

HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert Sutton
Chairman

Date: April 26, 2024

MEMORANDUM

TO: Rabbiah Sabbakhan

Department of Permitting Services

FROM: Chris Berger

Historic Preservation Section

Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 956436 - revisions to previously approved HAWP

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the January 24, 2024, HPC meeting with one condition:

1. The applicants must provide an accurate set of final drawings before the plans are stamped.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Pulte Home Company LLC

Address: 9302 Lee Highway, Suite 1000, Fairfax, Virginia

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Chris Berger at 301-495-4571 or chris.berger@montgomeryplanning.org to schedule a follow-up site visit.





CEPHAS SUMMER HOUSE 22200 CLARKSBURG RD. BOYDS, MD 20841

Mid-Atlantic Division

APPLICABLE DESIGN CODES	BUILDING CRITERIA	
International Residential Code 2018 Edition International Energy Conservation Code - 2018	HEIGHT LIMITATION: 3 Story Maximum 5 A FROST NOV 55 CA RE-	
Architect	EMERGENCY ESCAPE: Egress or rescue windows from sleeping rooms Shall have a minimum area of 5.7 sq. ft. GARAGE/HOUSE CLG./ WALL ASSEMBLY: 1/2" Gypsum Board or (1) Layer of 5/8" type 'X' gypsum board if required by code at the wall and ceiling. w/ 20 min. garage/house door INTERIOR STAIR PROTECTION: (1) Layer of 1/2" Gypsum board to all surfaces in accessible area REQUIRED FIRE SPRINKLERS: Building shall be equipped with sprinklers throughout according to NFPA13D, as required by code.	
BUILDING LOADS		
Reference structural cover sheet for Structural Building Loads		
STRUCT. ENGINEER		
	NOTES	

Reference sheet A0.02 for General Notes & Specifications

Pulte Group

DRAWING INDEX **ABBREVIATIONS** SHEET NO. SHEET DESCRIPTION -- ARCHITECTURAL ---KSI KIPS PER SQUARE INCH ARCHITECTURAL COVER SHEET, ABBREVIATIONS ABOVE FINISH TREAD SPECIFICATIONS AND GENERAL NOTES ALUMINUM LT. LIGHT LVR. LOUVER L.T. LAUNDRY TUB ANCHOR ANGLE LIGHT AND VENTILATION SCHEDULE PULTE - CEPAHS - SUMMER HOUSE
22200 CLARKSBURG RD., BOYDS, MD 20841 CONTROL JOINT CENTER LINE CONCRETE MASONRY UNIT ON CENTER
OPERATOR
OPENING
OPTIONAL
ORIENTED STRAND BOARD
OUNCE
ONE ROD BASEMENT & FIRST FLOOR PLANS SECOND FLOOR & ROOF PLANS RIGHT SIDE ELEVATION LEFT SIDE ELEVATION FRONT ELEVATION PARTICLE BOARD REAR ELEVATION CROWN MOULE BUILDING SECTIONS PROJECT / PROJECTED POUNDS PER SQ. IN. POUNDS PER SQ.FT. PRESSURE TREATED BASEMENT AND FIRST FLOOR ELECTRICAL PLANS SECOND FLOOR ELECTRICAL PLAN GARAGE -FLOOR PLANS GARAGE ELEVATIONS AND WINDOW DETAILS GARAGE BUILDING SECTION ELECTRICAL ELEVATION ROUGH OPENING GARAGE ELECTRICAL PLANS RISER ROUND RND S.C. SAWCUI SCHEM. SCHEMATIC SHLF SHELF SHT. SHEET SIM. SIMILAR EXTERIOR CURRENT RELEASE DATE: 03/20/20. GENERAL NOTES FACH FND 1ST FLOOR FRAMING PLAN S.S. STAINLESS STEEL STL. STEEL STRUCT. STRUCTURAL 2ND FLOOR FRAMING PLAN REVIEWED FOUNDATION ROOF FRAMING PLANS SUSPENSION By Chris Berger at 3:18 pm, Apr 26, 2024 TYPICAL FOUNDATION DETAILS TYPICAL GARAGE SLAB FOUNDATION DETAILS TYPICAL DETAILS APPROVED TYPICAL FRAMING DETAILS TOP OF FOUNDATION WALL TYPICAL FRAMING DETAILS Montgomery County GENERAL CONTRACTOR TREAD TOWEL ROD **Historic Preservation Commission** U.N.O. UNLESS NOTED OTHERWISE VERT. VERTICAL V.I.F. VERIFY IN FIELD HORIZONTAL, HORIZONTALLY HEADER WASHER W/ WITH
WD. WOOD
W.W.F. WELDED WIRE FABRIC
WO or W/O WALKOUT HOSE BIB INSIDE DIAMETER IN GROUND INSULATION INTERIOR INSIDE CORNER CEPHAS NPC PLAN NUMBER 2818.600.00 LAWSON PLAN ID CS.01

A. THESE GENERAL NOTES UNLESS OTHERWISE NOTED ON PLANS OR PRODUCT SPECIFICATIONS. B. ALL APPLICABLE LOCAL AND STATE CODES, ORDINANCES AND REGULATIONS C. IN AREAS WHERE THE DRAWINGS DO NOT ADDRESS METHODOLOGY, THE CONTRACTOR SHALL BE BOUND TO PERFORM IN STRICT COMPLIANCE WITH MANUFACTURER'S SPECIFICATIONS AND/OR RECOMMENDATIONS.

2. THE GENERAL NOTES AND TYPICAL DETAILS APPLY THROUGHOUT THE JOB UNLESS OTHERWISE NOTED OR SHOWN. 3. DISCREPANCIES: THE CONTRACTOR SHALL COMPARE AND COORDINATE ALL DRAWINGS; WHEN IN THE OPINION OF THE CONTRACTOR, A DISCREPANCY EXISTS HE SHALL PROMPTLY REPORT IT TO THE ARCHITECT FOR PROPER ADJUSTMENT BEFORE

4. OMISSIONS: IN THE EVENT CERTAIN FEATURES OF THE CONSTRUCTION ARE NOT FULLY SHOWN ON THE DRAWINGS. THEIR CONSTRUCTION SHALL BE OF THE SAME CHARACTER AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED.

5. ALL WORK IS TO BE PERFORMED IN A PROFESSIONAL MANNER AND IN ACCORDANCE WITH STANDARD PRACTICE AND CONSISTENT WITH MANUFACTURER'S AND SUPPLIER'S RECOMMENDED INSTALLATION PROCEDURES. 6. DIMENSIONS SHALL BE READ OR CALCULATED AND NEVER SCALED. ALL DIMENSIONS ARE TO THE ROUGH UNLESS NOTED

OTHERWISE. ALL DRAWINGS ARE AT 1" = 4'-0" (1/4" = 1'-0") UNLESS NOTED OTHERWISE.

7. ALL INTERIOR AND EXTERIOR DOORS TO BE 6'-8" IN HEIGHT, UNLESS NOTED OTHERWISE.

HORIZONTALLY AT THE INTERVALS NOT EXCEEDING 10 FEET.

FIREBLOCKING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS (BOTH VERTICALLY AND HORIZONTALLY) AND TO FORM AN EFFECTIVE FIRE BARRIER BETWEEN STORIES, AND BETWEEN A STOP OF STORY AND THE ROOF SPACE ABOVE.

FIREBLOCKING SHALL BE PROVIDED IN THE FOLLOWING LOCATIONS:

1. IN CONCEALED SPACES OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES AND PARALLEL ROWS OF STUDS OR STAGGERED STUDS, AS FOLLOWS:

- VERTICALLY AT THE CEILING AND FLOOR LEVELS

2. AT ALL INTERCONNECTIONS BETWEEN CONCEALED VERTICAL AND HORIZONTAL SPACES SUCH AS SOFFITS, DROP 3. IN CONCEALED SPACES BETWEEN STAIR STRINGERS AT THE TOP AND BOTTOM OF THE RUN. ENCLOSED

4. PROVIDE FIREBLOCKING AT OPENINGS AROUND VENTS, PIPES, DUCTS, CABLES AND WIRES AT CEILING AND FLOOR LEVEL, WITH AN APPROVED MATERIAL TO RESIST THE FREE PASSAGE OF FLAME AND PRODUCTS OF COMBUSTION.
THIS INCLUDES ANY PENETRATIONS THRU THE WALL BETWEEN THE HOUSE AND GARAGE.

INTERVALS NOT EXCEEDING 10'. 6. AT CHIMNEYS AND FIREPLACES.

7. AT CORNICES OF TWO-FAMILY DWELLING IS REQUIRED AT THE LINE OF THE UNIT SEPARATION.

5. PROVIDE FIREBLOCKING AT ALL CEILING AND FLOOR LEVELS IN BALLOON FRAME WALLS AT

REFERENCE APPLICABLE BUILDING CODE FOR ADDITIONAL INFORMATION.

1. DRAFTSTOPPING SHALL BE PROVIDED IN FLOOR/CEILING ASSEMBLIES IN CEILING SUSPENDED UNDER THE FLOOR FRAMING, FLOORS CONSTRUCTED OF OPEN WEB OR PERFORATED MEMBERS, IN SPACE BOTH ABOVE AND BELOW THE CONCEALED SPACE OF FLOOR/CEILING ASSEMBLY, AND INSTALLED SO THAT THE AREA OF CONCEALED SPACE DOES NOT EXCEED 1,000 SQUARE FEET. REFERENCE CURRENT CODE OR LOCAL CODES FOR ADDITIONAL INFORMATION.

1. ALL GLAZING IN THE DOORS, SIDELITES, SLIDING GLASS DOORS AND WINDOWS IN HAZARDOUS LOCATIONS SHALL BE OF SAFETY GLAZING QUALITY THAT MEETS CPSC 16 CFR, PART 1201 STANDARD.

2. FOR GLAZING IN WINDOWS 24" OR LESS OFF THE FLOOR AND IS MORE THAN 72" ABOVE THE EXTERIOR GRADE OR SURFACE, SHALL HAVE PROTECTIVE DEVICES APPLIED TO LIMIT THE OPENING(S) OF THE WINDOW TO LESS THAN 4" AND/OR PERMIT EGRESS AS REQUIRED BY THE WINDOWS LOCATION, - ONLY IF REQUIRED BY LOCAL CODE. DECAY AND TERMITE PROTECTION:

PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED PER (2018 IRC SECTION R317 & R318.)

THERMAL & SOUND INSULATIONS:

. THERMAL AND SOUND INSULATING MATERIAL THAT IS NOT CONCEALED (AS IN UNFINISHED BASEMENT) SHALL NOT EXCEED FLAME-SPREAD INDEX OF 25 AND SMOKE-DEVELOPED INDEX OF 450, PER ASTM E84 OF UL-723.

2. WHEN SUCH MATERIALS ARE INSTALLED IN CONCEALED SPACES, THE FLAME-SPREAD AND SMOKE-DEVELOPED LIMITATIONS DO NOT APPLY TO THE FACINGS, PROVIDED THAT THE FACING IS INSTALLED IN SUBSTANTIAL CONTACT WITH THE UNEXPOSED SURFACE OF THE CEILING, FLOOR OR WALL FINISH.

3. ALL EXPOSED INSULATION MATERIALS INSTALLED ON ATTIC FLOORS SHALL HAVE A CRITICAL RADIANT FLUX NOT LESS THAN 0.12 WATT PER SQUARE CENTIMETER.

COMBUSTIBLE INSULATION SHALL BE SEPARATED A MINIMUM OF 3" FROM RECESSED LUMINAIRES, FAN MOTORS AND OTHER HEAT PRODUCING DEVICES.

INTERIOR WALL & CEILING FINISHES:

1. WALL & CEILING FINISHES SHALL HAVE A FLAME-SPREAD CLASSIFICATION OF NOT GREATER THAN 200 AND SMOKE-DEVELOPED INDEX TO BE NOT GREATER THAN 450.

GYPSUM BOARD INSTALLATION:

ALL GYPSUM BOARD MATERIALS AND ACCESSORIES SHALL CONFORM TO ASTM C36, C79, C475, C514, C630, C960, C1002, C1047, C1177, C1178, C1278, C1395, C1396, AND C1658. ADHESIVES FOR THE INSTALLATION OF GYPSUM BOARD SHALL CONFORM TO ASTM C557. ALL INSTALLATION SHALL BE PER SECTION R702.

- GYPSUM BOARDS SHALL BE FASTENED WITH SCREWS AT 16" O.C. ON FRAMING MEMBERS LOCATED AT EVERY 24" O.C. WITH ADHESIVE.

REVIEWED

By Chris Berger at 3:18 pm, Apr 26, 2024

PLUMBING SPECS

1. PLUMBING SUB-CONTRACTOR SHALL LOCATE PLUMBING RISERS ADJACENT TO EXTERIOR.

2. PLUMBING SUB-CONTRACTOR SHALL LOCATE ALL PIPING NEXT TO STEEL BEAM (COORDINATE W/ HVAC CONTRACTOR) ALL OTHER LINES SHALL BE BETWEEN JOISTS.

4. PLUMBER TO VERIFY DRAIN LOCATIONS FOR ALL TUBS, SHOWERS & WATER CLOSETS FOR ANY VARIATIONS.

5. PLUMBING SUB-CONTRACTOR SHALL INSTALL ALL PLUMBING SYSTEM IN ACCORDANCE WITH

6. PLUMBER TO VERIFY HUNG SEWER AS REQUIRED PER GRADE CONDITIONS.

APPROVED

Montgomery County

Historic Preservation Commission

PLUMBING NOTES:

- GYPSUM BOARD SHALL BE FASTENED WITH SCREWS AT 24" O.C. ON FRAMING

MEMBERS LOCATED AT MAXIMUM SPACING OF 16" O.C. WITH ADHESIVE. FASTENERS: - SCREWS SHALL BE TYPE "S" OR "W" PER ASTM C 1002 AND SHALL BE SUFFICIENTLY LONG TO PENETRATE WOOD FRAMING NOT LESS THAN 5/8"

AND METAL FRAMING NOT LESS THAN 3/8".

CERAMIC TILE BACKER:

. ALL CERAMIC TILE BACKER SHALL BE INSTALLED PER SECTION R702.4.

EXTERIOR WALL:

1. ALL WALL COVERING SHALL BE SECURELY FASTENED/INSTALLED PER R703.2 WITH APPROVED FASTENERS. 2. VINYL SIDING, SOFFIT AND ACCESSORIES SHALL BE INSTALLED PER MANUFACTURER'S SPECIFICATIONS.

1. EXTERIOR WINDOWS AND DOORS SHALL BEAR ALL MANUFACTURER SPECIFICATIONS LABELS AND APPROVAL BY TESTING AGENCY, SHALL BE IN COMPLIANCE WITH AAMA/WDMA/CSA.

STONE AND MASONRY VENEERS:

1. STONE AND MASONRY VENEERS SHALL BE INSTALLED PER (2018 IRC SECTION R703.8). ALL BRICK TIES TO BE INSTALLED 1½" INTO MASONRY W/ MIN. 5/8" MORTAR COVERAGE. VAPOR RETARDERS:

VAPOR RETARDERS ARE REQUIRED ON THE INTERIOR SIDE OF FRAME WALLS AND MUST BE INSTALLED PER

VAPOR RETARDER ARE REQUIRED UNDER CONCRETE FLOORS AND MUST BE INSTALLED PER

(2018 IRC SECTION R506.2.3.) ATTIC VENTILATION:

ENCLOSED ATTIC SHALL HAVE CROSS VENTILATION FOR EACH SEPARATE SPACE PER

(2018 IRC SECTION R806.1-R806.5.)

FACTORY BUILD FIREPLACES:

1. FACTORY BUILT FIREPLACES SHALL BE INSTALLED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS AND SHALL

BE TESTED IN ACCORDANCE WITH UL-127, PER (2018 IRC SECTION R1004.1.) SITE ADDRESS

BUILDING NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A STROKE WIDTH OF 1/2".

1. FOAM PLASTIC MATERIAL MUST BEAR ALL MANUFACTURING SPECIFICATIONS AND LABEL OF AN APPROVED AGENCY. ALL FOAM PLASTIC SHALL HAVE A FLAME SPREAD INDEX OF NOT MORE THAN 75 AND SHALL HAVE A SMOKED DEVELOPED INDEX OF NOT MORE THAN 450 IN ACCORDANCE WITH ASTM E84 OR UL723.

1. ALL EXTERIOR WALLS SHALL BE 2x4 OR 2x6, REFER TO PLANS. ALL INTERIOR WALLS SHALL BE 2x4 UNLESS NOTED OTHERWISE.

FLOOR PLAN SPECS.

- 2. HOLD WINDOW HEADERS AT 89-5/8" A.S.F., W/ 9'-1-1/8" WALLS, U.N.O..
- 3. HOLD WINDOW HEADERS AT 83-3/8" A.S.F. W/ 8'-1-1/8" WALLS U.N.O.
- 4. ALL WINDOWS W/ TRANSOM HEADERS @ 96" A.F.F. U.N.O.
- 5. SET ALL BASEMENT WINDOW HEIGHTS AT THE FOLLOWING:
- DAYLIGHT BASEMENT:

 8' BSMT. SET SILL AT 3'-11" A.F.S
- 9' BSMT. SET SILL AT 3'-11" A.F.S.
- WALKOUT BASEMENT: • 8' BSMT. - SET HEADER AT 82-5/8"
- 9' BSMT. SET HEADER AT 82-5/8"
- 6. INSTALL ALL FLOOR TILE PER TCNA SPECIFICATIONS. 7. ALL WINDOWS SHALL BE TRIMMED PER SPECIFIED LEVEL.
- 8. SET ALL TUBS ON 90# FELT.
- 9. PROVIDE MINIMUM OF 4" RETURNS AT ALL WALL OPENINGS.
- 10. ALL ANGLED WALLS TO BE 45 DEGREES U.N.O.
- 11. ENTRANCE DOORS & WINDOWS W/ 1x TRIM AT BRICK CONDITIONS SHALL HAVE EXTENDED JAMBS. 12. ALL BRICK FEATURES, SURROUNDS, AND QUOINS SHALL PROJECT 1".
- 13. ALL WINDOWS TO RECEIVE BRICK MOULD W/ BRICK AND STONE VENEERS U.N.O.
- 14. ALL HAND RAILS SHALL HAVE A CIRCULAR CROSS SECTION OF 1-1/4" MINIMUM TO 2" MAXIMUM. (2018 IRC SECTION R311.7.8-R311.7.8.5)

15. GUARDS SHALL BE PROVIDED FOR THOSE PORTIONS OF OPEN-SIDED WALKING SURFACES, INCLUDING STAIRS, RAMPS AND LANDINGS, THAT ARE LOCATED MORE THAN 30 INCHES (782 mm) MEASURED VERTICALLY TO THE FLOOR OR GRADE BELOW AT ANY POINT WITHIN 36 INCHE<u>S (914 mm) HORIZONTALL</u>Y TO THE EDGE OF THE OPEN SIDE.

(2018 IRC SECTION R312.1-R312.3.)

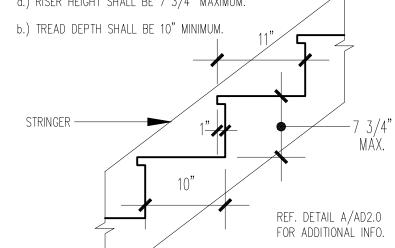
16. REQUIRED GUARDS AT OPEN—SIDED WALKING SURFACES, INCLUDING STAIRS, PORCHES, BALCONIES, OR LANDINGS, SHALL BE A MINIMUM OF 37 INCHES IN HEIGHT AS MEASURED VERTICALLY ABOVE THE ADJA<u>CENT WALKING SURFACE OR THE LI</u>NE CONNECTING THE LEADING EDGES OF THE TREADS PER (2018 IRC SECTION R312.1-R312.3.)

