



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: January 30, 2023

MEMORANDUM

TO: Ehsan Motazedi, Acting DPS Director & Deputy Director Department of
Permitting Services
FROM: Winnie Cargill
Historic Preservation Section
Maryland-National Capital Park & Planning Commission Historic Area
SUBJECT: Work Permit #1016595 - New retaining wall and hardscape alteration

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** by the HPC Staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Fernando Angulo
Address: 7300 Holly Ave, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Winnie Cargill at 301.495.2108 or winnie.cargill@montgomeryplanning.org to schedule a follow-up site visit.





FOR STAFF ONLY:
HAWP# 1016595
DATE ASSIGNED _____

APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION
301.563.3400

APPLICANT:

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Tax Account No.: _____

AGENT/CONTACT (if applicable):

Name: _____ E-mail: _____
Address: _____ City: _____ Zip: _____
Daytime Phone: _____ Contractor Registration No.: _____

LOCATION OF BUILDING/PREMISE: MIHP # of Historic Property _____

Is the Property Located within an Historic District? Yes/District Name _____
No/Individual Site Name _____

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required as part of this Application? (Conditional Use, Variance, Record Plat, etc.?) If YES, include information on these reviews as supplemental information.

Building Number: _____ Street: _____

Town/City: _____ Nearest Cross Street: _____

Lot: _____ Block: _____ Subdivision: _____ Parcel: _____

TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:

- | | | |
|---|--|--|
| <input type="checkbox"/> New Construction | <input type="checkbox"/> Deck/Porch | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition | <input type="checkbox"/> Fence | <input type="checkbox"/> Solar |
| <input type="checkbox"/> Demolition | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof | <input type="checkbox"/> Window/Door |
| | | <input type="checkbox"/> Other: _____ |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Fernando Angulo

Signature of owner or authorized agent

Date

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:



Description of Work Proposed: Please give an overview of the work to be undertaken:

Work Item 1: _____

Description of Current Condition:

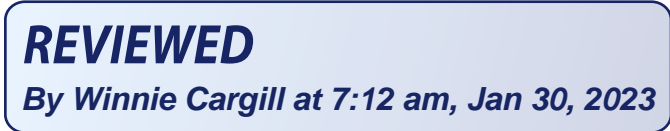
Proposed Work:

Work Item 2: _____

Description of Current Condition:



Proposed Work:



Work Item 3: _____

Description of Current Condition:

Proposed Work:



REVIEWED
By Winnie Cargill at 7:12 am, Jan 30, 2023

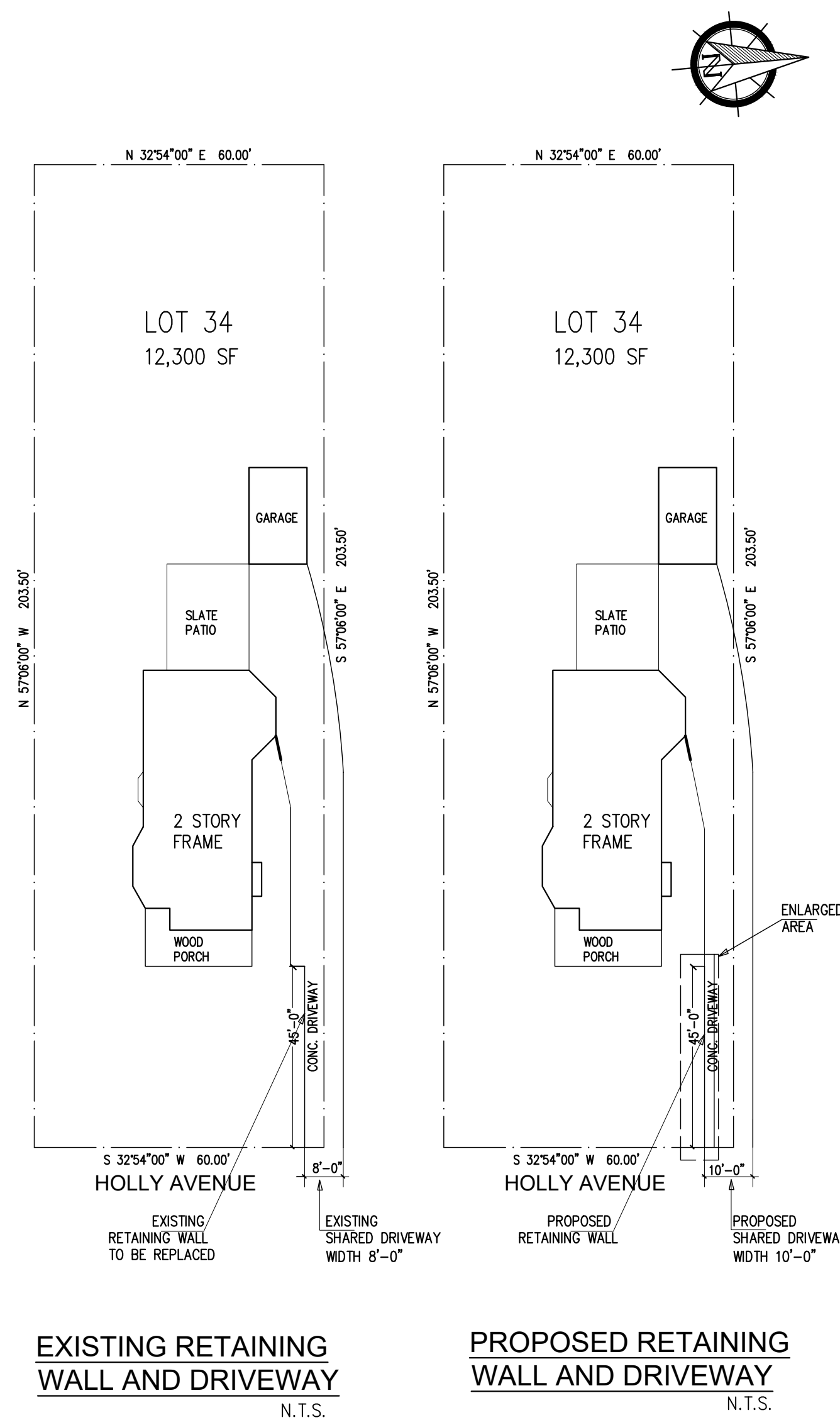
7300 HOLLY AVENUE

SPECIFICATION

GENERAL NOTES:

