



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: February 9, 2021

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #937249: Construction of a new addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the January 27, 2021 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Roslyn Mazer and David Holzworth (Jonathan Kuhn, Agent)
Address: 37 West Irving Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.

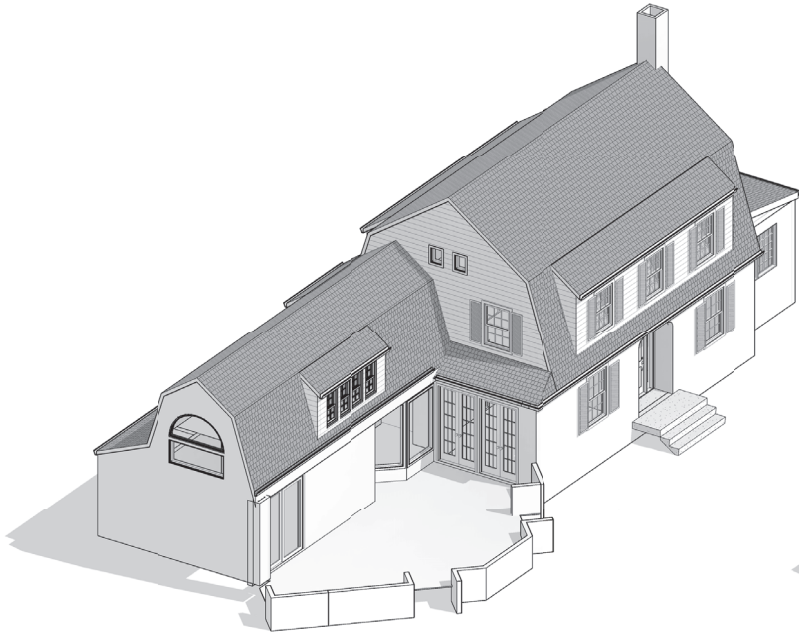


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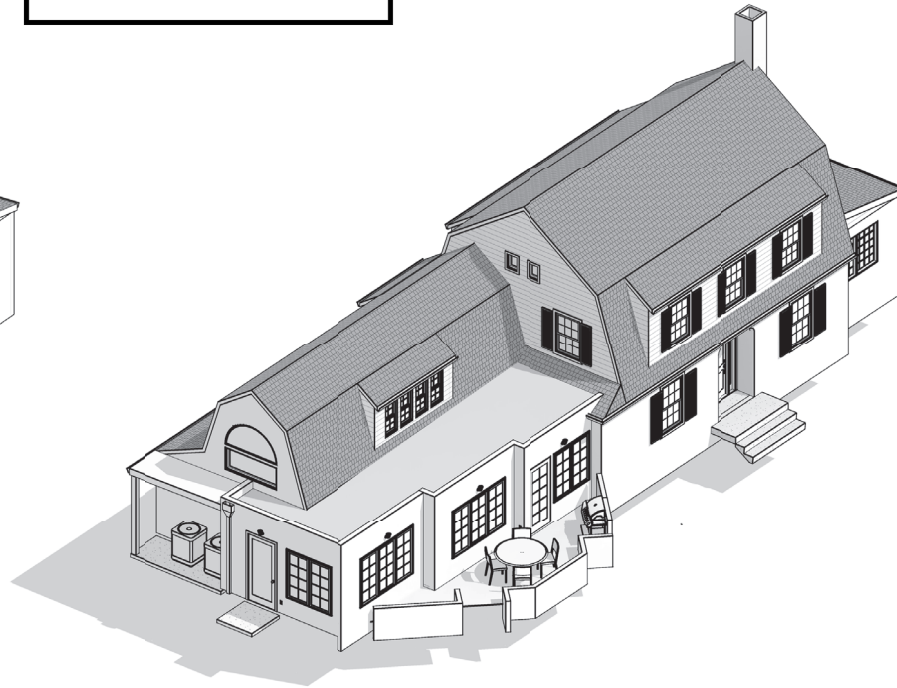
By Michael Kyne at 1:09 pm, Feb 09, 2021

APPROVED
Montgomery County
Historic Preservation Commission

Sandra L. Heiler



EXISTING RENDERING



PROPOSED RENDERING

Mazer Holzworth Residence

37 West Irving Street, Chevy Chase,
Montgomery County, MD 20815

I hereby certify that these documents
were prepared or approved by me, and
that I am a duly licensed architect under
the laws of the State of Maryland, license
number 15238, exp. date of 10.24.21.



