



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: March 7, 2023

MEMORANDUM

TO: Ehsan Motazedi, Acting DPS Director & Deputy Director Department of Permitting Services
FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission
SUBJECT: Historic Area Work Permit #1017436 - Accessory Structure and Fenestration Alteration

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** At the January 25, 2023 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Billy Glading
Address: 36 Quincy St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Winnie Cargill at 301.495.2108 or winnie.cargill@montgomeryplanning.org to schedule a follow-up site visit.





ALTERATION OF GLADING RESIDENCE

36 QUINCY STREET
CHEVY CHASE, MD 20815

ISSUE DATES:
PERMIT ISSUED 11-21-22

DRAWING NAME:
FIRST FLOOR PLAN - DIMENSIONS/ SCHEDULES

DRAWING NO.

A-001

WALL TYPE LEGEND

	EXISTING WALLS
	INTERIOR WALL: 2X4 STUDS @ 16" O.C. WITH 1/2" GYP. BD. EACH SIDE.
	EXTERIOR WALL: 2X6 STUDS @ 16" O.C. WITH R-20 BATT INSULATION. 1/2" GWB.

FLOOR PLAN NOTES

- 1 CASING OPENING. HEIGHT TO ALIGN WITH EXISTING CASING OPENINGS.
- 2 KITCHEN CABINETS, APPLIANCES AND COUNTERTOPS, TBS. A FINAL KITCHEN CABINETRY SHOP DRAWING SHALL BE PROVIDED. GC SHALL COORDINATE WITH THE HOMEOWNER AND INTERIOR DESIGNER.
- 3 ALL FINISHES, FIXTURES, MOULDING, AND FLOORING SHALL BE SELECTED BY THE INTERIOR DESIGNER. GC TO COORDINATE.
- 4 NEW CUSTOM BUILT-INS WITH EXISTING ANTIQUE DOORS. REFER TO INTERIOR DESIGNER'S DRAWINGS FOR DETAILS AND SPECIFICATION FOR SINK AND BEVERAGE FRIDGE.

DOOR SCHEDULE

NO.	SIZE	TYPE	REMARKS
(A)	2'-8" x 6'-8"	DUTCH DOOR WITH TRANSOM ABOVE	VERIFY EXISTING FRAME SIZE IN FIELD
(B)	8'-0" x 6'-8"	3 PANEL FRENCH DOOR PINNACLE 8068 OR EQUAL WITH TRANSOM ABOVE	

WINDOW SCHEDULE

NO.	SIZE	TYPE	MFGR	GLASS	REMARKS
(A)	(3) 2'-8"x5'-1"	DOUBLE HUNG	WINDSOR	INSULATED LOW E	NEW DOUBLE HUNG WINDOWS TO REPLACE EXISTING DOUBLE HUNG WINDOWS
(B)	(3) 2'-8"x5'-10"	CASEMENT (FIXED)	WINDSOR	INSULATED LOW E	NEW CASEMENT WINDOWS TO REPLACE EXISTING CASEMENT WINDOWS

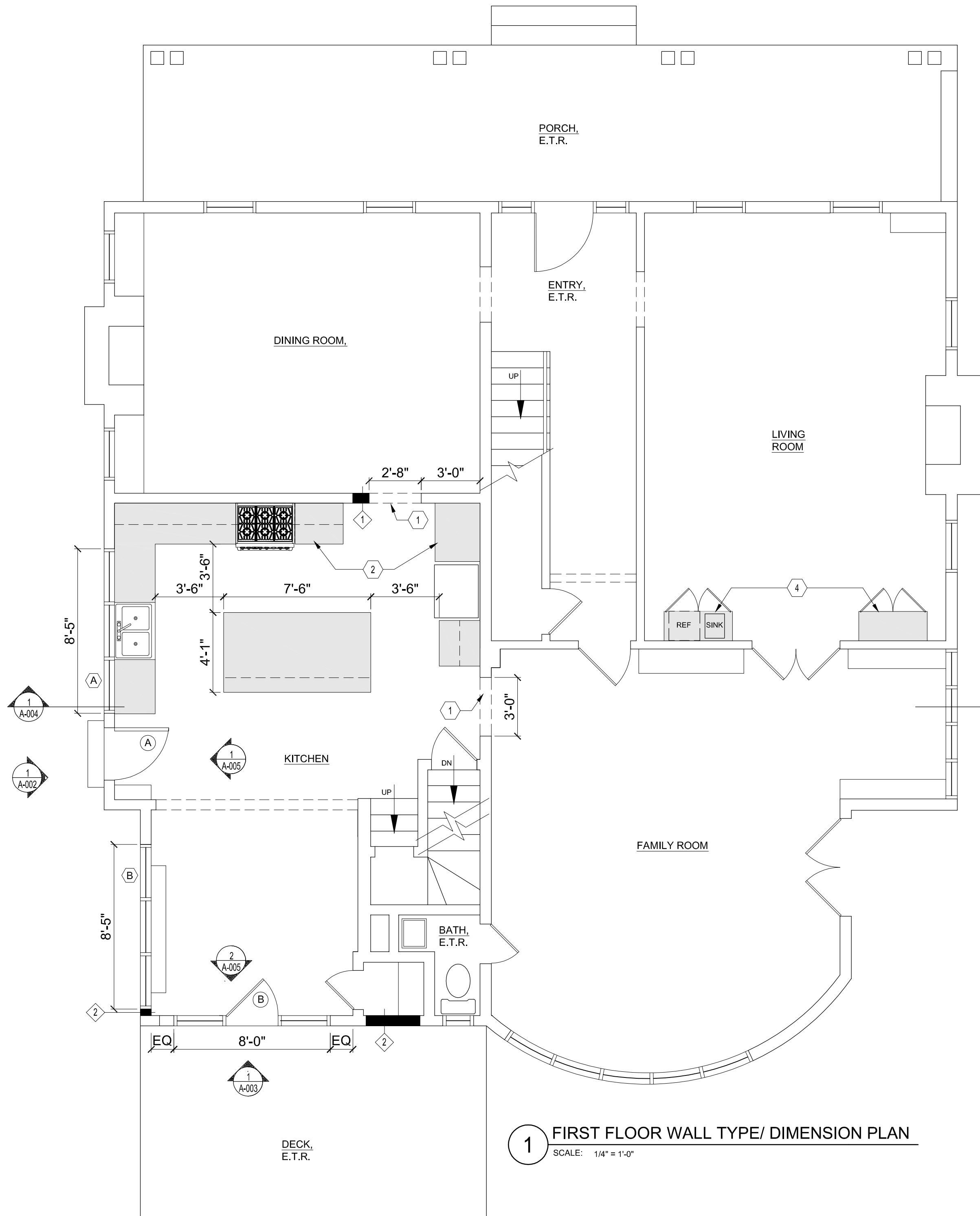
WINDOW NOTES:

1. EXISTING WINDOW SIZES TO BE FIELD VERIFIED.
2. CONFIRM WINDOW SCHEDULE W/ ARCHITECT PRIOR TO ORDER AND SUBMIT SHOP DRAWINGS FOR REVIEW.
3. GANGED WINDOWS TO HAVE 2x4 SPACERS BETWEEN. VERIFY DIMENSIONS PRIOR TO PLACING ORDER.
4. ALL GLAZING TO BE DOUBLE PANED, LOW E, CLEAR INSULATED.
5. CONFIRM HARDWARE FINISH WITH OWNER PRIOR TO ORDER.
6. HEAD HEIGHTS ABOVE FINISH FLOOR TO MATCH HEIGHT OF EXISTING WINDOWS. VERIFY HEIGHTS IN FIELD.

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED

By Dan.Bruechert at 1:43 pm, Mar 07, 2023



1 FIRST FLOOR WALL TYPE/ DIMENSION PLAN
SCALE: 1/4" = 1'-0"



ALTERATION OF GLADING RESIDENCE

36 QUINCY STREET
CHEVY CHASE, MD 20815

ISSUE DATES:
PERMIT ISSUED 11-21-22

DRAWING NAME:
SIDE ELEVATION

DRAWING NO.

A-002



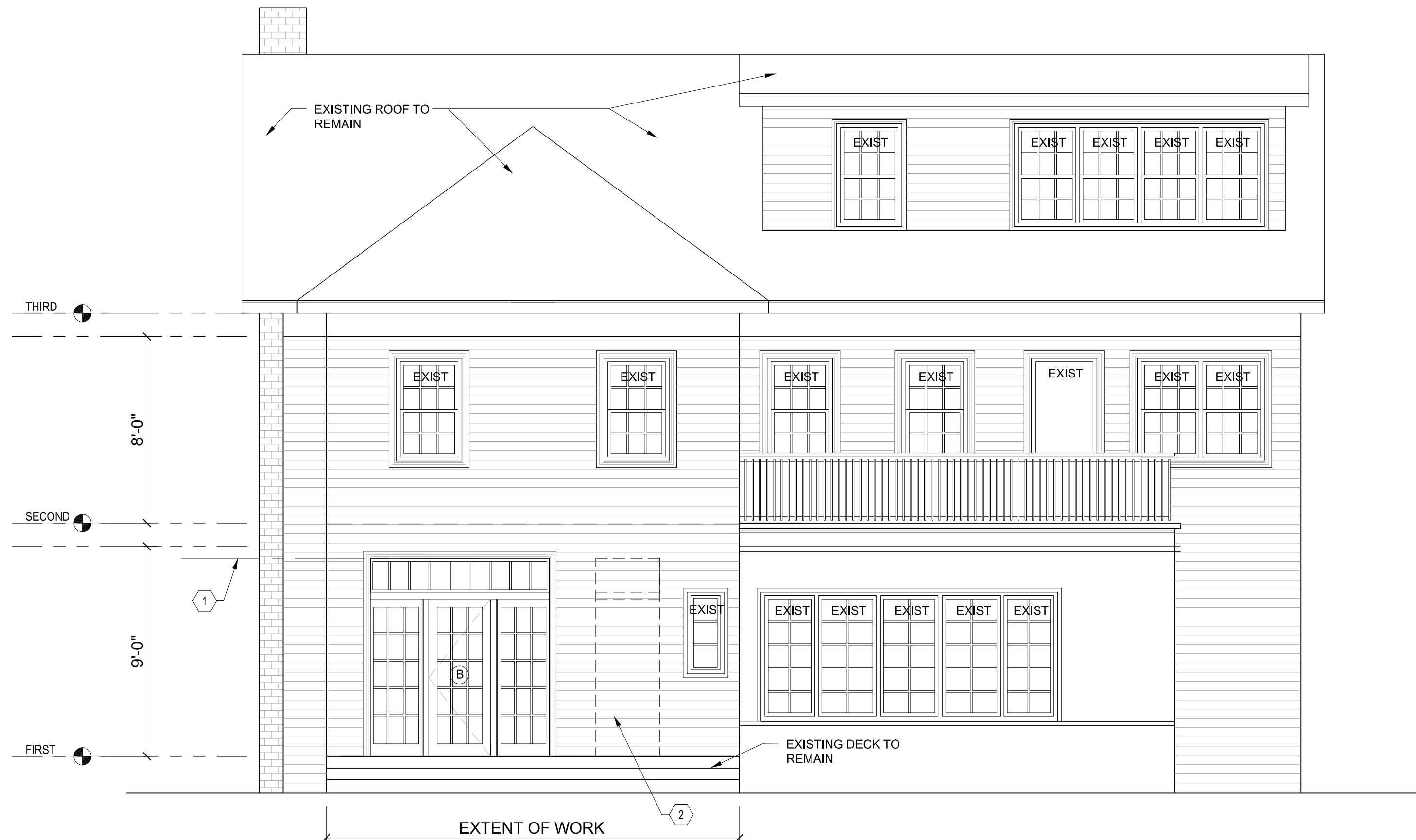
1 SIDE ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES	
1	NEW WINDOWS HEIGHTS TO ALIGN WITH EXISTING WINDOWS. SILLS OF WINDOW TYPE A TO BE ABOVE COUNTER HEIGHT.
2	SIDING TO BE PATCHED AND REPAIRED AS REQUIRED TO MATCH EXISTING SIDING.

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Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 1:43 pm, Mar 07, 2023



1 REAR ELEVATION
SCALE: 1/4" = 1'-0"

ELEVATION NOTES

1	NEW WINDOWS HEIGHTS TO ALIGN WITH EXISTING WINDOWS. SILLS OF WINDOW TYPE A TO BE ABOVE COUNTER HEIGHT.
2	SIDING TO BE PATCHED AND REPAIRED AS REQUIRED TO MATCH EXISTING SIDING.