- SCOPE OF WORK TO INCLUDE CONSTRUCTION AS INDICATED ON THE DRAWINGS AND SPECIFIED HEREIN. EACH CONTRACTOR TO FURNISH ALL LABOR AND MATERIALS NECESSARY FOR COMPLETE INSTALLATION. EACH CONTRACTOR SHALL RESPECT WORK OF OTHER CONTRACTORS AND BE RESPONSIBLE AND LIABLE TO REPLACE OR REPAIR ANY DAMAGE CAUSED BY THEIR WORK.
- CODES: ALL WORK SHALL BE PERFORMED IN STRICT COMPLIANCE WITH LOCAL CODES AND STATE CODES AND REGULATIONS HAVING JURISDICTION. THE CONTRACTOR SHALL PROTECT AND INDEMNIFY THE OWNER AND DESIGNER AGAINST ANY CLAIM OR LIABILITY ARISING FROM VIOLATION OF ANY SUCH CODE REGULATION.
- THE CONTRACTOR SHALL OBTAIN REQUIRED PERMITS, INSPECTIONS AND APPROVALS.
- QUALITY: WORKMANSHIP SHALL BE OF THE HIGHEST TYPE AND MATERIALS USED OR SPECIFIED OF THE BEST QUALITY THAT THE MARKET AFFORDS. ALL INSTALLATION AND APPLICATIONS SHALL CONFIRM TO MANUFACTURER'S SPECIFICATION.
- COORDINATION OF THE WORK: THE GENERAL CONTRACTOR SHALL COORDINATE THE WORK OF ALL SUBCONTRACTORS AND MECHANICAL TRADES WHETHER THEY RECEIVE CONTRACT FROM THE CONTRACTOR
- EXAMINATION OF THE SITE AND DOCUMENTS: THE CONTRACTOR, BEFORE SUBMITTING HIS PROPOSAL, SHALL VISIT THE SITE AND EXAMINE FOR HIMSELF ALL CONDITIONS AND LAMINATIONS WHICH EFFECT THE CONTRACT. HE SHALL CAREFULLY EXAMINE ALL CONTRACT DOCUMENTS TITLES AND SUBDIVISIONS IN THESE DOCUMENTS ARE FOR CONVENIENCE AND NO REAL OR ALLEGED ERRORS IN ARRANGEMENT OF MATTER SHALL BE REASON FOR OMISSION OR DUPLICATION BY ANY CONTRACTOR.
- SEPARATE CONTRACTS: THE OWNER RESERVES THE RIGHT TO LEFT OTHER CONTRACTS IN CONNECTION WITH THE WORK. THE GENERAL CONTRACTOR SHALL AFFORD OTHER CONTRACTS REASONABLE OPPORTUNITY FOR THE EXECUTION OF THEIR WORK AND SHALL PROPERLY CONNECT AND COORDINATE HIS WORK WITH THEIRS.
- GUARANTEE: ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR PERIOD OF ONE YEAR FROM DATE OF FINAL ACCEPTANCE UNLESS SPECIFIED OTHERWISE FOR LONGER PERIOD
- TRASH REMOVAL: EACH CONTRACTOR SHALL PROVIDE FOR TRASH REMOVAL. IF TRASH AND DEBRIS ARE NOT REMOVED, THE OWNER MAY (AT HIS OPTION) PAY FOR ITS REMOVAL AND BACK CHARGE THE CONTRACTOR UNLESS OWNER AGREE IN CONTRACT TO PAY FOR TRASH REMOVAL OF TIME OF CERTAIN ITEMS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT THE SITE AND REPORT ANY DISCREPANCIES TO THE DESIGNER
- ALL SECTIONS, DETAILS, MATERIALS, METHODS, ETC. SHOWN AND/OR NOTED ON ANY PLAN OR SECTION SHALL APPLY TO ALL SIMILAR
- THE GENERAL CONTRACTOR SHALL SAFELY SHORE, BRACE OR SUPPORT ALL WORK AS REQUIRED. THIS WORK SHALL BE THE FULL RESPONSIBILITY OF THE CONTRACTOR AND NO ACT, DIRECTION OR REVIEW OF ANY SYSTEM OF METHOD BY THE DESIGNER SHALL RELIEVE THE OF FOOTINGS).
- IT IS NOT INTENT OF THESE DRAWINGS TO SHOW NOR INDICATE ANY OR ALL FASTENING OR FRAMING TECHNIQUES, DEVICES NOR BE ABLE TO SHOW ALL CONDITIONS PRESENT.
- IT IS THE OWNER RESPONSIBILITY TO SELECT ALL FINISHES: I.E. PAINT/STAIN, VINYL WALL COVERING, FLOOR MATERIAL, MOLDINGS IT MAY NOT APPLY TO THIS JOB.

HOUSE LOCATION



SCOPE OF WORK:

DESCRIPTION: EXISTING RETAINING WALL TO BE REPLACED AND MOVE 2 FEET BACK TO WIDEN 2 FEET EXISTING SHARED DRIVEWAY.

DRAWING LIST

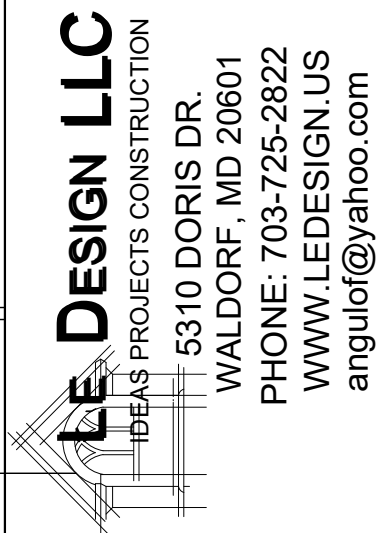
- 0001 COVER SHEET
- A001 RETAINING WALL ELEVATION
- FOUNDATION PLAN
- TYPICAL MASONRY SECTION
- RETAINING WALL SCHEDULE

NOTE:

- ALL WORK SHALL COMPLY WITH CURRENT MARYLAND WIDE UNIFORM BUILDING CODE, I.R.C. 2018 AS WELL AS WITH ANY LOCAL CODES, REGULATIONS OR ORDINANCES.