17. REQUIRED GUARDS ON THE OPEN SIDES OF STAIRS SHALL HAVE A HEIGHT NOT LESS THAN 34 INCHES MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS. WHERE THE TOP OF THE GUARD ALSO SERVES AS A HANDRAIL ON THE OPEN SIDES OF STAIRS, THE TOP OF THE GUARD SHALL BE NOT LESS THAN 34 INCHES AND NOT MORE THAN 38 INCHES AS MEASURED VERTICALLY FROM A LINE CONNECTING THE LEADING EDGES OF THE TREADS PER (2018 IRC SECTION R312.1-R312.3.)

18. REQUIRED GUARDS SHALL NOT HAVE OPENINGS FROM THE WALKING SURFACE TO THE REQUIRED GUARD HEIGHT WHICH ALL PASSAGE OF A SPHERE 4 INCHES IN DIAMETER PER (2018 IRC SECTION R312.1-R312.3.)

1. ALL STAIRS SHALL BE DESIGNED AND INSTALLED PER (2018 IRC SECTION R311.7.)

a.) RISER HEIGHT SHALL BE 7 3/4" MAXIMUM.



BATH / CLOSET NOTES:

1. SET BOTTOM OF WINDOW OVER TUB DECK AT 29" A.F.F., U.N.O.

- 2. WHEN CERAMIC TILE IS INSTALLED, EXTEND 5/8" UNDERLAYMENT UNDER VANITIES, AND INSTALL
- PER TCNA SPECIFICATIONS. 3. LOCATE DOUBLE TOWEL BAR AT 38" & 68" A.F.F.
- 4. LOCATE SINGLE TOWEL BAR AT 38" 5. SET 12" WIDE TOWEL BAR AT 24" ABOVE VANITY TOP
- 6. 1R/1S CLOSET SHELVES AT 68" A.F.F.
- 7. 2R/2S CLOSET SHELVES AT 42" & 84" A.F.F.
- 8. LOCATE TOILET PAPER HOLDER AT 24" A.F.F. 9. STD. WIDTH OF MIRROR = VANITY LENGTH MINUS 2"
- 10. HEIGHT OF MIRROR IS 46" WHEN SET ON VANITY TOP, OR 42" WHEN SET ON 4" BACKSPLASH. 11. SET CENTERLINE OF WALL LIGHT MOUNTING BOX ABOVE VANITY AT 86" A.S.F. 12. ROUGH-IN CENTERLINE OF SHOWER HEAD FIXTURE AT 82" A.S.F.
- WALL CERAMIC TILE SIZE 4 1/4"
 COURSING AT SHOWER 17

ROOF PLAN SPECS.

1. ALL OVERBUILT AREAS TO BE VALLEY SET TRUSSES UNLESS IMPRACTICAL OR IMPOSSIBLE. 2. REF. SHEET AD4.0 AND PRODUCT SPEC'S FOR OVERHANG AND TRUSS HEEL PROFILE. 3. REF. STRUCTURAL PLANS FOR ALL HEADERS & POSTS NOT SHOWN ON FRAMING PLANS.

4. ROOF COVERING SHALL BE APPLIED IN ACCORDANCE TO **(2018 IRC SECTION R905.2)** AND MANUFACTURER SPECIFICATIONS. ALL MATERIAL SHALL BEAR MANUFACTURER IDENTIFICAT MARKS AND APPROVAL BY TESTING AGENCY.

5. PROVIDE DOUBLE LAYER OF UNDERLAYMENT WHEN ROOF PITCH IS EQUAL TO OR LESS THAN

ICE BARRIER:

1. AT EAVES, PROVIDE ICE BARRIER THAT CONSISTS OF AT LEAST TWO LAYER OF UNDERLAYMENT CEMENTED TOGETHER OR OF A SELF-ADHERING POLYMER MODIFIED BITUMEN SHEET. EXTEND FROM LOWEST EDGES OF ALL ROOF SURFACES TO A POINT AT LEAST 24" INSIDE THE INTERIOR FACE OF THE EXTERIOR WALL OF THE BUILDING.

REQUIREMENT:

1. INSTALL RADON SYSTEM PER CODE ONLY IF REQUIRED BY LOCAL JURISDICTION.

ELEVATION SPECS

ELEVATION NOTES: 1. ALL BOX WINDOW PROJECTIONS ARE FROM FACE OF FRAME WALL.

- 2. ALL ENTRY DOOR JAMBS SHALL HAVE EXTENDED JAMBS W/ BRICK VENEER.
- 3. PROVIDE METAL FLASHING ABOVE ALL, WINDOWS, DOORS, & CAPITALS. REF. SHEET AD5.0.
- 4. REF. TYPICAL WALL SECTION SHT. AD2.0 FOR ADDITIONAL INFORMATION AND FOUNDATION NOTES.
- 5. REF. FLOOR PLANS AND SHT. AD6.0 FOR INTERIOR TRIM INFORMATION
- 6. REF. SHEET AD4.4, AD4.5, AD4.7 & AD5.0 FOR FLASHING INFORMATION.
- 7. ALL BRICK FEATURES, SURROUNDS, AND QUOINS SHALL BE ACCENT BRICK AND PROJECT 1".
- 8. ALL WINDOWS TO RECEIVE BRICK MOULD W/ BRICK AND STONE CONDITION U.N.O. 9. ALL HAND RAILS SHALL HAVE A CIRCULAR CROSS SECTION OF 1-1/4" MINIMUM TO 2" MAXIMUM.
- 10. ALL GUARD RAILS AND HAND RAILS AT SIDE OF STAIRS TO BE AT 34" ABOVE TREAD NOSING. 11. ALL GUARD RAILS AT FLOOR OPENINGS TO BE A MINIMUM OF 37" ABOVE SUBFLOOR
- 12. PROVIDE DOUBLE UNDERLAYMENT WHEN ROOF PITCH IS EQUAL TO OR LESS THAN 4:12 (4/12).

FRAMING SPECS

1. REFERENCE PRODUCT SPECIFICATIONS FOR DECK SIZE AND LOCATION.

- 2. PROVIDE GUARDRAIL IF DROP TO GRADE IS GREATER THAN 30". PROVIDE STEPS TO GRADE IF LESS.
- 3. REFERENCE STRUCTURAL DRAWINGS & DETAILS FOR ADDITIONAL INFORMATION. 4. PORCH COLUMNS AND DECK WILL BE WOOD.

1. STRONG BACKS ARE TO BE INSTALLED PER TRUSS MANUFACTURER'S RECOMMENDATIONS.

FLOOR TRUSS NOTES:

WALL ADJACENT TO STAIR MUST HAVE STUDS SPACED AT 16" O.C. 2. GRAB BARS - SET BOTTOM OF 2 X 10 BLOCKING AT 30" A.S.F., U.N.O.

ELECTRICAL SPECS

2018 IRC BASED ON 2017 NFPA 70. NFC

GENERAL NOTE:

ELECTRICAL NOTES: ACTOR TO INSTALL ELECTRICAL SYSTEM IN ACCORDANCE WITH ALL (2017 NFPA 70, NEC.)

- 2. REF. PROD. SPECS. FOR OPT. CEILING FAN LOCATIONS.
- 3. REF. PROD. SPECS. FOR LOCATIONS OF TV, PHONE OUTLETS, CENTRAL VACCUUM & SECURITY
- 4. ALL OUTLETS ABOVE KITCHEN, DISHWASHER, LAUNDRY AREAS OR BATH COUNTER TO BE GFI IF APPLICABLE PER CODE. (2018 IRC SECTION E3902.)

(2017 NFPA 70, NEC SECTION 210.8)

- 5. ALL BEDROOM ELECTRICAL OUTLETS TO BE EQUIPPED WITH ARC-FAULT INTERRUPTERS.
- 6. ALL BATH FANS TO HAVE A MINIMUM 50 CFM, 45W, 120V.
- 7. LOCATE VANITY LIGHTS AT 86" A.S.F.
- 8. SEE PLAN FOR HORIZONTAL LOCATION OF VANITY LIGHTS. 9. WIRE FAN AND LIGHT SWITCHES IN SEPARATE 2-GANG BOX AND INSTALL ABOVE OTHER
- SWITCHES AT THIS SAME LOCATION. 10. ARC-FAULT CIRCUIT-INTERRUPTER PROTECTION: SHALL BE PROVIDED FOR ALL CIRCUITS SUPPLYING FAMILY ROOMS, KITCHEN, LAUNDRY, DINING ROOMS, LIVING ROOMS, PARLORS, LIBRARIES, DENS, BEDROOMS, SUNROOMS, RECREATION ROOMS, CLOSETS, HALLWAYS AND SIMILAR

ROOMS, AS REQUIRED BY LOCAL CODES. (2018 IRC SECTION E3902.) (2017 NFPA 70. NEC SECTION 210.12)

11. CEILING LIGHTS OVER OR NEAR TUBS AND SHOWERS SHALL BE MARKED FOR DAMP

LOCATIONS (2018 IRC SECTION E4003.11.) (2017 NFPA 70, NEC SECTION 410.10)

12. INTERIOR LIGHTS EXPOSED TO THE WEATHER SHALL BE APPROVED FOR WET LOCATIONS. EXTERIOR LIGHTS THAT ARE PROTECTED BY ROOF OR CEILING, SHALL BE APPROVED FOR DAMP LOCATIONS. (2018 IRC SECTION E4003.9-E4003.10.)

(2017 NFPA 70. NEC SECTION 410.10)

13. ALL OUTLETS SHALL BE TAMPER PROOF. (2018 IRC SECTION E4002.14.) (2017 NFPA 70. NEC SECTION 406.12)

14. AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE INSTALLED IN ACCORDANCE WITH UL-325.

15. SMOKE AND CARBON MONOXIDE ALARMS SHALL BE INSTALLED AND LOCATED IN

- ACCORDANCE TO (2018 IRC SECTION R314 AND R315.) 16. PROVIDE ILLUMINATED STAIR SWITCH ONLY IF REQUIRED BY LOCAL CODE.
- 17. PROVIDE HEAT DETECTOR IN GARAGE ONLY IF REQUIRED BY LOCAL CODE. 18. GARAGE RECEPTACLE OUTLETS MUST BE SERVED BY A SEPARATE BRANCH CIRCUIT THAT

EACH CAR SPACE IN A GARAGE, IF APPLICABLE PER CODE. (2018 IRC SECTION E3703.5, E3901.9.) (2017 NFPA 70. NEC SECTION 210.52)

FUEL GAS

DOES NOT SUPPLY OTHER OUTLETS AND AT LEAST ONE RECEPTACLE OUTLET IS REQUIRED FOR

INSTALLATION NOTES:

1. ALL FUEL OPERATED APPLIANCES SHALL BE INSTALLED IN ACCORDANCE TO CODE AND MANUFACTURER'S SPECIFICATIONS.

COMBUSTION AIR, VENTILATION AND DILUTION AIR:

1. AIR FOR COMBUSTION, VENTILATION AND DILUTION OF FLUE GASES FOR GAS APPLIANCES INSTALLED IN BUILDINGS SHALL BE PROVIDED PER (2018 IRC SECTION G2407.)

SUFFICIENT TO MEET MAXIMUM DEMAND PER (2018 IRC SECTION G2413.)

PIPE SIZING AND MATERIALS: 1. PIPING SYSTEMS SHALL BE OF SUCH SIZE AND INSTALLED AS TO PROVIDE A SUPPLY OF GAS

2. MATERIAL USED FOR PIPING SYSTEMS SHALL BE PER (2018 IRC SECTION G2414.)

1. ALL VENTS SHALL BE LISTED AND LABELED IN ACCORDANCE TO UL-441, UL-642 AND UL-1738. 2. ALL VENTS SHALL BE INSTALLED PER [2018 IRC SECTIONS G2426-G2429.]

WINDOW SCHEDULE

00 & 1500 SERI

1830 SH

332 ARCH TOP FIXE

1830P FIXED

y Gem Windows|Simonton Windows

BUILDER SERIES

MI Windows

S3500 SERIES

1832 SH

832 ARCH TOP FIXE

1832 FIXED

D	18310 SH	18310 SH	
E	1856 SH	1856 SH	
F	18310 FIXED	18310P FIXED	
G	2020 FIXED	2020TN FIXED	
Н	20210 FIXED	2030P FIXED	2030 FX
1	1840 CSMT	1940 CSMT	
J	2040 TWIN CSMT	2040 TWIN CSMT	
K	2032 FIXED	2032P FIXED	
 M	2032 ARCH TOP FIXED 20310 SH	2032P FIXED 20310 SH	
N N	2042 SH	20310 SH 2040 SH	2040 SH
0	2042 SIN	2040 FIXED	2040 SH 2040 FX
 P	2052 SH	2050 SH	2053 SH
Q	2056 SH	2056 SH	2060 SH
R	2032 SH	2032 SH	2000 311
S	2424 FIXED	2420TN FIXED	2020 FX
T	2442 SH	2440 SH	
U	2456 SH	2456 SH	2453 SH
V	2452 SH	2450 SH	
W	1852 SH	1850 SH	
Χ	2842 SH	2840 SH	
Υ	1840 TWIN CSMT	1840 TWIN CSMT	
Z	3442 SH	3442 SH	
AA	28210 SH	3030 SH	3030 SH
BB	3032 FIXED	3030P FIXED	3030 FX
CC	2832 SH	3032 SH	
DD	2840 CSMT	2840 CSMT	
EE	2842 SH	3040 SH	3040 SH
FF	2842 ARCH TOP FIXED	3040 PAH	
GG	2852 SH	3050 SH	3053 SH
НН	2852 FIXED	3050P FIXED	3050 FX
JJ	2856 SH	3056E SH	3060 SH
KK	2852 CIR TOP FIXED	30310 PTR FIXED	
LL	3046 SH	3046 SH **	
MM	3856 FIXED	4056P FIXED	4040 5)/
NN	4012 TRANS	4014 TRANS	4010 FX
00 PP	1840 FIXED 4020 TRANS	1940 FIXED 4020 TRANS	4020 FX
QQ	4040 FIXED	4040P FIXED	4020 FX 4040 FX
RR	4040 SLDR	4040 SLDR	4040 SL
SS	4056 FIXED	4056P FIXED	1010 32
TT	4456 FIXED	4056P FIXED	
UU	50210 ARCH TOP TRANS	5018 AH TRANS	
VV	5052 ARCH TOP TRANS	5050 PAH	
WW	5052 FIXED	5050P FIXED	
XX	1052 FIXED	1050P FIXED	
YY	2432 FIXED CIRCLE TOP		
ZZ	2820 FIXED	3020 FIXED	3020 FX
AAA	2462 SH	2460 SH	
BBB	2862 SH	3062 SH	
CCC	1846 SH	1846 SH	
DDD	2046 SH	2046 SH	
EEE	2446 SH	2446 SH	
FFF	18210 FIXED	1830 FIXED	
GGG	20310 FIXED	2040 FIXED	
ННН	24310 FIXED	24310 FIXED	
III	24310 FIXED ARCH TOP	24310 FIXED ARCH TOP	
JJJ	24310 SH	24310 SH	
LLL	2040 CSMT	2040 CSMT	2040 CSMT
MMM	2030 SH	2030 SH	2030 SH
NNN	2846 SH	2846 SH	2846 SH
000	5030 SL	5030 SL	5030 SL
PPP	3040 FX	3040 FX	
+			

** THIS WINDOW DOES NOT MEET EGRESS REQUIREMENTS

REFERENCE PLANS FOR SPECIALITY WINDOWS.

- Suite 2030-7 Di anti 1 Mid 10600 Fairfax

225 326

VISI



STANDARD DETAILS & GENERAL NOTES SPECIFICATIONS & GEN 2010 ARCHITECTURAL S

PRODUCTION MANAGER FASE DATE: **03/20/202** EV # DATE / DESCRIPTION

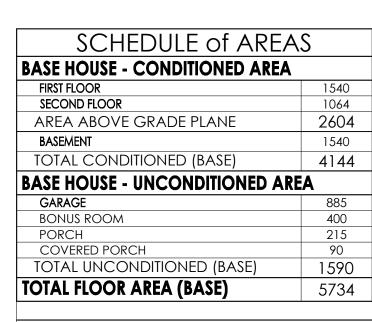


approved by me, and that I am a duly licer

NPC PLAN NUMBER LAWSON PLAN ID

EGACY PLAN NUMBER / NA

STD DETAILS



VOLUME CALCULAT	ION
BASE HOUSE	
FIRST FLOOR	13860
SECOND FLOOR	8512
GARAGE	8850
BASEMENT - 9 FT.	13860
BONUS ROOM	41440
ROOF	1540
GARAGE ROOF	0
TOTAL (BASE)	88062

LIGHT & VENT SCHEDULE					
POOLANIA NE	4.05.4	REQUIRED		SUPPLIED	
ROOM NAME	AREA	LIGHT	VENT	LIGHT	VENT
BASEMENT FLOOR PLAN					
BASEMENT BEDROOM	137.43	10.99	5.50	11.63	5.8
HOME OFFICE	148.27	11.86	5.93	6.39 / ARTIF.	месн.
MEDIA ROOM	164.00	13.12	6.56	6.39 / ARTIF.	МЕСН.
RECREATION ROOM	444.69	35.58	17.79	36.39	15 / MECH.
FIRST FLOOR PLAN					
SOUTH ROOM / FOYER / NORTH ROOM	424.02	33.92	16.96	51.03	25.5
PWDR.	32.70	2.62	1.31	11.01	5.5
DINING ROOM	166.84	13.35	6.67	24.76	12.38
WEST ROOM 1 & 2	481.52	38.52	19.26	97.52	21.76
HABITABLE ATTIC					
JPPER SOUTH ROOM	155.44	12.44	6.22	12.38 / ARTIF.	6.19 / MECH.
JPPER NORTH ROOM	150.64	12.05	6.03	12.38	6.19
BATH 3	45.22	3.62	1.81	12.38	6.19
EAST ROOM 1 UPPER	206.78	16.54	8.27	46.52	23.26
BATH #1	110.12	8.81	4.40	12.52	6.26
GARAGE					
BONUS ROOM	362.21	28.98	14.49	10.35 / ARTIF.	5.18 / MECH.