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Historic Preservation Commission

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ALTERATION OF GLADING RESIDENCE

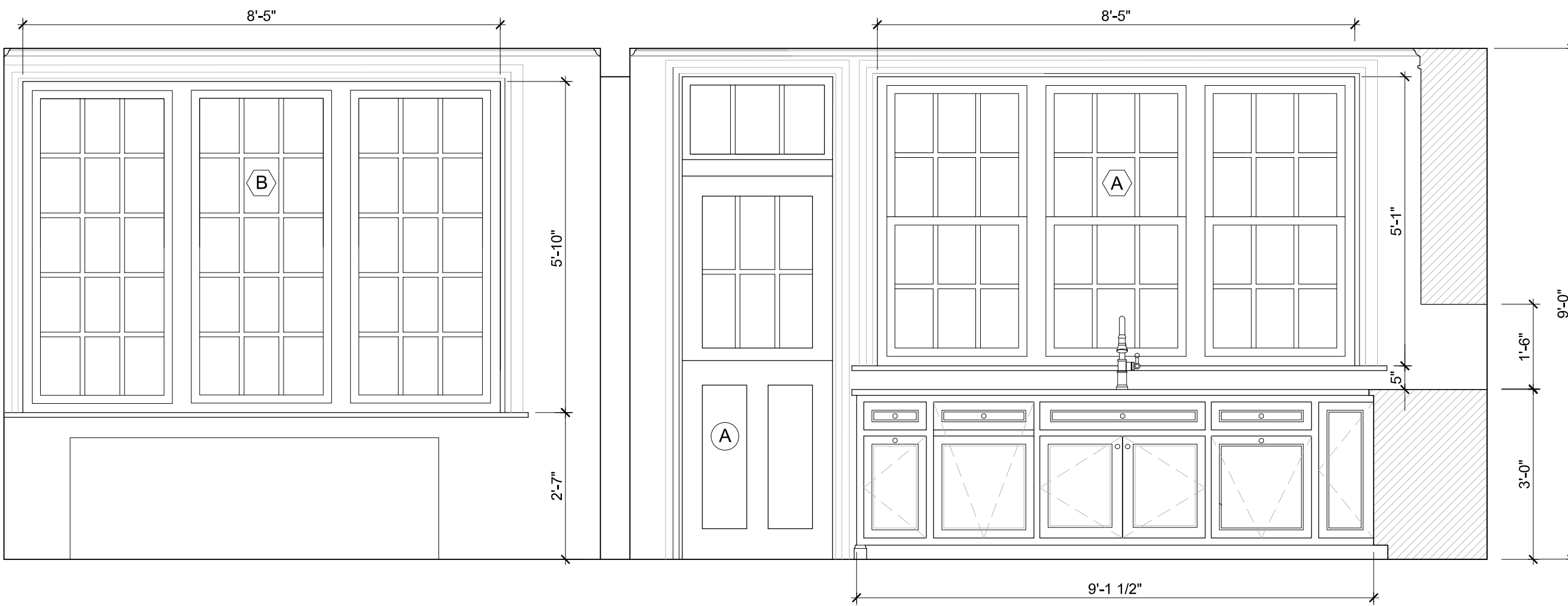
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CHEVY CHASE, MD 20815

ISSUE DATES:
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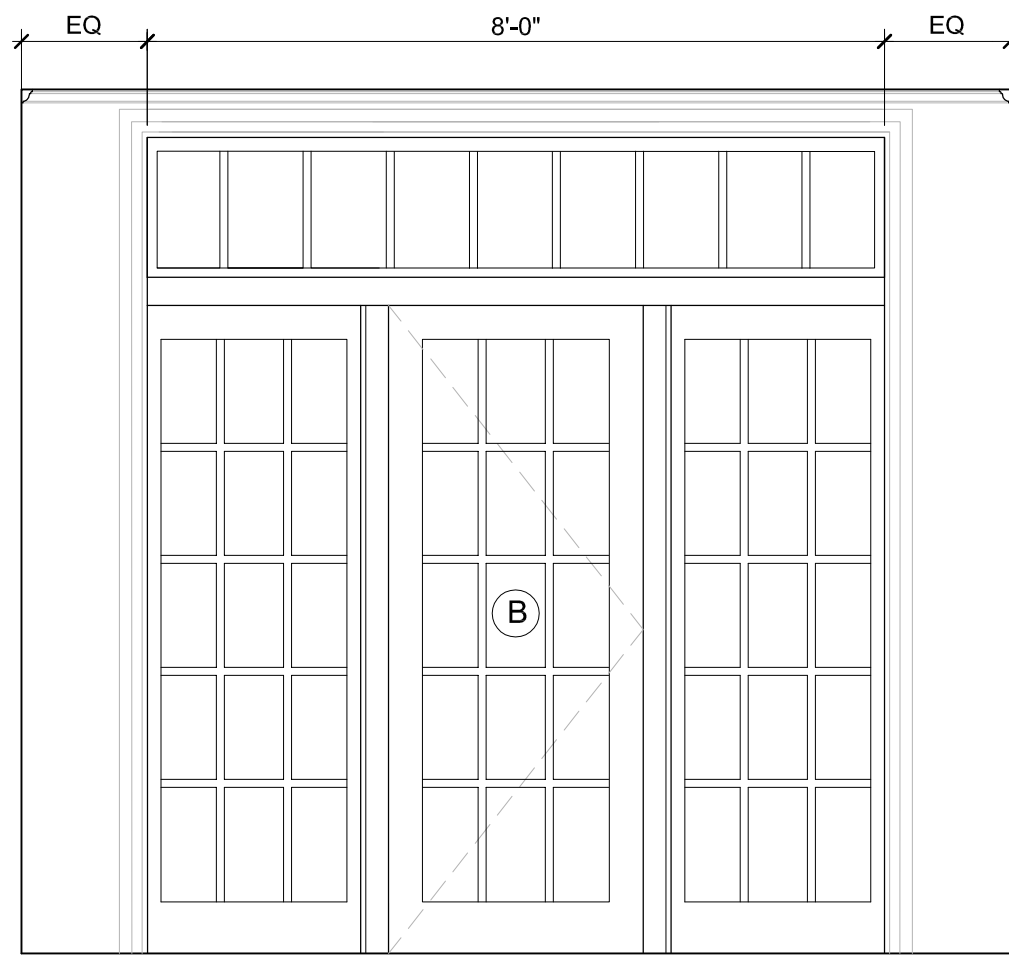
DRAWING NAME:
REAR ELEVATION

DRAWING NO.

A-003



1 KITCHEN ELEVATION
SCALE: 1/2" = 1'-0"



2 KITCHEN ELEVATION
SCALE: 1/2" = 1'-0"

NOTE: ELEVATIONS ARE FOR REFERENCE ONLY. FINAL WINDOW SIZES SHALL BE COORDINATED BETWEEN THE GC AND THE WINDOW SUPPLIER.

APPROVED
Montgomery County
Historic Preservation Commission
[Signature]

REVIEWED
By Dan.Bruechert at 1:44 pm, Mar 07, 2023



ALTERATION OF GLADING RESIDENCE

36 QUINCY STREET
CHEVY CHASE, MD 20815

ISSUE DATES:
PERMIT ISSUED 11-21-22

DRAWING NAME:
INTERIOR ELEVATIONS

DRAWING NO.