JONATHAN KUHN ARCHITECT
ONE P STREET NW WASHINGTON DC 20001
T: 202.494.5061
JONATHAN@KUHNARCHITECT.COM
WWW.KUHNARCHITECT.COM



Mazer Holzworth Residence

37 West Irving Street, Chevy Chase,
Montgomery County, MD 20815
12 October, 2020 Issued for Permit

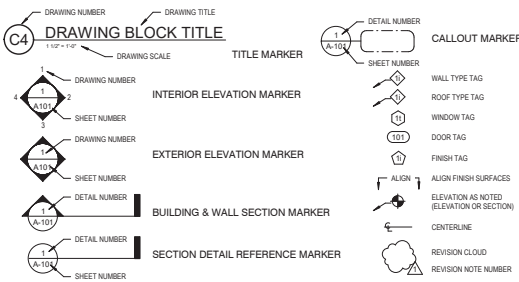
LIST OF ABBREVIATIONS

-	Angle	MFR	Manufacturers(S)
#	Number	MB	Minimum
#	Centrifuge	MSC	Miscellaneous
1	Diameter	MO	Masonry Opening
1X	One-inch nominal thickness	MTL	Metal
2X	Two-inch nominal thickness	MTD	Mounted
ABV	Above	MTG	Mounting
AC	Air Conditioning	MW	Moware Oven
ACU/ST	Acoustical	N	North
ACT	Acoustical Ceiling Tile	NC	Not in Contract
ADJ	Adjacent, Adjustable	NIS	Number
AFF	Above Finish Floor	NTS	Not to Scale
AHU	Air Handler Unit	OC	Outside Diameter
ALT	Alternate	OC	On Center
ALUM	Aluminum	OFI	Owner Furnished, Contractor Installed
ANOD	Anodized	OFF	Office
APPROX	Approximate	OH	Opposite Hand
BD	Board (or Bead, if applicable)	OPNG	Opening
BTWN	Between	OSP	Opposite
BLDG	Building	PART	Partition
BLKG	Blocking	PBR	Rebricated
BLT	Bolt	PL	Plastic/Property Line
BM	Beam	PLM	Plastic Laminate
BOT	Bottom	PLEX	Plexiglass
BRG	Bearing	PLY	Plywood
BSMT	Basement	POLY	Polyethylene
CAB	Cabinet	PK	Pair
CER	Ceramic	PSF	Pound Per Square Foot
CH	Ceiling Height	PSI	Pound Per Square Inch
CJ	Chin Joint	PT	Pressure Treated
CLG	Cladding	PTD	Painted
CLAD	Clad	PVC	Polyvinyl Chloride
CLO	Closet	QT	Quarry Tile
CLSR	Clear	QTY	Quantity
CMU	Concrete Masonry Unit	R	Riser(s)
COL	Column	RO	Rough Opening
CONC	Concrete	R	Radius
CONSTR	Construction	RCP	Reflected Ceiling Plan
CONT	Continued	REPT	Repetitive
CDRR	Corral	REF	Refrigerator
CPT	Ceiling	REG	Register
CS	Cast Stone	RENF	Reinforcing
CSMT	Countersink	REQD	Required
CSK	Cesment	RESIL	Resilient
CTR	Ceramic Tile	REV	Revision
CDR	Center/Counter	RL	Rain Leader
CTRD	Centered	RM	Room
CW	Cold Water	RTU	Roof Top Unit
DBL	Double	S	South
DEMO	Demoish, Demolition	SAS	Surface Four Sides
DET	Detail	SCHD	Solid Core Schedule(d)