DESIGN CRITERIA:

- DESIGN LOADS:
 - ROOF: 30PSF LIVE LOAD AND 17 PSF DEAD LOAD = 47PSF
 - FIRST FLOOR, 40PSF LIVE LOAD AND 10 PSF DEAD LOAD = 50PSF
 - SECOND FLOOR: 40 PSF LIVE LOAD AND 10 PSF DEAD LOAD= 50 PSF EXCEPT SLEEPING AREAS 30 PSF LIVE LOAD AND 10 PSF DEAD LOAD = 40 PSF
- LATERAL LOADS
 - WINDS 20PSF
- SOIL VALUE
 - ASSUMED TO BE 1500 PSF BEARING CAPACITY
 - WATER TABLE, min 2"-0" BELOW BOTTOM FO ALL CONCRETE SLABS AND FOOTINGS.
 - SOIL TYPES, FOOTINGS, FOUNDATION WALLS, AND SLABS SHALL NOT BE PLACED ON OR IN MARINE CLAY, PEAT OR OTHER ORGANIC MATERIALS.
- FOOTINGS
 - BOTTOMS OF ALL FOOTINGS SHALL EXTEND 1'-0" MINIMUM INTO UNDISTURBED SOIL AND WHERE SUBJECT TO FROST ACTION, AT LEAST 2'-6" BELOW FINISH GRADE.
 - FOOTINGS FOR SOLID MASONRY PIERS SHALL PROJECT 9" EACH SIDE OF THE PIER ABOVE AND SHALL BE 1'-6" DEEP UNLESS OTHERWISE NOTED.



OWNER:
MR. & MRS. ROBERTS

HOUSE LOCATION:
TAKOMA PARK MD 20912
7300 HOLLY AVE.

DRAWING BY:
FERNANDO ANGULO

REVISION	
△	DATE

ISSUE DATE
11/15/82022

PROJECT NUMBER

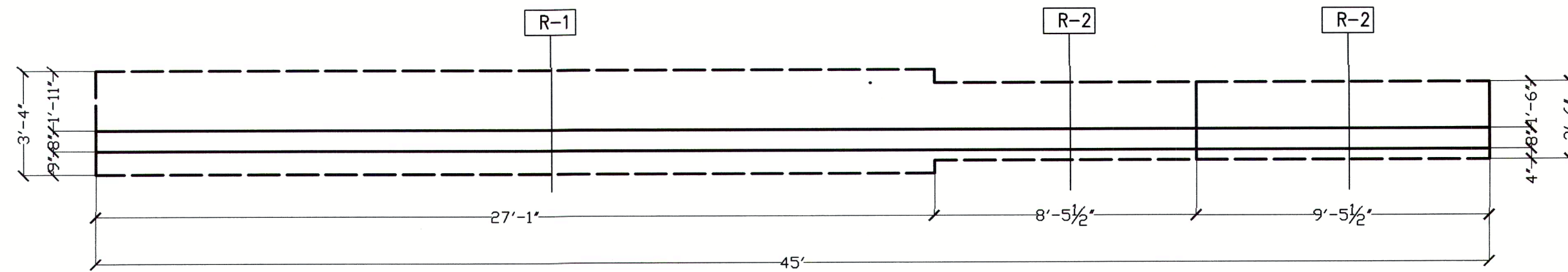
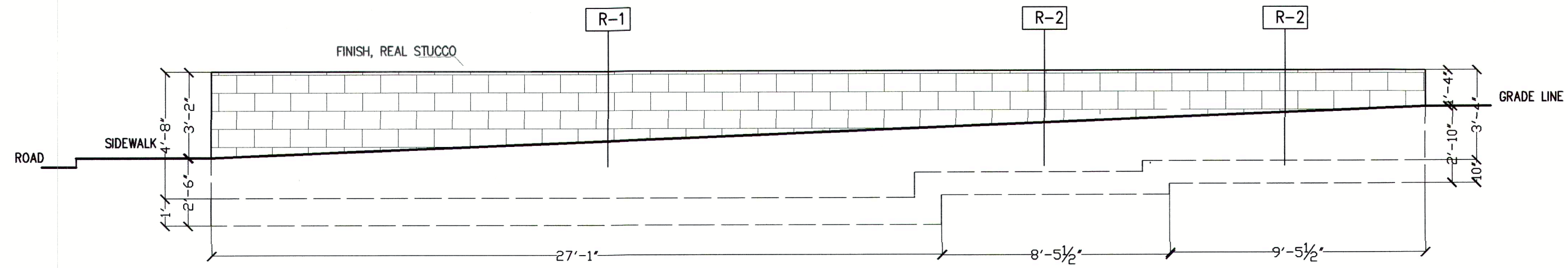
SHEET NUMBER
0001