ARTIF. = ARTIFICIAL LIGHT SUPPLIED

MECH. = MECHANICAL VENTILATION SUPPLIED

THIS TABLE SHOWS CALCULATIONS FOR THE BASE HOUSE CONDITION

REVIEWED By Chris Berger at 3:18 pm, Apr 26, 2024

APPROVED **Montgomery County** Historic Preservation Commission

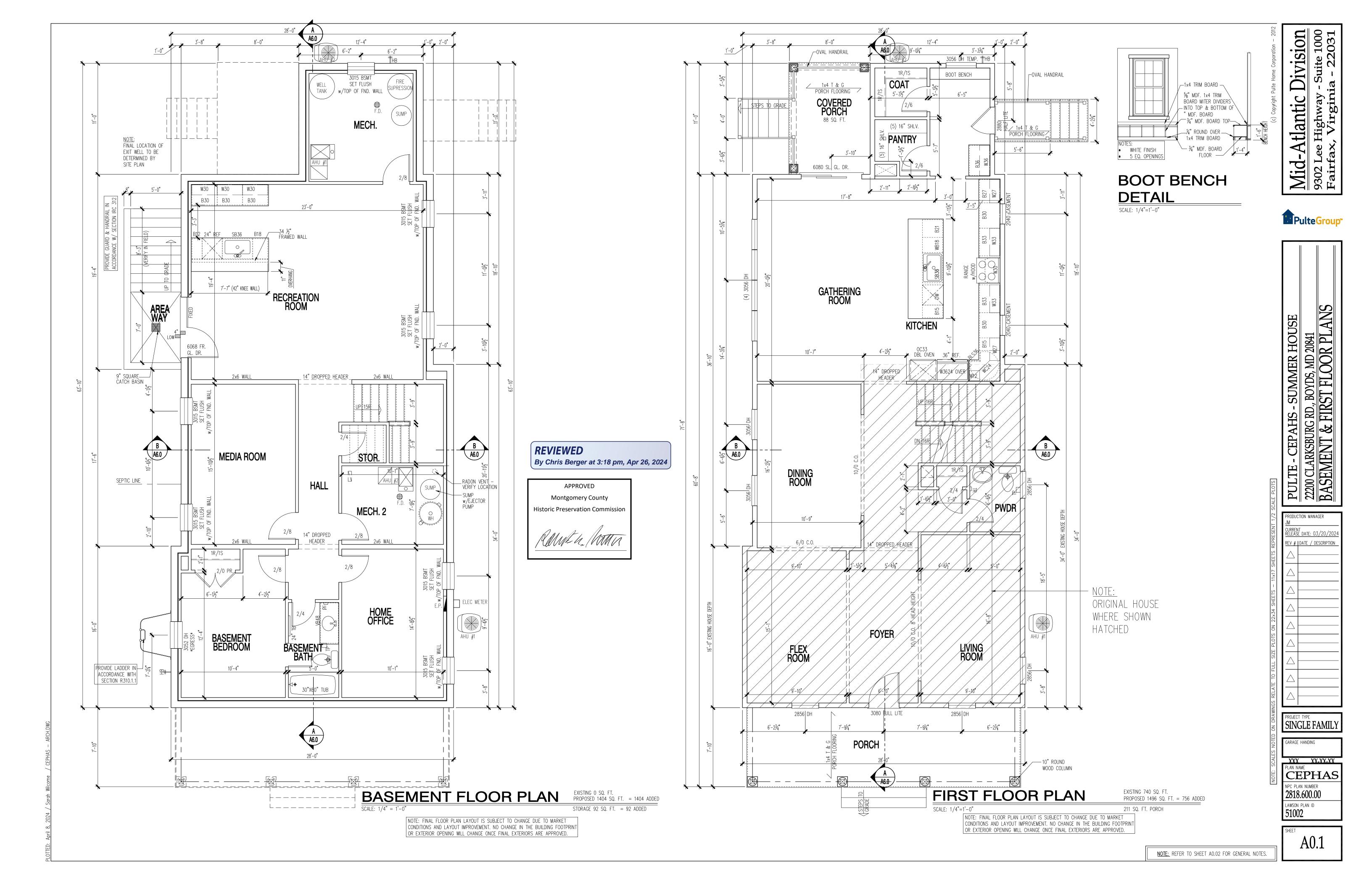
ABBREVIATIONS					
AFF	ABOVE FINISH FLOOR	MAS	MASONRY		
A/C	AIR CONDITIONING	MATL	MATERIAL		
ALT	ALTERNATE	MAX	MAXIMUM		
ARCH	ARCHITECT ARCHITECTURAL	MECH	MECHANICAL		
BSMT	BASEMENT	MC	MEDICINE CABINET		
BLK	BLOCK	MTL	METAL		
BLKG	BLOCKING	MIN	MINIMUM		
BD	BOARD	MIR	MIRROR		
BLDG	BUILDING	MISC	MISCELLANEOUS		
CAB CPT	CARRET	MOD	MODULAR		
CSMT	CARPET CASEMENT WINDOW	MULL NTS	MULLION NOT TO SCALE		
CLG	CEILING	0C	ON CENTER		
CIR	CIRCLE	OA	OVERALL		
CIRC	CIRCUMFERENCE	OH	OVERHEAD		
CLR	CLEAR CLEARANCE	OPT	OPTIONAL		
COL	COLUMN	PB	PUSH BUTTON		
CMU	CONCRETE MASONRY UNIT	PNL	PANEL		
CONC	CONCRETE	PAR	PARTITION		
CONST	CONSTRUCTION	PED	PEDESTAL		
CONT	CONTINUOUS	PL	PLATE		
CJ	CONTROL OR CONSTRUCTION JOINT	PVC	POLYVINYL CHLORIDE		
CF	CUBIC FOOT	PREFAB	PREFABRICATE PREFABRICATED		
CY	CUBIC YARD	R	RISER		
DET DIA	DETAIL	REF REFR	REFERENCE		
DIM	DIAMETER DIMENSION	REINF	REFRIGERATOR REINFORCE REINFORCED REINFORCING		
DW	DISH WASHER	R.A.G.			
DR	DOOR	REV	REVISIONS REVISED		
DH	DOUBLE HUNG	RD	ROOF DRAIN		
DS	DOWNSPOUT	RFG	ROOFING		
ELEC	ELECTRIC ELECTRICAL	RM	ROOM		
ELEV	ELEVATION	RO	ROUGH OPENING		
EQ	EQUAL	SCHED	SCHEDULE		
EXH	EXHAUST	SECT	SECTION		
EXT	EXTERIOR	SGD	SLIDING GLASS DOOR		
FO FIN	FACE OF FINISH	SHTH SHT	SHEATHING SHEET		
FPL	FIREPLACE	SH	SHELF SHELVING SINGLE HUNG WINDOW		
FLR	FLOOR FLOORING	SIM	SIMILAR		
FD	FLOOR DRAIN	SL	SLIDING WINDOW		
FLUOR	FLUORESCENT	SC	SOLID CORE		
FTG	FOOTING	SPKR			
FND	FOUNDATION	SPEC			
FUR		SQ			
GA	GAUGE	STD	STANDARD		
GD0	GARAGE DOOR OPENER	STL	STEEL		
CEL /WD	CPOLIND FAULT CIPCUIT WEATHER DROOF	STUK.	STORAGE STRUCTURAL		
GL WF	GROUND FAULT CIRCUIT GROUND FAULT CIRCUIT—WEATHER PROOF GLASS GLAZING	STOR. STRUCT TEL	TELEPHONE		
	GYPSUM WALLBOARD DRYWALL	TV	TELEVISION		
HDW	HARDWARE	THR			
HDR	HEADER	T&G			
HVAC	HEATING-VENTILATING-AIR CONDITIONING	TOC	TOP OF CONCRETE		
HGT	HEIGHT	TOF	TOP OF FOUNDATION		
HC	HOLLOW CORE	TYP	TYPICAL		
HORIZ	HORIZONTAL	LINE	LINEINISHED		
HB	HOSE BIBB	UNO	UNLESS NOTED OTHERWISE		
	INSULATE INSULATED INSULATION	VERT	VERTICAL WATER LIFATER		
INT	INTERIOR	WH	WATER HEATER		
JT JST	JOINT JOIST	WC WIN	WATER CLOSET WINDOW		
KIT	KITCHEN	WIN W/	WITH		
LAV	LAVATORY	W/O	WITHOUT		
LT	LIGHT	WD WD	WOOD		
LNTL	LINTEL	WI	WROUGHT IRON		
LVR MFR	LOUVER MANUFACTURE MANUFACTURER				

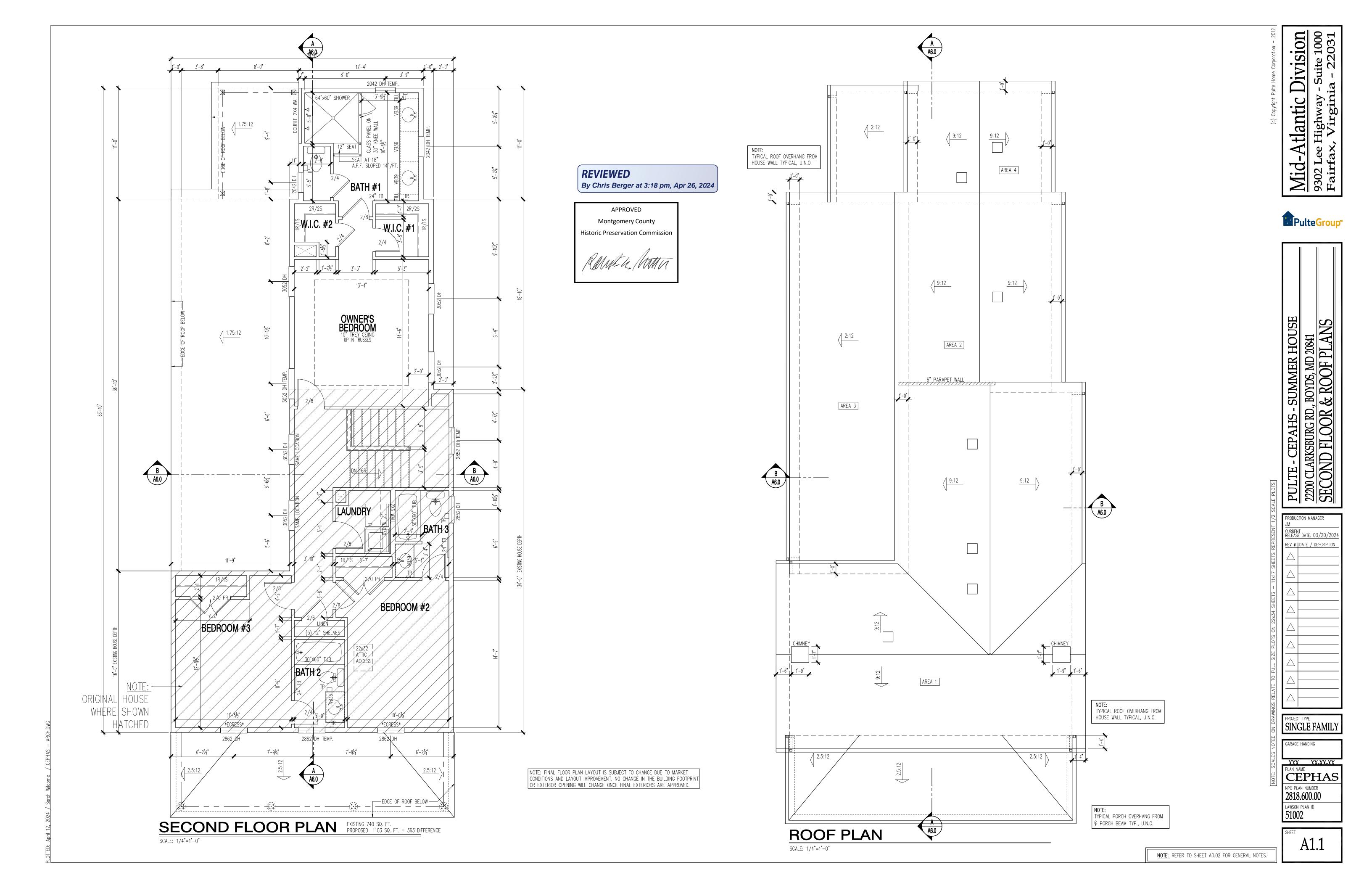
Mid-Atlantic Division 9302 Lee Highway - Suite 1000 Fairfax, Virginia - 22031 PULTE - CEPAHS - SUMMER HOUSE
22200 CLARKSBURG RD., BOYDS, MD 20841
LIGHT & VENT SCHEDULES PRODUCTION MANAGER CURRENT RELEASE DATE: **03/20/2024** REV # | DATE / DESCRIPTION

> PROJECT TYPE
> SINGLE FAMILY GARAGE HANDING

CEPHAS NPC PLAN NUMBER **2818.600.00** LAWSON PLAN ID

A0.03





PROJECT TYPE SINGLE FAMILY

SINGLE FAN

GARAGE HANDING

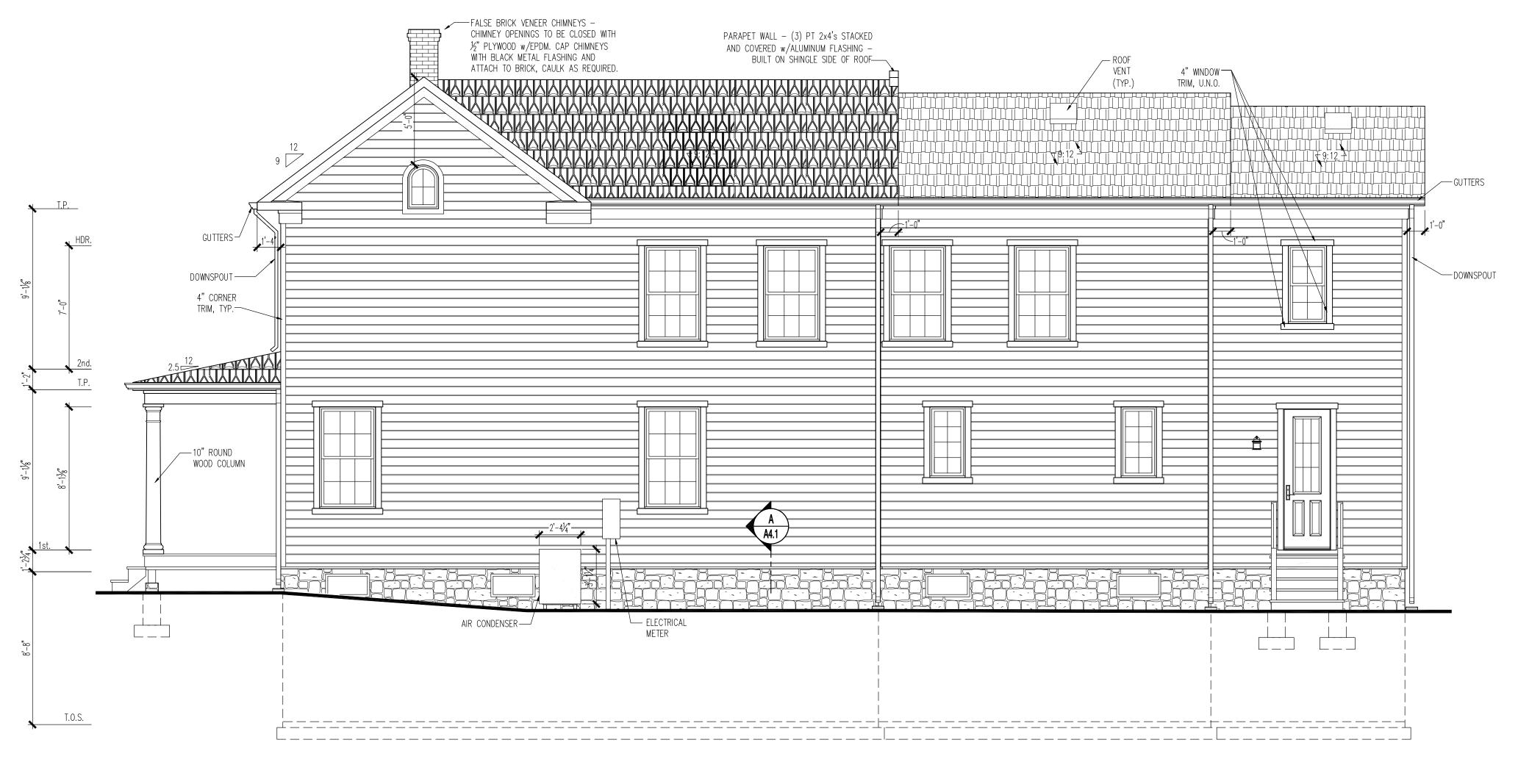
SINGLE FAN

GARAGE HANDING

PLAN NAME
CEPHAS

NPC PLAN NUMBER
2818.600.00

51002 SHEET Δ 1 1



RIGHT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

REVIEWED

By Chris Berger at 3:18 pm, Apr 26, 2024

STONE CAP

DETAIL A

SCALE: 1/4"=1'-0"

APPROVED

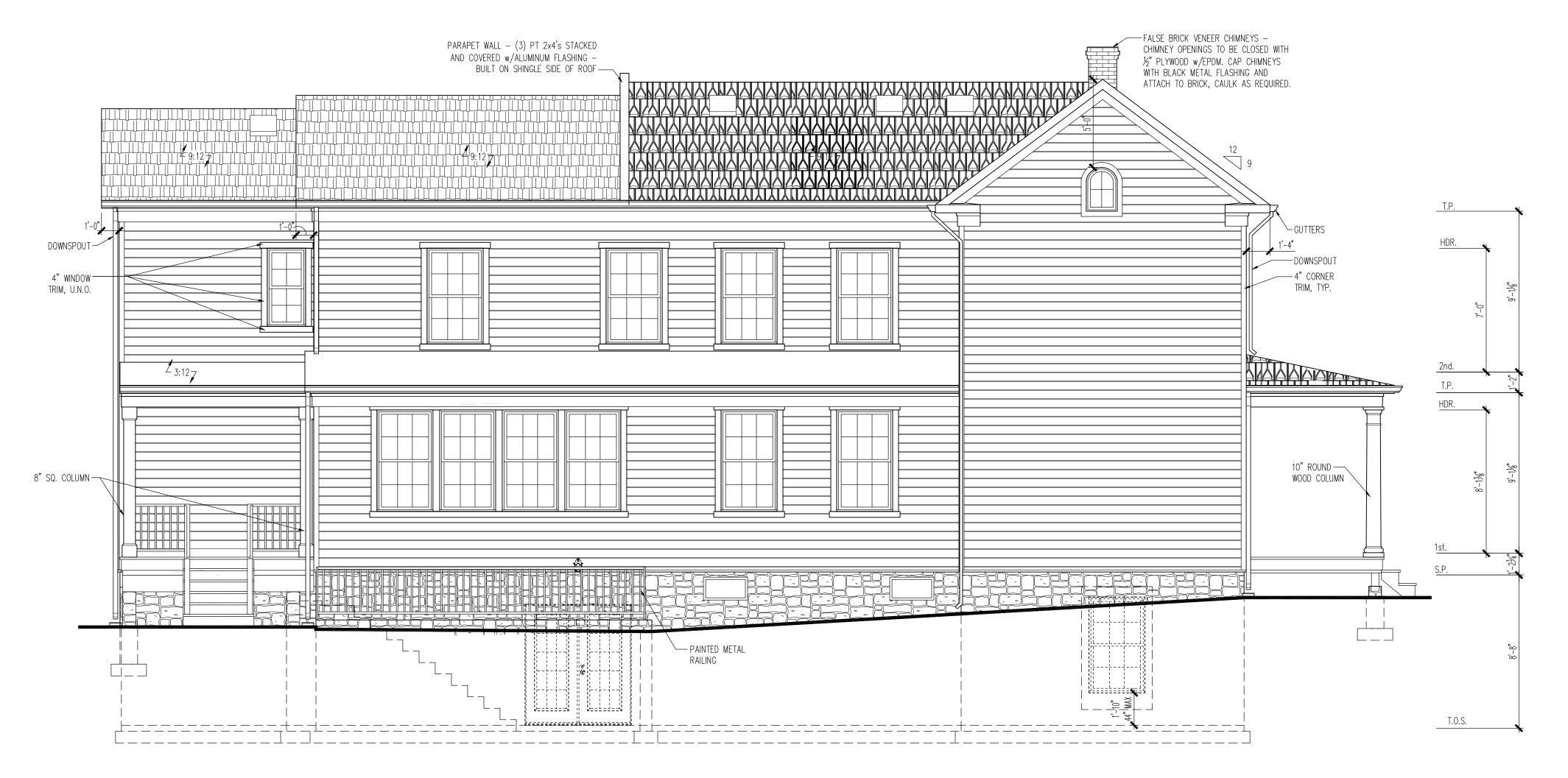
Montgomery County

Historic Preservation Commission

GARAGE HANDING

CEPHAS NPC PLAN NUMBER **2818.600.00** LAWSON PLAN ID

A4.2



LEFT SIDE ELEVATION SCALE: 1/4" = 1'-0"

REVIEWED By Chris Berger at 3:18 pm, Apr 26, 2024

APPROVED Montgomery County **Historic Preservation Commission**

NOTE: REFER TO SHEET A0.02 FOR GENERAL NOTES.