DF	Drinking Fountain	SECT	Section
DH	Double Hung	SHT	Sheet
DIA	Diameter	SIM	Similar
DIM	Dimension	SF	Square Feet
DN	Down	SPC	Specification
DR	Door	SQ	Square
DW	Downspout	SS	Stainless Steel
DWG	Drawing	STD	Standard
E	East	STL	Steel
EA	Each	STR	Storage
EJ	Expansion Joint	STRUC	Structure
EL	Elevation	SURF	Surface
ELEC	Electrical	SUSP	Suspend
ELEV	Elevator	T	Treads
EMER	Emergency	T&G	Tongue and Groove
EQ	Equal	TBD	To Be Determined
EQUIP	Equipment	TEL	Telephone
EW	Electric Water Cooler	TEMP	Temperature
EXIST	Existing	THK	Thick
EWH	Exhaust	TOL	Toler
EXP	Exposition, Exposed	TO	Top of ()
EXT	Exterior	TYP	Typical
FA	Fire Alarm	UL	Underwriters Laboratories, Inc.
FBO	Furnished by Owner	UNFN	Unfinished
FD	Floor Drain	UNO	Unless Noted Otherwise
FND	Foundation	US	Underside
FEC	Fire Extinguisher Cabinet	UTL	Utility
FF	Finish Floor	VB	Vapor Barrier
FGL	Fiberglass	VPC	Vinyl Composition Tile
FIN	Finish	VENT	Ventilator
FLASH	Flashing	VERT	Vertical
FL	Floor	VEST	Vestibule
FLUOR	Fluorescent	VF	Verify in Field
FOV	Face of Masonry	VNR	Veneer
FOS	Face of Structure (or Face of Stud, where applicable)	WC	Water Closet
FRP	Fiberglass reinforced plastic	WD	Wood
FRT	Fire Retardant Treated	WF	Wide Flange
FRMG	Framing	WH	Water Heater
FT	Foot	WP	Waterproofing
FTG	Footings	WJ	Weight
FLRN	Furniture/Furnish	WO	Without
FURN	Furnish	WT	Weight
FVC	Fire Valve Cabinet	WWM	Welded Mesh Mesh
GA	Gauge		
GALV	Galvanized		
GC	General Contractor		
GFI	Ground Fault Interrupter		
GL	Glass		
GWB	Gypsum Wall Board		
GYP	Gypsum		
HB	Hose Bib		
HC	Hollow Core/Handicappd		
HD	Head		
HDWE	Hardware		
HM	Hollow Metal		
HORIZ	Horizontal		
HT	Height		
HTR	Heating/Ventilation/Air-Conditioning		
HVAC	Hot Water		
HW	Hot Water		
IG	Isolated Ground		
IN	Inch		
INCL	Incandescent		
INCL	Inclusion(s)		
INSUL	Insulation		
INT	Interior		
JAN	Janitor		
JNT	Joint		
KIT	Kitchen		
LAV	Lavatory		
LEV	Level		
MAS	Masonry		
MAX	Maximum		
MDF	Medium Density Fiberboard		
MDO	Medium Density Overlay		
MECH	Mechanical		
MEZZ	Mezzanine		

