



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: February 6, 2023

MEMORANDUM

TO: Ehsan Motazedi, Acting DPS Director & Deputy Director Department
of Permitting Services

FROM: Winnie Cargill
Historic Preservation Section

SUBJECT: Maryland-National Capital Park & Planning Commission Historic
Area Work Permit #1017013 - New Addition and Alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** by the HPC Staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Lisa and David Miller
Address: 7120 Willow Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Winnie Cargill at 301.495.2108 or winnie.cargill@montgomeryplanning.org to schedule a follow-up site visit.





APPLICATION FOR HISTORIC AREA WORK PERMIT
HISTORIC PRESERVATION COMMISSION
301.563.3400

FOR STAFF ONLY:
HAWP#
DATE ASSIGNED

APPLICANT:

Name: E-mail:
Address: City: Zip:
Daytime Phone: Tax Account No.:

AGENT/CONTACT (if applicable):

Name: E-mail:
Address: City: Zip:
Daytime Phone: Contractor Registration No.:

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property

Is the Property Located within an Historic District? Yes/District Name Takoma Park Historic District
No/Individual Site Name

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: Street:

Town/City: Nearest Cross Street:

Lot: Block: Subdivision: Lipscomb & Earnest Addition to Takoma Park Parcel:

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- Checklist of work types: New Construction, Addition, Demolition, Grading/Excavation, Deck/Porch, Fence, Hardscape/Landscape, Roof, Shed/Garage/Accessory Structure, Solar, Tree removal/planting, Window/Door, Other.

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Handwritten signature of Thomas Ahmann

Thomas Ahmann, AIA / AHMANN LLC

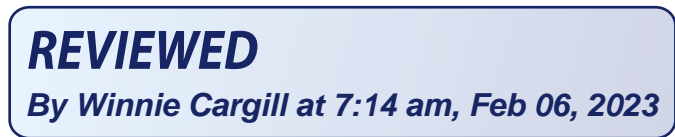
Signature of owner or authorized agent

12 Dec. 2022

Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

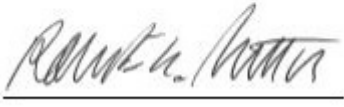
Description of Work Proposed: Please give an overview of the work to be undertaken:



Work Item 1: _____	
Description of Current Condition:	Proposed Work:

Work Item 2: _____	
Description of Current Condition:	Proposed Work:

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Winnie Cargill at 7:14 am, Feb 06, 2023

Work Item 3: _____	
Description of Current Condition:	Proposed Work:

AHMANN LLC

ARCHITECTURAL SERVICES

REGISTERED IN MARYLAND, VIRGINIA, DELAWARE
AND THE DISTRICT OF COLUMBIA

MILLER RESIDENCE KITCHEN RENOVATION

7120 WILLOW AVENUE, TAKOMA PARK, MD 20912

EXTERIOR & INTERIOR PHOTOGRAPHS

For Historic Area Work Permit

FRONT OF HOUSE



4408 BEECHWOOD ROAD, UNIVERSITY PARK, MARYLAND 20782-1129
DC METRO: 301.864.1334 DELMARVA: 410.641.6225 FX: 301.864.6818
WWW.AHMANNLLC.COM

RIGHT SIDE OF HOUSE



REAR OF HOUSE



REAR OF HOUSE
KITCHEN EXTENSION & NORWAY SPRUCE



CLOSE-UP OF ROOFING



KITCHEN INTERIORS



MILLER RESIDENCE KITCHEN RENOVATION

7120 WILLOW AVENUE, TAKOMA PARK, MD 20912

EXTERIOR PRODUCT SPECIFICATIONS

For Historic Area Work Permit


KITCHEN ADDITION

- **SIDING**

James Hardie, or approved equal, Smooth Lap Siding in 4 inch exposure (to match existing), primed for field painting. To be painted to match existing house siding color.

PRIMED FOR PAINT

James Hardie's primed for paint collection gives you the power to choose paint for your home's exterior. It's primed. It's ready for field painting. It's a durable, high-performance canvas.



AVAILABLE SIZES

THICKNESS:	0.312"
LENGTH:	144" boards
WIDTHS:	6.25" 8.25"
EXPOSURES:	5" 7"
	12" 5.25"
	10.75" 4"
	7.25" 9.25"
	6" 8"

Warranty Information >

[Request a Quote >](#) [Request a Sample >](#)

- **WINDOWS**

Marvin Ultimate wood double hung windows with 1 over 1 full view sashes (no lite divisions), primed for field painting. To be painted to match existing house window color.



FEATURES OF THE ULTIMATE WOOD DOUBLE HUNG WINDOW

- Available in heights up to 8 feet or widths up to 4 feet
- Multiple design options and woods available to match historical aesthetics and design requirements
- Also available as a round top, single hung, stationary transom or picture window
- Unique wash mode allows cleaning of both sides of glass from indoors
- Available with IZ3 coastal/hurricane certification

- TRIM

Azek, or approved equal, Classic Smooth PVC trim to match existing detailing at windows, rake, soffit and gutter boards and base band board. To be painted to match existing house trim color.

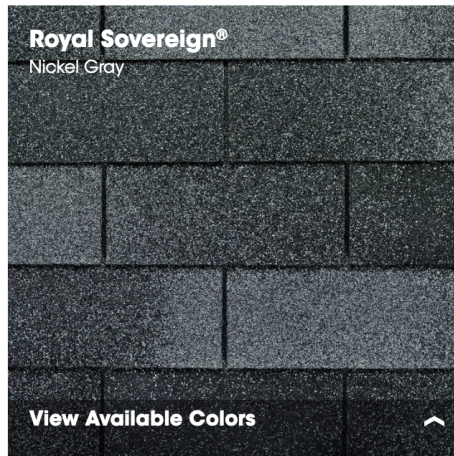


All AZEK Trim is long-lasting, moisture-resistant, and keeps its appearance with very little maintenance. Easily mill and route our trim, or heat form it before painting, for exquisite customized or curved applications. Classic AZEK Trim's brilliant white complements any exterior while AZEK Trim with PaintPro® was made to be painted.

- ROOFING

GAF, or approved equal, 3-Tab roofing shingles to match the existing house shingles as close as practical. Final selection to be made from samples provided by Contractor.

- **Timberline® Roofing Shingles**
 - Architectural
 - Specialty Architectural
- **Designer Shingles**
- **3-Tab Shingles**
 - Strip Shingles



- GUTTERS AND DOWNSPOUTS

White half round aluminum gutters and round downspouts to match the existing in size.

Reverse Bead 0.027" Aluminum Half Round Gutter

☆☆☆☆☆ Write review | 1 question

Store / Gutters / Reverse Bead Half Round Gutters

SKU REV500 Estimated lead time: ~6-7 weeks

\$42.55

1 - Size: 5" 6" 7"

2 - Length: Please choose

KM SHEET METAL

- **BRICK PIERS & LATTICE PANELS**
 Existing piers to remain. Wood framed lattice panels to match existing screened porch lattice panels.



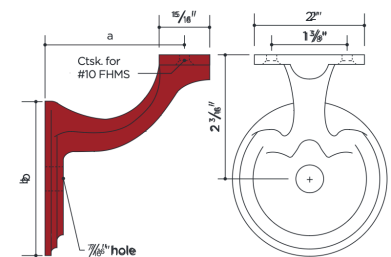
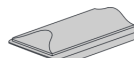
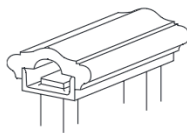
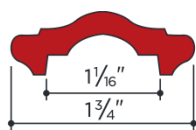
BASEMENT AREAWAY

- **RETAINING WALLS & COPING**
 Parged and painted concrete masonry units (CMU) Only visible inside stairway. 1-1/2" thick Flagstone.
 Final flagstone to be selected by Owner from samples provided by Contractor.



- **STEPS AND LANDING**
 Poured in place concrete. Cast iron area drain at landing.
- **HAND AND GUARD RAILINGS**
 Traditional "iron" look black painted steel railings utilizing Julius Blum & Co., or approved equal, steel components. 4429 top railing on 1 inch channel (with square end pieces), 1 inch channel bottom rail, 1 inch square tube posts, with alternating 1/4" square and twisted square pickets at 3 inches on center, and 381 cast wall brackets.

Steel mouldings are hot-rolled carbon steel, C1010. Fittings are cast in malleable iron, making them weldable and bendable.

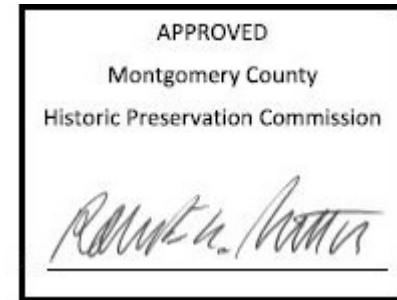


4429 used with 1" channel
4429 Prime Domestic Steel 1.50 lb/ft

N** ■ Square End Piece
 ** Stainless and steel with square front corners

	a	b
381 Malleable Iron	2 1/2"	2 7/4"
305 Malleable Iron	3"	3 1/4"

REVIEWED
By Winnie Cargill at 7:14 am, Feb 06, 2023



CODE SUMMARY

ALL CONSTRUCTION SHALL CONFORM TO THE REQUIREMENTS OF THE 2018 INTERNATIONAL RESIDENTIAL CODE (IRC 2018), INCLUDING ALL APPLICABLE MONTGOMERY COUNTY AND STATE OF MARYLAND AMENDMENTS & SUPPLEMENTS

CONSTRUCTION SHALL CONFORM TO ALL OTHER APPLICABLE LOCAL, STATE AND NATIONAL CODES, STANDARDS AND ORDINANCES.

TREE IMPACT ASSESSMENT

THE PROJECT SCOPE INCLUDES A MODEST KITCHEN ADDITION AND BASEMENT EGRESS RECONFIGURATION. THE KITCHEN ADDITION WILL EXPAND OVER THE EXISTING BASEMENT EGRESS DOOR AND STAIRS. A NEW, RELOCATED EGRESS DOOR, AREAWAY AND STAIRS ARE PLANNED AT THE SIDE OF THE HOUSE. A MATURE SPRUCE TREE, APPROXIMATELY 32" IN DIAMETER, IS WITHIN THE 50 FEET OF THE PLANNED WORK ZONE.

THE NEW EGRESS ACCESS WILL BE A POURED CONCRETE SLAB WITH CMU RETAINING WALLS AND CONCRETE STEPS. THE AREA OF THE EGRESS ACCESS IS APPROXIMATELY 54 SF, REQUIRING APPROXIMATELY 4 FEET 6 INCHES OF EXCAVATION DEPTH.



