X1' 9" / AFDI30610, Unit, Unit 1: E-Series Inswing Door-1 Panel-French, Unit 2: E-Series Transom Window, Standard Panel, Unit 1: 4 9/16" Frame Depth, Unit 2: 2 7/8" Frame Depth, Factory Assembled, Unit 1: Variable Setback Metal Installation Flange, Unit 2: Rigid Vinyl w/Integral Vinyl Drip Cap, Sash Set (2 Piece), Dark Bronze Anodized On-Floor Drainage Sill, 4 11/16" Stile Width, 4 11/16" Top Rail Height, 8" Bottom Rail Height, White 2604 Exterior Frame, White 2604 Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, Unit 1: Left, Unit 2: Stationary, Sash Set (2 Piece), Align w/Stationary Stops, Dual Pane Low-E4 Unit 1 Opening: Tempered Unit 2: Standard Argon Fill Full Divided Light (FDL) 2 Wide, Unit 1: 3 High, Unit 2: 1 High, Specified Equal Light Pattern, White, 2604, Pine w/White - Painted, Chamfer Exterior Grille Bar/ Ovolo Interior Grille Bar, 7/8" Grille Bar, Ovolo Glass Stop Stainless Glass / Grille Spacer, Hardware Preparation, Newbury, Bright Brass, Bright Brass

Trim Set 1: AFDI Left Newbury Bright Brass PN:2577543

Mull Cover: AFDI, 48IN, White, PN:9080180

<u>Unit #</u>	<u>U-Factor</u>	<u>SHGC</u>	<u>ENERGY STAR</u>	<u>Clear Opening/Unit #</u>	<u>Width</u>	<u>Height</u>	<u>Area (Sq. Ft)</u>	<u>Comments:</u>
A1	0.31	0.21	NO	A1	32.0000	78.3750	17.4167	
A2	0.31	0.3						



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
700	7	Active/Active	Rear Bedrooms- W-K,L,M,N,O,P,Q	\$1,396.90	\$9,778.30

RO Size = 36 1/2" x 70"

Unit Size = 36" x 69 1/2"

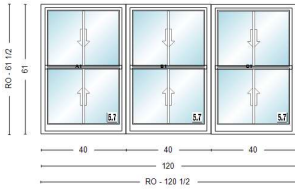
TCLDH 3'X5' 9 1/2", Unit, E-Series Double-Hung, Equal Sash, 4 9/16" Frame Depth, Rigid Vinyl w/Integral Vinyl Drip Cap, White 2604 Exterior Frame, White 2604 Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, Active/Active, Dual Pane Low-E4 Standard Argon Fill Full Divided Light (FDL) 2 Wide, 1 High, Specified Equal Light Pattern, White, 2604, Pine w/White - Painted, Chamfer Exterior Grille Bar/ Ovolo Interior Grille Bar, 7/8" Grille Bar, Ovolo Glass Stop Stainless Glass / Grille Spacer, 2 Sash Locks Bright Brass, BeigeJamb Liner, Clad Exterior / Wood InteriorJamb Liner Inserts, White, 2604, Full, Aluminum

Wrapping: 5 9/16" Interior Extension Jamb Pine / White - Painted Standard Complete Unit Extension Jambs, Factory Applied

Insect Screen 1: E-Series Double-Hung, TCLDH 36 x 69.5 Full Aluminum White 2604

<u>Unit #</u>	<u>U-Factor</u>	<u>SHGC</u>	<u>ENERGY STAR</u>	<u>Clear Opening/Unit #</u>	<u>Width</u>	<u>Height</u>	<u>Area (Sq. Ft)</u>	<u>Comments:</u>
A1	0.33	0.27	NO	A1	31.6875	28.5000	6.27150	

<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
800	1	Active/Active - Active/Active - Active/Active	Attic- W- R - Egress	\$3,535.22	\$3,535.22



RO Size = 120 1/2" x 61 1/2"

Unit Size = 120" x 61"

Mull: Factory Mull, Andersen Ribbon Mull, Zero Mull Material

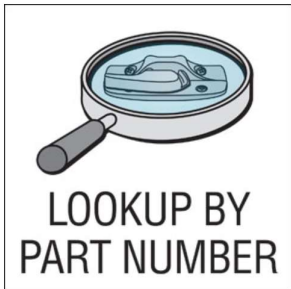
TCLDH3451 - TCLDH3451 - TCLDH3451, Unit, E-Series Double-Hung, Equal Sash, 4 9/16" Frame Depth, Rigid Vinyl w/Integral Vinyl Drip Cap, White 2604 Exterior Frame, White 2604 Exterior Sash/Panel, Pine w/White - Painted Interior Frame, Pine w/White - Painted Interior Sash/Panel, Active/Active, Dual Pane Low-E4 Standard Argon Fill Full Divided Light (FDL) 2 Wide, 1 High, Specified Equal Light Pattern, White, 2604, Pine w/White - Painted, Chamfer Exterior Grille Bar/ Ovolo Interior Grille Bar, 7/8" Grille Bar, Ovolo Glass Stop Stainless Glass / Grille Spacer, 2 Sash Locks Bright Brass, BeigeJamb Liner, Clad Exterior / Wood InteriorJamb Liner Inserts