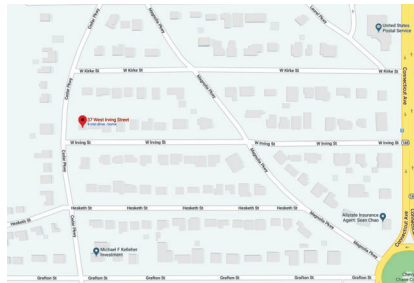
GENERAL NOTES

1. OMISSIONS OR CONFLICTS IN THE DRAWINGS AND ANY RESTRICTIONS RELATED TO THE EXECUTION OF THE WORK IN THE CASE OF CONFLICTS BETWEEN DRAWINGS, OR NOTES AND DRAWINGS, IT SHALL BE ASSUMED THE STRICTEST CONDITION OR REQUIREMENT HAS BEEN INCLUDED IN THE COST AND SCOPE OF THE WORK.
2. ISSUE COMPLETE SETS OF THE CONTRACT DOCUMENTS TO EACH OF THE SUBCONTRACTORS FOR COORDINATION OF THEIR WORK WITH OTHER TRADES AND DESCRIPTION OF SCOPE.
3. APPLY FOR, OBTAIN AND PAY FOR ALL PERMITS, FEES, INSPECTIONS AND APPROVALS BY LOCAL AUTHORITIES HAVING JURISDICTIONS OVER THE PROJECT. PROVIDE COPIES OF ALL CODES IN FORCE. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION WITH ORDERS OF ANY PUBLIC AUTHORITY BEARING ON THE PERFORMANCE OF THE WORK.
4. CONTRACTOR IS RESPONSIBLE FOR COORDINATING AND PROVIDING PROTECTION FOR ALL NEW AND EXISTING WORK IN PLACE WHEN SUBJECT TO POTENTIAL DAMAGE BY WORK OF OTHER TRADES. CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL ABOVE CEILING WORK AND SHALL DURING LAYOUT SUBMIT COORDINATION SHOP DRAWINGS OF ALL CEILING HEIGHT, FIXTURES, CONDUIT, PIPING, SPRINKLER LINES AND DUCT WORK IDENTIFYING ANY POTENTIAL CONFLICTS. CONTRACTOR SHALL REROUTE ITEMS AS REQUIRED. CONTRACTOR SHALL BE RESPONSIBLE FOR MINOR RELOCATIONS OF ITEMS, TO AVOID CONFLICTS WHILE MAINTAINING THE DESIGN INTENT.
5. GC SHALL DEFINE SCOPE, SCHEDULE AND COST IMPLICATIONS WITH OWNER REGARDING ANY WORK BEING DONE BY OUTSIDE CONTRACTORS AND SUBCONTRACTORS.
6. COORDINATE SCHEDULING PROVISIONS FOR INSTALLATION. LOCATIONS AND THE ACTUAL INSTALLATION OF ITEMS FURNISHED BY OWNER OR BY OTHERS. FACILITATE WORK WITH ALL TRADES ON THE PROJECT NOT UNDER CONTRACT TO THE CONTRACTOR (I.E. TELEPHONE, COMPUTER INSTALLERS, ETC).
7. VERIFY DIMENSIONS IN THE FIELD. TO THE EXTENT THAT DIMENSIONS CANNOT BE VERIFIED OR THE VERIFICATION OF DIMENSIONS WOULD CAUSE A DELAY IN THE PROGRESS OF THE WORK, CONTRACTOR SHALL GUARANTEE DIMENSIONS TO HIS SUBCONTRACTOR FOR COORDINATION. DO NOT SCALE DRAWINGS.
8. SUBMIT FOR CONSIDERATION ALL SPECIFICATIONS AND PRODUCT LITERATURE AND OTHER PERTINENT DATA OF ANY PROPOSED SUBSTITUTIONS.
9. PERFORM ALL WORK AND INSTALL MATERIALS IN STRICT ACCORDANCE WITH MANUFACTURERS SPECIFICATIONS AND INSTRUCTIONS AND IN A MANNER CONSISTENT WITH INDUSTRY STANDARDS OF WORKMANSHIP.
10. EXAMINE ALL SURFACES TO DETERMINE THAT THEY ARE SOUND, DRY, CLEAN AND READY TO RECEIVE FINISHES OR MILLWORK PRIOR TO INSTALLATION. START OF INSTALLATION SHALL IMPLY ACCEPTANCE OF SUBSTRATE AND SHALL NOT BE GROUNDS FOR CLAIMS AGAINST IMPROPER PERFORMANCE OF INSTALLED MATERIALS.
11. INSTALL AND MAINTAIN ALL NECESSARY COVERINGS, PROTECTIVE ENCLOSURES, TEMPORARY DOORS AND PARTITIONS AND DUST BARRIERS TO PROTECT ALL OCCUPANTS AND EXISTING WORK AND FINISHES TO REMAIN. REPAIR AND REPLACE ANY DAMAGES CAUSED BY IMPROPER PROTECTION AT NO ADDITIONAL COST TO OWNER.
12. PROVIDE TO OWNER ANY MANUFACTURERS' PRODUCT LITERATURE, MAINTENANCE REQUIREMENTS AND/OR SCHEDULES.