A-005

RESIDENTIAL CONSTRUCTION DESIGN PARAMETERS

GROUND SNOW LOAD	WIND SPEED	SEISMIC DESIGN CATEGORY	SUBJECT TO DAMAGE FROM			
			WEATHERING	FROST LINE DEPTH	TERMITE	DECAY
30 PSF	115 MPH	B	SEVERE	30 IN.	MODERATE TO HEAVY	SLIGHT TO MODERATE

GENERAL NOTES

- ALL WORK BY GENERAL CONTRACTOR AND HIS SUBCONTRACTORS SHALL BE PERFORMED IN STRICT ACCORDANCE WITH ALL APPLICABLE CODES AND ORDINANCES, AND SHALL BE LICENSED TO PRACTICE MONTGOMERY COUNTY MD. CONSTRUCTION PERMIT SHALL BE SUPPLIED BY THE OWNERS. CONTRACTOR IS RESPONSIBLE FOR ALL OTHER PERMITS, FEES AND INSPECTIONS NECESSARY FOR THE COMPLETION OF THE WORK.
- THE CONTRACTOR SHALL THOROUGHLY REVIEW THE CONSTRUCTION DOCUMENTS, VISIT THE SITE AND FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS, MATERIALS, EQUIPMENT FIXTURES AND FINISHES PRIOR TO THE SUBMISSION OF BID. FIELD CONDITIONS NOT AGREEING WITH THE CONSTRUCTION DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT FOR CLARIFICATION.
- SITE WORK: SEDIMENT CONTROL METHODS SHALL BE INSTALLED AND MAINTAINED THROUGHOUT THE PERIOD OF EXCAVATION AND CONSTRUCTION. TAKE ALL MEASURES NECESSARY TO TRAP SEDIMENT ON SITE. SEDIMENT SHALL NOT BE PERMITTED TO ENTER STORM DRAINS. REFER TO EROSION CONTROL DETAILS INCLUDED WITHIN CONSTRUCTION DRAWINGS.
- PROTECT AND SECURE SITE, BUILDING, MATERIALS AND EQUIPMENT FROM THEFT, VANDALISM, AND WEATHERING. PROTECT WORK FROM DAMAGE BY WATER PENETRATION DURING CONSTRUCTION.
- JOB AREAS SHALL BE MAINTAINED IN A CLEAN AND ORDERLY MANNER AT THE END OF EACH DAY'S WORK. ALL CONSTRUCTION DEBRIS SHALL BE REMOVED WEEKLY AND DISPOSED OF LEGALLY. RECYCLE MATERIALS WHERE EVER POSSIBLE.
- ALL DIMENSIONS ARE SHOWN TO THE FACE OF BLOCK OR STUD, UNLESS OTHERWISE NOTED (U.O.N.), DO NOT SCALE DRAWINGS; WRITTEN DIMENSIONS SHALL HAVE PRECEDENCE OVER DRAWINGS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR THE INCLUSION OF ALL WORK NECESSARY FOR A COMPLETE INSTALLATION, WHETHER OR NOT SUCH WORK IS OR IS NOT INDICATED ON THE DRAWINGS.
- ALL MANUFACTURER'S ITEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS. WARRANTIES, GUARANTEES AND MANUFACTURER'S WRITTEN INSTRUCTIONS/MANUALS SHALL BE GIVEN TO THE OWNER. LEAVE SURPLUS MATERIAL WHERE DIRECTED BY OWNERS.
- CONTRACTOR WARRANTIES: THE CONTRACTOR AND HIS SUBCONTRACTORS WARRANT THAT ALL WORK PERFORMED UNDER THIS CONTRACT WILL PERFORM IN PERFECT CONDITION UNDER NORMAL USE, FOR ONE FULL YEAR BEYOND THE DATE OF SUBSTANTIAL COMPLETION.

SITE WORK - GENERAL NOTES

- THROUGH OUT THE PERIOD OF CONSTRUCTION, ALL NECESSARY MEASURES SHALL BE TAKEN TO MAINTAIN THE PREMISES OF SITE IN A CLEAN AND ORDERLY MANNER. ALL DEBRIS IS TO BE REMOVED FROM THE SITE AND DISPOSED OF LEGALLY.
- DUST CONTROL: THE CONTRACTOR SHALL CONDUCT OPERATIONS AND MAINTAIN THE PROJECT SITE. IN COMPLIANCE WITH MONTGOMERY COUNTY'S CODES AND ORDINANCES.

ZONING REMARKS - R-60 SINGLE FAMILY RESIDENCE

PLAT DATA:

LOT: P25
 BLOCK: 58
 SUBDIVISION: 0009
 PLAT BOOK:
 PLAT NO:
 ZONED: R60
 LOT AREA: 8,846 SF

GROSS SQUARE FOOTAGE:

	EXISTING	PROPOSED
BASEMENT:	378 SF	NO CHANGE
FIRST FLOOR:	2,134 SF	NO CHANGE
SECOND FLOOR:	1,569 SF	NO CHANGE
THIRD FLOOR:	982 SF	NO CHANGE

LOT SIZE: 8,846 SF
LOT OCCUPANCY ALLOWED: 3,096 SF 35%

EXISTING LOT OCCUPANCY: 2,134 SF 24%
 HOUSE: 2,134 SF

PROPOSED LOT OCCUPANCY:
 EXISTING 2,134 SF
 PROPOSED SHED: 168 SF
TOTAL 2,302 SF 26%

ACCESSORY BUILDING SET BACKS:

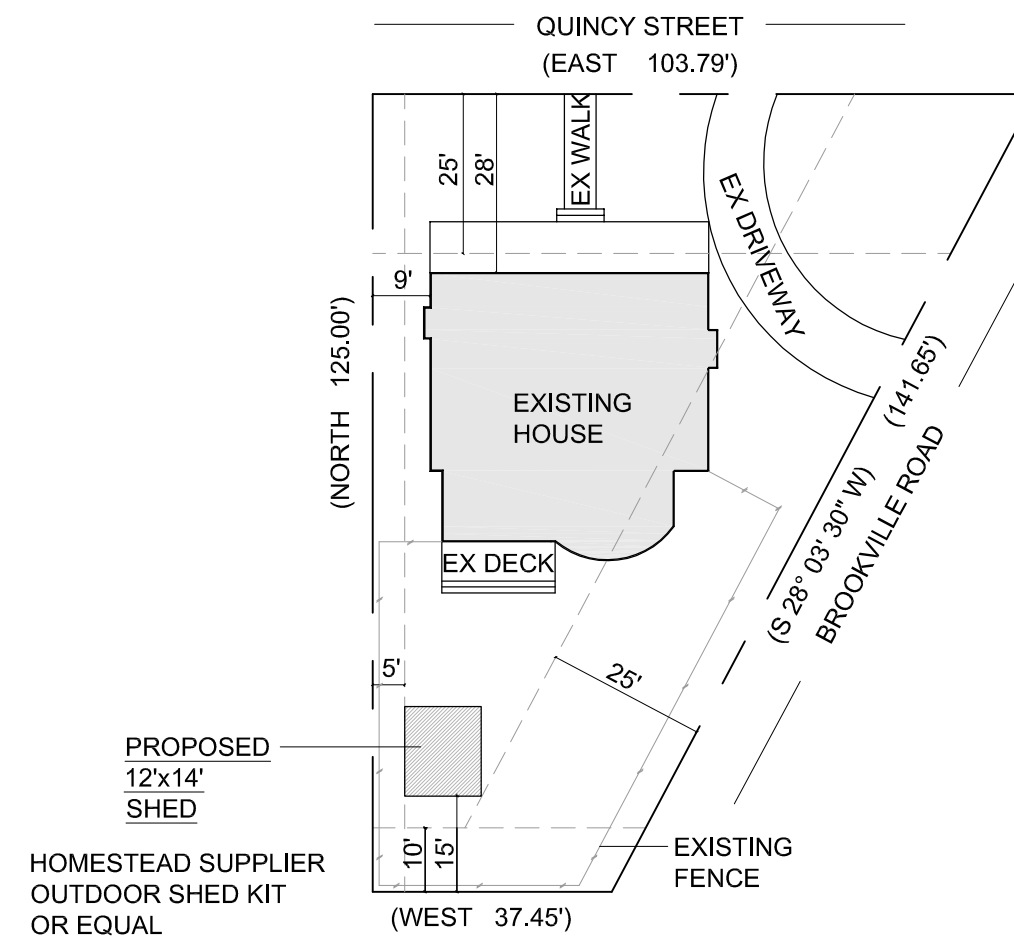
FRONT: 60'
 SIDE: 5'
 REAR: 10'
 SIDE STREET: 25'

NOTE:

- SITE INFORMATION BASED UPON LOCATION DRAWING PREPARED BY LANDTECH ASSOCIATES - 5/30/86

NOTE:

NO EXTERIOR CONSTRUCTION IS INCLUDED IN THE SCOPE OF WORK ON THE EXISTING HOUSE. THE EXISTING BUILDING FOOTPRINT IS TO REMAIN.



1 SITE PLAN
 SCALE: 1:30

APPLICABLE CODES

2018 International Residential Codes
 Montgomery County Code Chapter 8- Buildings
 Local Building Code Amendments
 Local Existing Building Code Amendments
 Montgomery County Code Chapter 17- Electricity
 Montgomery County Code Chapter 8- Buildings (mechanical)
 2013 NFPA 13D
 Local NFPA 13D Amendments
 Maryland Smoke Alarm Law

ABBREVIATIONS:

ADJ	ADJACENT
CLNG	CEILING
CMU	CONCRETE MASONRY UNIT
EIFS	EXTERIOR INSULATION FINISH SYSTEM
EL	ELEVATION
EX	EXISTING
EXT	EXTERIOR
E.T.R.	EXISTING TO REMAIN
FIN	FINISH
FL	FLOOR
GWB	GYPSUM WALL BOARD
HDR	HEADER
INSUL	INSULATION
LT	LIGHT
MTL	METAL
O.C.	ON CENTER
OH	OVER-HANG
PT	PRESSURE TREATED
PTD	PAINTED
STL	STEEL
T & G	TONGUE AND GROOVE
TYP	TYPICAL
WD	WOOD

INDEX TO DRAWINGS

C-001	COVER SHEET
DM-001	FIRST FLOOR EXISTING/DEMOLITION PLAN
A-001	FIRST FLOOR PLAN - DIMENSIONS/SCHEDULES
A-002	SIDE ELEVATION
A-003	REAR ELEVATION
A-004	CROSS SECTION
A-005	INTERIOR ELEVATIONS
S-000	FRAMING PLANS/ NOTES & DETAILS
E-001	POWER PLAN - POWER/LIGHTING/MECHANICAL/PLUMBING NOTES

SCOPE OF WORK

ALTERATION OF THE KITCHEN ON THE FIRST FLOOR OF AN EXISTING THREE-STORY RESIDENCE AND THE ADDITION OF A SHED.

CONTACTS

ARCHITECTURAL DESIGNER:	STRUCTURAL ENGINEER:	CONTRACTOR:
KEEN DESIGN LLC CONTACT: HOLLY KEEN 240-476-5253	JZ STRUCTURAL CONSULTING INC. CONTACT: WESLEY TAN 703-738-8840	HILLTOP BUILDERS CONTACT: JOSH ROBINS 240-832-5038



REVIEWED
 By Dan.Bruechert at 1:44 pm, Mar 07, 2023



ALTERATION OF GLADING RESIDENCE

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ISSUE DATES:
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DRAWING NAME:
COVER SHEET

DRAWING NO.

C-001

NOTE: EXACT MEASUREMENTS NEEDED AFTER FOUNDATION IS COMPLETE.

NOTE: PLEASE DO NOT INSTALL J-BOLTS IN FOUNDATION UNLESS REQUIRED BY LOCAL TOWNSHIP.