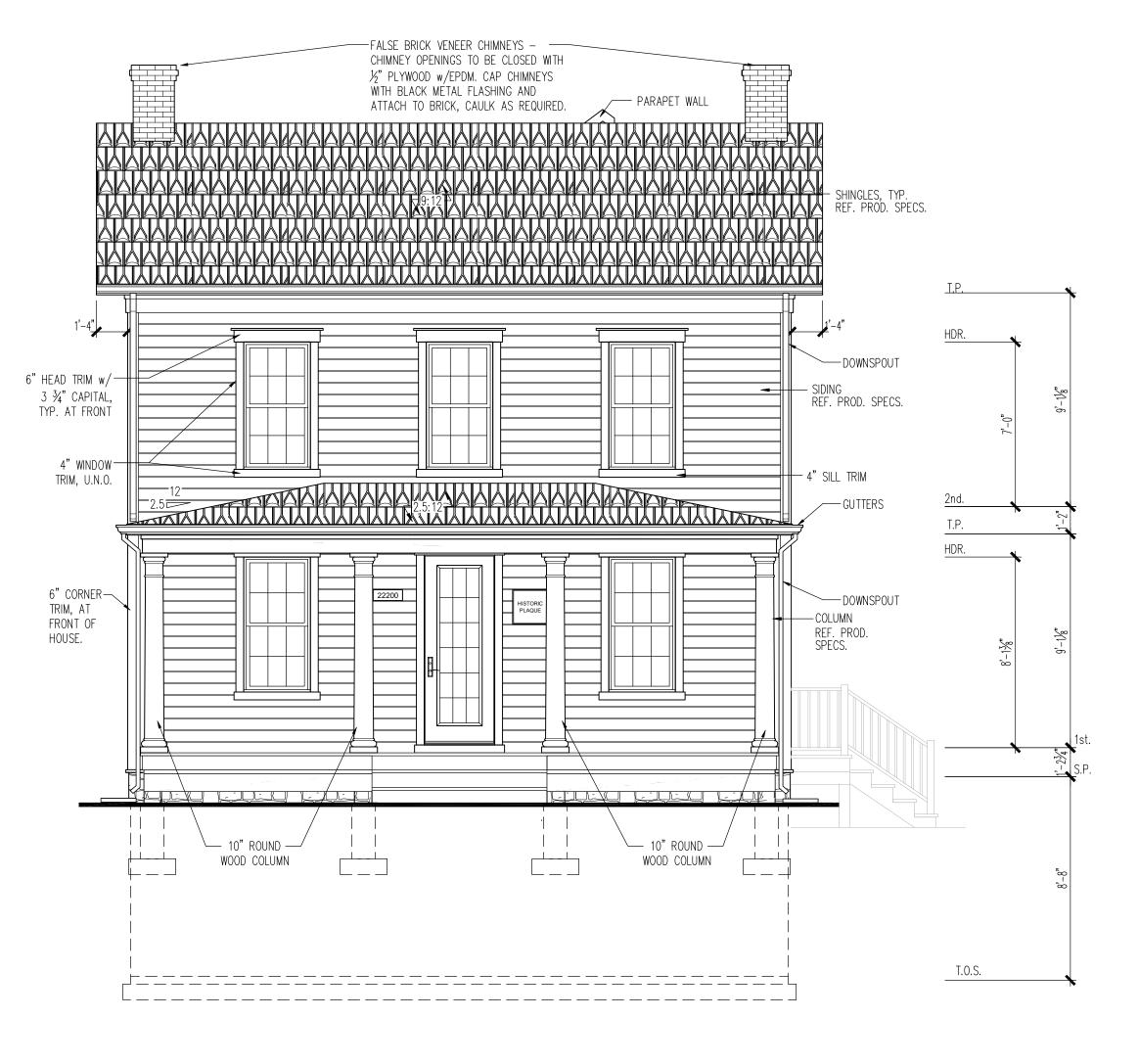
PROJECT TYPE SINGLE FAMILY

GARAGE HANDING

PLAN NAME CEPHAS NPC PLAN NUMBER 2818.600.00

LAWSON PLAN ID

NOTE: REFER TO SHEET A0.02 FOR GENERAL NOTES.



FRONT ELEVATION SCALE: 1/4" = 1'-0"

REVIEWED By Chris Berger at 3:18 pm, Apr 26, 2024

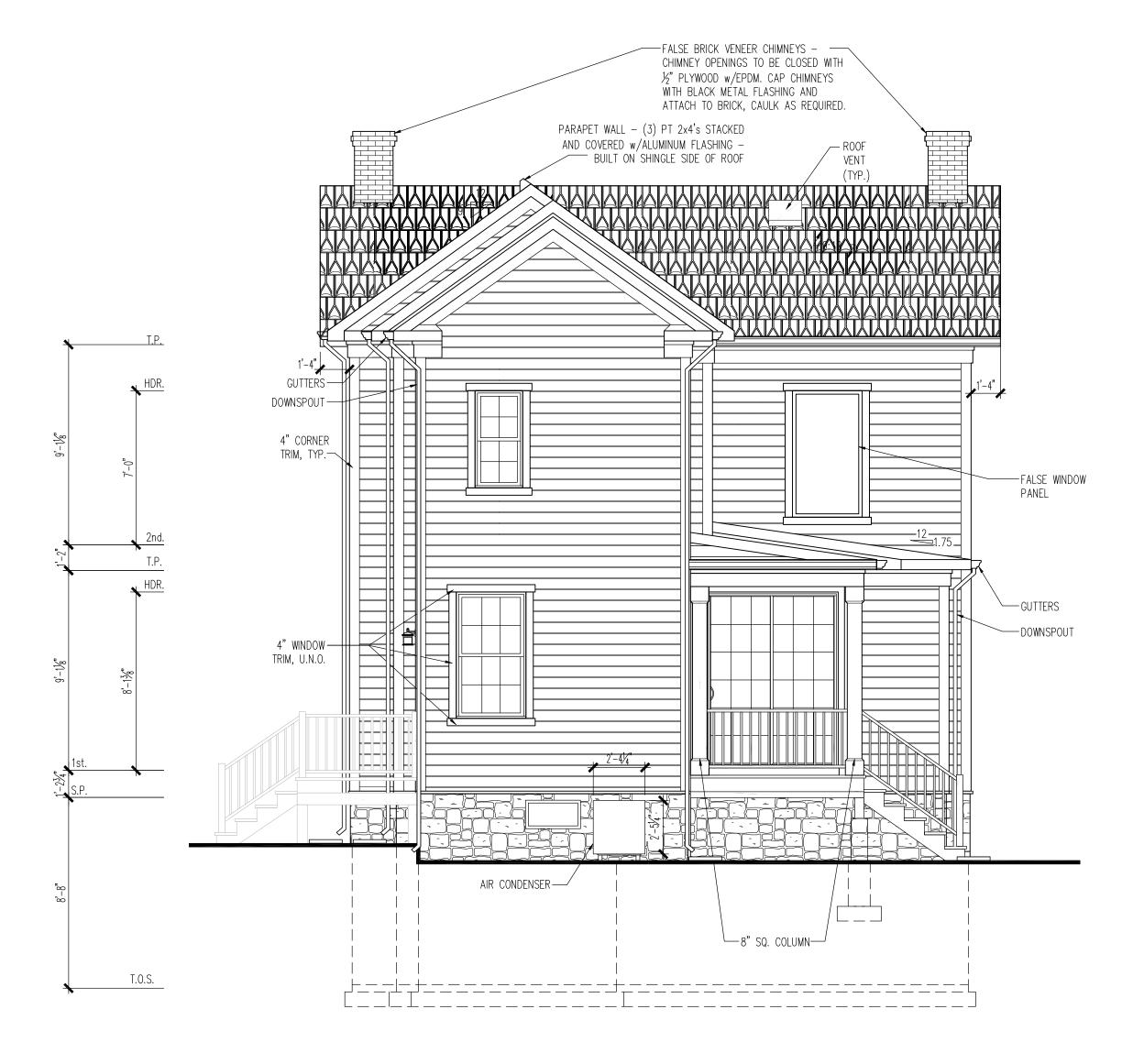
APPROVED Montgomery County **Historic Preservation Commission**

GARAGE HANDING

PLAN NAME CEPHAS NPC PLAN NUMBER **2818.600.00**

LAWSON PLAN ID

A4.4



REAR ELEVATION

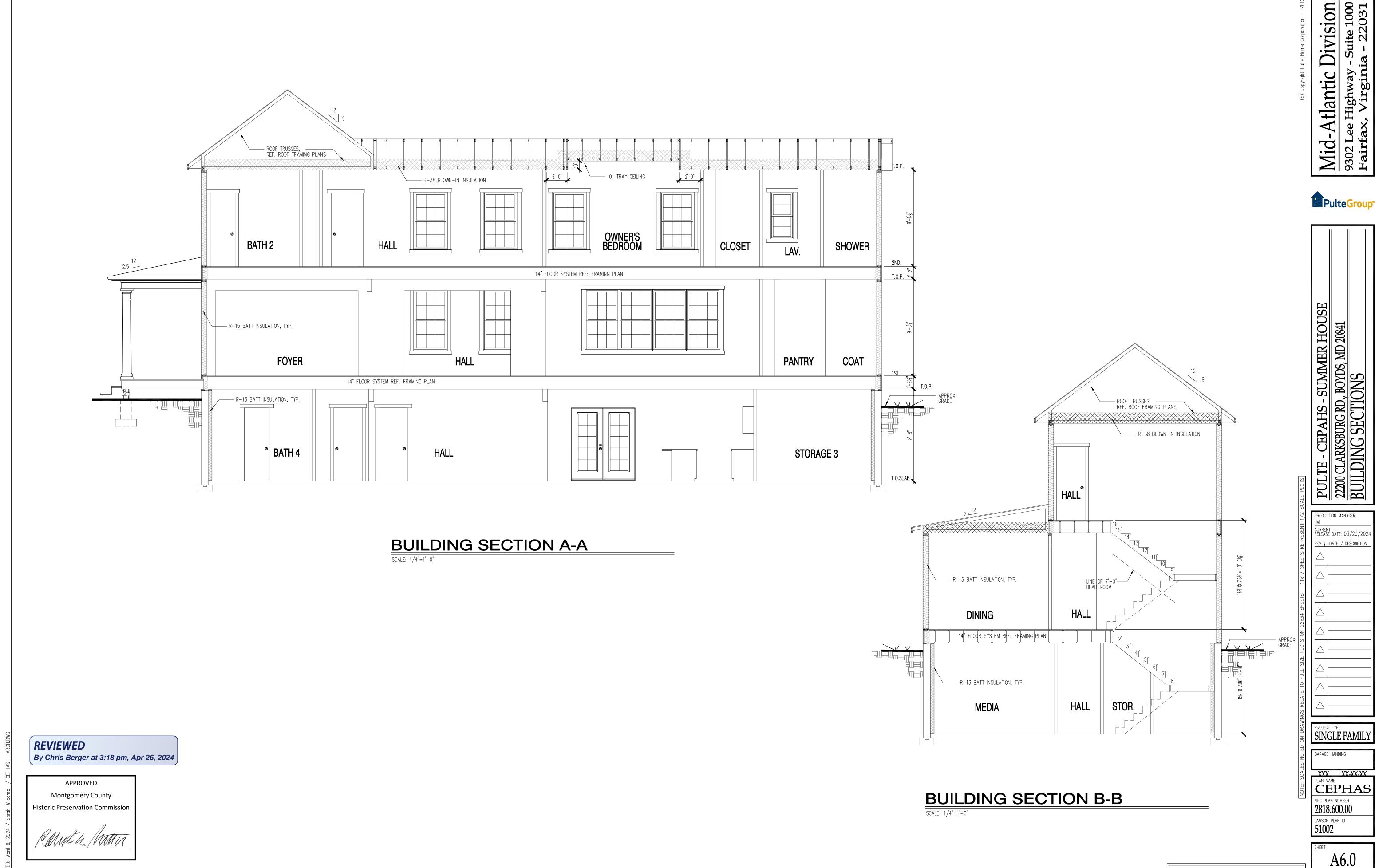
SCALE: 1/4" = 1'-0"

REVIEWED

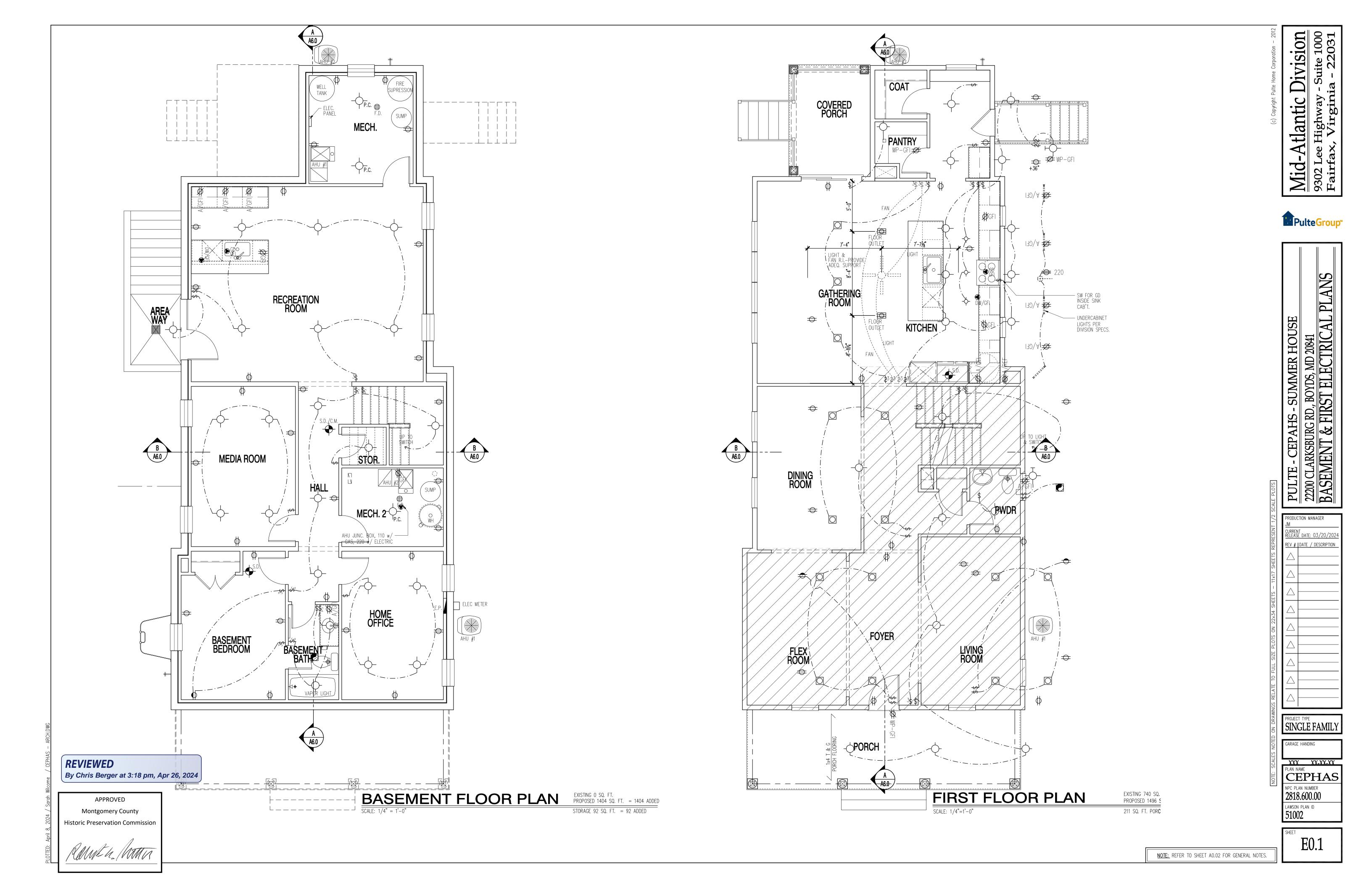
By Chris Berger at 3:18 pm, Apr 26, 2024

APPROVED

Montgomery County **Historic Preservation Commission**



NOTE: REFER TO SHEET A0.02 FOR GENERAL NOTES.



SCALE: 1/4"=1'-0"

Mid-Atlantic Division 9302 Lee Highway - Suite 1000 Fairfax, Virginia - 22031

PULTE - CEPAHS - SUMMER HOUSE
22200 CLARKSBURG RD., BOYDS, MD 20841
SECOND FLOOR ELECTRICAL PLAN

PRODUCTION MANAGER CURRENT RELEASE DATE: 03/20/202

PROJECT TYPE
SINGLE FAMILY

GARAGE HANDING PLAN NAME
CEPHAS

NPC PLAN NUMBER **2818.600.00**

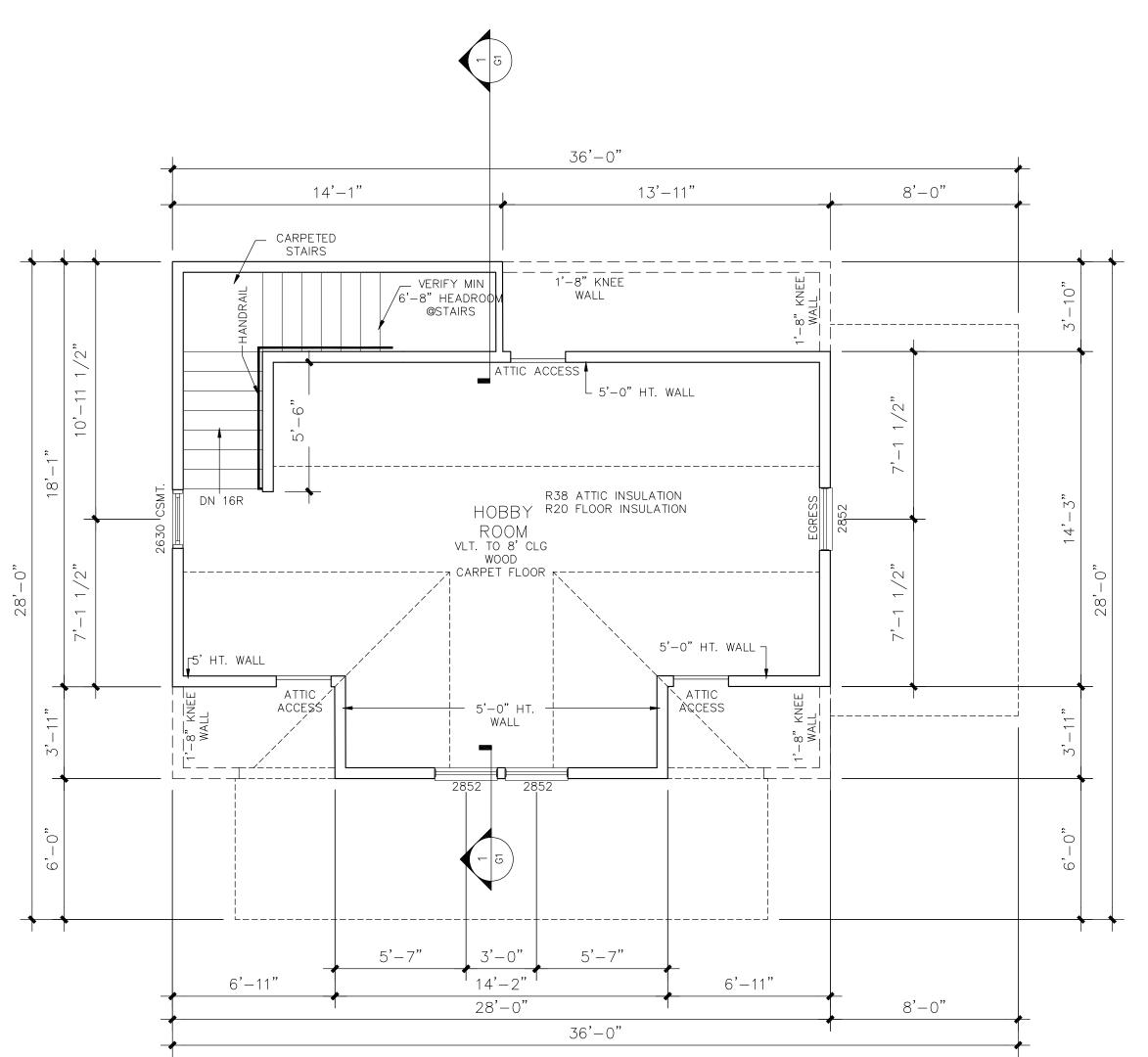
E1.1

SINGLE FAMILY

DETACHED

CEPHAS NPC PLAN NUMBER 2818.600.00 LAWSON PLAN ID

 \cup |



NOTE: WINDOW MFG. TO VERIFY EGRESS WINDOWS AND HARDWARE SECOND FLOOR DIMENSION PLAN AS PER LOCAL CODES

SCALE: 1/4"=1'-0"

FIRST FLOOR DIMENSION PLAN

22'-8"

SCALE: 1/4"=1'-0"

8070 GARAGE DOOR

36'-0"

6'-4"

_BEAM FLUSH w/CLG. -DESIGNED BY OTHER

36'-0"

CONC. PAD

9'-0"

13'-10 1/2" α

2828 CSMT.

8'-0"

8'-0"

CART

SEALED CONC. SLOPED CLG.