SYMBOLS LEGEND



VICINITY MAP



PROJECT INFORMATION

Address: 37 West Irving Street, Chevy Chase, Montgomery County, MD 20815
 Neighborhood: Chevy Chase Village
 Uses: Residential Zoning Classification: R-60
 Parcel #: 07-009-00465281
 Account No.: 00455281
 Lot #: 7 Block #: 32
 District: 07 Jurisdiction: Montgomery County, Maryland
 Subdivision: Chevy Chase Section 2

PROJECT TEAM

OWNER:
 Roslyn and David Holzworth
 37 West Irving Street, Chevy Chase,
 Montgomery County, MD 20815
 Contact: Roslyn Mazer 202.362.3638

STRUCTURAL ENGINEER:
 BEL Engineering, LLC.,
 4542 Beech Road,
 Temple Hills, MD 20748
 Contact: Wondowson Ali 240.830.2555

ARCHITECT:
 Jonathan Kuhn Architect
 One P Street NW
 Washington, DC 20001
 Contact: Jonathan Kuhn 202.621.6654

PROJECT DESCRIPTION

ENCLOSED PART OF EXISTING DECK FOR A ONE-STORY SLEEPING PORCH.
 NEW ADDITION WILL NOT ENCRACH THE 25 BUILDING RESTRICTION LINE.

APPLICABLE CODES

2018 International Residential Code
 MERIC Maryland Rehabilitation Building Code
 2018 International Energy Conservation Code
 2018 International Mechanical Code
 2017 National Electrical Code
 2015 Life Safety Code NFPA 70

DRAWING INDEX

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 A.002 SITE PHOTOGRAPHS AND KEY PLAN
- ARCHITECTURAL**
 D.100 ARCHITECTURAL SITE PLANS
 D.101 EXISTING FIRST FLOOR & ROOF PLANS
 D.201 EXISTING ELEVATIONS
- ARCHITECTURAL**
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 A.201 PROPOSED ELEVATIONS
 A.301 WALL SECTION AND WALL TYPES
 A.302 STUCCO SIDING TYPICAL DETAILS
 A.303 STUCCO SIDING TYPICAL DETAILS
 A.501 REFLECTED CEILING PLAN, DOOR SCHEDULE, WINDOW SCHEDULE

- STRUCTURAL**
 S.001 GENERAL NOTES
 S.010 FOUNDATION PLAN
 S.012 FIRST FLOOR & ROOF FRAMING PLANS
 S.030 SECTIONS AND TYPICAL DETAILS
 S.040 TYPICAL DETAILS

REVIEWED
 By Michael Kyne at 1:09 pm, Feb 09, 2021

APPROVED
 Montgomery County
 Historic Preservation Commission
 Sandra L. Keiler

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SCALE
 3/16" = 1'-0"

SHEET NO.
A.001

OFFICIAL STAMPS

JKA

JONATHAN KUHN ARCHITECT
 ONE P STREET NW
 WASHINGTON DC 20001
 T: 202.494.5661
 JONATHAN@JKUHNARCHITECT.COM
 WWW.JKUNARCHITECT.COM

Mazer Holzworth Residence
 37 West Irving Street, Chevy Chase,
 Montgomery County, MD 20815

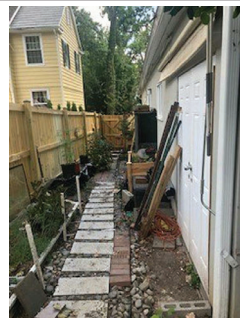
ISSUE RECORD
 12. October, 2020
 Issued for Permit
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SEAL