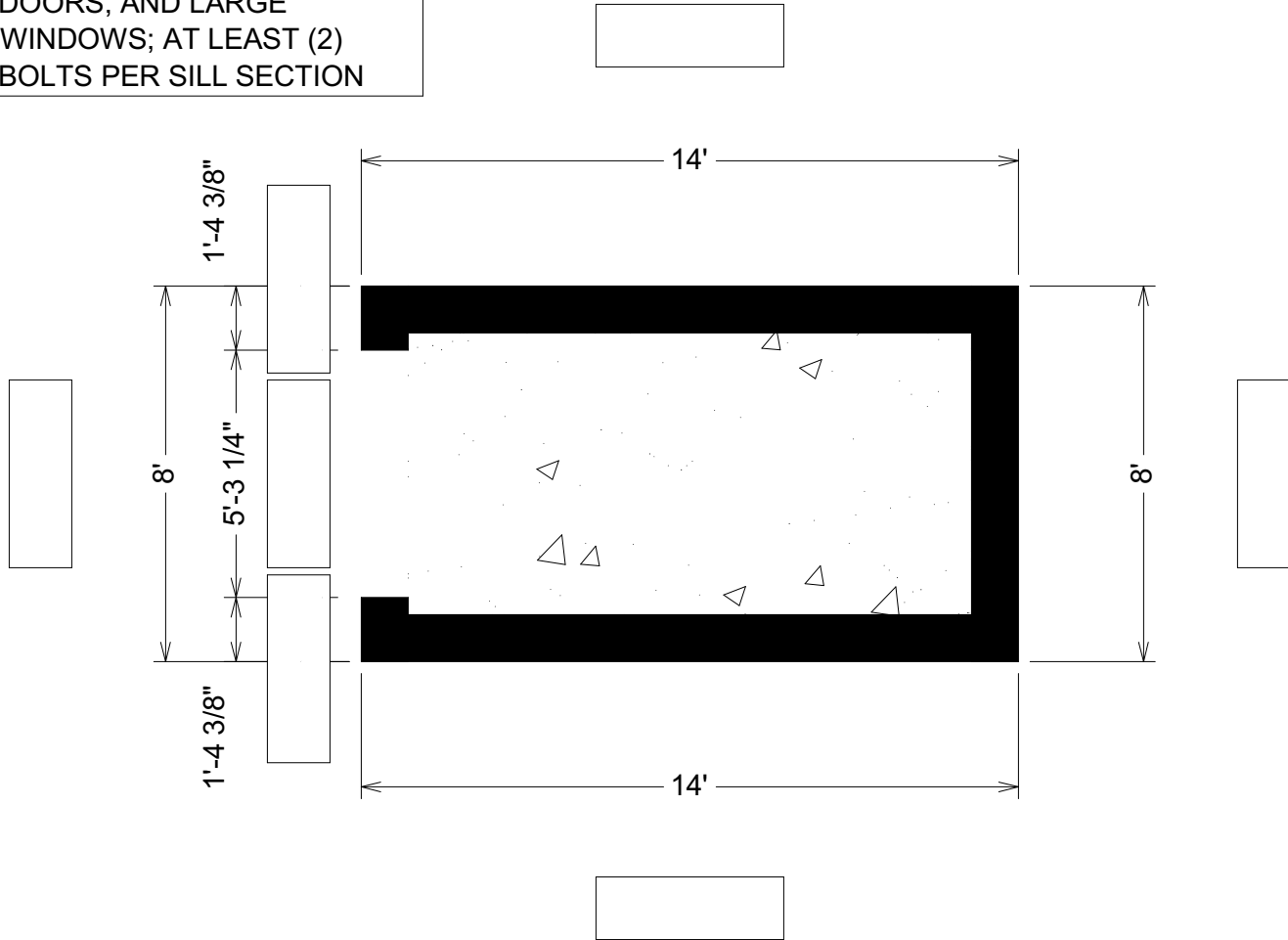
1/2" X 8" SIMPSON TITEN HD SCREW ANCHORS, 6' OC; MAX OF 12" FROM CORNERS, DOORS, AND LARGE WINDOWS; AT LEAST (2) BOLTS PER SILL SECTION

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 1:34 pm, Mar 07, 2023

seal:

FOUNDATION



REVISIONS:				

Est. #1014992 Job Name:
William Glading
36 Quincy Street
Chevy Chase, MD 20815

Sheds Unlimited LLC
2025 Valley Rd
Morgantown, PA 19543
Drawn By: Kyle Zook
Sales Rep: Cleon Kemp

DATE:
2/23/2023

SCALE:
1/4"-1'

SHEET:

A1.1

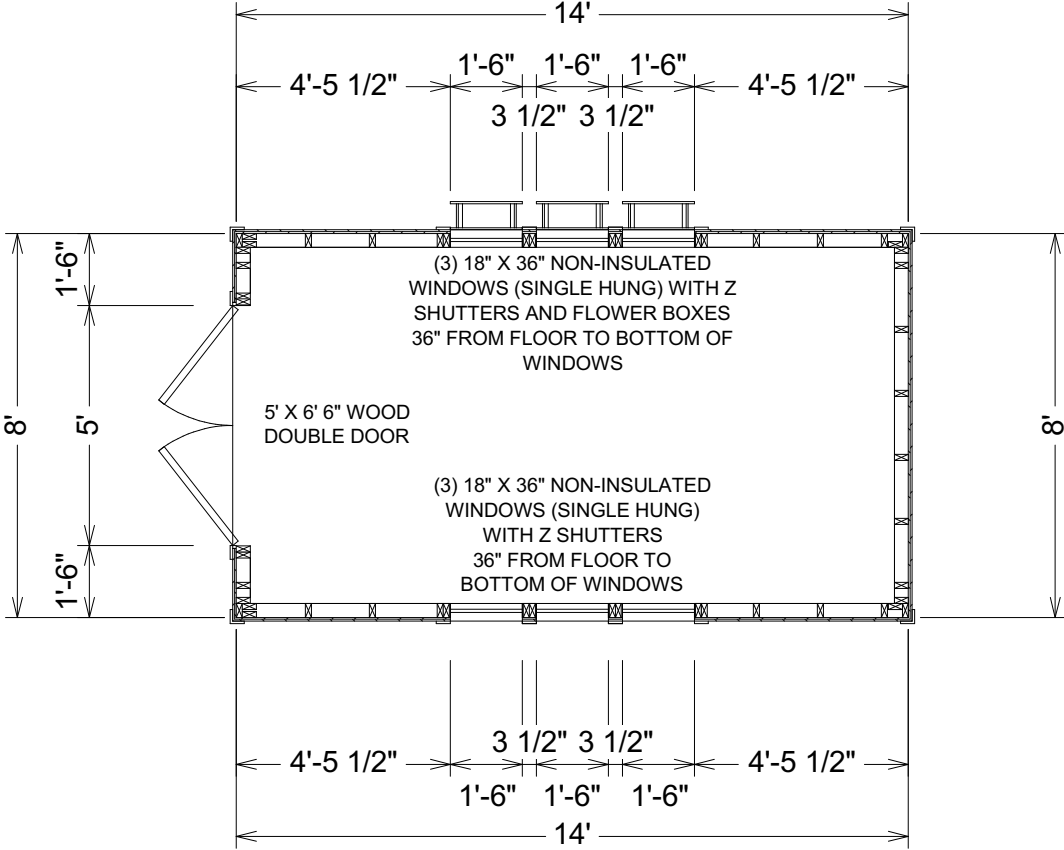
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seal:

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FLOOR PLAN



REVISIONS:	

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 Drawn By: Kyle Zook
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DATE:
 2/23/2023

SCALE:
 1/4"-1'