6070 GARAGE DOOR \

4'-0"

1. VERIFY MINIMUM FINISHED FLOOR ELEVATION

LINE WITH LOCAL BUILDING INSPECTOR.

WITH LOCAL BUILDING INSPECTOR.

HARDWARE AS PER LOCAL CODES

2. VERIFY MINIMUM FOOTING DEPTH BELOW FROST

3. VERIFY HIGH WIND RESISTANCE REQUIREMENTS

4. WINDOW MFG. TO VERIFY EGRESS WINDOWS AND

5. COORDINATE CENTRAL VACUUM REQUIREMENTS &

8. COORDINATE LANDSCAPE LIGHTING REQUIREMENTS

6. COORDINATE SOUND SYSTEM REQUIREMENTS

7. COORDINATE TELECOMMUNICATION SYSTEM

WITH LOCAL CODES.

LOCATION W/OWNER.

REQUIREMENTS W/OWNER.

W/OWNER.

AND W/OWNER.

4'-0"

10'-8"

(2) 2'x2' PAVER STONES

28'-0"

REVIEWED By Chris Berger at 3:18 pm, Apr 26, 2024

APPROVED Montgomery County **Historic Preservation Commission**

HOBBY ROOM ENTRY UP 16R $\begin{pmatrix} 4 \\ G3 \end{pmatrix}$ 20 MIN. DOOR INSULATED w/WEATHER-STRIPPING

VERIFY WINDOW — CLEARANCE STAIR LANDING 2828 CSMT. TEMP. 2828 CSMT.

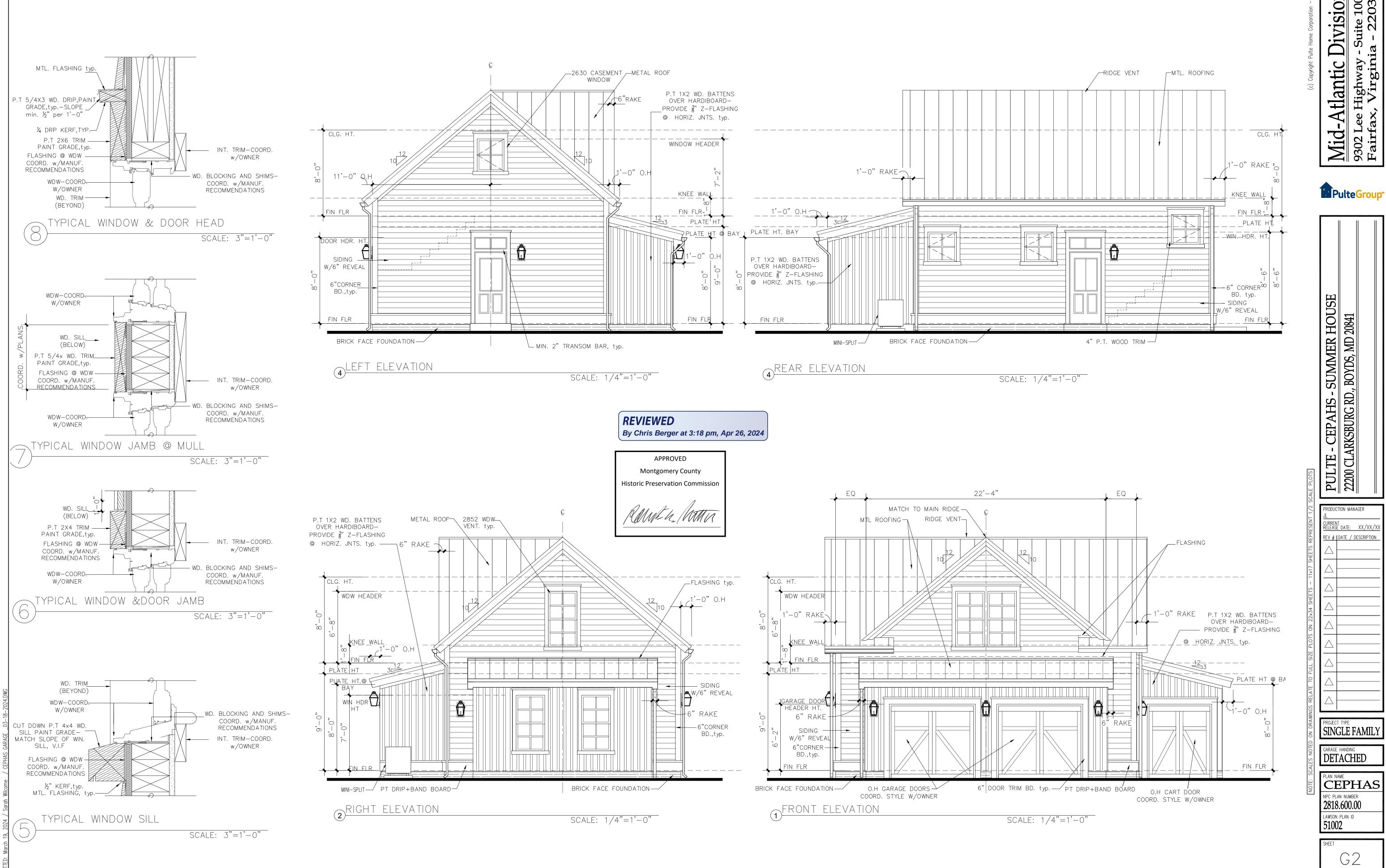
10'-1 1/2"

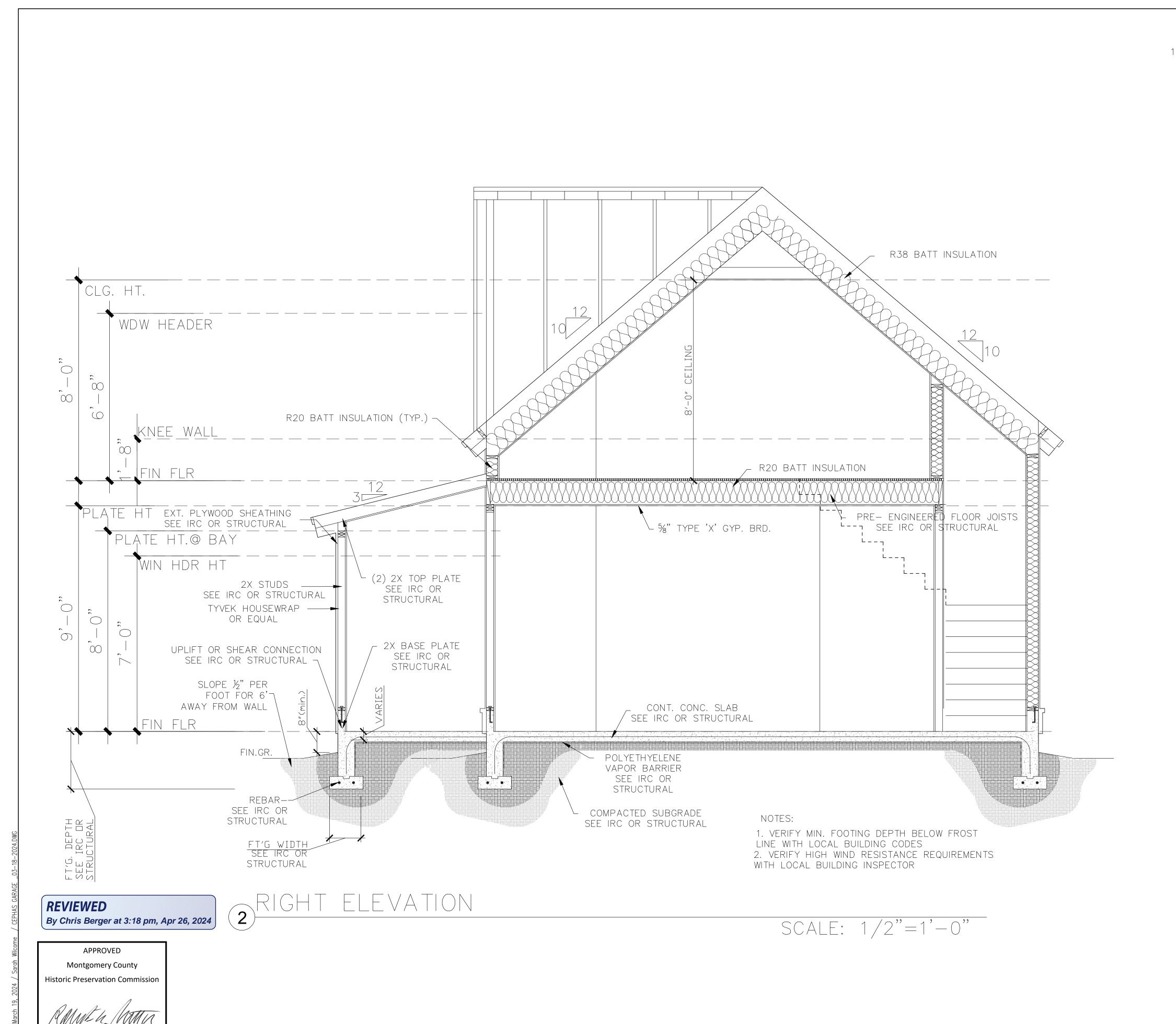
GARAGE sealed conc. 9'-0" clg.

CLG. TO SLOPE FROM

8070 GARAGE DOOR CONC. APRON \<u> </u>ADJUST T

SITE CONDITIONS 6'-4"





36'-0"

RAKE

10:12

RIDGE VENT

10:12

10:12

RIDGE VENT

RAKE

10:12

RAKE

10:12

RAKE

10:12

RAKE

10:12

RAKE

10:12

RAKE

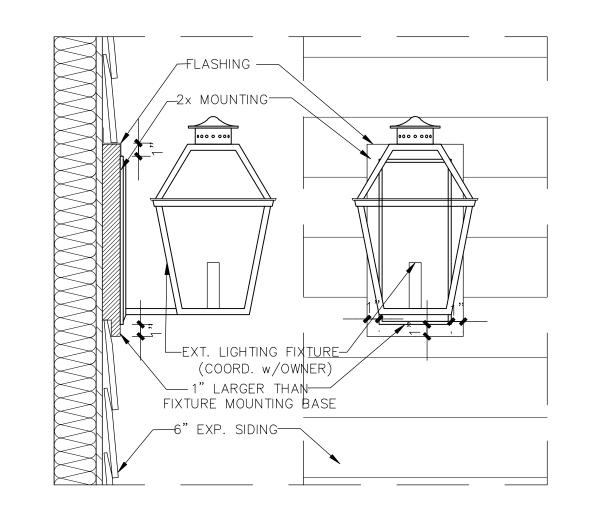
10:12

RAKE

NOOI FLA

* NOTE: SCALE: 1/8"=1'-0"

- 1. ALL PENETRATIONS TO BE LOCATED AS INCONSPICUOUSLY AS POSSIBLE, @ REAR OR SIDES OF HOUSE AS POSSIBLE
- 2. ROOF PENETRATIONS NEED TO BE KEPT TO A MINIMUM, (COMBINED WHEN POSSIBLE).
- 3. ALL ROOF/WALL PENETRATIONS TO BE PAINTED TO MATCH ROOF COLOR
- 4. TWO (2) LAYERS UNDERLAYMENT REQUIRED WHEN 4:12 ROOF PITCH OR LOWER
- 5. METAL ROOF SEAMS NOT TO EXCEED 16" O.C
- 6. METAL ROOF SEAMS TO BE 1 $\frac{1}{2}$ " TO 1 $\frac{3}{4}$ " IN HEIGHT



2 EXTERIOR LIGHTING MOUNT DETAIL

- * NOTE:

 1. VERIFY MINIMUM FINISHED FLOOR ELEVATION WITH LOCAL CODES.
- 2. VERIFY MINIMUM FOOTING DEPTH BELOW FROST LINE WITH LOCAL BUILDING INSPECTOR.
- 3. VERIFY HIGH WIND RESISTANCE REQUIREMENTS WITH LOCAL BUILDING INSPECTOR.
- 4. VERIFY DBL. JST. LOCATIONS WITH ENG. FLR. SYSTEM DESIGN

Mid-Atlantic Divisio 9302 Lee Highway - Suite 100 Fairfax, Virginia - 2203

PulteGroup

PULTE - CEPAHS - SUMMER HOUSE
22200 CLARKSBURG RD., BOYDS, MD 20841

PROJECT TYPE
SINGLE FAMILY

GARAGE HANDING
DETACHED

CEPHAS

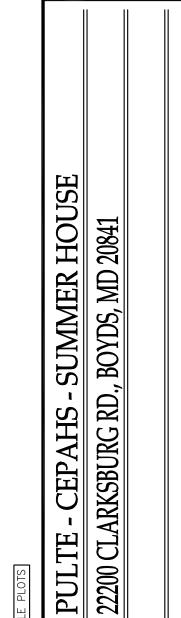
NPC PLAN NUMBER

2818.600.00

LAWSON PLAN ID

51002

SHEET G 3



PROJECT TYPE
SINGLE FAMILY

GARAGE HANDING DETACHED

CEPHAS NPC PLAN NUMBER 2818.600.00 LAWSON PLAN ID

GE1

SWITCH TO BELOW ------FLOOR
MOUNTED
MINI-SPLIT HOBBY ROOM

MINI-SPLIT COMPRESSOR Pwp/gfi WP/GFI WP/GFI x 4' FLOUR. FLX. GARAGE ₩P/GFI HCLG. MTD. WP/GFI

SECOND FLOOR ELECTRICAL LAYOUT SCALE: 1/4"=1'-0"

FIRST FLOOR ELECTRICAL LAYOUT SCALE: 1/4"=1'-0"

REVIEWED By Chris Berger at 3:18 pm, Apr 26, 2024

SINGLE POLE SWITCH

→ THREE WAY SWITCH

€ FOUR WAY SWITCH

SPEED CONTROL

DUPLEX OUTLET

½ HOT OUTLET

WP WATER PROOF OUTLET GF GROUND FAULT OUTLET

> THERMOSTAT TELEVISION JACK

FLUORSCENT FIXTURE

O RECESSED FIXTURE HO WALL MOUNTED FIXTURE

FLOOD LIGHT

CEILING FAN

▼▼▼ STRIP LIGHTING

B DOOR CHIME

ELECTRICAL PANEL S SMOKE DETECTOR

CO CARBON MONOXIDE DETECTOR

VENT V/L VENT W/LIGHT

QUADRUPLEX OUTLET SPECIALTY OUTLET FLOOR OUTLET TELEPHONE JACK

APPROVED Montgomery County



APPLICATION FOR HISTORIC AREA WORK PERMIT HISTORIC PRESERVATION COMMISSION 301.563.3400

HAWP#__ DATE ASSIGNED____

FOR STAFF ONLY:

APPLICANT:

Name:	E-ma	il:				
Address:	City:		Zip:			
Daytime Phone:	Tax A					
AGEN APPROVED						
Montgomery County						
Name Historic Preservation Commission	E-ma	il:				
Addre	City:		Zip:			
Dayti Ramala Man	Contr	ractor Registration	on No.:			
LOCA	P # of Historic Prop	erty				
Is the Property of REVIEWED Is there a By Chris Berger at 3:14 pm map of the casement, and documentation Are other Planning and/or Hearing Exam (Conditional Use, Variance, Record Plat, esupplemental information.	ind Mar 21, 2024 al E In from the Easemen iner Approvals /Revietc.?) If YES, include	ividual Site Nam asement on the l it Holder support ews Required as information on th	e Property? If YES, include a ing this application. part of this Application? hese reviews as			
Building Number:	Street:					
Town/City:	_ Nearest Cross Stre	et:				
Lot: Block:	Subdivision:	Parcel:				
Addition Fen	h this application. apply: ck/Porch ace rdscape/Landscape	Incomplete App Shed/G Solar Tree rer Window	plications will not darage/Accessory Structure moval/planting			
I hereby certify that I have the authority	_	•				
and accurate and that the construction	will comply with plan	s reviewed and a	approved by all necessary			

By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED

Montgomery County

Historic Preservation Commission

Rameta Mann

HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFING [Owner, Owner's Agent, Adjacent and Confronting Property Owners]				
Owner's mailing address	Owner's Agent's mailing address			
Adjacent and confron	ting Property Owners mailing addresses			

iption of Property: Please describe the building and surrounding cape features, or other significant features of the property:	environment. Include information on significant struct
iption of Work Proposed: Please give an overview of the work to	be undertaken:
iption of Work Proposed: Please give an overview of the work to	be undertaken:
iption of Work Proposed: Please give an overview of the work to	
	APPROVED Montgomery County
REVIEWED	APPROVED
	APPROVED Montgomery County Historic Preservation Commission
REVIEWED	APPROVED Montgomery County
REVIEWED	APPROVED Montgomery County Historic Preservation Commission
REVIEWED	APPROVED Montgomery County Historic Preservation Commission
REVIEWED	APPROVED Montgomery County Historic Preservation Commission

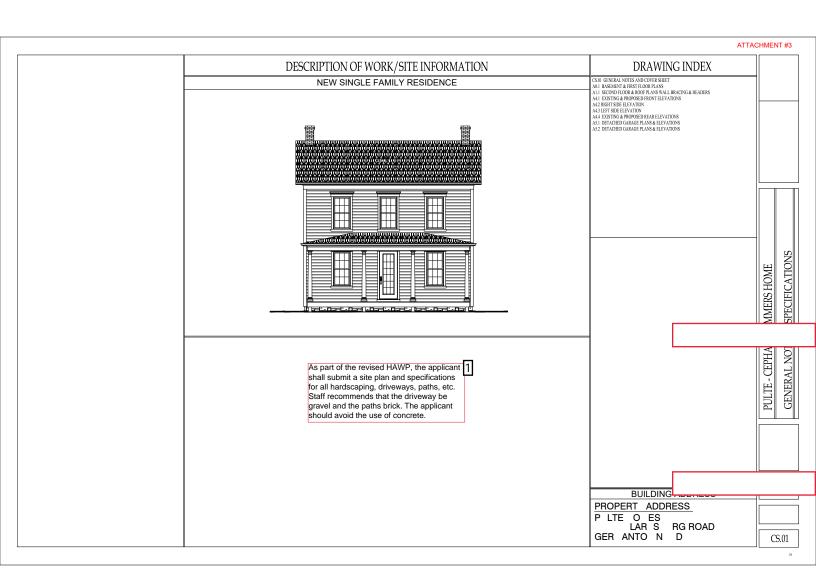
Work Item	1:		
Description o	of Current Condition:	Proposed Work	C:
Work Item	2:	-	
Description o	REVIEWED By Chris Berger at 3:14 pm, Ma	Proposed Work r 21, 2024	APPROVED Montgomery County Historic Preservation Commission
Work Item	3:		
Description (of Current Condition:	Proposed Work	C

By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED **Montgomery County Historic Preservation Commission**

CHECK APPLICATION I

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*



By Chris Berger at 3:14 pm, Mar 21, 2024

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Historic Preservation Commission

Rame h. homes

Staff's Comments for Cephas Summers (House)

Page: 1

Number: 1

Author: John.Liebertz

Subject: Text Box Date: 12/5/2023 8:06:47 AM

As part of the revised HAWP, the applicant shall submit a site plan and specifications for all hardscaping, driveways, paths, etc. Staff recommends that the driveway be gravel and the paths brick. The applicant should avoid the use of concrete.