SHEET NAME
PROJECT INFO



① View from W Irving Street



② Side Yard



③ View from Cedar Parkway



④ View from Cedar Parkway



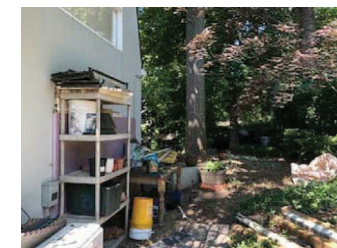
⑤ View from Cedar Parkway



⑥ View from Cedar Parkway



⑦ View from Lot 8 showing existing deck



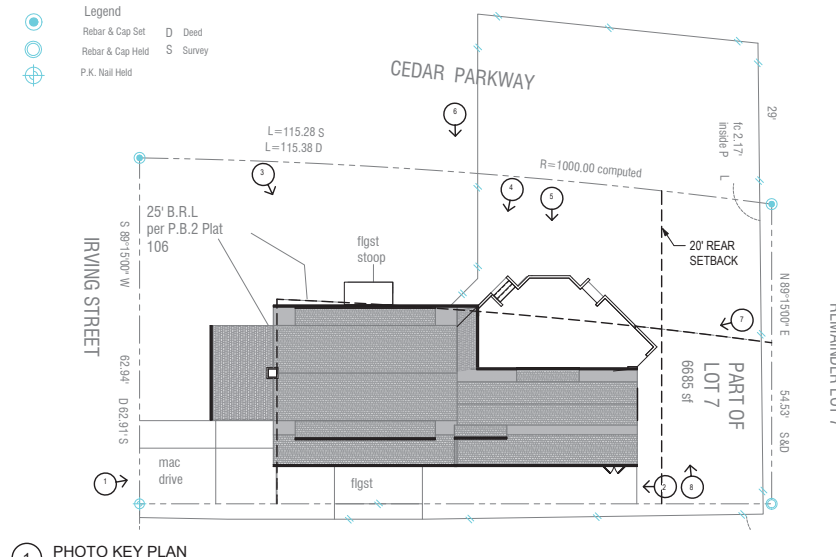
⑧ View of North side of the property

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By Michael Kyne at 1:09 pm, Feb 09, 2021

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Sandra L. Heiler



① PHOTO KEY PLAN

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JK_A

JONATHAN KUHN ARCHITECT
 ONE F STREET NW
 WASHINGTON DC 20001
 T: 202.494.5061
 JONATHAN@KUHNARCHITECT.COM
 WWW.KUHNARCHITECT.COM

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SITE PHOTOGRAPHS
 AND KEY PLAN

SCALE
 3/32" = 1'-0"