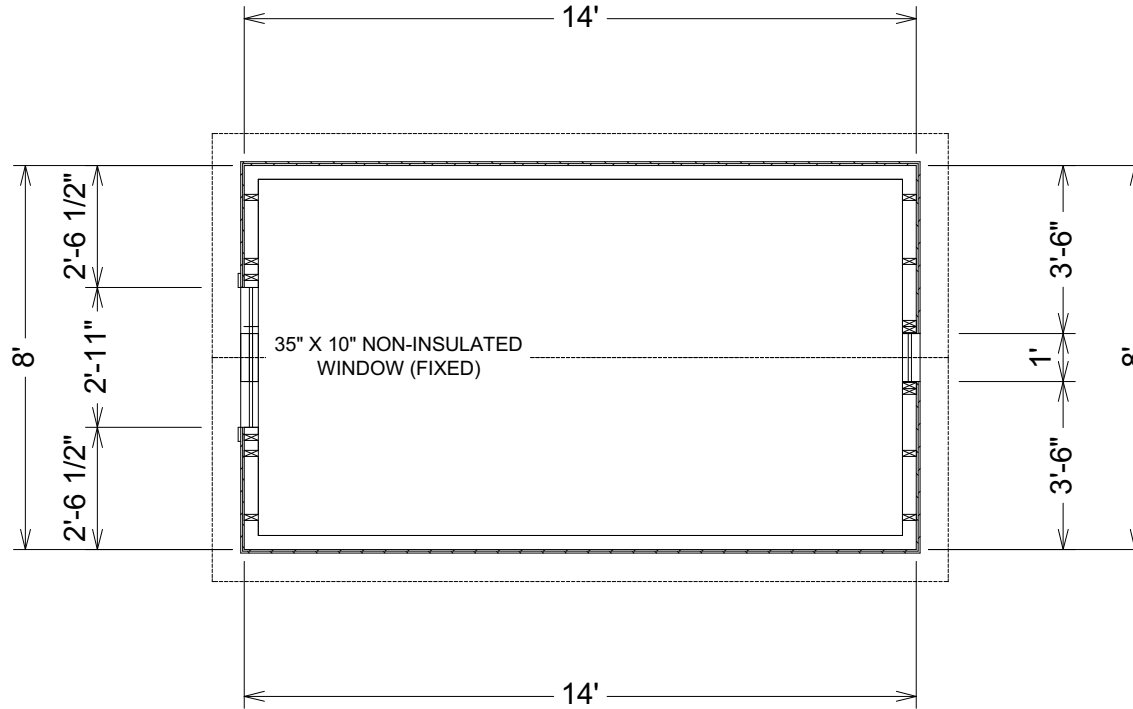
SHEET:
A1.2

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 Montgomery County
 Historic Preservation Commission



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 By Dan.Bruechert at 1:34 pm, Mar 07, 2023

ROOF AREA



seal:

REVISIONS:

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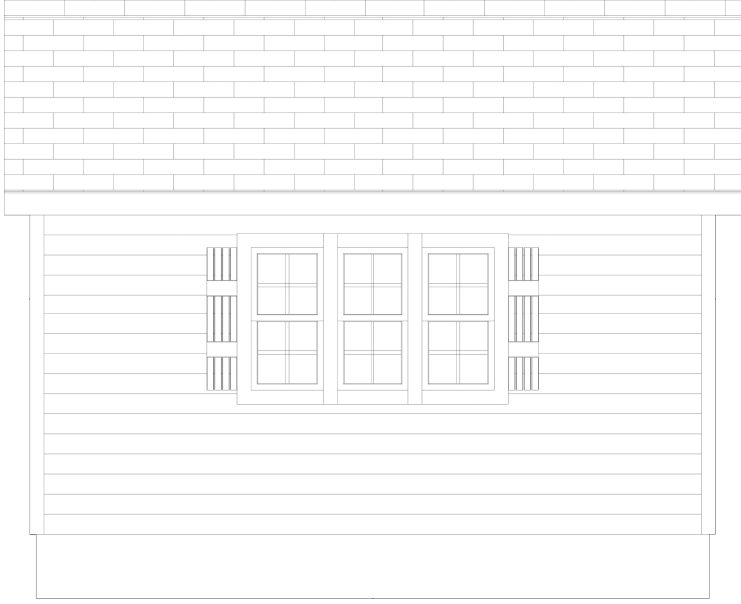
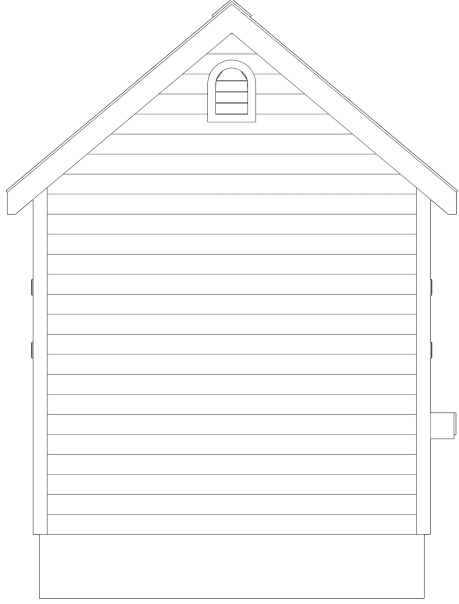
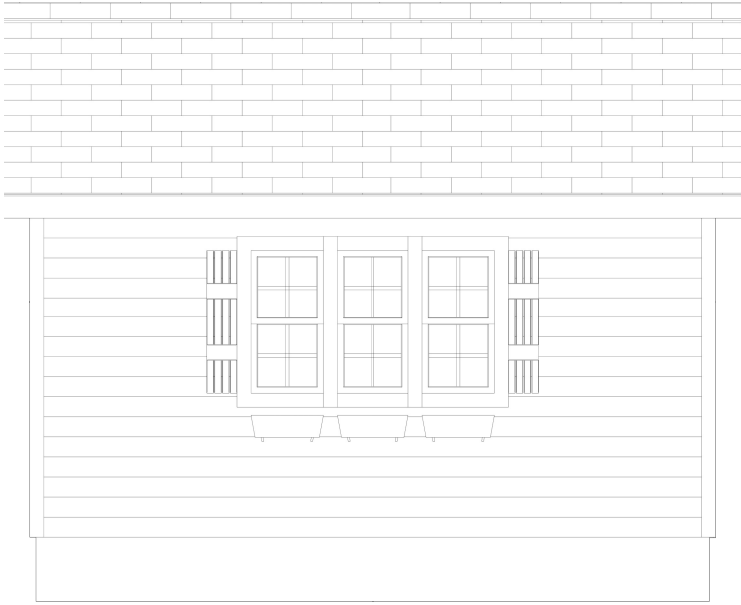
SCALE:
 1/4\"-1'