REVIEWED

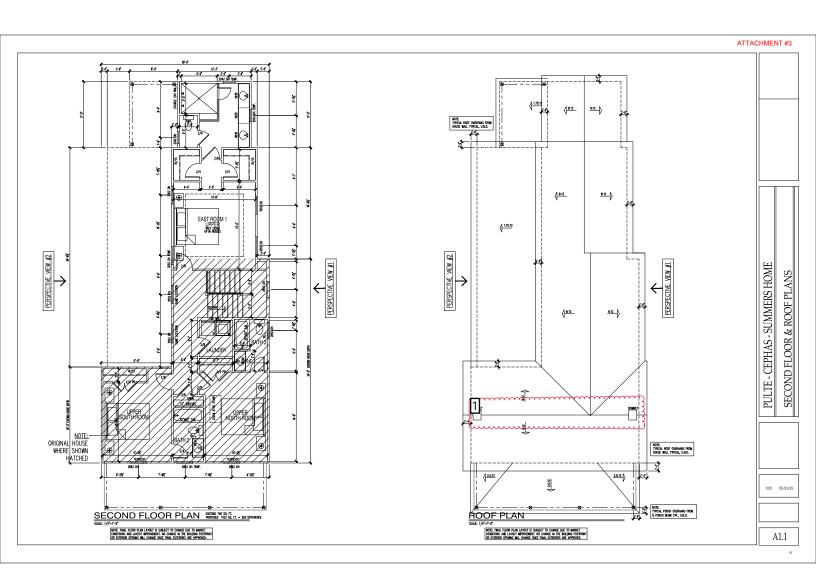
By Chris Berger at 3:14 pm, Mar 21, 2024

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Montgomery County

Historic Preservation Commission

amth. W



By Chris Berger at 3:14 pm, Mar 21, 2024

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Rame h. homen

Number: 1

Author: John.Liebertz

Subject: Polygon Date: 12/5/2023 8:06:55 AM

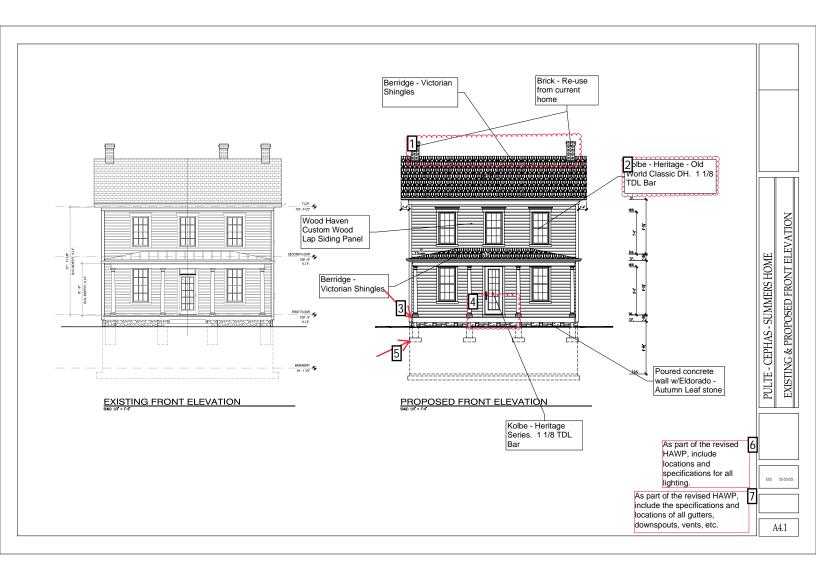
As part of the revised HAWP, the applicant will submit documentation (drawing/photographs) for the relocation of the rebuilt chimneys. Please include the distance from the rake/edge of the roof to the chimney. Include a written narrative that outlines the structural reasons for their current position.

REVIEWED

By Chris Berger at 3:14 pm, Mar 21, 2024

APPROVED

Montgomery County



By Chris Berger at 3:14 pm, Mar 21, 2024

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Ramkh./mm

Page: 3

Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:07:00 AM Number: 1 As part of the revised HAWP, the applicant will submit documentation (drawing/photographs) for the relocation of the rebuilt chimneys. Please include the distance from the rake/edge of the roof to the chimney. Include a written narrative that outlines the structural reasons for their current position. Subject: Polygon Date: 12/5/2023 8:07:13 AM Number: 2 Author: John.Liebertz As part of the revised HAWP, the applicant will submit revised specifications and photographs that show the 1 3/4" muntin width of the installed window. Number: 3 Author: John.Liebertz Subject: Line Date: 12/5/2023 8:07:17 AM The applicant will remove the installed TREX and install wood, tongue-and-groove, porch flooring. The floor should run perpendicular to the house. Number: 4 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:07:22 AM As part of the revised HAWP, the applicant will submit revised drawings that show the design and specifications of the porch including all balustrades, railings, stair (including material of treads/risers), and posts at the stair landing. Staff recommends that the stair rail attaches directly to the existing columns. All profiles should be simple. Author: John.Liebertz Subject: Line Date: 12/5/2023 8:07:26 AM As part of the revised HAWP, the applicant will submit revised drawings that show the final grade, height of the porch floor, and pier foundation/posts. Staff recommends that the pier foundation/posts be clad with stone. Please include a written narrative about the final grade (code compliance, etc.). Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:07:31 AM Number: 6 As part of the revised HAWP, include locations and specifications for all lighting. Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:07:44 AM Number: 7 As part of the revised HAWP, include the specifications and locations of all gutters, downspouts, vents, etc.

REVIEWED

By Chris Berger at 3:14 pm, Mar 21, 2024

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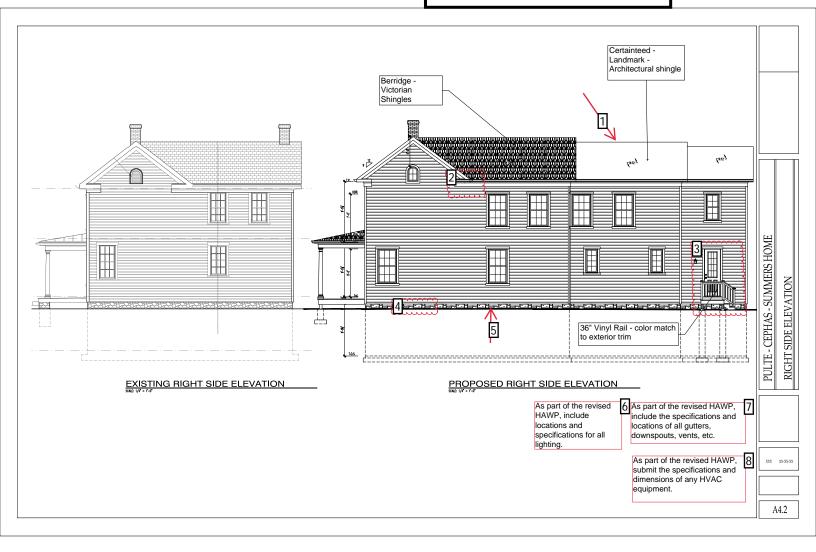
Ramath. /1

By Chris Berger at 3:14 pm, Mar 21, 2024

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Page: 4

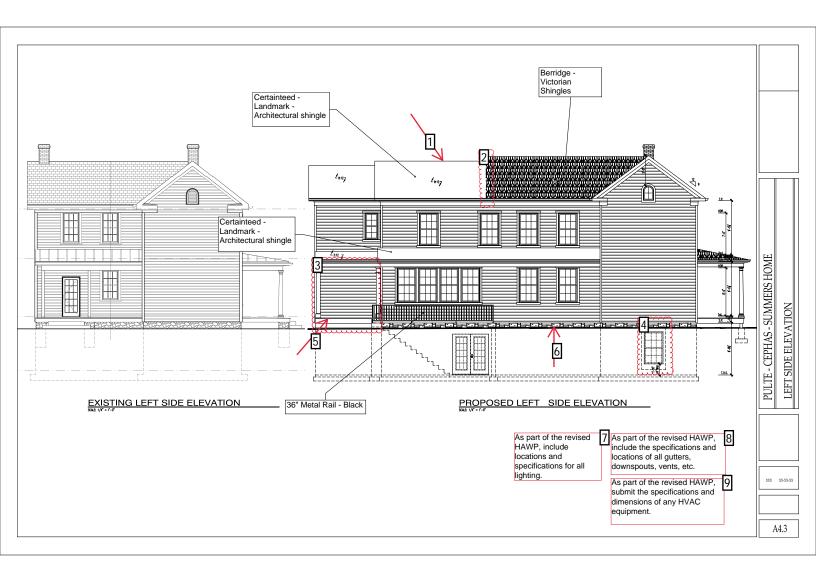
Number: 1	Author: John.Liebertz	Subject: Line	Date: 12/5/2023 8:07:55 AM
As part of the	revised HAWP, includ	e specifications	s and locations of all ridge vents.
Number: 2			Date: 12/5/2023 8:08:00 AM
•			on (photographs) that show the as-built condition of the
	If known, include a na	rrative that exp	lains the discrepancy between approved and as-built
condition.			
Number: 3	Author: John.Liebertz	Subject: Polygon	Date: 12/5/2023 8:08:04 AM
As part of the	revised HAWP, submi	t revised drawi	ngs that show the proposed change to the orientation
of the stair.			
Number: 4	Author: John.Liebertz	Subject: Polygon	Date: 12/5/2023 8:08:09 AM
As part of the			wing/specification that shows the transition between
•	neer foundation and si		5. Proceedings
		O .	
Number: 5	Author: John.Liebertz		
As part of the	revised HAWP, includ	e the location a	and specifications for all foundation-level windows.
Number: 6	Author: John.Liebertz	Subject: Text Box	Date: 12/5/2023 8:08:21 AM
As part of the	e revised HAWP, inc	lude locations	and specifications for all lighting.
Number: 7	Author: John.Liebertz	Subject: Text Box	Date: 12/5/2023 8:08:25 AM
		•	fications and locations of all gutters, downspouts,
vents, etc.	C 10 113 CG 1 17 (VVI , 1110	idde the speen	modification and toodiffication of all gatters, downspouts,
·			
Number: 8	Author: John.Liebertz		Date: 12/5/2023 8:08:30 AM
As part of the	e revised HAWP, sub	omit the specif	ications and dimensions of any HVAC equipment.

REVIEWED

By Chris Berger at 3:14 pm, Mar 21, 2024

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Montgomery County



By Chris Berger at 3:14 pm, Mar 21, 2024



Montgomery County REVIEWED **Historic Preservation Commission** By Chris Berger at 3:14 pm, Mar 21, 2024 As part of the revised HAWP, include specifications an Camela W Number: 2 Author: John.Liebertz Subject: Polygon As part of the revised HAWP, submit specifications/dra the stamped tin and asphalt shingle roofs. Number: 3 Subject: Polygon Date: 12/5/2023 8:08:46 AM Author: John.Liebertz As part of the revised HAWP, the applicant will submit revised drawings that show the design and specifications of the rear porch including all balustrades, railings, stair (including material of treads/risers), posts at the stair landing, and treatment of the pier foundations/posts. Staff recommends that all profiles should be simple. Number: 4 Author: John.Liebertz Subject: Polygon Date: 12/5/2023 8:09:35 AM As part of the revised HAWP, the applicant will submit drawings/specifications for the window well. Number: 5 Author: John.Liebertz Subject: Line Date: 12/5/2023 8:09:40 AM The applicant will remove the installed TREX and install wood, tongue-and-groove, porch flooring. The floor should run perpendicular to the house. Author: John.Liebertz Date: 12/5/2023 8:09:44 AM Subject: Line As part of the revised HAWP, the applicant shall submit the location and specifications for all foundationlevel windows.

Subject: Text Box Date: 12/5/2023 8:09:48 AM

Subject: Text Box Date: 12/5/2023 8:09:52 AM

Subject: Text Box Date: 12/5/2023 8:09:58 AM

As part of the revised HAWP, include the specifications and locations of all gutters, downspouts,

As part of the revised HAWP, submit the specifications and dimensions of any HVAC equipment.

As part of the revised HAWP, include locations and specifications for all lighting.

Author: John.Liebertz

Author: John.Liebertz

Author: John.Liebertz

Number: 7

vents, etc.

Number: 9

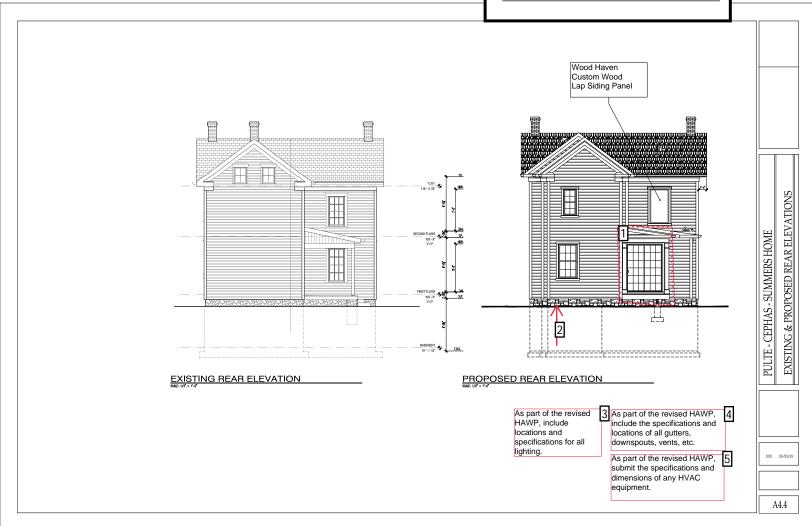
APPROVED

By Chris Berger at 3:14 pm, Mar 21, 2024

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Page: 6

Number: 1	Author: John.Liebertz		Date: 12/5/2023 8:10:11 AM
For staff comments on rear porch, see Sheet A4.3.			
Number: 2 As part of the	Author: John Liebertz revised HAWP, the ap	Subject: Line plicant shall su	Date: 12/5/2023 8:10:15 AM bmit the location and specifications for all foundation-
level windows.			
Number: 3	Author: John.Liebertz	Subject: Text Box	Date: 12/5/2023 8:10:19 AM
Number: 3 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:10:19 AM As part of the revised HAWP, include locations and specifications for all lighting.			
Number: 4	Author: John.Liebertz	Subject: Text Box	Date: 12/5/2023 8:10:23 AM
Number: 4 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:10:23 AM As part of the revised HAWP, include the specifications and locations of all gutters, downspouts,			
vents, etc.			
Number: 5	Author: John.Liebertz	Subject: Text Box	Date: 12/5/2023 8:10:29 AM
Number: 5 Author: John.Liebertz Subject: Text Box Date: 12/5/2023 8:10:29 AM As part of the revised HAWP, submit the specifications and dimensions of any HVAC equipment.			

REVIEWED

By Chris Berger at 3:14 pm, Mar 21, 2024

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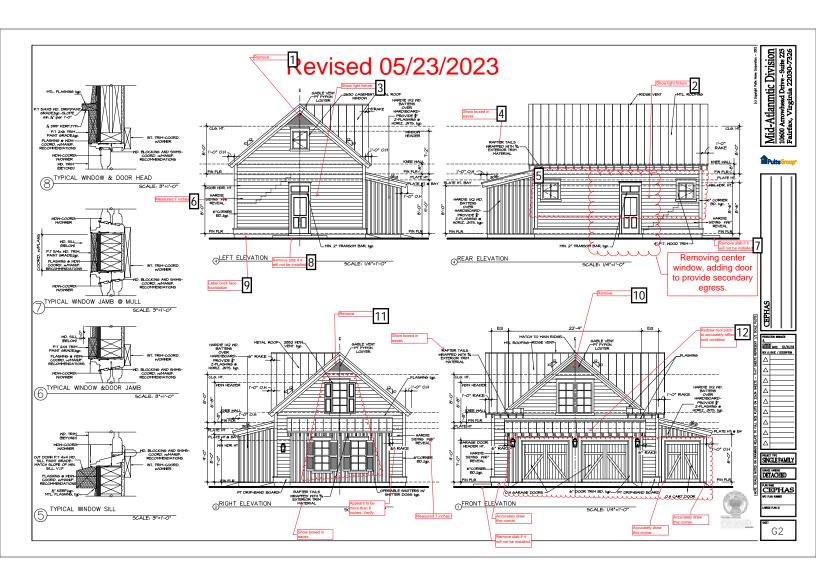
Montgomery County

By Chris Berger at 3:14 pm, Mar 21, 2024

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APPROVED REVIEWED ments for **Montgomery County Historic Preservation Commission** By Chris Berger at 3:14 pm, Mar 21, 2024 Author: Christopher.Berger Subject: Callout Number: 1 amen/m As part of the revised HAWP, remove the upper ga lude photographs of as-built conditions. Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:01:41 AM As part of the revised HAWP, show the location and specifications for all light fixtures. Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:01:46 AM As part of the revised HAWP, show the location and specifications for all light fixtures. Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:01:53 AM Number: 4 As part of the revised HAWP, amend the drawing/notes to show boxed-in eaves. Number: 5 Author: Christopher.Berger Subject: Polygon Date: 12/5/2023 8:02:03 AM As part of the revised HAWP, accurately show all 3 windows on the rear elevation. Number: 6 Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:19 AM As part of the revised HAWP, submit an amendment for the siding (7" exposure instead of 6" exposure). Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:24 AM As part of the revised HAWP, remove the slab if it will not be installed. Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:31 AM Number: 8 As part of the revised HAWP, remove the slab if it will not be installed. Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:41 AM As part of the revised HAWP, label and submit specifications for the brick veneer on the foundation. Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:46 AM Number: 10 As part of the revised HAWP, remove the upper gable end vents from all locations. Include photographs of as-built conditions. Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:53 AM As part of the revised HAWP, remove the upper gable end vents from all locations. Include photographs of as-built conditions. Author: Christopher.Berger Subject: Callout Date: 12/5/2023 8:02:57 AM Number: 12

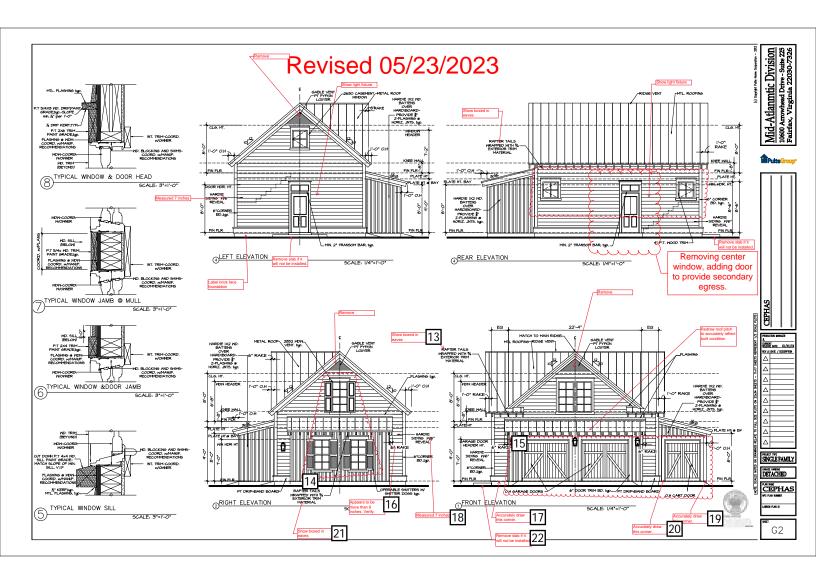
As part of the revised HAWP, amend the roof to reflect the as-built condition (if needed).

By Chris Berger at 3:14 pm, Mar 21, 2024

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				Date: 12/5/2023 8:03:02 AM
	As part of the	revised HAWP, ame	end the drawir	ng/notes to show boxed-in eaves.
C	Staff recomme	ends that the applican	t omit all shutt	Date: 12/5/2023 8:03:06 AM ers on the right elevation. Of note, the approved plans efore, if installed, the shutters should not be bolted to
C	Number: 15	Author: Christopher.Berger revised HAWP, change	Subject: Polygon e the design of	Date: 12/5/2023 8:03:12 AM the door to the as-built/approved door or add a note.
	Number: 16	Author: Christopher.Berger	Subject: Callout	Date: 12/5/2023 8:03:16 AM
	As part of the	revised HAWP, field	verify and ar	nend the dimensions of the rake (if needed).
			•	Date: 12/5/2023 8:03:22 AM
	As part of the	revised HAWP, ame	end the elevat	ions to reflect the as-built condition.
		Author: Christopher.Berger		
	As part of the exposure).	revised HAWP, sub	mit an amend	ment for the siding (7" exposure instead of 6"
	Number: 19	Author: Christopher.Berger	Subject: Callout	Date: 12/5/2023 8:03:30 AM
	As part of the	revised HAWP, ame	end the elevat	ions to reflect the as-built condition.
				Date: 12/5/2023 8:03:34 AM
	As part of the	revised HAWP, ame	end the elevat	ions to reflect the as-built condition.
				Date: 12/5/2023 8:03:38 AM
	As part of the	revised HAWP, ame	end the drawir	ng to show boxed-in eaves.
	Number: 22	Author: Christopher.Berger	Subject: Callout	Date: 12/5/2023 8:03:43 AM

By Chris Berger at 3:14 pm, Mar 21, 2024

As part of the revised HAWP, remove the slab if it will not be installed.