12/07/2022 APPLICATION NUMBER [W009984-111122](#)

naomi behrens
4408 beechwood
university park, MD 20782

RE: Tree Impact Assessment Request
Reference Number: W009984-111122
7120 Willow Ave
Takoma Park MD 20912

Dear naomi behrens:

This letter is in response to the Request for Tree Impact Assessment received on 11/11/2022. After my inspection I have determined that the work described in your submission does not require a Tree Protection Plan Permit. However, you are required to comply with the guidance provided below:

- The tree of concern is the ~25 inch trunk diameter Norway spruce near the back right corner of the existing structure.
- The foot print of excavation is acceptable.
- The only equipment to be used within 25 feet of the tree will be a mini-excavator on tracks for purposes of digging out the stairwell.
- You must root prune to a depth of 2 feet, or the depth of excavation, whichever is less, along the limits of excavation in advance of any mechanical excavation. Hand digging and cutting the roots is an acceptable method of root pruning.
- You must add and maintain a minimum 6 inch depth of mulch for root protection wherever the mini-excavator will travel within 25 feet of the tree.

If you have any questions, please contact the Urban Forest Manager by replying to this email.

CONSTRUCTION DOCUMENTS

MILLER RESIDENCE

KITCHEN RENOVATION

7120 WILLOW AVENUE
TAKOMA PARK, MD 20912

PROJECT SUMMARY

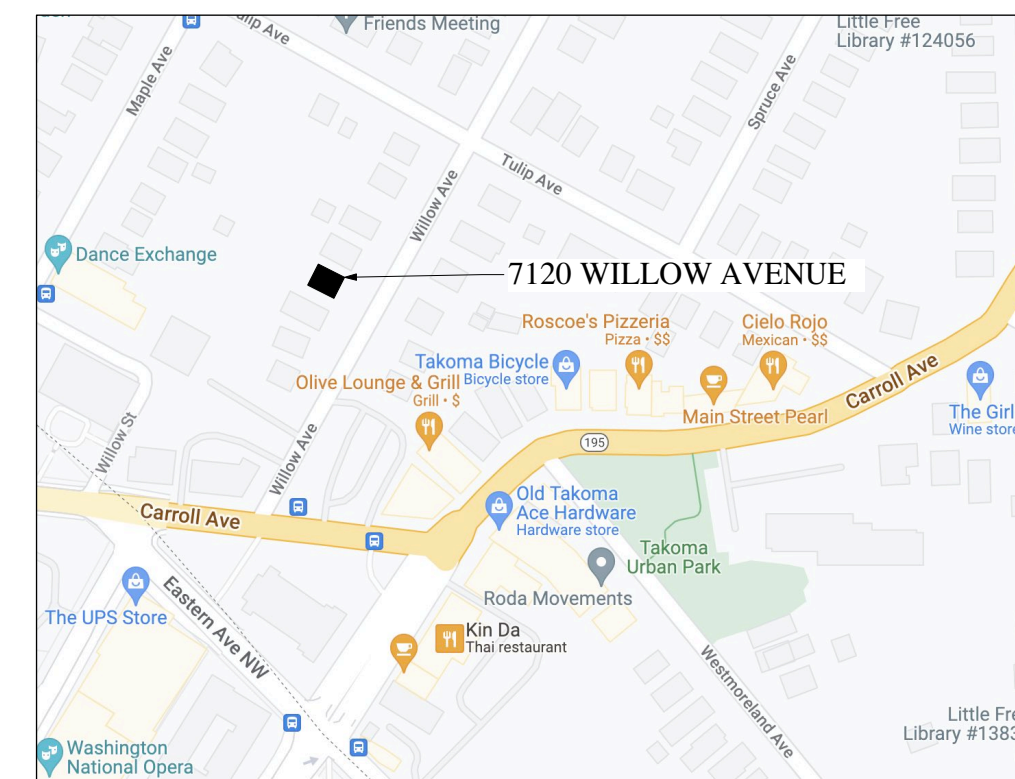
1. REMOVE EXISTING STAIRS AND DOOR TO BASEMENT. PROVIDE NEW STAIRS AND AREAWAY AT SIDE OF HOUSE.
2. EXPAND KITCHEN WITH NEW ADDITION OVER EXISTING BASEMENT AREAWAY.
3. RENOVATE KITCHEN INCLUDING NEW FIXTURES, CABINETS, APPLIANCES, LIGHTING AND POWER.
4. INSTALL NEW CASEWORK AT DINING ROOM - BAY WINDOW SEATING AND BUILT-IN BOOKCASE.

GENERAL NOTES

- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COORDINATION OF THE WORK OF ALL SUBCONTRACTORS AS REQUIRED TO COMPLETE THE WORK, AND SHALL VERIFY THAT ALL WORK IS DONE TO THE HIGHEST DEGREE OF CRAFTSMANSHIP BY JOURNEYMEN OF THE RESPECTIVE TRADES.
- 2) THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, AND SHALL WORK TO CRITICAL ALIGNMENTS AS INDICATED ON THE DRAWINGS, AND SHALL NOT SCALE THE DRAWINGS FOR MEASUREMENTS.
- 3) IF ANY DISCREPANCIES IN DIMENSIONS OR CONDITIONS ARE FOUND, THE CONTRACTOR SHALL CONTACT THE ARCHITECT FOR CLARIFICATION PRIOR TO PROCEEDING WITH THAT PORTION OF THE WORK.
- 4) THE CONTRACTOR SHALL MAINTAIN THE SITE CLEAN AND FREE OF DEBRIS. THE CONTRACTOR SHALL MAINTAIN THE SITE AND JOB CONDITIONS IN SUCH A MANNER AS TO PROTECT FROM INJURY ALL PERSONS AND PROPERTY.
- 5) ALL EXISTING UNDERGROUND UTILITIES SHALL BE PHYSICALLY LOCATED BY THE CONTRACTOR PRIOR TO THE BEGINNING OF ANY CONSTRUCTION IN THE VICINITY OF THESE UTILITIES.
- 6) PROVIDE FOR THE DEMOLITION OF ALL EXISTING ITEMS WHICH WILL INTERFERE WITH THE WORK. PROVIDE MECHANICAL, ELECTRICAL AND PLUMBING DEMOLITION AS MAY BE REQUIRED.
- 7) PROVIDE BRACING AND SHORING AS REQUIRED TO PROTECT EXISTING CONSTRUCTION TO REMAIN FROM DAMAGE, AS WELL AS TO PROTECT PERSONS AND PROPERTY. VERIFY ALL BEARING CONDITIONS PRIOR TO BEGINNING DEMOLITION.

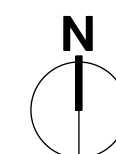
INDEX OF DRAWINGS

A-0a	COVER SHEET
A-0b	SITE PLAN & ZONING ANALYSIS
A-0c	ENERGY ENVELOPES & NOTES
A-0d	HISTORIC AREA WORK PERMIT APPROVED MATERIALS
MD-1	MEASURED FLOOR PLANS
MD-2	MEASURED FLOOR PLAN
MD-3	MEASURED ELEVATIONS
A-1	PROPOSED BASEMENT PLAN
A-2	PROPOSED FIRST FLOOR & ROOF PLAN
A-3	PROPOSED ELEVATIONS
A-4	PROPOSED SECTIONS
A-5	PROJECT SPECIFICATIONS
A-6	PROJECT SPECIFICATIONS
E-1	ELECTRICAL PLANS
I-1	KITCHEN PLAN & INTERIOR ELEVATIONS
I-2	INTERIOR ELEVATIONS
I-3	INTERIOR DETAILS
S-1	STRUCTURAL FOUNDATION PLAN
S-2	STRUCTURAL FRAMING PLAN
S-3	STRUCTURAL FRAMING PLANS
SD1	STRUCTURAL DETAILS
SD2	STRUCTURAL DETAILS
SD3	STRUCTURAL DETAILS



VICINITY MAP

FROM GOOGLE MAPS, SEPTEMBER 29, 2022
WITH SUPPLEMENTAL INFORMATION BY:
AHMANN LLC ARCHITECTURAL SERVICES



AHMANN LLC
ARCHITECTURAL SERVICES
4408 BEECHWOOD ROAD UNIVERSITY PARK, MARYLAND 20782

PHONE 301 864 1334
FAX 301 864 6818

COVER SHEET
NOTES

SCALE: AS NOTED

MILLER RESIDENCE
KITCHEN RENOVATION
7120 WILLOW AVENUE
TAKOMA PARK, MD 20912



ISSUE DATE
26 JANUARY 2023

A-0a

Ahmann LLC
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SITE PLAN

SNIDER & ASSOCIATES LAND SURVEYORS,
DATED 08-23-2016
WITH SUPPLEMENTAL INFORMATION BY:
AHMANN LLC ARCHITECTURAL SERVICES

ZONING SUMMARY

SUBJECT PROPERTY

LOT INFORMATION FROM SURVEY
DATED 08-23-2016

7120 WILLOW AVENUE
TAKOMA PARK, MD 20912

LOT: 9
BLOCK: 5
SUBDIVISION: LIPSCOMB & EARNEST,
TRUSTEES ADDITION TO TAKOMA PARK
ZONE: R-60

USE INFORMATION

EXISTING USE: DETACHED SINGLE FAMILY DWELLING
PROPOSED USE: DETACHED SINGLE FAMILY DWELLING

DEVELOPMENT STANDARDS

NET LOT AREA
MINIMUM SQUARE FEET: 6,000
ACTUAL SQUARE FEET: 7,500

LOT WIDTH
LOT WIDTH MINIMUM: 60 FT.
LOT WIDTH EXISTING: 50 FT.