SHEET NO.
 A.002

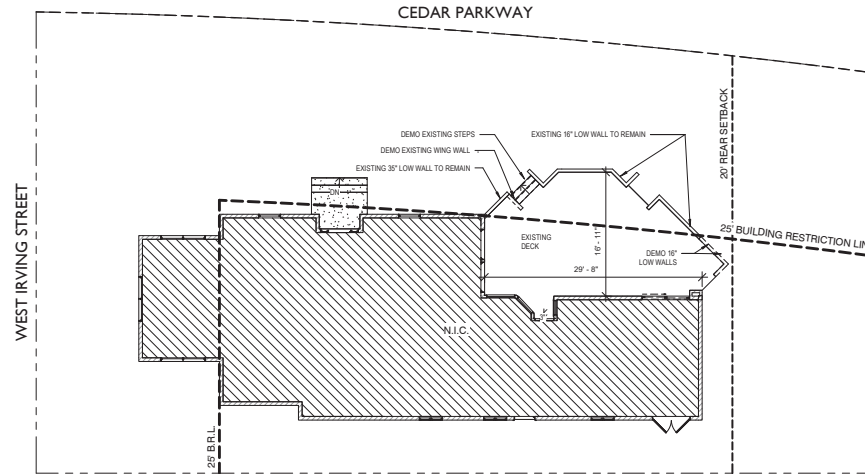
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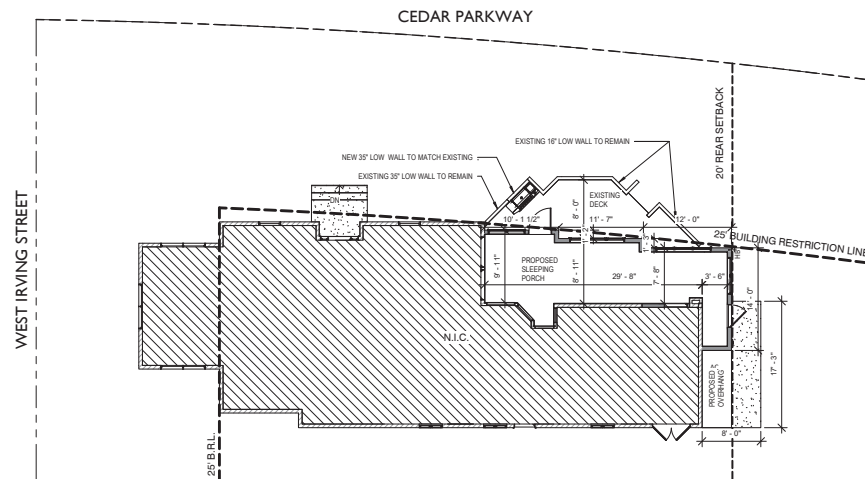
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Historic Preservation Commission

Sandra L. Skiler



1 EXISTING SITE PLAN
1/8" = 1'-0"



2 PROPOSED SITE PLAN
1/8" = 1'-0"

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OFFICIAL STAMPS

JONATHAN KUHN ARCHITECT
ONE F STREET NW
WASHINGTON DC 20001
T: 202.494.5061
JONATHAN@KUHNARCHITECT.COM
WWW.KUHNARCHITECT.COM

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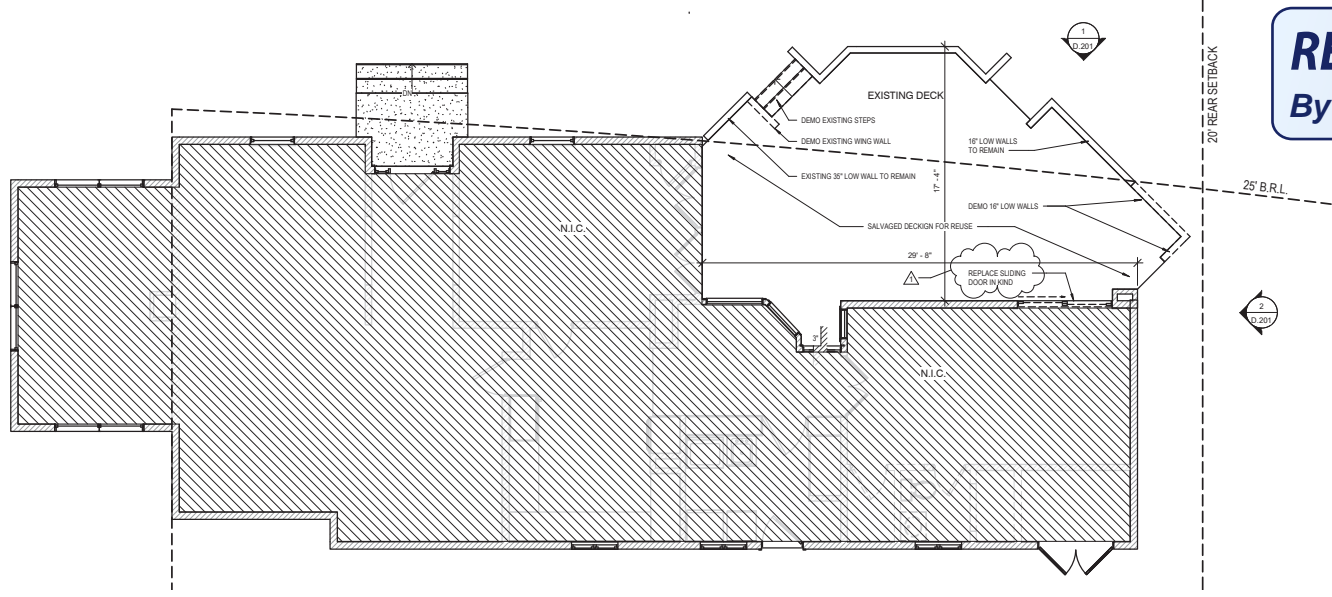
SHEET NAME
ARCHITECTURAL SITE
PLANS