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Ramak h. M

By Chris Berger at 3:14 pm, Mar 21, 2024

Page 1/CS.01

 Refer to Exhibit 1 - Resite/Lot Grading Plan for etc. Refer to Exhibit 2 for pavers and gravel dri

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s, paths

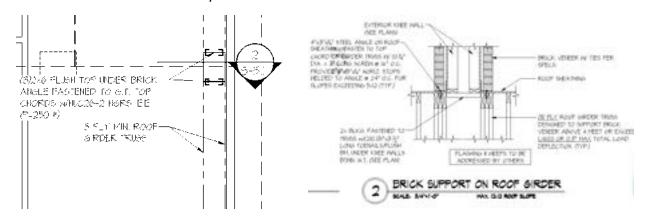
Page 2/A1.1

1. Refer to the photographs below detailing the location for the rebuilt chimneys. They are located 12" from the edge of the roof. In order to provide structural support for the chimneys, steel angles lintels were required. These loads associated were transferred down to the roof girder trusses below.

Facing the house this is the left side. Facing the house this is the right side.



Structural details for the chimney's:



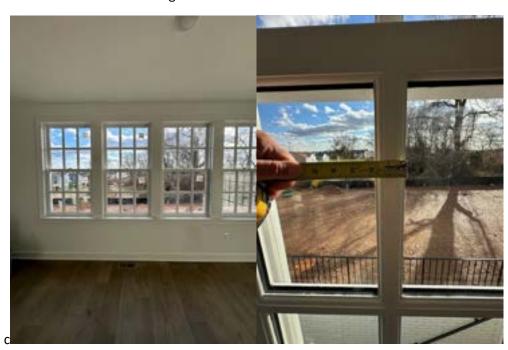
By Chris Berger at 3:14 pm, Mar 21, 2024

- 1. Chimney's addressed above.
- 2. Photos below detail the 1 ¾" muntin width of updated window specifications.

The trex decking flooring will be removed. It w wood. The floor will run pedicular to the house as detailed on the revised drawings. Refer to Exhibit 2 for specifications.

- 4. At this time balustrades and railings will not be required on the front porch.
- 5. The final grade, height of the porch floor and pier/foundation posts can be found on the Resite/Lot Grading Plan and updated drawings. The pier/foundation posts will be clad with the same stone as approved on the foundation.
- 6. Lighting locations can be found on the updated drawings. Specifications for the light are detailed in Exhibit 2.
- 7. The locations of the gutters, downspouts and vents have been added to the updated drawings. Specifications can be found in Exhibit 2.

Photos of Windows Detailing 1 ¾" Muntins



Page 4/A4.2

- 1. The location of all box vents are shown on the updated drawings. Specifications for the box vents can be found in Exhibit 2.
- 2. The roof/cornice as-built condition is a result of the two different roof overhang dimensions (1'-4" and 1"-0"). Photos are below.

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By Chris Berger at 3:14 pm, Mar 21, 2024

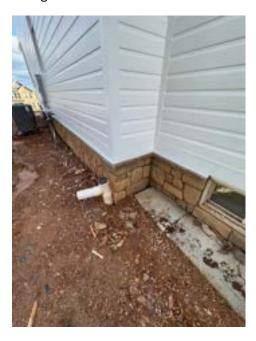
drawings and the Resite/Lot Grading Plan.

- 4. The stone veneer to siding detail has been upd below. This cap was required for the installation
- 5. The location of all basement/foundation level drawings. The window specifications can be found in Exhibit
- 6. Lighting locations can be found on the updated drawings. Specifications for the light are detailed in Exhibit 2.
- 7. The locations of the gutters, downspouts and vents have been added to the updated drawings. Specifications can be found in Exhibit 2.
- 8. The HVAC condensers have located on the updated drawings.

Roof/Cornice As-Built Condition



Siding to Stone Transition







Montgomery County

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ted

pictures

By Chris Berger at 3:14 pm, Mar 21, 2024

- 1. The location of all box vents are shown on the vents can be found in Exhibit 2.
- 2. The curb/parapet that was required for the tra the updated drawings.

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ridge

ailed on

- 3. The updated drawings show the design of the rear porch balustrades, railings, and stair. Balustrade and railing specifications can be found in Exhibit 2.
- 4. The window well specifications can be found in Exhibit 2.
- 5. The trex decking flooring will be removed. It will be replaced with 1"x 4" tongue and groove wood. The floor will run pedicular to the house as detailed on the revised drawings. Refer to Exhibit 2 for specifications.
- 6. The location of all basement/foundation level windows have been shown on the updated drawings. The window specifications can be found in Exhibit 2.
- 7. Lighting locations can be found on the updated drawings. Specifications for the light are detailed in Exhibit 2.
- 8. The locations of the gutters, downspouts and vents have been added to the updated drawings. Specifications can be found in Exhibit 2.
- 9. The HVAC condensers have located on the updated drawings.

Page 6/A4.4

- 1. Rear porch see above.
- 2. The location of all basement/foundation level windows have been shown on the updated drawings. The window specifications can be found in Exhibit 2.
- 3. Lighting locations can be found on the updated drawings. Specifications for the light are detailed in Exhibit 2.
- 4. The locations of the gutters, downspouts and vents have been added to the updated drawings. Specifications can be found in Exhibit 2.
- 5. The HVAC condensers have located on the updated drawings.

Cephas Garage

Page 1/G2

- 1. All gable vents have been removed. Pictures can be found below.
- 2. Lighting locations can be found on the updated drawings. Specifications for the light are detailed in Exhibit 2.
- 3. Lighting locations can be found on the updated drawings. Specifications for the light are detailed in Exhibit 2.
- 4. The drawings have been updated to show the boxed-in eaves.
- 5. The drawings have been revised to accurately show all three windows on the rear elevation.
- 6. The drawings have been updated to show 7" siding exposure.

- 7. The drawings have been updated to remove the slab at the door.
- 8. The drawings have been updated to remove the slab at the door.
- 9. The drawings have been updated to show the brick stamped foundation.
- 10. All gable vents have been removed. Pictures can be found below.
- 11. All gable vents have been removed. Pictures can be found below.
- 12. The roof has been updated on the drawings to accurately reflect the as built conditions.
- 13. The drawings have been updated to show the boxed-in eaves.
- 14. The shutters will be removed from the right elevation and the drawings have been updated accordingly.
- 15. The design of the door has been updated on the drawings. Please note this was a discrepancy between the drawings and the approved door specifications.
- 16. The drawings have been updated to reflect the dimensions of the rake.
- 17. The drawings have been updated to reflect the as-built condition.
- 18. The drawings have been updated to show 7" siding exposure.
- 19. The drawings have been updated to reflect the as-built condition.
- 20. The drawings have been updated to reflect the as-built condition.
- 21. The drawings have been updated to show the boxed-in eaves.
- 22. The drawings have been updated to remove the slab at the door.

By Chris Berger at 3:14 pm, Mar 21, 2024

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Garage Photos









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By Chris Berger at 3:14 pm, Mar 21, 2024

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Ramth. Man

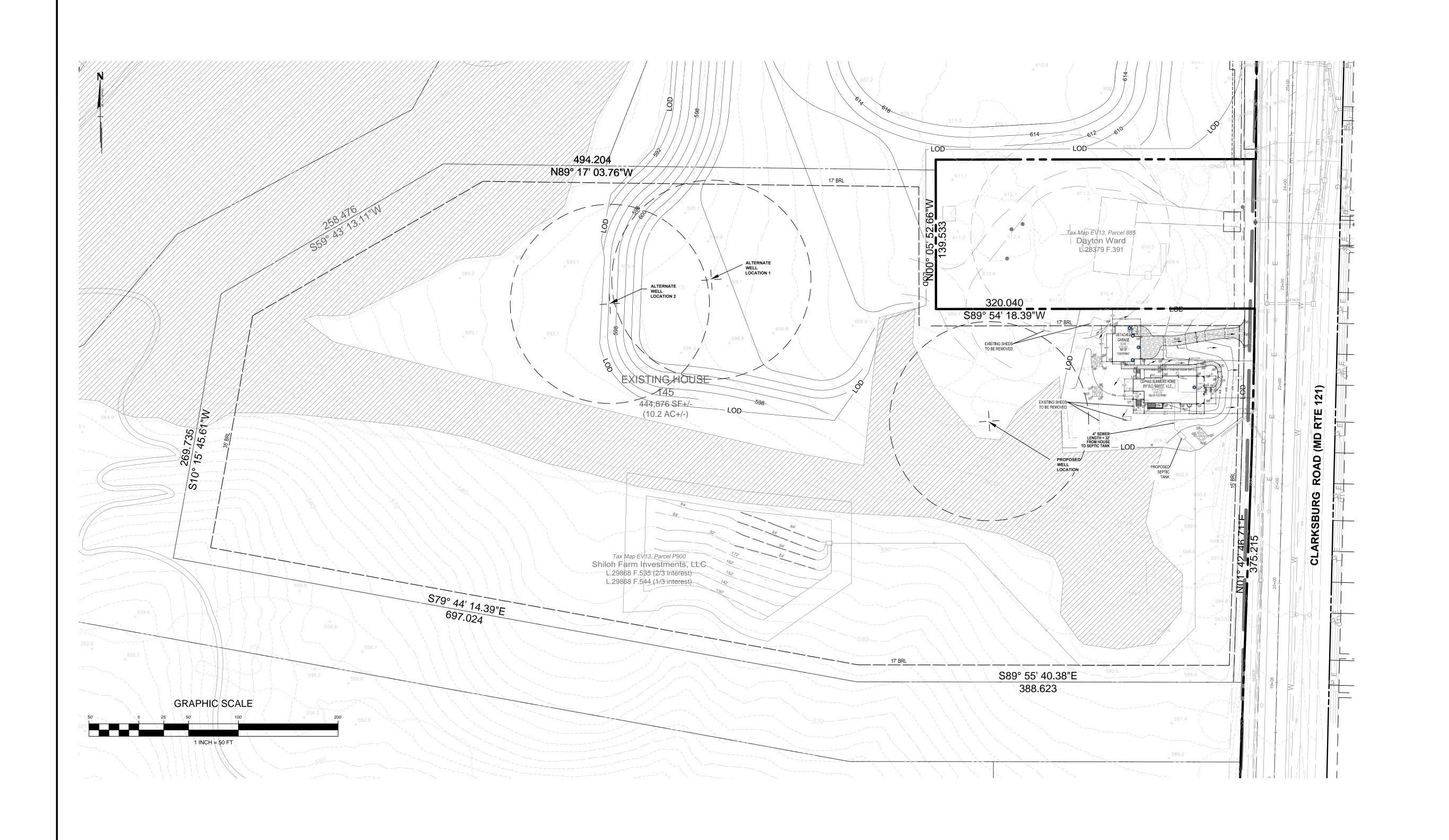
By Chris Berger at 3:14 pm, Mar 21, 2024

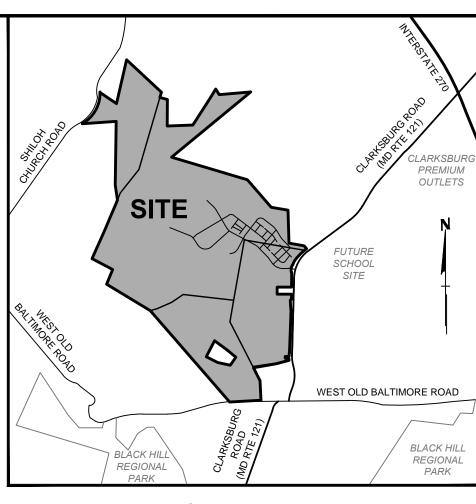
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Historic Preservation Commission

Exhibit 1 – Resite/Lot Grauing Plan





VICINITY MAP

- 1. THE HEIGHT OF THESE BUILDINGS, AS DEFINED BY THE MONTGOMERY COUNTY ZONING ORDINANCE, COMPLIES WITH SITE PLAN NO. 820200160 APPROVED BY THE MONTGOMERY COUNTY PLANNING BOARD WITH A MAXIMUM OF 35 FEET.
- 2. THE CEPHAS SUMMERS AND GARAGE BUILDING HEIGHTS ARE MEASURED FROM THE AVERAGE GRADE TO THE MIDPOINT BETWEEN THE EAVES AND RIDGE OF THE GABLE.
- 3. THE MINIMUM SETBACKS FOR THIS BUILDING, AS DEFINED BY THE MONTGOMERY COUNTY ZONING ORDINANCE:

FRONT ROW 15' FEET REAR 35' FEET SIDE 17' FEET ROW TRUNCATION 0' FEET

THESE SETBACKS COMPLY WITH THE SITE PLAN NO. 820200160, APPROVED BY THE MONTGOMERY COUNTY PLANNING BOARD.

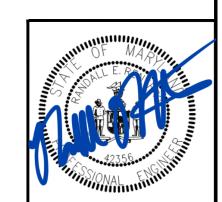
- 4. THE LOT GRADING SHOWN HEREON IS INTENDED FOR THE CONSTRUCTION AND DRAINAGE FOR THE SPECIFIC LOT ONLY. ADJACENT LOT GRADING AND HOUSE LOCATION IS ILLUSTRATIVE AND SUBJECT TO CHANGE WITHOUT NOTICE.
- 5. BUILDING FOOTPRINT SQUARE FOOTAGE (SF)
 PROPOSED CEPHAS SUMMERS HOUSE 885 SF