AREA CALCULATIONS
EXISTING PORCH: 221 SF
EXISTING HOUSE: 944 SF
EXISTING SCREEN PORCH: 199 SF
TOTAL EXISTING: 1,364 SF

EXISTING PORCH: 221 SF
EXISTING HOUSE: 944 SF
KITCHEN ADDITION: 39 SF
EXISTING SCREEN PORCH: 199 SF
TOTAL PROPOSED: 1,403 SF

LOT COVERAGE:
MAXIMUM LOT COVERAGE: 35% (2,625 SF)
EXISTING LOT COVERAGE: 18% (1,364 SF)
PROPOSED LOT COVERAGE: 19% (1,403 SF)

HEIGHT
MAXIMUM HEIGHT: 40 FEET
EXISTING HEIGHT: 13.5 FT. +/-
PROPOSED HEIGHT: 22.8 FT. +/-

FRONT YARD
MINIMUM FRONT YARD: 25 FEET
EXISTING FRONT YARD: 34.6 FT +/-
PROPOSED FRONT YARD: 34.6 FT +/-
NO CHANGE TO FRONT YARD

REAR YARD
MINIMUM REAR YARD: 20 FT.
EXISTING REAR YARD: 76 FT. +/-
PROPOSED REAR YARD: 76 FT. +/-
NO CHANGE TO REAR YARD

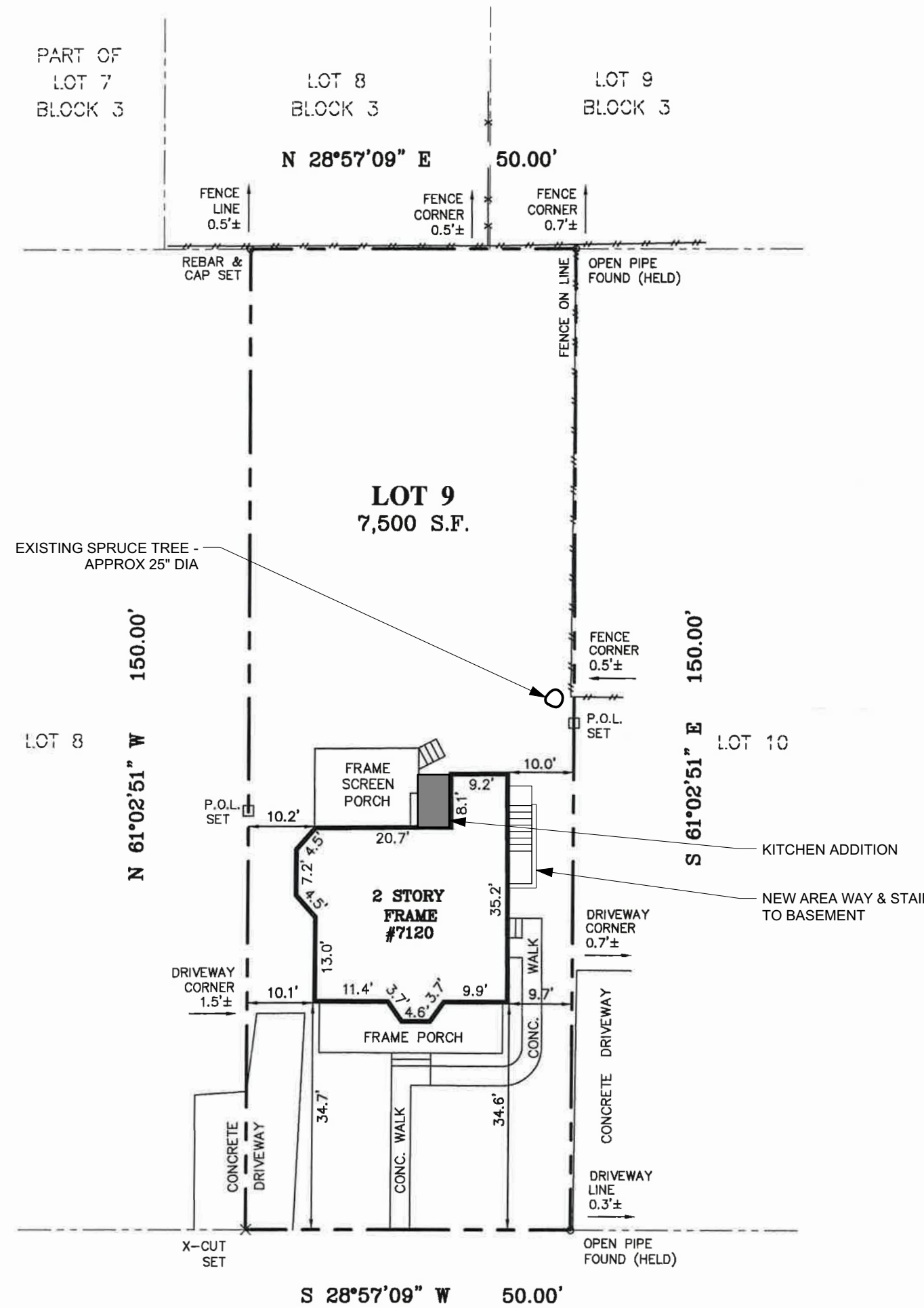
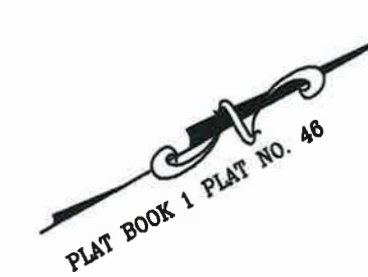
SIDE YARD
MINIMUM SIDE YARD: 8'-0" / 18'-0" SUM
EXISTING SIDE YARD: 9.7' +/- / 20.0' +/-
PROPOSED SIDE YARD: 9.7' +/- / 20.0' +/-

GENERAL NOTES:

- Property shown in Montgomery County Tax Assessment Map JN-41.
- All property corners have been recovered or set and verified per field survey performed: August 23, 2016.
- Property is recorded among the land records of Montgomery County in Plat Book 1, Plat No. 46 and described in Liber 40315 at Folio 301.
- Premises Address:
7120 Willow Avenue
Takoma Park, Maryland 20912
- P.O.L. indicates a nail set on the property line.
- The information shown hereon has been prepared without benefit of a title report, and therefore may not reflect all easements or encumbrances which may affect subject property.



REVIEWED
By Winnie Cargill at 7:14 am, Feb 06, 2023



SURVEYOR'S CERTIFICATE

"I HEREBY CERTIFY THAT THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD SURVEY PURSUANT TO THE DEED OR PLAT OF RECORD. PROPERTY MARKERS HAVE BEEN RECOVERED OR PLACED IN ACCORDANCE WITH THE INFORMATION SHOWN. THIS PLAT AND THE FIELD SURVEY UPON WHICH IT IS BASED, WAS PREPARED UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE REGULATIONS GOVERNING LAND SURVEYING IN THE STATE OF MARYLAND."

Robert A. Vetter
MARYLAND PROFESSIONAL LAND SURVEYOR REG. NO. 21330
EXPIRES: 01-07-2017

WILLOW AVENUE

PLAT OF SURVEY
BOUNDARY

LOT 9 ~ BLOCK 5
LIPSCOMB AND EARNEST, TRUSTEES
ADDITION TO TAKOMA PARK
MONTGOMERY COUNTY, MARYLAND

REFERENCES		SNIDER & ASSOCIATES LAND SURVEYORS 20270 Goldenrod Lane, Suite 110 Germantown, Maryland 20876 301/948-5100 Fax 301/948-1288	
PLAT BK.	1	DATE OF LOCATIONS	SCALE: 1" = 20'
PLAT NO.	46	WALL CHECK:	DRAWN BY: K.D.S.-E.H.
LIBER	40315	HSE. LOC.:	JOB NO.: 10-04103-B
FOLIO	301	PROP. CORS.: 08-23-2016	

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**SITE PLAN
& ZONING NOTES**

SCALE: AS NOTED

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KITCHEN RENOVATION**
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A-0b

Ahmann LLC
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APPROVED HISTORIC AREA WORK PERMIT APPROVED MATERIALS

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Warranty Information > Request a Quote > Request a Sample >

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- 3-Tab Shingles**
 - Strip Shingles

Royal Sovereign®
Nickel Gray

Color 

View Available Colors

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Reverse Bead 0.027" Aluminum Half Round Gutter

☆☆☆☆ Write review | 1 question

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1 - Size 5" 6" 7" 2 - Length Please choose

KM SHEET METAL



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By Winnie Cargill at 9:44 am, Feb 06, 2023

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PAGE 3 OF 3

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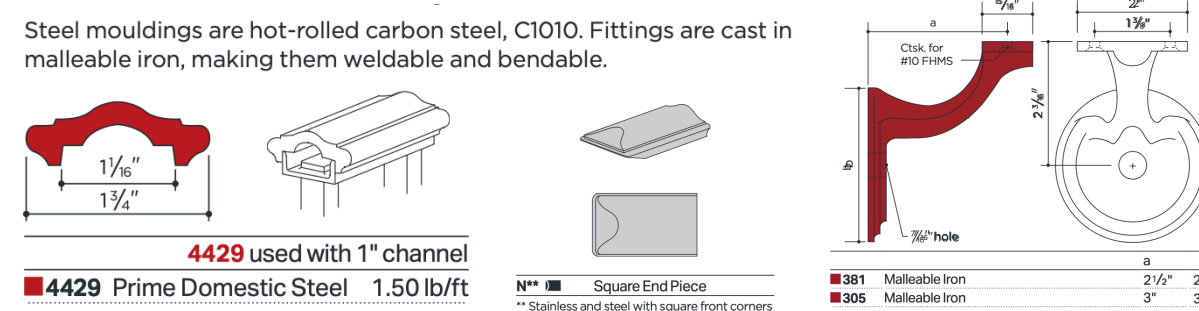
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4429 Square End Piece
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PHONE 301 864 1334
FAX 301 864 6818

**HISTORIC AREA
WORK PERMIT
APPROVED MATERIALS**

NOT TO SCALE

**MILLER RESIDENCE
KITCHEN RENOVATION**
7120 WILLOW AVENUE
TAKOMA PARK, MD 20912



NOTE:
ALL EXISTING CONDITIONS TO BE FIELD VERIFIED. INFORM ARCHITECT OR ENGINEER IF EXISTING CONDITIONS VARY FROM THAT SHOWN OR ASSUMED.