DocuSigned by:
Nader Elhajj
7EDD74F8123E458

12/1/2022



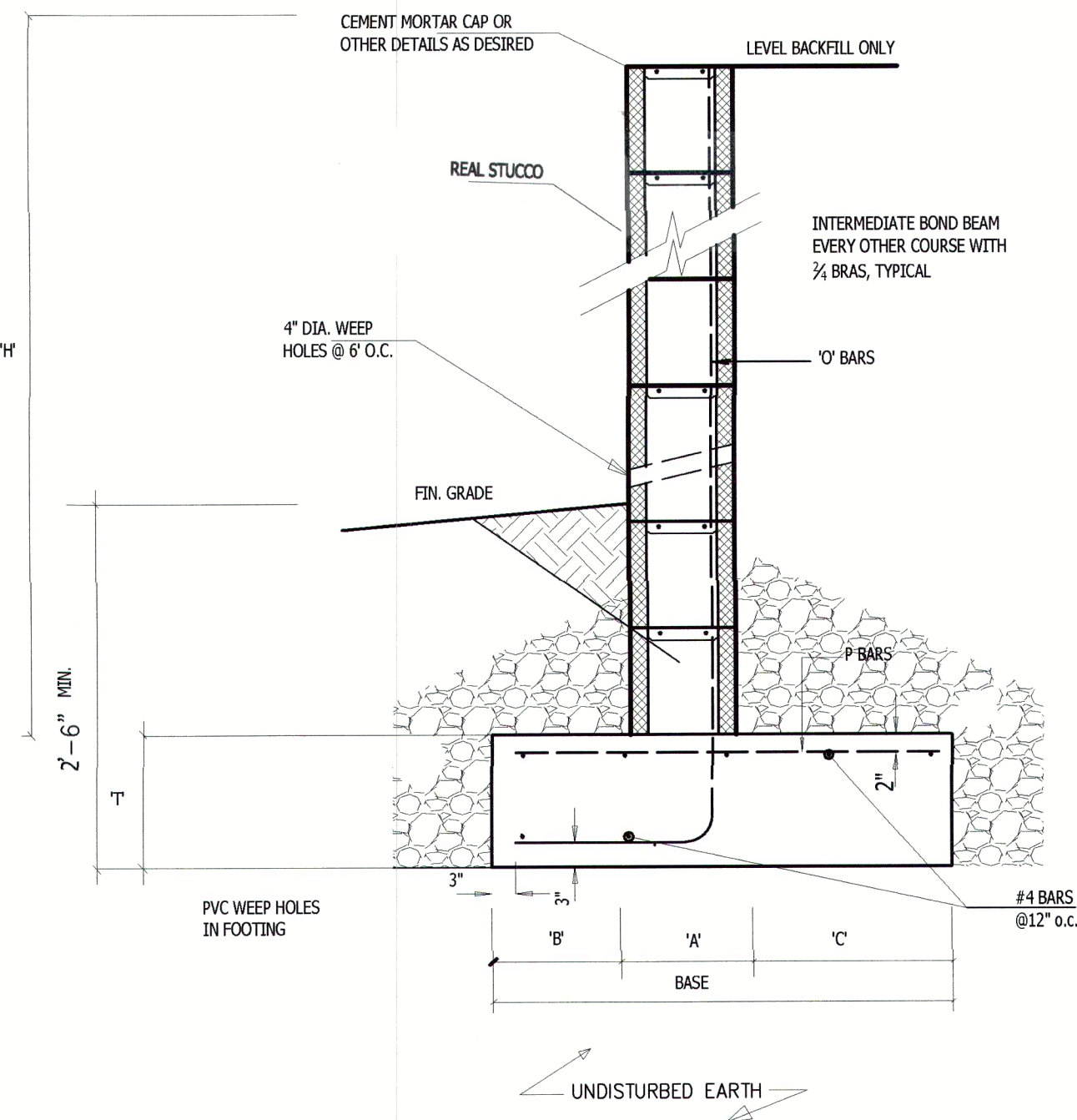
"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 27311, Expiration Date: 04/22/2024."