LEGEND

	PUBLIC STREET RIGHT OF WAY
300 —	EXISTING CONTOURS
	PROPOSED CONTOURS
LOD	LIMITS OF DISTURBANCE
~~~~~~~~~~	EXISTING TREE CANOPY, HEDGEROV
	FOREST PLANT
	PROPOSED STRUCTURE
	EXISTING STRUCTURE
	PROPOSED DRYWELL AND GRAVEL MATERIAL ON DRIVEWAY
_ _	PROPOSED WELL

PROFESSIONAL CERTIFICATION

"I hereby certify that these documents were prepared or approved by me in accordance with the Montgomery County Department of Public Works and Transportation "Storm Drain Design Criteria", dated June 10, 2014, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No.42356, Expiration Date: 12/19/24"



BRICK PAVERS MATERIAL ON

LEAD WALKS

BUILDING EX. START EX. END AVERAGE GRADE (ft) ELEVATION ELEVATION ELEVATION (Ft) ELEV X DIST SIDES RIDG HT (ft) **BUILDING** 16,961/28.00 = 605.50 605.75 605.75 608.00 608.00 608.00 8.00 608.00 *****20.90 608.00 13,783 608.00 608.00 22.67 D 608.00 608.00 608.00 2.67

**BUILDING HEIGHT - AVERAGE GRADE CALCULATIONS** 

*BUILDING HEIGHT MEASURED FROM THE FINISHED FLOOR TO THE MIDPOINT OF ROOF FOR THE SINGLE-FAMILY DETACHED UNIT AND THE DETACHED GARAGE.

REVISION	DATE	REVISION	DATE	DEVELOPER/APPLICANT:
				PULTE HOMES
				9302 LEE HIGHWAY, SUITE 1000
				FAIRFAX, VA 22031
				ATTN: CHRIS SPAHR

FOR LOCATION OF UTILITIES CALL

"MISS UTILITY" AT 1-800-257-7777

OR LOG ON TO

http://www.missutility.net/itic/

48 Hours in Advance of Any Work in This Vicinity

# CREEKSIDE AT CABIN BRANCH

**UNIT TYPE** 

Detached

Garage

**BUILDING** 

PARCEL 222, L.29581 F.499, PARCEL 900, L.29581 F.499 PARCEL 600, L.29581 F.508, & PARCEL 900, L. 29868 F.544 ELECTION DISTRICT No. 2 MONTGOMERY COUNTY, MARYLAND

RC	D	G	ER	S
CO	NS	UL.	TIN	G

*18.90

| DISTANCE | PROP. AVG | TOTAL / WALL | * PROPOSED

1,629 21,966/36.01=

13,829

610.00

(ft) ELEV × DIST

PROP. END AVERAGE

610.00 610.00 8.00

610.00 610.00 610.00 22.67

610.00 610.00 610.00

610.00 610.00

BUILDING PROP.
START

**FACE** 

ELEVATION ELEVATION

19847 Century Boulevard, Suite 200, Germantown, Maryland 20874 Ph: 301.948.4700 Fx: 301.948.6256 http://www.rodgers.com

	BY	DATE	
BASE DATA			
DESIGNED			
DRAWN			
REVIEWED			
RODGERS CO	NTACT:		
RELEASE FOR			

# **CEPHAS HOUSE RESITE EXHIBIT**

22200 CLARKSBURG ROAD **BOYDS, MARYLAND 20841** 

1:50					
JOB No. 0377AB10					
DATE: DECEMBER, 2023					

SHEET No.

## **Exhibit 2 – Updated Specifications**

**REVIEWED** 

By Chris Berger at 3:14 pm, Mar 21, 2024

**APPROVED** 

**Montgomery County** 

Historic Preservation Commission







**Exterior Handrail** 



#### Links:

Tongue and Groove Floor

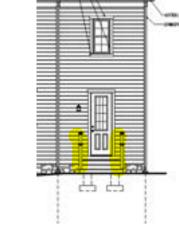
Handrail and Balusters



## **REVIEWED**

By Chris Berger at 3:14 pm, Mar 21, 2024

# **APPROVED Montgomery County Historic Preservation Commission** Ramath Mann



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#### Garage **SPECIFICATIONS**

#### Certifications/Qualifications

www.kichler.com/warranty

**Dimensions** 

Base Backplate 4.50" X 6.75" 7.75" Extension Weight 2.80 LBS Height from center of Wall opening 2.00"

(Spec Sheet)

10.25" Height 6.50" Width

**Light Source** 

Dimmable Yes Lamp Included Not Included Lamp Type A19

Light Source Incandescent

Max or Nominal Watt 60.00 # of Bulbs/LED Modules 1 Medium Socket Type

150" Socket Wire

Mounting/Installation

Interior/Exterior Exterior Location Rating Wet Mounting Weight 1.70 LBS

#### **FIXTURE ATTRIBUTES**

#### Housing

Diffuser Description Clear Water ALUMINUM Primary Material **Shade Dimensions** 4.50" SQ X 7.50"

**Product/Ordering Information** 

SKU 49924BKT Finish **Textured Black** Style Transitional UPC 783927540414

#### **Finish Options**



Olde Bronze



Textured Black



#### **ALSO IN THIS FAMILY**







49925OZ 49924OZ





49925BKT

49926BKT

#### WEDLINK

## **REVIEWED**

By Chris Berger at 3:14 pm, Mar 21, 2024

#### **APPROVED**

Montgomery County

Historic Preservation Commission

#### **SPECIFICATIONS**

#### Rear and sides

Certifications/Qualifications	
	www.kichler.com/warranty

DimensionsBase Backplate5.50" X 8.25"Extension12.00"Weight7.10 LBSHeight from center of Wall opening2.25"

(Spec Sheet)

Height 16.00" Width 10.50"

**Light Source** 

Dimmable Yes
Lamp Included Not Included
Lamp Type A19

Light Source Incandescent
Max or Nominal Watt 100.00
# of Bulbs/LED Modules 1
Socket Type Medium
Socket Wire 150"

Mounting/Installation

Interior/Exterior Exterior
Location Rating Wet
Mounting Weight 3.90 LBS

#### **FIXTURE ATTRIBUTES**

Housing

Diffuser Description Clear Water
Primary Material ALUMINUM
Shade Dimensions 7.00" SQ X 12.00"

**Product/Ordering Information** 

 SKU
 49926BKT

 Finish
 Textured Black

 Style
 Transitional

 UPC
 783927540438

#### **Finish Options**

Olde Bronze



Textured Black



#### **ALSO IN THIS FAMILY**



49927OZ

49924OZ 49



49925OZ



49924BKT



49926OZ



49925BKT

WEB LINK

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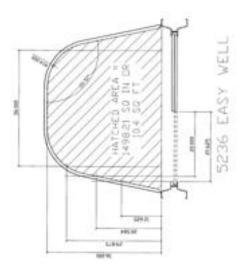
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## **REVIEWED**



#### Boman Kemp 4040 Basement Window System Specification Sheet

Components	Model.#	blotsa
Easy-Buck	4040 (48" × 48")	Pour in place frame
Easy-Well	5236-60"	Corrugated well
Vinyl Window	4040	Insulated double pane
Safety Grate	5236	Sits atop the well for fall in protection
Grate Cover	5236	Keeps debris from entering well from top
Escape Lodder	4-0*	Permanently attaches for emergency escape



**WEB LINK** 

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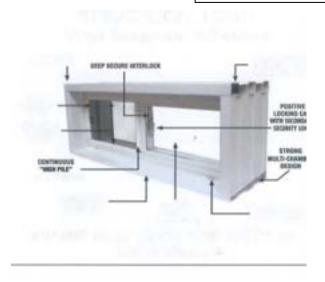
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#### **Basement Hopper Window**



- •All vinyl mainframe and sashes provide a structural base with no maintenance;
- •Steel reinforcement in header profile for added structural strength;
- •Strategically designed multi-chambered mainframe profiles allowing for added thermal performance;
- •6 degree sloped frame sill providing proper water drainage;
- •Window frame includes a wood buck support and plastic UV film on both sides of the window allowing for better structural support during the concrete pour and protection on job sites;
- •Sash (glass) installed in the window prior to applying the wood buck and protective film;
- •Frame extensions available at 1" and 2";
- •Fully tested and certified for NAFS, NFRC and AAMA qualifications.

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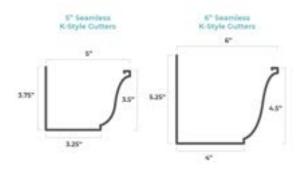
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#### **Gutters and Downspouts**





- Manufacture: Central Aluminum
- Size: 5" kstyle with 2x3 (Gauge .027 gutter and .019 for downspouts) / 6" kstyle with 3x4 (Gauge .032 gutter and .019 for downspouts)
- Material: Aluminum with Zinc screws (color to match gutter color)

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#### Static Roof Vents



#### Lomanco® 700 Series Slant Back

- . Designed to prevent roof discoloration.
- · Three sides louvered for greater air flow,
- Embossed aluminum finishes for added strength, extended paint life, and blending appearance with shingles.
- 700 has neoprene damper for use as kitchen/bathroom exhaust vent.
- · 730 is a smaller version of a 750 and included in the EVA Combo vent package.
- 750-E is a 750 with an extended flange size.
- 750-ES is a 750 with an extended flange size and provides enhanced weather protection.
- · 750-G; heavy duty galvanized steel construction.
- · 750-GS; provides enhanced weather protection.
- · 750-GES; heavy duty galvanized steel construction and provides enhanced weather protection.
- · 750-S provides enhanced weather protection.
- . Lifetime Limited Warranty 750 Series.
- 770 is larger version of a 750.
- . 770-D is a twin 770; off-ridge vent

**WEB LINK** 

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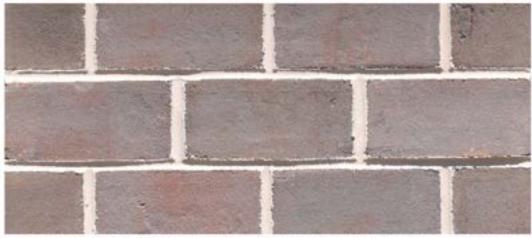
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## **Masonry Pavers**

## Watsontown Brick

#### MODENA PAVER



Clay pavers are natural products, excellent for defining an elegant pathway to a beautiful patio or outdoor dining area. Highly durable, clay pavers provide a multitude of options in an earthy color palette to help you complete your outdoor living space.

2 1/4 x 3 5/8 x 7 5/8

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Rama home

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**Driveway Stone** 



21A Gravel (Crusher Run) installed 8" deep (2x 4" lifts)

21A Gravel is a mix consisting of Bluestone Powder Fines and % inch Crushed Stone. It is great for driveways, walkways, as a paver base, and numerous other outdoor projects.

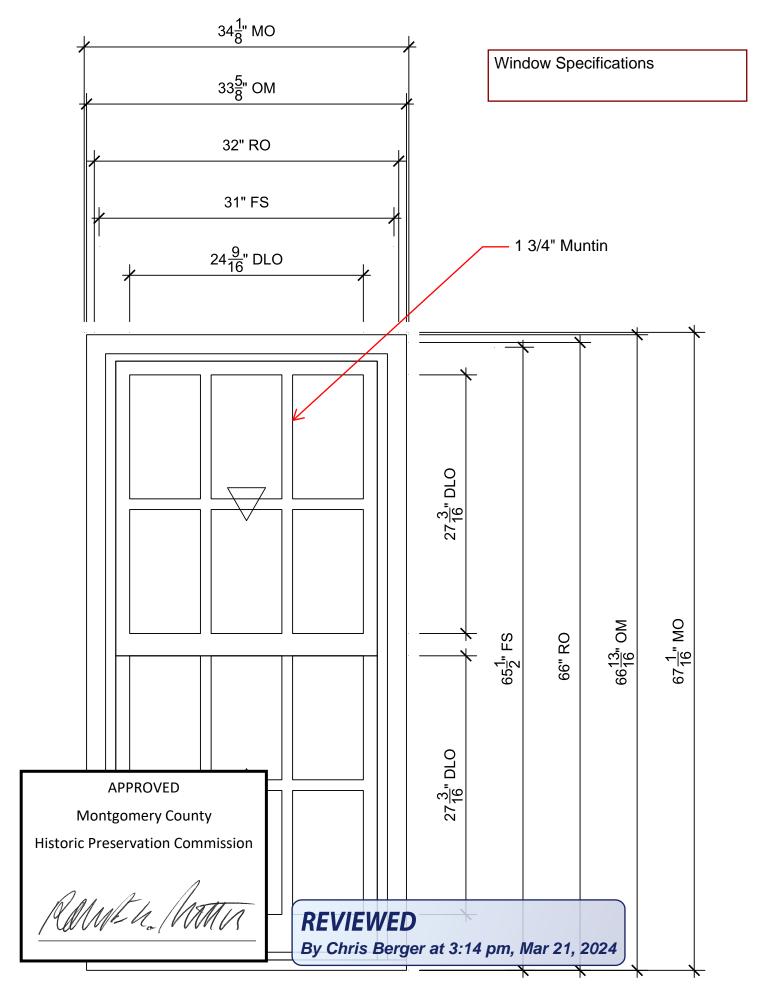
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**REVIEWED** 



Pulte Homes (Cephas) Pulte Homes (Cephas) Quote Number: RBP176N

#### **UNIT SUMMARY**

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes.

Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

NUMBER OF LINES: 1 TOTAL UNIT QTY: 1

LINEMARK UNITPRODUCT LINEITEMQTY1Ultimate WoodDouble Hung Magnum1

RO 32" X 66" Entered as RO 32" X 66"

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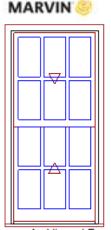
**REVIEWED** 

Pulte Homes (Cephas) Pulte Homes (Cephas) Quote Number: RBP176N

#### **LINE ITEM QUOTES**

The following is a schedule of the windows and doors for this project. For additional unit details, please see Line Item Quotes. Additional charges, tax or Terms and Conditions may apply. Detail pricing is per unit.

Line #1	Mark Unit:		
Qty: 1			



As Viewed From The Exterior

Entered As: RO MO 34 1/8" X 67 1/16" FS 31" X 65 1/2" OC 33 5/8" X 66 13/16" RO 32" X 66" Primed Pine Exterior Primed Pine Interior Back Prime Ultimate Wood Double Hung Magnum Rough Opening w/ Subsill 32" X 66" Top Sash Primed Pine Sash Exterior Primed Pine Sash Interior Low E2 w/Argon Black Perimeter and Spacer Bar 1 1/8" SDL - With Spacer Bar - Black Rectangular - Special Cut 3W2H Primed Pine Ext - Primed Pine Int Ovolo Exterior Glazing Profile Ovolo Interior Glazing Profile **Bottom Sash** Primed Pine Sash Exterior Primed Pine Sash Interior Low E2 w/Argon Black Perimeter and Spacer Bar 1 1/8" SDL - With Spacer Bar - Black Rectangular - Special Cut 3W2H Primed Pine Ext - Primed Pine Int Ovolo Exterior Glazing Profile Ovolo Interior Glazing Profile Non Finger-Jointed Blindstop 1 Per Unit White Sash Lock Beige Jamb Hardware Extruded Aluminum Screen Stone White Surround **Bright View Mesh** 4 9/16" Jambs Primed Pine Non Finger-Jointed BMC Primed Pine Standard Subsill Non Finger-Jointed Subsill Non Finger-Jointed Sill No Installation Method ***Note: Unit Availability and Price is Subject to Change

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w And Door Collections > Signature Collection > Ultimate Wood Double Hung Magnum



By Chris Berger at 3:14 pm, Mar 21, 2024

## **Ultimate** Wood **Double Hung** Magnum





The Marvin Signature® Ultimate Wood Double Hung Magnum window is designed for use in residential, commercial and historic projects where expansive sizes and the natural look of a wood exterior is needed.

Find Marvin products in your area. Connect with a dealer near you to get started.

FIND A DEALER



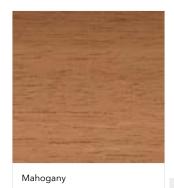
# FEATURES OF THE ULTIMATE WOOD DOUBLE HUNG MAGNUM WINDOW

- Available in heights up to 10 feet or widths up to 5 feet
- Engineered for smooth operation at every size
- Multiple exterior woods and finishes available
- Also available as a round top, single hung, stationary transom or picture window
- Triple hung is available by special order for additional design options
- Available with IZ3 coastal/hurricane certification

### **DESIGN OPTIONS**

Exterior Finish

#### **Wood Options**



For projects that call for the natural or historic beauty of wood exteriors, we offer a selection of high-quality exterior wood options, including Pine, Vertical Grain Douglas Fir, Mahogany and Primed Pine.



*Finish samples are approximate and colors on screen can vary. Visit your local retailer to see actual color samples.

Interior Finish

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th natural, stained or painted wood. With Marvin factory-applied rder beautifully finished windows and doors that are ready to install the able time on the job site.

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^{**}Western Red Cedar is available as a trim package option



Choose from a selection of high-quality standard wood options, including Pine, Mahogany, and Vertical Grain Douglas Fir.



*Wood is a product of nature and will vary in color, texture and grain. Wood options shown are to demonstrate the approximate look of each species only, and stain samples are shown on Pine. Photos are not intended to reflect a product's interior or exterior profile.

#### Stained Wood

When compared to painting or staining on the job site, factory-stained finishes offer consistent quality and performance resulting from our expertise with wood as a material and years of perfecting our staining process.

Every piece of wood receives even coats of conditioning and stain, two coats of clear finish, and is sanded and baked twice in an oven before your window or door is built to create a consistent, durable and high-quality finish that brings out the natural beauty, texture, and grain of the wood. Our stained wood products meet industry standards and arrive ready to install.



^{*}Stain and clear coat is available on all offered interior wood species.

#### **Painted Wood**

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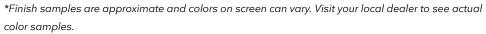
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Painting on the job site or scheduling off-site finishing is an extra step that takes time and coordination. Choose our primed white or white painted interior finish option on any Marvin pine windows and doors with a wood exterior, or an additional designer black paint option for products with an aluminum clad exterior. Your windows and doors will arrive factory-painted and ready to install.

You can count on consistency with our process, as every piece of

REVIEWED ce in an oven before your window or door s

By Chris Berger at 3:14 pm, Mar 21, 2024



**Black only available on clad.

#### Sticking Options



The interior edge detail where glazing meets wood is called sticking, sometimes referenced as bead. Ogee and Ovolo sticking offer a more traditional profile, and square sticking can be specified for a clean, crisp, more contemporary look.



*Not all sticking styles are available on every product. Ask your window and door dealer for specifics. Square sticking shown here on a casement window.

Hardware

Marvin hardware is far more than functional - it's engineered to be both durable and elegant. From traditional to contemporary, our hardware comes in a variety of architectural styles and finishes to meet your aesthetic needs and design goals. It's designed for effortless operation even at large sizes and is built to last, with optional PVD finishes for door hardware to resist fading and discoloration in even the harshest environments.





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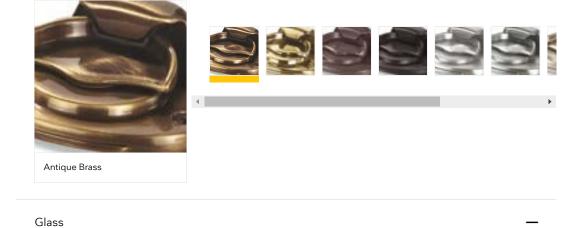
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e available in all finish options below.

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#### **Decorative Glass**



A variety of decorative glass options are available to meet the unique needs of each project, and laminated glazing is also available in clear, bronze, gray, or green with tinted interlayers.



*Not all decorative glass is compatible with all products. Check with your dealer for a recommendation on which glass is right for your project. Images may not be an accurate representation.

Color tint images represent color tint example only. Please inquire about obscure glass treatments separately.

#### **Energy Efficiency**

Glass is an important aspect for managing the energy efficiency of your home. Our standard glazing is dual pane: two panes of glass with Low E coatings and argon insulating gas. We offer variations to help meet climate and code requirements across the country, described in more detail on our <u>glass page</u>.

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s include glass for unique project needs like sound management Sea Turtle Conservation Codes and California fire zones. We also offer s designed specifically for hurricane zones.

+



**REVIEWED** 

By Chris Berger at 3:14 pm, Mar 21, 2024

The look of multiple, individual panes of glass in a window sash is popular in a wide range of architectural styles - from historic replications to modern farmhouses. Simulated divided lites, available in a number of different styles, mimic the look of individual panes of glass in a window

sash without sacrificing the energy efficiency of a single pane of glass. For true historical accuracy, authentic divided lites utilize individual glass panes, and are available as a custom order

on select all-wood windows.

Authentic Divided Lite (ADLs) on the façade of the house and exterior muntins on the remaining SDLs throughout

#### Authentic Divided Lite (ADL)



Separate pieces of glass are glazed between muntin bars - the way windows have been made since the beginning but with Marvin's updated design to increase energy efficiency.

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An energy-efficient way to create the look of authentic divided lites, SDL bars are permanently adhered to both sides of the glass and are available with or without a spacer bar installed between the glass to create even more depth that resembles an ADL.

## Grilles-between-the-Glass (GBGs)



Grilles are permanently installed between the glass panes for a low-maintenance, smooth exterior and easy cleaning. Choose from 6 exterior colors and 3 interior colors.

# Simulated Divided Lite with Spacer Bar (SDLS)

## REVIEWED

By Chris Berger at 3:14 pm, Mar 21, 2024



Paired with SDL bars on the exterior of the glass, a spacer bar is installed between the glass, creating an even closer match to the Authentic Divided Lite look.

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TECHNICAL SPECIFICATIONS

CAREERS

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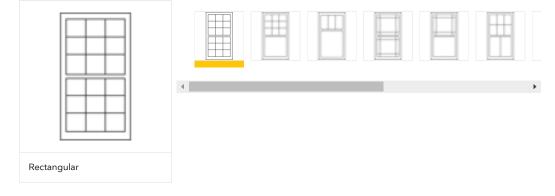
Products ~

Solutions ~

Inspiration ~

Why Marvin ~

For Pros



*These are some of our most frequently-requested divided-lite patterns.

Casings —

An instant boost to curb appeal, optional exterior casing adds architectural detail and character to the profile of your home. Various profiles are available for our all-wood window products.

#### Subsills

Choose from several subsill options to best match your sill thickness and depth with your casing and window style. Custom wood subsills are also available.

Coastal Performance —



Marvin offers windows and doors specifically designed for the requirements of coastal and impact zone construction. From Nor'easters on the Cape to hurricanes down South that bring extreme rain, salt, and wind, the windows and doors you choose are critical and can help preserve a home's structural seal. Our hurricane-rated product options are certified for energy efficiency and rigorously tested by third party agencies to meet or exceed the most stringent coastal codes.

Learn more about Marvin's <u>Coastal Solutions</u> that help protect the longevity of your product and the structural integrity of your home.

Window Opening Control |

l Devices

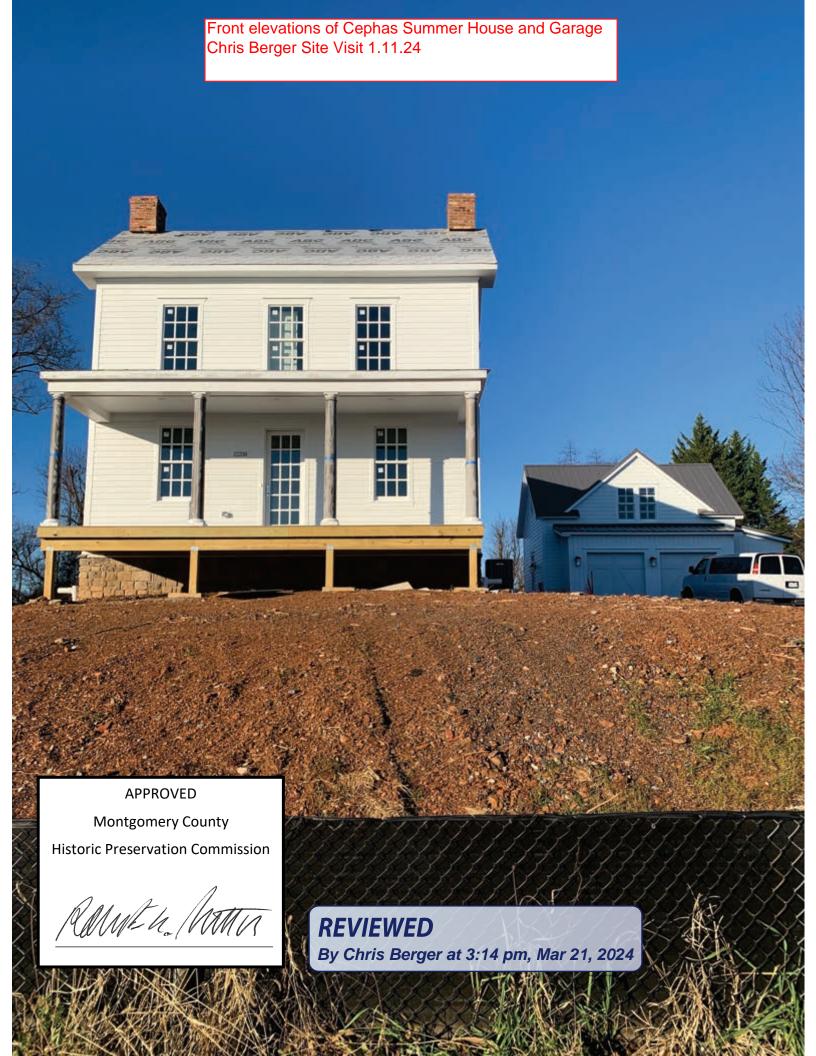
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**REVIEWED** 



Front and Right-Side Elevations of Cephas Summer House Chris Berger Site Visit 1.11.24



**REVIEWED** 

