ISSUE DATE
26 JANUARY 2023

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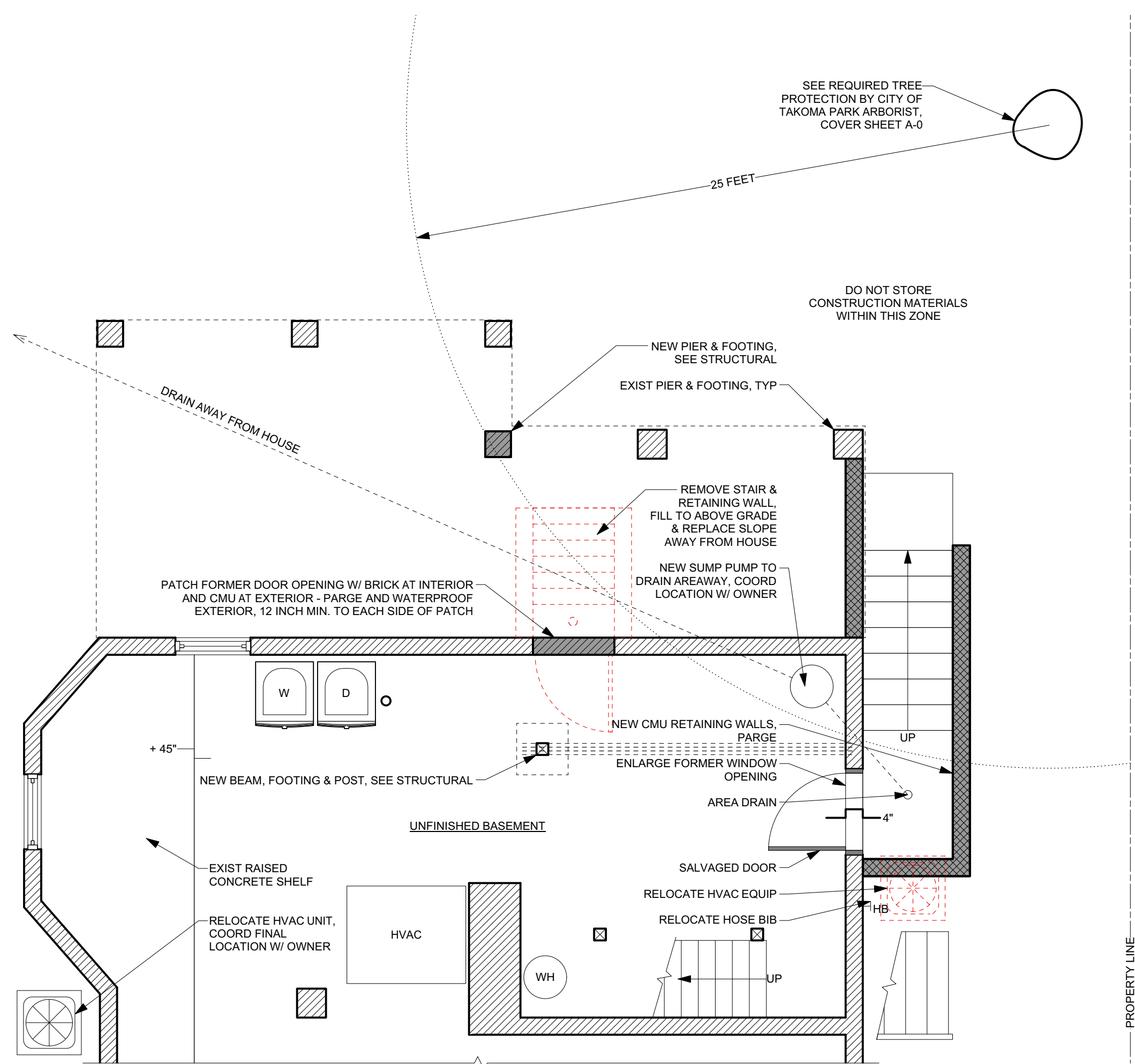


REVIEWED
By Winnie Cargill at 7:16 am, Feb 06, 2023

NOTE:
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ALL NEW EXTERIOR STUD WALLS 2X6 TYP
ALL NEW INTERIOR STUD WALLS 2X4 TYP

NEW CONSTRUCTION
 EXISTING TO REMAIN



AHMANN LLC
ARCHITECTURAL SERVICES
4408 BEECHWOOD ROAD UNIVERSITY PARK, MARYLAND 20782

PHONE 301 864 1334
FAX 301 864 6818

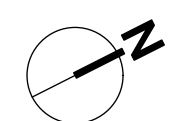
**PROPOSED
BASEMENT PLAN**

SCALE: 1/4" = 1'-0"

**MILLER RESIDENCE
KITCHEN RENOVATION**
7120 WILLOW AVENUE
TAKOMA PARK, MD 20912



1 PROPOSED BASEMENT PLAN
SCALE: 1/4" = 1'-0"



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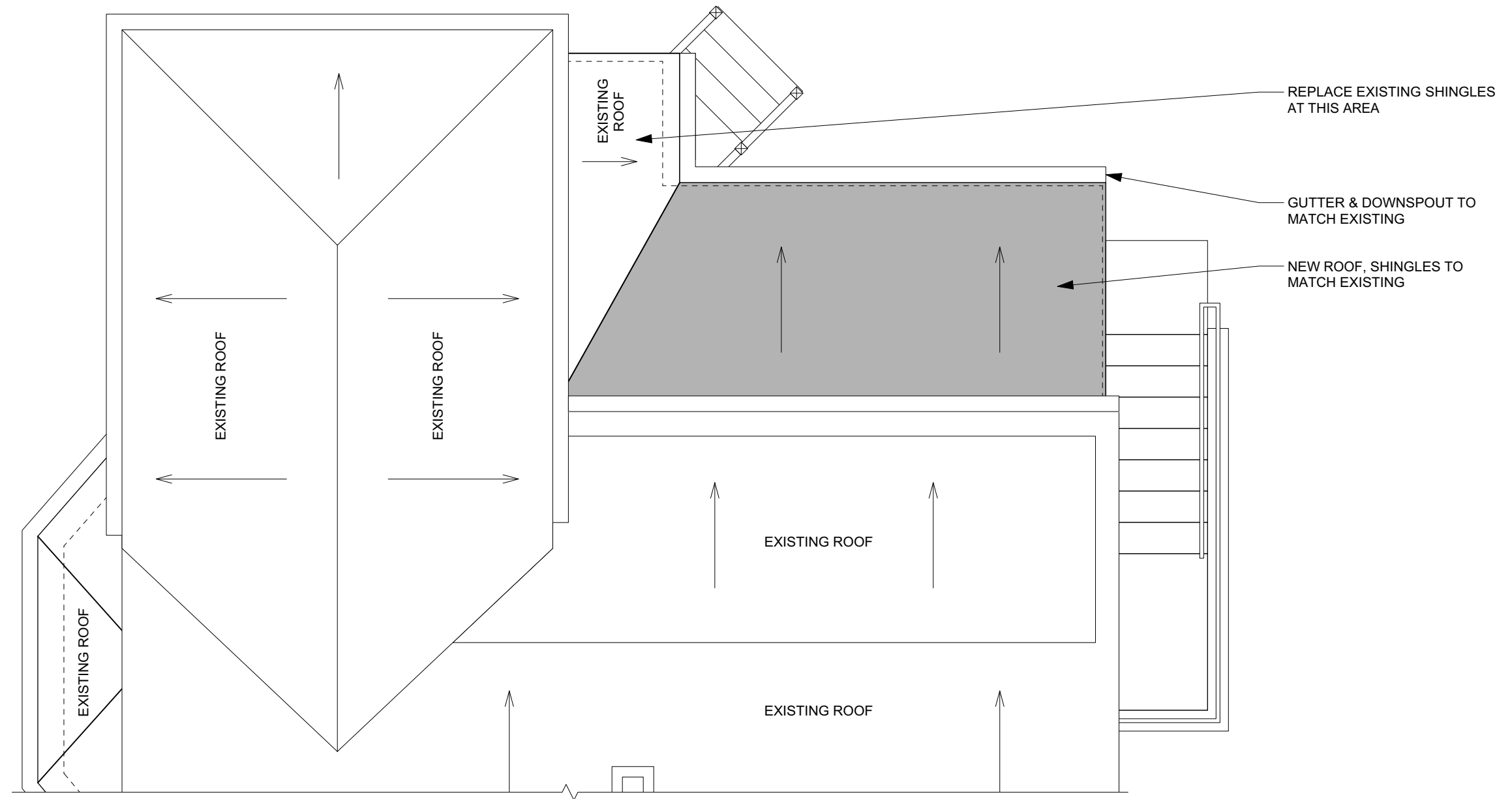
REVIEWED
By Winnie Cargill at 7:16 am, Feb 06, 2023



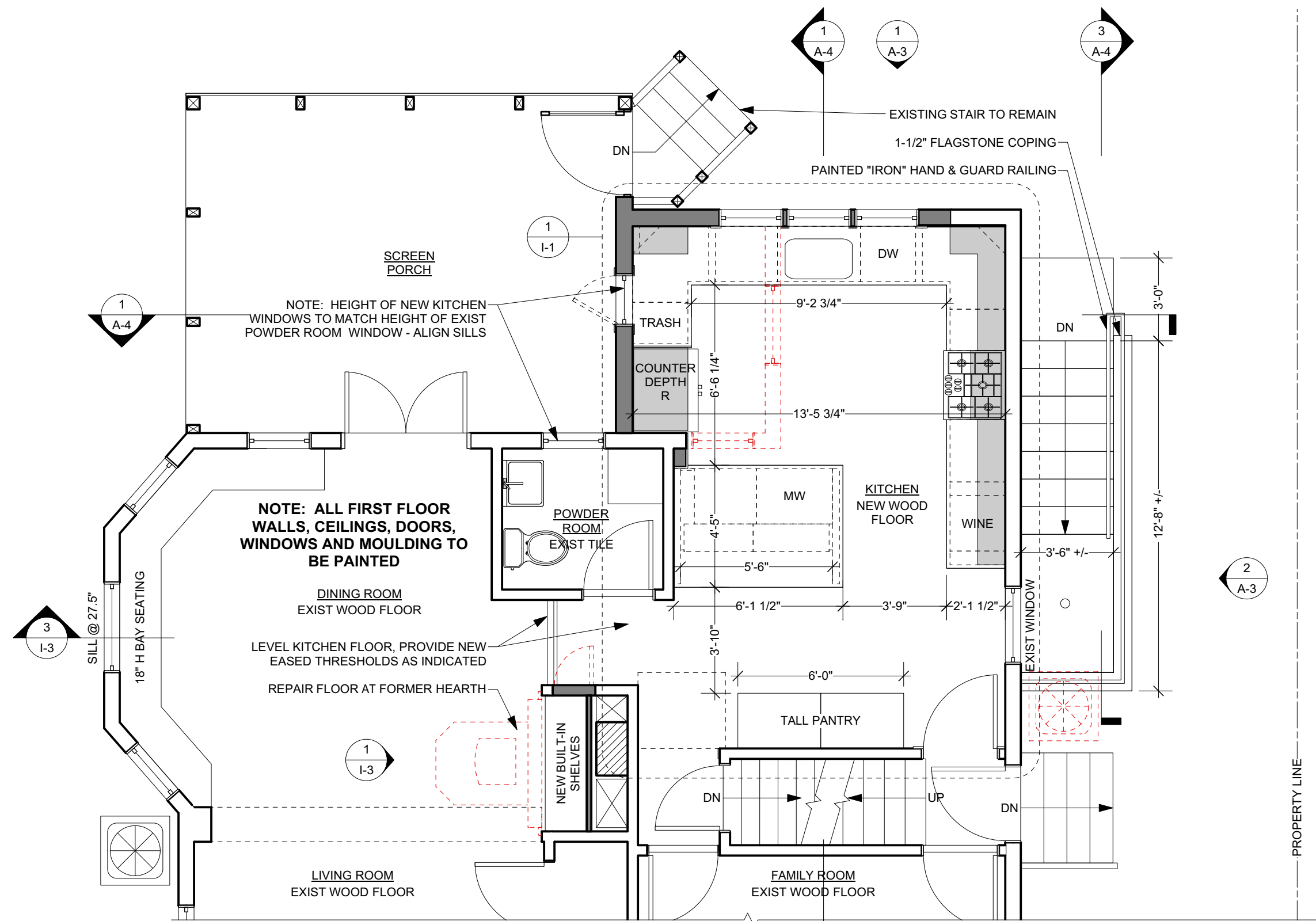
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ALL NEW INTERIOR STUD WALLS 2X4 TYP