Wrapping: 5 9/16" Interior Extension Jamb Pine / White - Painted Standard Perimeter Complete Unit Extension Jambs, Factory Applied

Extension Jamb 1: TCLDH 120 x 61 Interior Extension Jamb Standard Pine White - Painted 5 9/16" Complete Unit Extension Jambs Factory Applied

Unit #	U-Factor	SHGC	ENERGY STAR	Clear Opening/Unit #	Width	Height	Area (Sq. Ft)	Comments:
A1	0.33	0.27	NO	A1	35.6875	24.2500	6.00990	
B1	0.33	0.27		B1	35.6875	24.2500	6.00990	
C1	0.33	0.27		C1	35.6875	24.2500	6.00990	

<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
900	1	N A	ZERO EXTERIOR MULL COVER - FAMILY D2	\$21.03	\$21.03



RO Size =

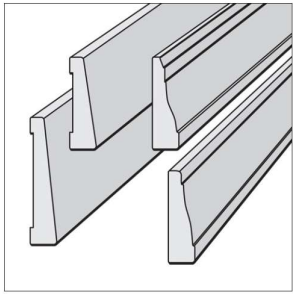
Unit Size =

ZEROX144IN, VAW ZERO STRUCT MULL 12-0 PN: 0068986

ENERGY STAR

NO

Comments:



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
1000	1	N A	INTERIOR MULL COVER - FAMILY D2	\$36.15	\$36.15

RO Size =

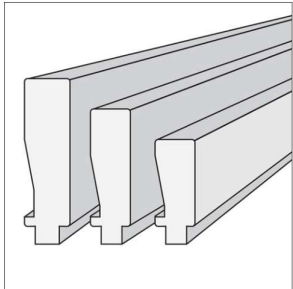
Unit Size =

Joining Component: 102IN, Interior Mull Casing ESER , Pine White - Painted , Horizontal Mull Direction, Hinged Patio Door Transom - Outswing Upper Unit, Gliding Patio Door Lower Unit, Zero Mull Wrapping: Zero Mull Size and

ENERGY STAR

NO

Comments:



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
1100	3	N A	EJ - FAMILY D2	\$75.92	\$227.76

RO Size =

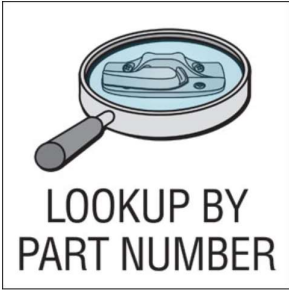
Unit Size =

Extension Jamb 1: ESER Interior Extension Jamb Standard Gliding Patio Door Pine White - Painted 5 9/16" Wrapping: 5 9/16" Interior Extension Jamb Pine / White - Painted Standard

ENERGY STAR

NO

Comments:



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
1200	1	N A	TOP NAILFIN WITH DRIP - FAMILY D2	\$8.93	\$8.93

RO Size =

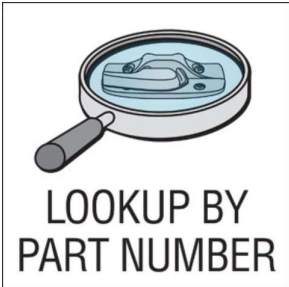
Unit Size =

NLFIN RIGID W/CL DRIP CAP 96 PN: 9124505

ENERGY STAR

NO

Comments:



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
1300	2	N A	SIDE NAILFINS - - FAMILY D2	\$6.63	\$13.26

RO Size =

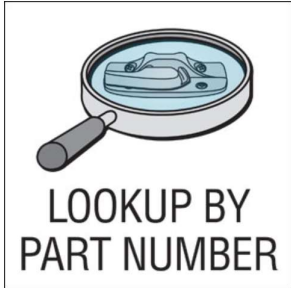
Unit Size =

RIGID NAILING FIN 10-0 PN: 9124502

ENERGY STAR

NO

Comments:



<u>Item</u>	<u>Qty</u>	<u>Operation</u>	<u>Location</u>	<u>Unit Price</u>	<u>Ext. Price</u>
1400	1	N A	CORNER PADS - FAMILY D2	\$0.80	\$0.80

RO Size =

Unit Size =

NAIL FIN CORNER PAD SEAL 4 PACK PN: 0015327

ENERGY STAR

NO

Comments:

SUB-TOTAL:	\$45,533.83
FREIGHT:	\$0.00
LABOR:	\$0.00
TAX:	\$2,732.03
TOTAL:	\$48,265.86

CUSTOMER SIGNATURE _____ DATE _____

* All graphics as viewed from the exterior. ** Rough opening dimensions are minimums and may need to be increased to allow for use of building wraps or flashings or sill panning or brackets or fasteners or other items.

Thank you for choosing Andersen Windows & Doors