APPROVED
Montgomery County
Historic Preservation Commission

Robert A. Roberts

REVIEWED
By Winnie Cargill at 7:12 am, Jan 30, 2023



TYPICAL MASONRY WALL SPECIFICATION FOR FULLY GROUTED WALL								
WALL IDENTIFICATION NUMBER	ESTIMATED HEIGHT 'H'	BASE FOOTING SIZE	'B'	'A'	'C'	'T'	REINFORCING	
							'O' BARS (dowels)	'P' BARS
R-1	4'-8"	3'-4"	9"	8"	1'-11"	12"	#4 @ 16	#4 @ 30
R-2	3'-4"	2'-6"	4"	8"	1'-6"	10"	#4 @ 16	#4 @ 30



DocuSigned by:
Nader Elhaj
7EEDD74F8123E456...
12/1/2022

"Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 27311, Expiration Date: 04/22/2024."

LE DESIGN LLC
IDEAS PROJECTS CONSTRUCTION
5510 DORIS DR.
WALDORF, MD 20601
PHONE: 703-725-2822
WWW.LEDESIGN.US
angulof@yahoo.com

OWNER:
MR. & MRS. ROBERTS
HOUSE LOCATION:
7300 HOLLY AVE.
TAKOMA PARK MD 20912

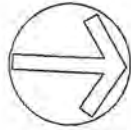
DRAWING BY:
FERNANDO ANGULO

REVISION		
Δ	DATE	

ISSUE DATE
11/15/82022

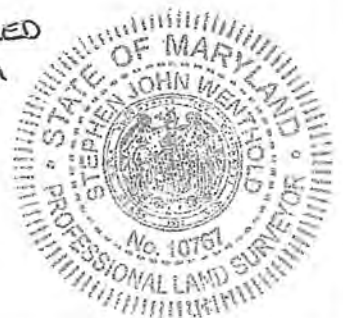
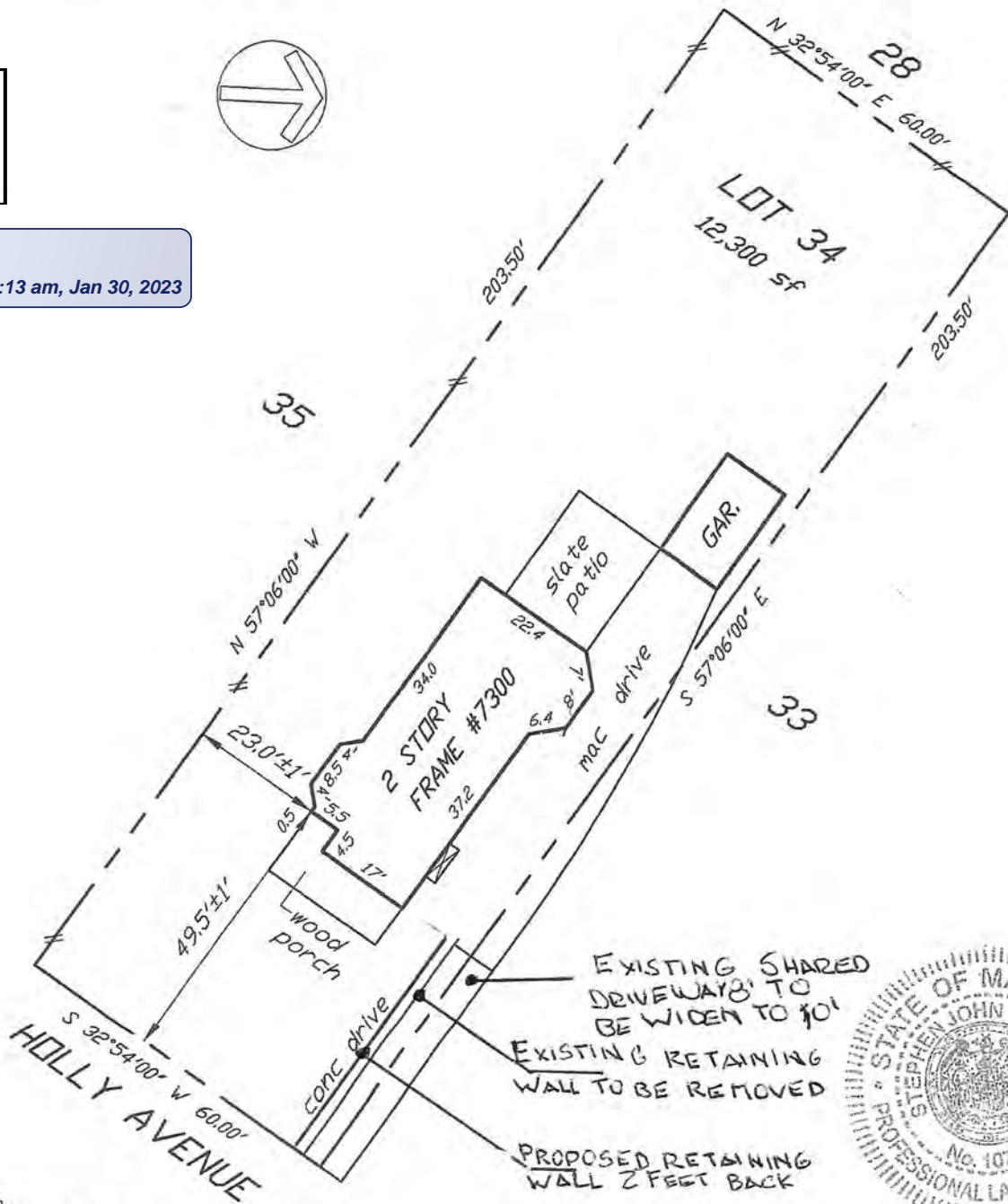
PROJECT NUMBER

SHEET NUMBER
A001



REVIEWED

By Winnie Cargill at 7:13 am, Jan 30, 2023



Apparent occupation is shown.
No evidence of property corners was found.

Date: 10-20-22 Scale: 1"=30' Drn: rcd
 Plat Book: B NO TITLE REPORT FURNISHED
 Plat No.: 2
 Work Order: 22-1459
 Address: 7300 HOLLY AVENUE
 District: 13
 Jurisdiction: MONTGOMERY COUNTY, MARYLAND

LOCATION DRAWING
 LOT 34
 BLOCK 12
 BRASHEARS SUBDIVISION

NOTE: This plat is of benefit to a consumer only insofar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or refinancing. This plat is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements. This plat does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or refinancing.

Surveyor's Certification
 My License expires February 10, 2024

I hereby certify that the survey shown hereon is correct to the best of my knowledge and that, unless noted otherwise, it has been prepared utilizing description of record. This survey is not a boundary survey and the location or existence of property corners is neither guaranteed nor implied. Fence lines, if shown, are approximate in location. Building restriction lines shown are per available information and are subject to the interpretation of the originator.

Stephen J. Wenthold

MERIDIAN SURVEYS, INC.
 PO BOX 549
 FREDERICK, MD 21705
 (301) 721-9400