NEW CONSTRUCTION
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2 PROPOSED ROOF PLAN
SCALE: 1/4" = 1'-0"



1 PROPOSED FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"

AHMANN LLC
ARCHITECTURAL SERVICES
4408 BEECHWOOD ROAD UNIVERSITY PARK, MARYLAND 20782

PHONE 301 864 1334
FAX 301 864 6818

**PROPOSED
FIRST FLOOR &
ROOF PLAN**

SCALE: 1/4" = 1'-0"

**MILLER RESIDENCE
KITCHEN RENOVATION**
7120 WILLOW AVENUE
TAKOMA PARK, MD 20912



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ALL NEW INTERIOR STUD WALLS 2X4 TYP

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ARCHITECTURAL SERVICES
4408 BEECHWOOD ROAD UNIVERSITY PARK, MARYLAND 20782

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PROPOSED ELEVATIONS

SCALE: 1/4" = 1'-0"

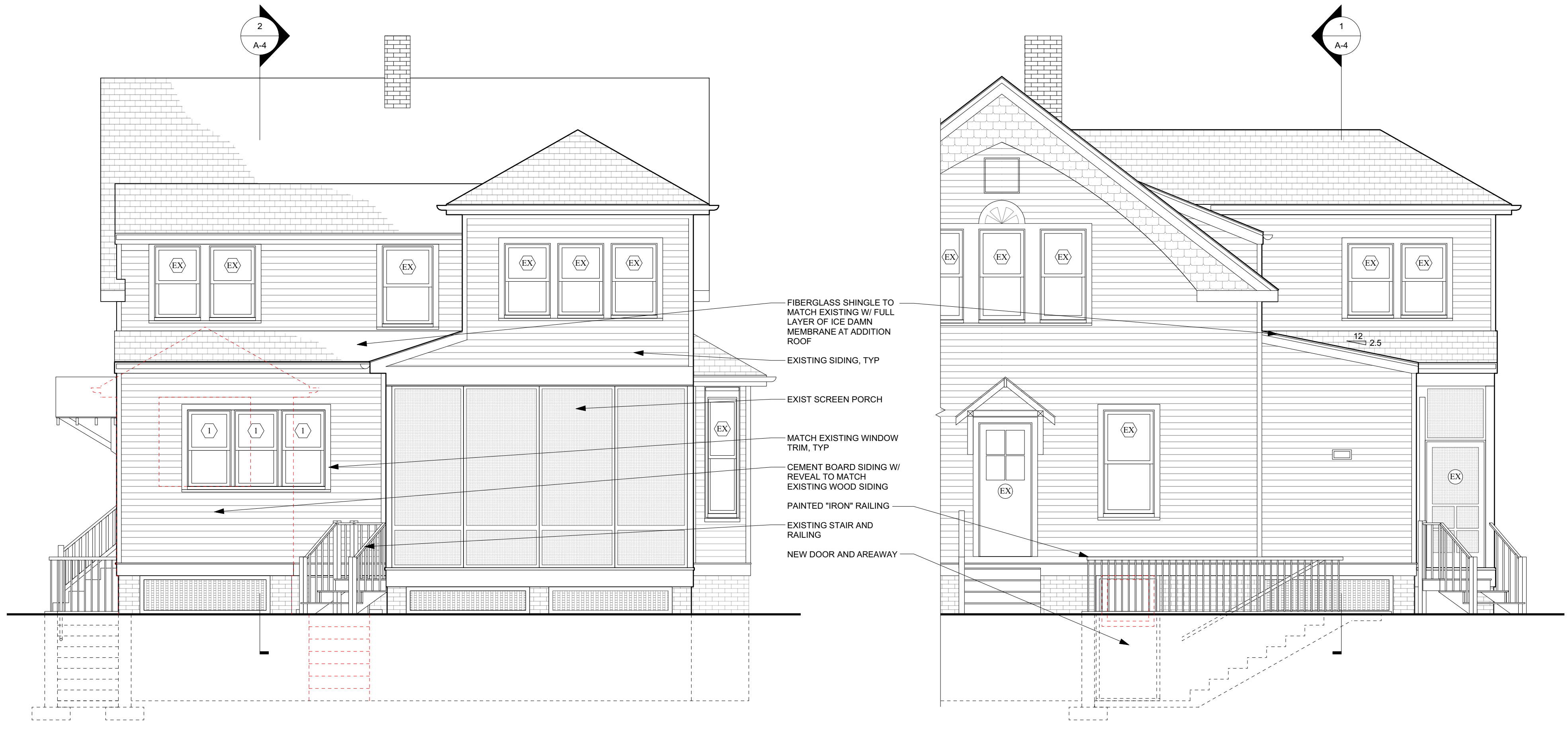
MILLER RESIDENCE KITCHEN RENOVATION
7120 WILLOW AVENUE
TAKOMA PARK, MD 20912



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1 PROPOSED REAR ELEVATION
SCALE: 1/4" = 1'-0"

2 PROPOSED SIDE ELEVATION
SCALE: 1/4" = 1'-0"

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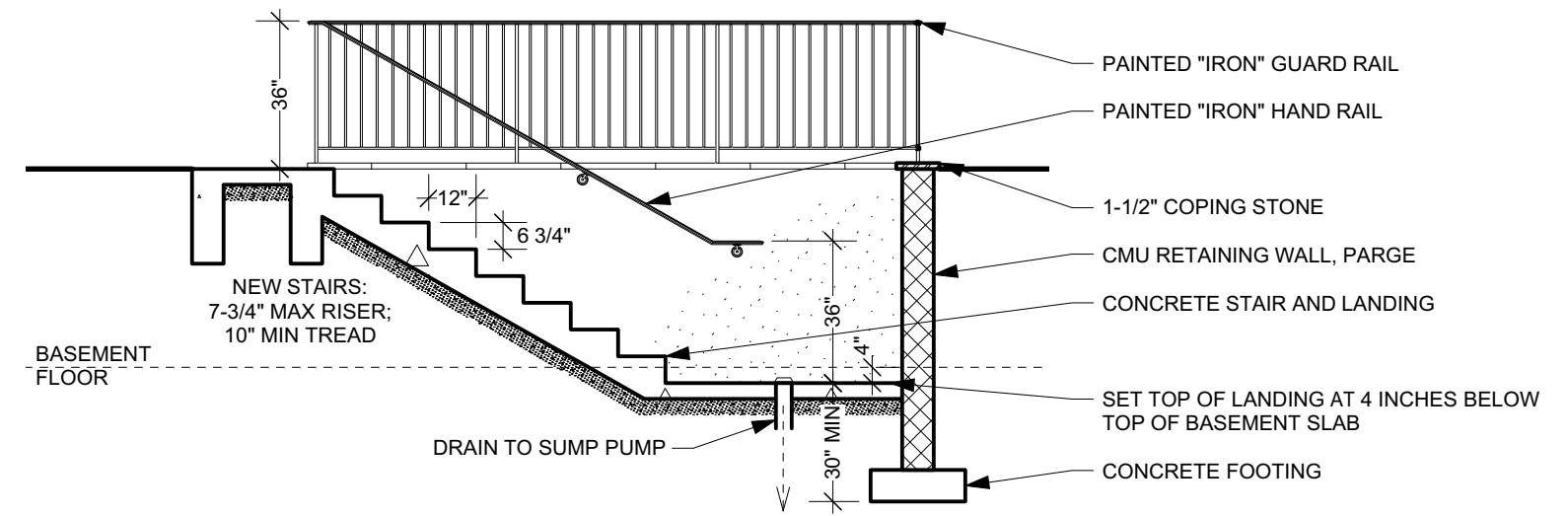