SHEET:

A1.3

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Montgomery County
Historic Preservation Commission

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By Dan.Bruechert at 1:34 pm, Mar 07, 2023



seal:

REVISIONS:			

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Chevy Chase, MD 20815

Sheds Unlimited LLC
2025 Valley Rd
Morgantown, PA 19543
Drawn By: Kyle Zook
Sales Rep: Cleon Kemp

DATE:
2/23/2023

SCALE:
1/4"-1'

SHEET:
A2.1

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 Montgomery County
 Historic Preservation Commission



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 By Dan.Bruechert at 1:34 pm, Mar 07, 2023



IMAGES ARE NOT TO SCALE AND COLORS ARE EXAMPLES ONLY



seal:

REVISIONS:				

Est. #1014992 Job Name:
 William Glading
 36 Quincy Street
 Chevy Chase, MD 20815

Sheds Unlimited LLC
 2025 Valley Rd
 Morgantown, PA 19543
 Drawn By: Kyle Zook
 Sales Rep: Cleon Kemp

DATE:
 2/23/2023

SCALE:
 NTS

SHEET:

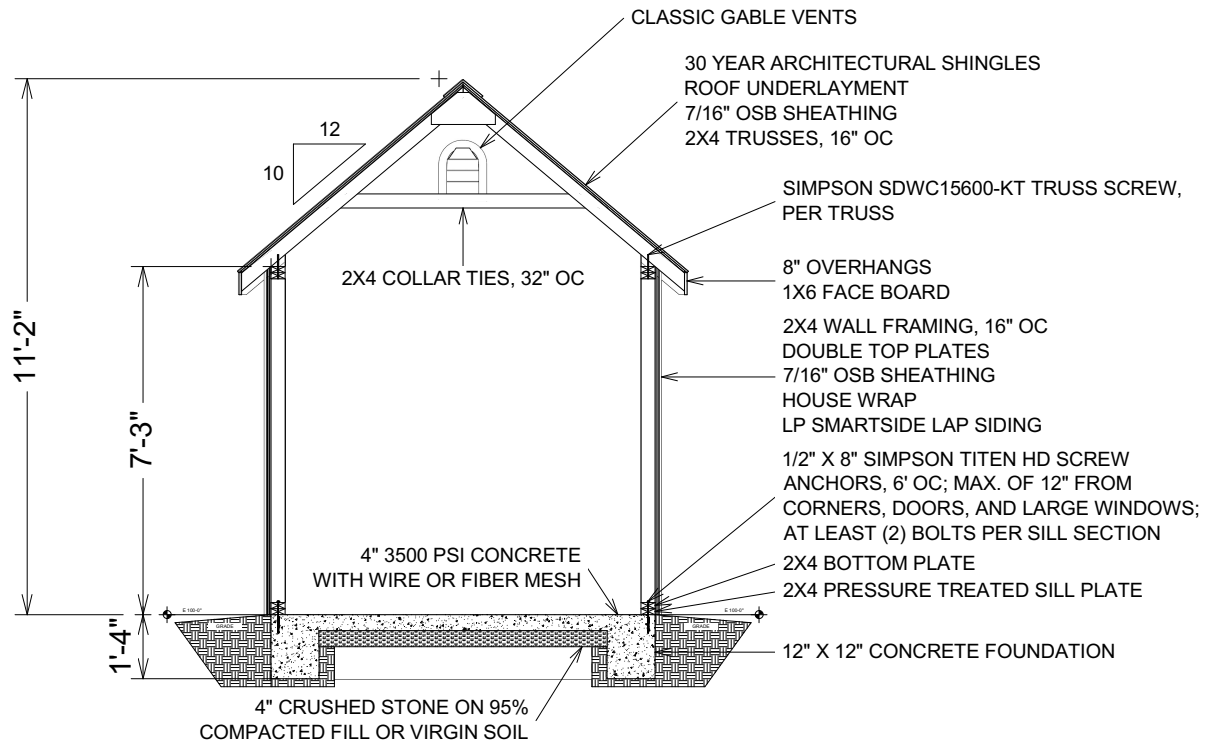
A2.2

APPROVED
 Montgomery County
 Historic Preservation Commission



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seal:



REVISIONS:			

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DATE:
 2/23/2023

SCALE:
 1/4"-1'

SHEET:

A3.1



Sheds Unlimited LLC
2025 Valley Rd
Morgantown, PA 19543

Phone: (717)442-3281

Bill To:

William Glading
 36 Quincy Street
 CHEVY CHASE, MD 20815

Deliver To:

William Glading
 36 Quincy Street
 CHEVY CHASE, MD 20815

301-525-6013

billyglading@gmail.com

Estimate

Estimate Date: Feb-06-2023

Estimate Number: 1015007

Payment Terms: 30% Down / Bal on Del

Total Amount: **\$9181.54**

Price quoted is valid for 30 days

Sales Rep: Cleon W Kemp

Details

Shed:	Door:	Shutter:
Roof:	Trim (Around Door):	Drip Edge:
Corner Trim:	Trim Color (On Door):	
Fascia Trim:	Window Trim Color:	

Description	Quantity	Price	Total
Shipping for Premier Sheds	1	\$648.00	\$648.00
Credit for non-engineered shop plans	1	-\$200.00	(\$200.00)

APPROVED

Montgomery County
 Historic Preservation Commission



REVIEWED
 By Dan.Bruechert at 1:33 pm, Mar 07, 2023

Customer is responsible for any and all site preparation, including leveling, fill and grading. Sheds Unlimited requests that delivery be rescheduled if Customer believes weather, soft ground or other conditions exist which would impede the safe delivery of the building or cause damage to the property. Customer also waives any course of action against Sheds Unlimited for any damage caused to lawn, pastures, ground, fences, gates, structures, buildings, animals or other property whatsoever. Customer is responsible to make pre-hung door adjustments, when a building with such a door is placed on a pad other than concrete. The balance of the purchase price is due at time of delivery. Any unpaid payments shall bear interest at the rate of two percent (2%) per month. No complaint about work or product shall excuse Customer from completing its payment obligations under this Agreement. Our cancellation and refund policy is as follows. 95% of the total is refundable if supplies have not been ordered. If supplies have been ordered the refund will be 95% or remaining balance after supplies are deducted. NOTE: If shed delivery time exceeds one hour charges of \$60.00 per hour will apply.

Subtotal: \$8,661.83
Sales Tax: \$519.71
Total: **\$9,181.54**

Signed By: _____

Date: _____