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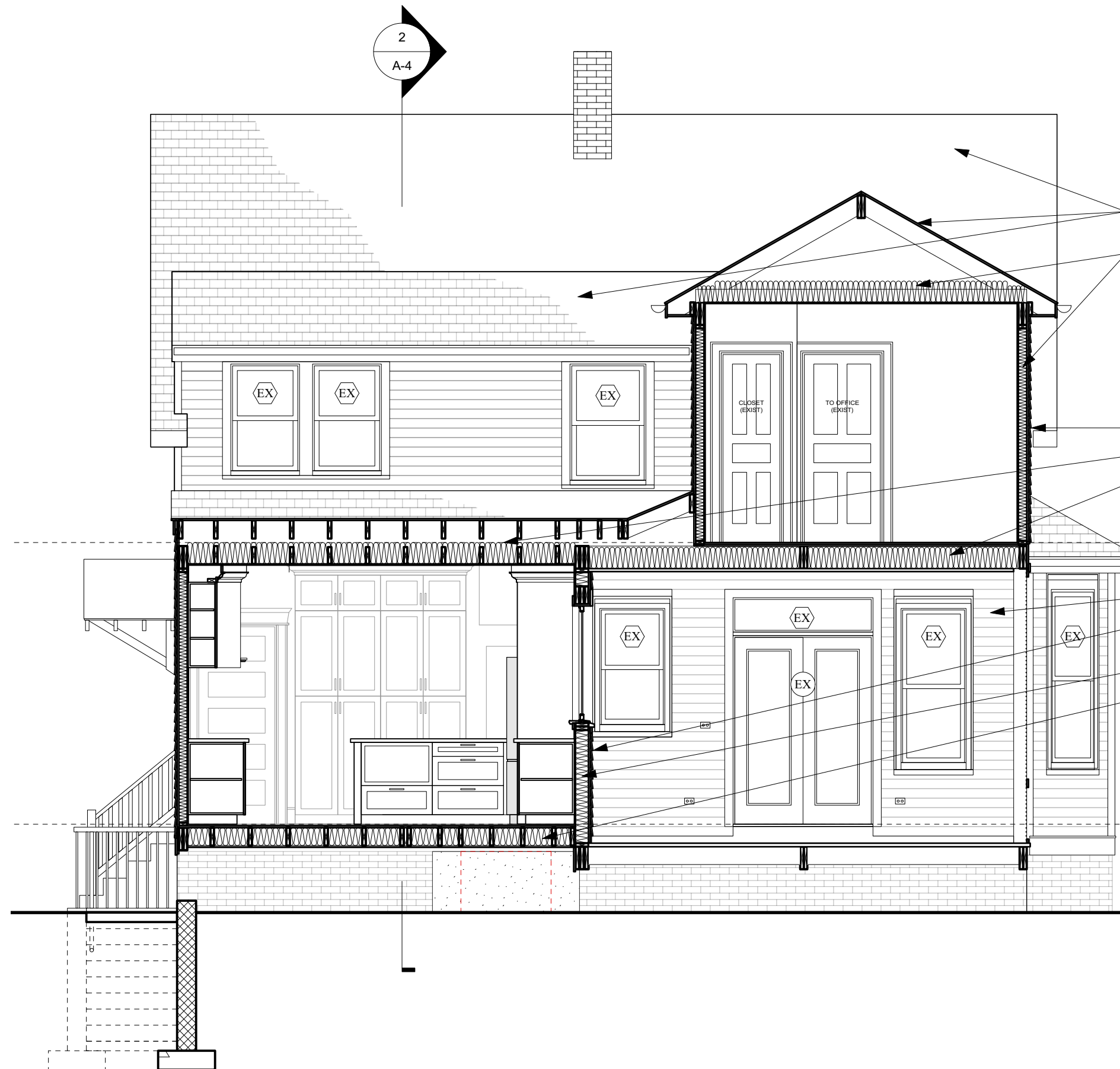
ALL NEW EXTERIOR STUD WALLS 2X6 TYP
ALL NEW INTERIOR STUD WALLS 2X4 TYP

■ NEW CONSTRUCTION
□ EXISTING TO REMAIN

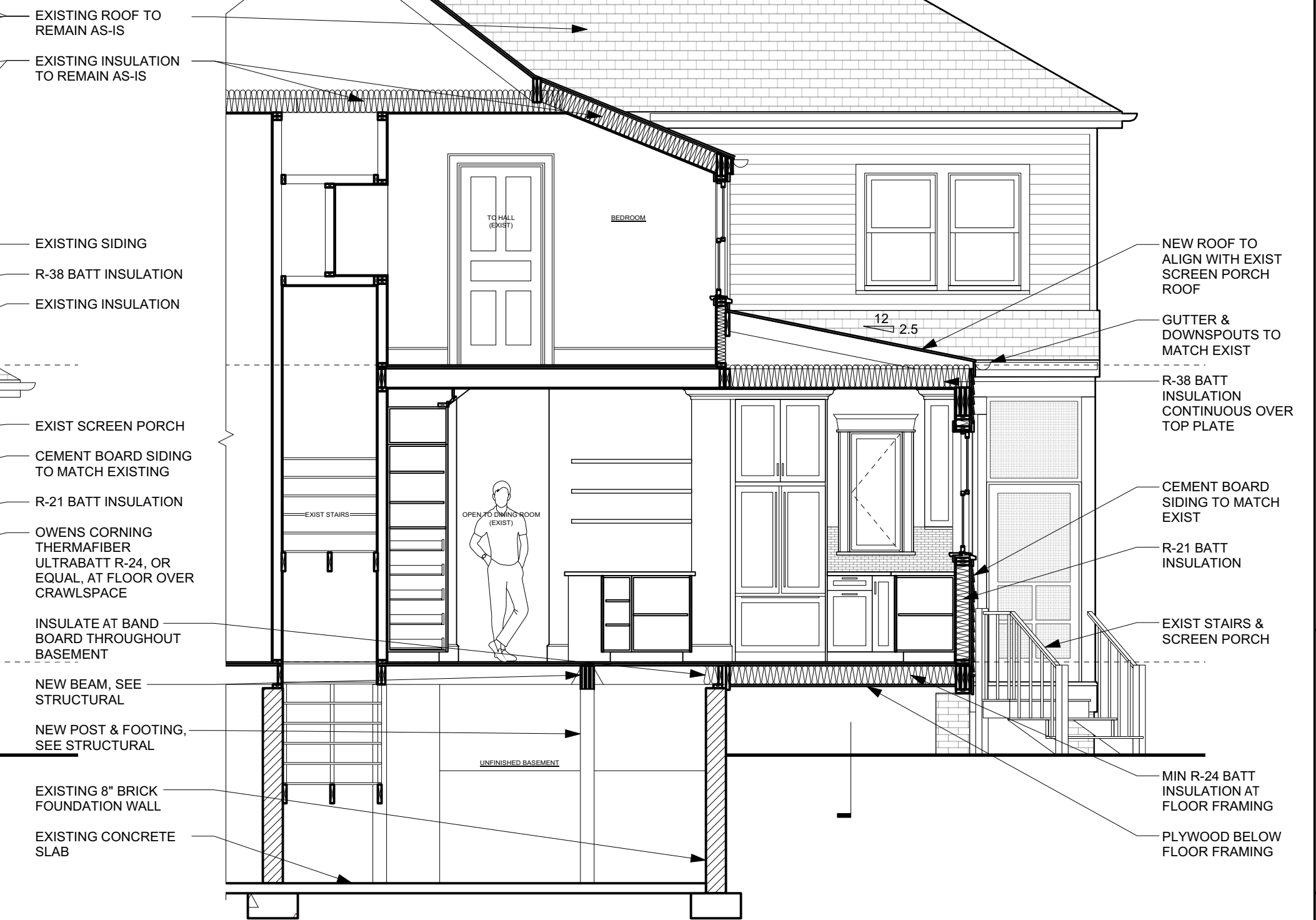
SEE STRUCTURAL DRAWINGS & DETAILS FOR STAIR AND WALL CONSTRUCTION



3 PROPOSED SECTION (LOOKING AWAY FROM HOUSE)
SCALE: 1/4" = 1'-0"



1 PROPOSED SECTION
SCALE: 1/4" = 1'-0"



2 PROPOSED SECTION
SCALE: 1/4" = 1'-0"



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By Winnie Cargill at 7:15 am, Feb 06, 2023

ELECTRICAL SYMBOL LEGEND

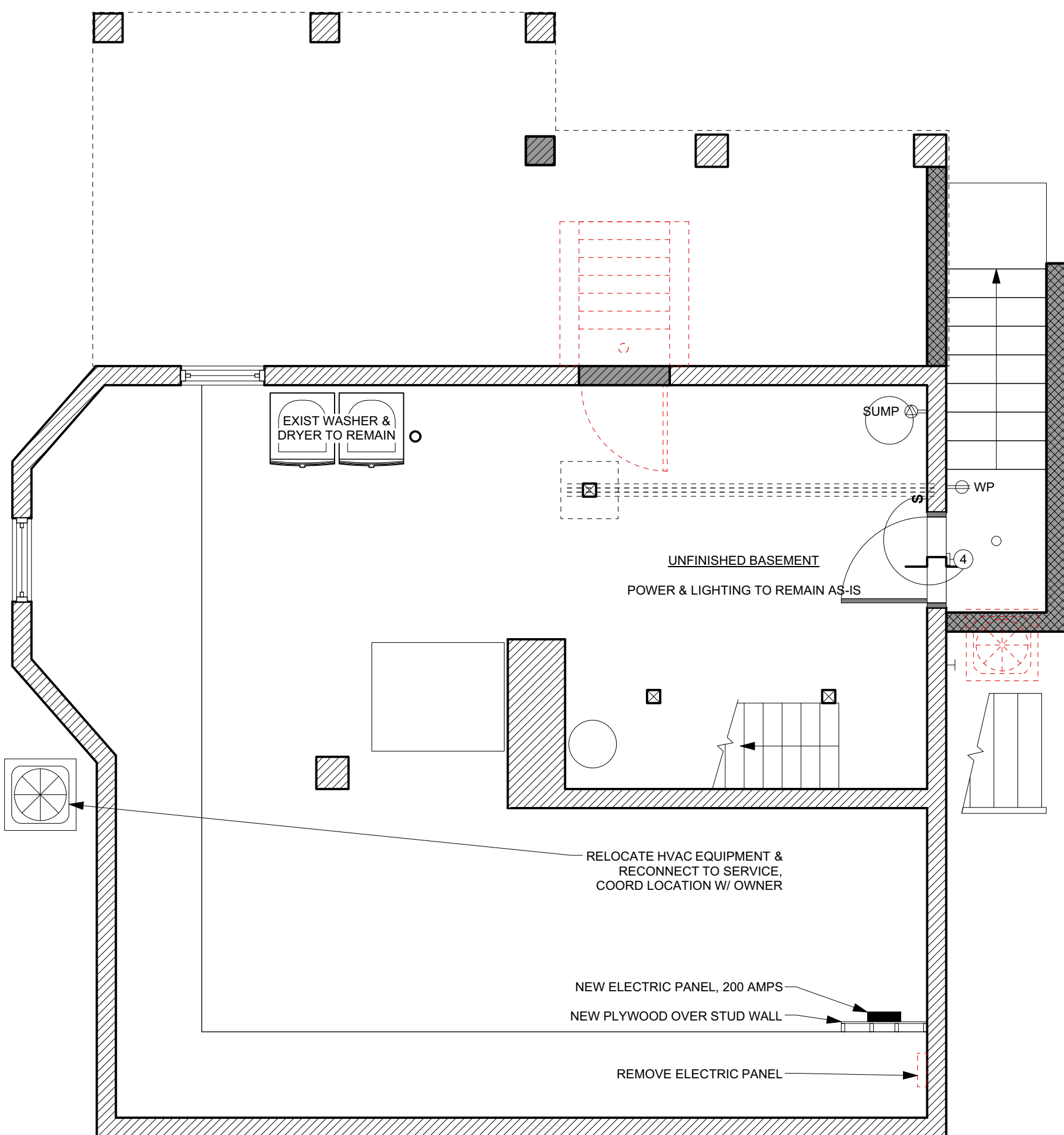
\$	SWITCH	⊕ WP	WATER PROOF DUPLEX OUTLET
\$ ₃	3 WAY SWITCH	⊕	APPLIANCE OUTLET OR HOOK-UP (COORDINATE W/ APPLIANCE REQ.)
\$ _D	DIMMER SWITCH	▷	DUAL TEL/ETHERNET JACK. (4-WIRE JACK ABOVE W/ ETHERNET BELOW)
\$ _J	JAMB SWITCH	⊙ SD	HARD WIRED SMOKE DETECTOR. ALL UNITS TO SOUND IN UNISON
⊕	DUPLEX WALL OUTLET	⊙ CO	CARBON DIOXIDE DETECTOR
⊕	QUAD WALL OUTLET	⊕	OUTLET FOR CABLE TV & ETHERNET HOOK-UP
⊕ GFCI	DUPLEX OUTLET WITH GROUND FAULT CIRCUIT PROTECTION	⊕ C	CABLE CONNECTION

ELECTRICAL FIXTURE SCHEDULE

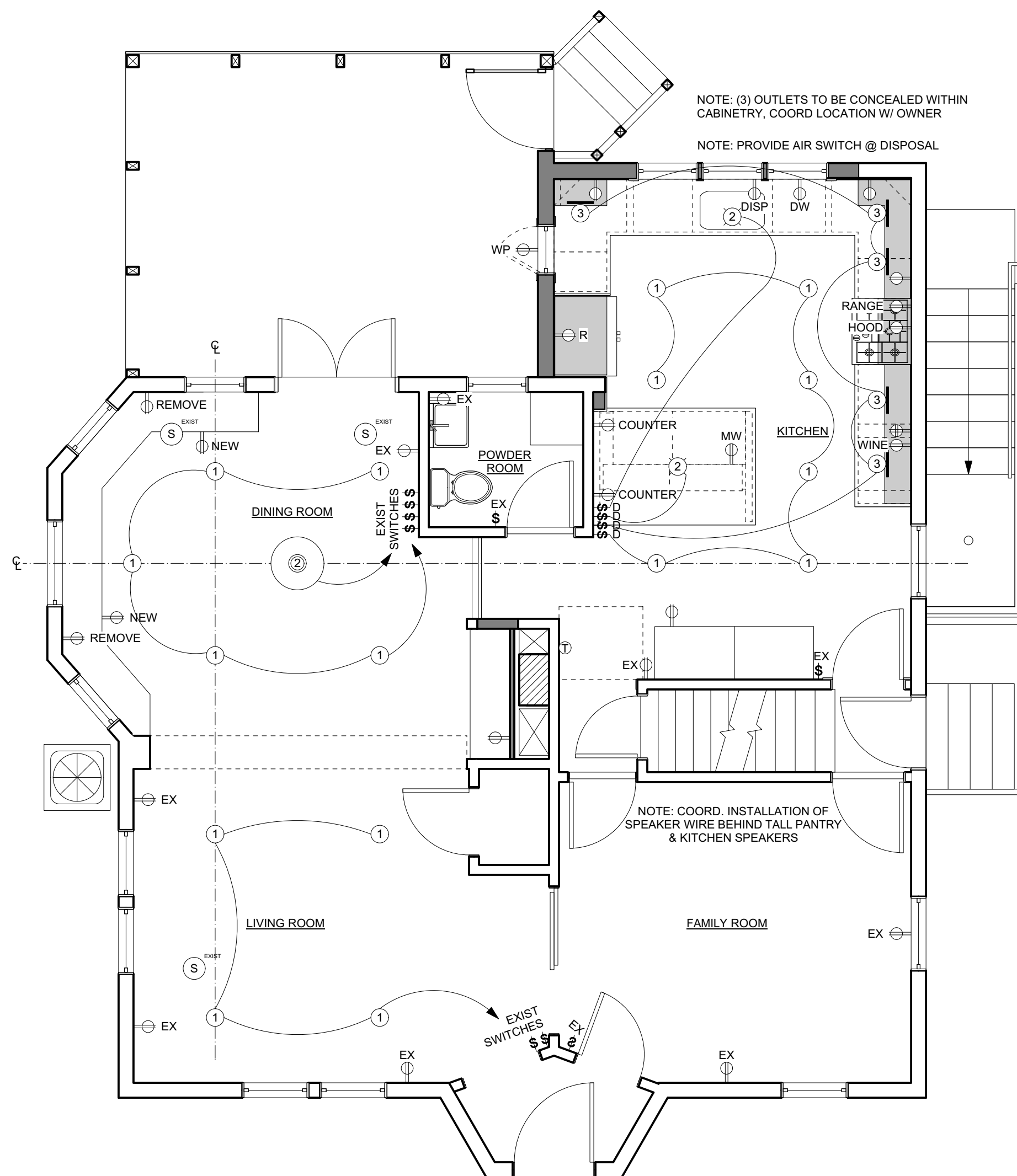
ITEM	DESCRIPTION
①	RECESSED BASIC 5" NON-INSULATED LED: LIGHTOLIER LYTECASTER LED 5" (OR EQUAL), NON-IC, WITH FRAME-IN KIT #1001LED15N27D1. BASIC BAFFLE WHITE TRIM #1076WH.
②	INTERIOR PENDANT/CHANDELIER: INTERIOR CEILING PENDANT/CHANDELIER. INSTALLED BY CONTRACTOR. ALLOWANCE: \$100 PER FIXTURE
③	UNDER COUNTER LIGHTING: LED TAPE W/ REQUIRED BALLASTS AND TRANSFORMER. PROVIDED AND INSTALLED BY CONTRACTOR. SUBMIT CUT SHEET FOR REVIEW.
④	EXTERIOR SCONCE: ALLOWANCE: \$100 PER FIXTURE

*CONTRACTOR TO VERIFY QUANTITY PRIOR TO PLACING ORDER

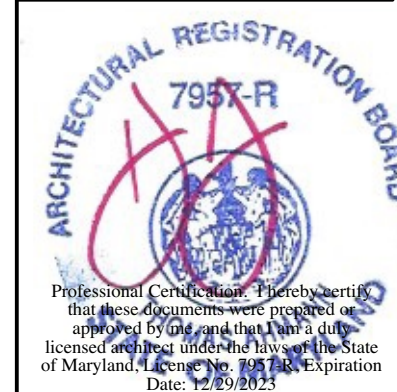
NOTE: ALL FIRST FLOOR OUTLETS AND SWITCHES TO BE REPLACED AT EXISTING LOCATION UNLESS OTHERWISE NOTED



1 ELECTRICAL PLAN - BASEMENT
SCALE: 1/4" = 1'-0"



2 ELECTRICAL PLAN - 1ST FLOOR
SCALE: 1/4" = 1'-0"



"PROFESSIONAL CERTIFICATION: I HEREBY CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND." LICENSE NO. 35651, EXPIRATION DATE: 05-11-2024.

NOTE:
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REQUIRED TREE PROTECTION:

1. The tree of concern is the ~25 inch trunk diameter Norway spruce near the back right corner of the existing structure.
2. The foot print of excavation is acceptable.
3. The only equipment to be used within 25 feet of the tree will be a mini-excavator on tracks for purposes of digging out the stairwell.
4. You must root prune to a depth of 2 feet, or the depth of excavation, whichever is less, along the limits of excavation in advance of any mechanical excavation. Hand digging and cutting the roots is an acceptable method of root pruning.
5. You must add and maintain a minimum 6 inch depth of mulch for root protection wherever the mini-excavator will travel within 25 feet of the tree.



REVIEWED
By Winnie Cargill at 7:15 am, Feb 06, 2023



STRUCTURAL SPECIFICATIONS

1. GENERAL
 - A. The following Loading was utilized in the design based on IRC 2018:
 - Live Load:
 - Roof Snow Load = 30 psf; Floors = 40 psf; Stairs = 40 psf; Decks = 40 psf; Exterior Balconies = 60 psf.
 - Dead Load:
 - A minimum of 10 psf Dead Load was added in the design. Roof Dead Load = 15 psf.
 - Wind Load:
 - Basic wind speed (3-second gust) = 90 mph; Importance Factor IW = 1.0; WindX exposure = b; Internal Pressure Coefficients = 0.18 or -0.18; Design wind pressure for components and cladding: Pnet 30 = 10 psf or -17 psf; Basic Wind-Force-Resisting System = Bearing Wall Systems with Wood Structural Panel Sheathing (IRC Method 3) unless otherwise noted.
 - Snow Load:
 - Ground Snow Load Pg = 30 psf; Flat Roof Snow Load Pf = 21 psf; Snow Exposure Factor CE = 0.9; Snow Importance Factor IS = 1.0; Thermal Factor CT = 1.0
 - B. The Foundation and Framing Plans are schematic and are intended only to define the general requirements and concepts of the work. They do not show all details and requirements of the work and are not necessarily coordinated with the architectural, electrical, mechanical and plumbing requirements of the work. The General Contractor or Construction Manager is responsible for assuring that all items required for a complete structural system in accordance with the concepts indicated are provided and installed. The General Contractor or Construction Manager is responsible for coordination of the structural work with other trades, and for arranging offsets, securing additional material, etc. as may be required by such coordination.
 - C. The General Contractor or Construction Manager shall coordinate the placement of all foundation, slab and framing elements as required for exact placement of mechanical, electrical, plumbing and any other elements as indicated in the drawings, including but not limited to: lighting fixtures, mechanical registers and grilles, and plumbing fixtures.
 - D. Any material or equipment not shown on the structural drawings and having a weight in excess of 400 pounds shall be brought to the attention of the Architect or the Structural Engineer prior to installation.
 - E. The basic stability of the structure is dependent upon the diaphragm action of the floors, walls, and roof acting together. The General Contractor or Construction Manager shall arrange for all guys, braces, struts, etc. as required to accommodate all live, dead, and wind loads until all final connections between these elements are made.
2. EARTHWORK
 - A. Soil bearing value at the bottom of all footings is assumed to be 1500 psf. This value is to be verified in the field prior to pouring.
 - B. Bottom of all exterior footings shall be a minimum of 2'-6" below finish exterior grade. Where required, step footings shall be in the ratio of 2 horizontal to 1 vertical. Footing depths are shown schematically and are subject to field verification of existing conditions and review of soil conditions by a registered engineer experienced in soils engineering.
 - C. Compacted backfill Below Building Slabs & Footings: All soil fill material must be approved by soils engineer prior to placement. Material to be free from organic material, trash, muck, concrete, asphalt, or other deleterious substances. Prior to placing fill, the existing surface shall be cleared of all refuse or organic materials. Fill material shall be placed in layers not to exceed 8" and compacted to minimum 95% of the dry maximum density as determined by ASTM D-1557.
 - D. Footing depths are shown schematically and are subject to field verification of existing soil conditions by a geotechnical engineer prior to proceeding with the footing work.
3. CONCRETE
 - A. All concrete to have minimum compressive strength (FC) = 3000 psi in 28 days. All concrete to be poured in accordance with ACI 301-83 specification. Concrete exposed to weather to be air-entrained.
 - B. All reinforcing steel shall meet ASTM-A-615 Grade 60. Placing plans and shop fabrication details shall be in accordance with "The Manual of Standard Practice for Detailing Reinforced Concrete Structures."
 - C. Provide clear distance to outermost reinforcing as follows:

3/4"	In slabs and walls at faces not exposed to weather
1 1/2"	In beams at bottom and sides; in columns
1 1/2"	In slabs at bottom poured over vapor barrier
2"	In all members exposed to weather or backfill
3"	In concrete poured against earth
4. MASONRY
 - A. All concrete masonry units to conform to ASTM specification C-90 for load bearing masonry. All masonry to be reinforced at 16" o.c. horizontally. Mortar to be ASTM C-270, type S at exterior walls, type N at interior walls.
 - B. Unless otherwise noted, lintels for masonry walls shall be as follows (provide 1 angle for each 4" of wall thickness):

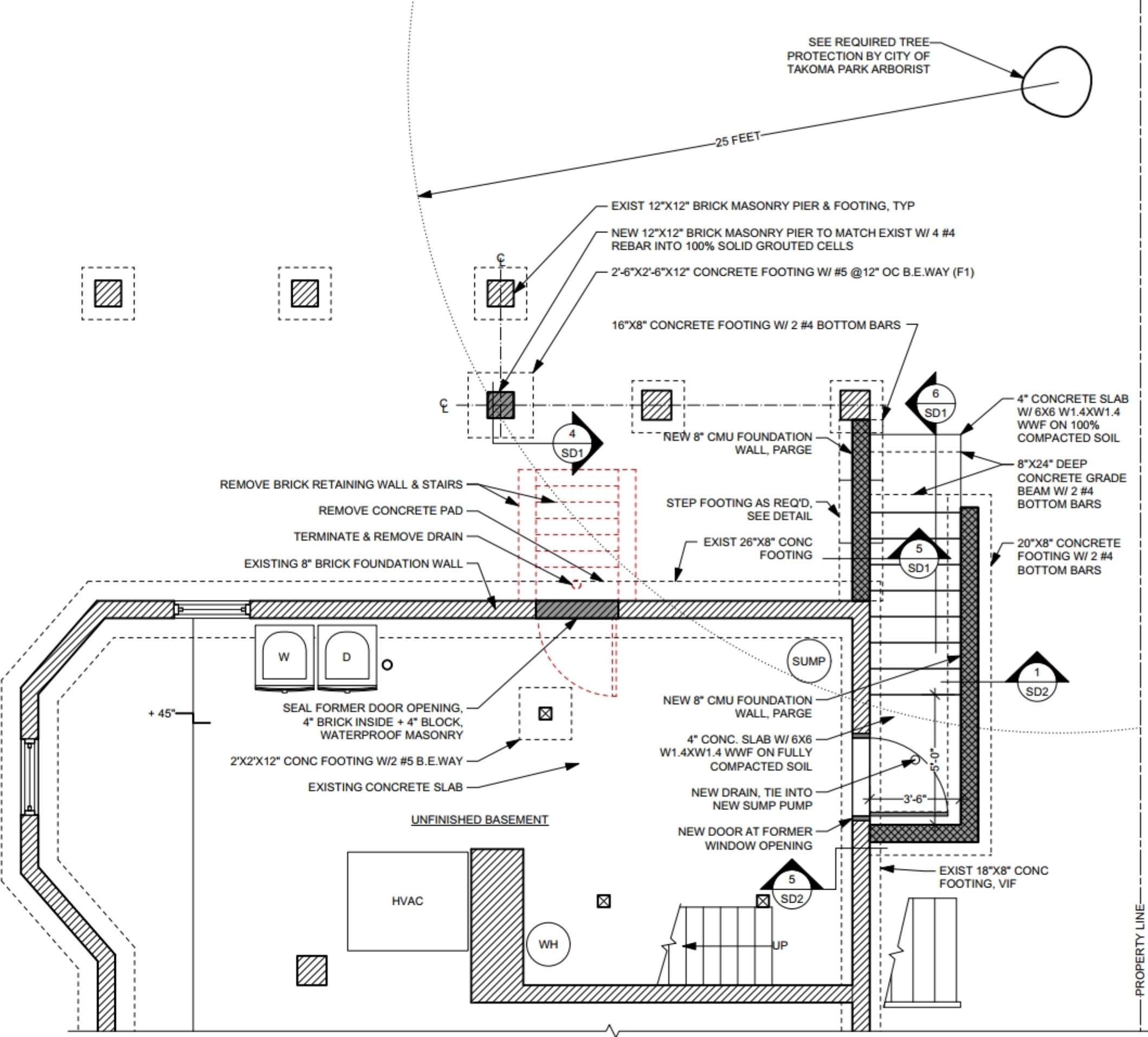
Openings to 3'-0":	3-1/2" x 3-1/2" x 1/4" - 3-1/2" horizontal
3'-1" to 5'-0":	4" x 3-1/2" x 5/16" - 3-1/2" horizontal
5'-1" to 6'-6":	5" x 3-1/2" x 5/16" - 3-1/2" horizontal
 - C. Masonry Wall Ties: provide galvanized horizontal continuous wall reinforcement at 16" o.c. vertical. Provide prefabricated tees and ells at intersections and corners of masonry walls.
 - D. Provide 100% solid masonry below all joists and slab bearing lines, and below all lintels and minor wall bearing beams.
 - E. Provide concrete masonry lintels where indicated in the Drawings. Masonry lintels shall be installed per manufacturer's load/span tables unless otherwise indicated. Provide 8" bearing at each side of masonry lintels typically.
 - F. Fill all cells with mortar grout at all reinforcing bars, anchor plates, expansion bolts, and bond beams. The grout shall consist of one part cement and three parts sand with minimum possible water.
5. STEEL
 - A. All structural steel shall conform to ASTM A-36. Pipe to be A53. Tube to be A500 or A501. Detailing to be in accordance with AISC Structural Steel Detailing Manual. Connections shall be capable of supporting allowable uniform load stress of 24 ksi. Bolted field connection shall be 3/4" diameter high strength bolts meeting ASTM specification A 325. Bolted joints to be bearing type using the turn-of-the-nut method of tightening, except add hardened washer under turned element. All electrodes shall be AWS E70XX.
 - B. All connections required but not indicated or specified in the Construction Documents shall be engineered/designed by the steel fabricator.
 - C. All welders shall be certified with the American Welding Society. All welding electrodes, machines, etc., shall be compatible with the type of steel being welded.
 - D. Provide miscellaneous metal as required, including loose lintels for masonry walls, bolts, plates, anchors, hangers, framing clips, and other required items for framing and supporting woodwork.
6. WOOD
 - A. Comply with the NDS/National Design Specification for Wood Construction and the 2015 International Residential Code, including nailing, firestopping, anchorage, framing, and bracing. Double joists at all openings (header and trimmer) and under all partitions parallel to the joists. Provide headers for all openings for mechanical ductwork as required. Provide preservative treated wood where in direct contact with concrete or masonry (including but not limited to sill plates and ledger boards) or where within 8 inches of earth, as well as cants, nailers, blocking, furring, stripping, and similar items in connection with roofing, flashing, vapor barrier, and waterproofing membranes.
 - B. All framing lumber shall be hem fir, grade #2 or better, having the following minimum properties:

Bending Stress "Fb"	= 850 psi for single member
Bending Stress "Fb"	= 977.5 psi for repetitive member
Tension parallel to Grain "Ft"	= 525psi
Horizontal Shear "Fv"	= 150 psi
Compression Perp. to Grain "Fc"	= 405 psi
Compression parallel to Grain "Fc"	= 1300 psi
Modulus of Elasticity "E"	= 1,300,000 psi
 - C. All structural posts shall have the following minimum properties:

Bending Stress "Fb"	= 1200 psi for single member
Bending Stress "Fb"	= 1400 psi for repetitive member
Horizontal Shear "Fv"	= 90 psi
Compression Perp. to Grain "Fc"	= 565 psi
Compression parallel to Grain "Fc"	= 1000 psi
Modulus of Elasticity "E"	= 1,600,000 psi
 - D. All stud walls shall be framed with studs at 16" o.c. maximum. All wall studs shall be SPF stud grade or better, having the following minimum properties:

Compression Parallel to Grain "Fc"	= 425 psi
Modulus of Elasticity "E"	= 1,200,000 psi
 - E. All stud bearing walls shall be provided with 2 continuous top plates and continuous preservative treated bottom plate with a minimum of one row of horizontal bridging at mid height of wall unless otherwise noted. Splices of top plate shall occur over stud. Splices shall be staggered a minimum of four feet.
 - F. All lintels over all framed openings to be as shown below unless noted otherwise:

2 - 2x8 for openings up to 4'-6"
2 - 2x10 for openings up to 5'-6"
2 - 2x12 for openings up to 7'-0"
 - G. All wood blocking, nailers, etc. shall be attached to concrete with power actuated fasteners or 3/8" diameter bolts unless otherwise indicated or required. Fasteners shall be spaced at 24 inches maximum o.c. and shall be staggered. Fasteners shall have a minimum capacity of 100 lbs in shear and pull-out unless otherwise indicated or required.



1 FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

AHMANN LLC
ARCHITECTURAL SERVICES
4408 BEECHWOOD ROAD UNIVERSITY PARK, MARYLAND 20782

STRUCTURAL FOUNDATION PLAN

MILLER RESIDENCE KITCHEN RENOVATION
7120 WILLOW AVENUE
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ISSUE DATE
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