SCALE
1/8" = 1'-0"

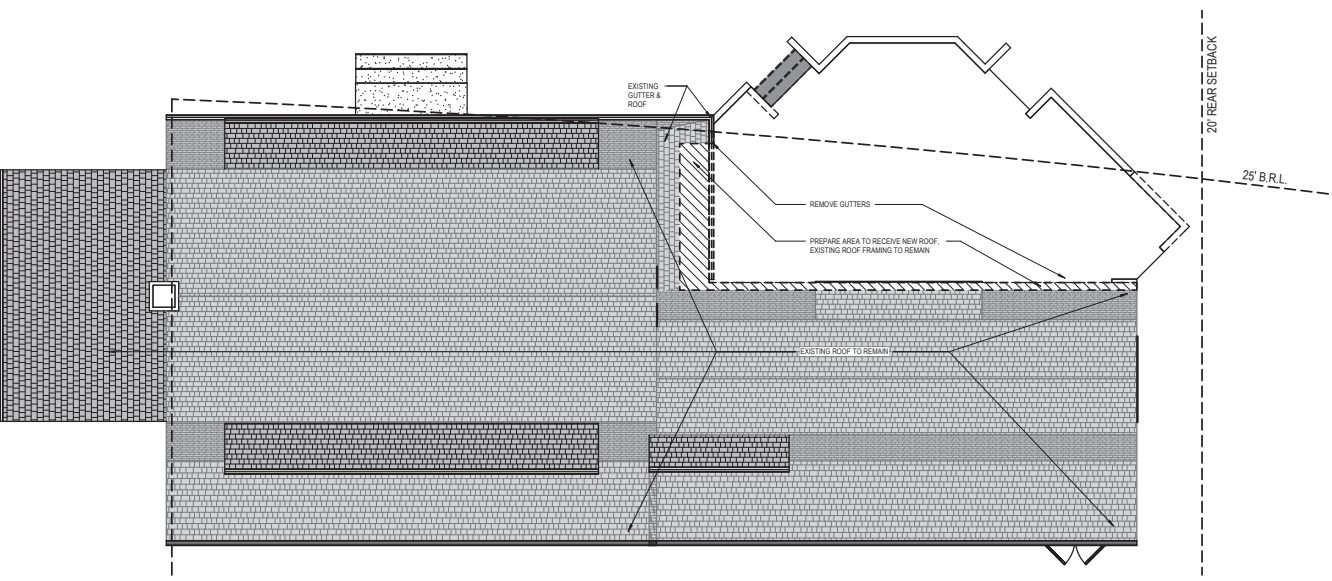
SHEET NO.
D.100



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1 EXISTING FIRST FLOOR
1/8" = 1'-0"



2 EXISTING ROOF PLAN
1/8" = 1'-0"

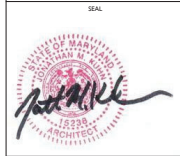
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JK_A
JONATHAN KUHN ARCHITECT
ONE F STREET NW
WASHINGTON DC 20001
T: 202.494.5061
JONATHAN@KUHNARCHITECT.COM
WWW.KUHNARCHITECT.COM

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1 12.11.20

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DEMOLITION NOTES

- 1. ALL WORK SHALL BE COMPLETED IN ACCORDANCE WITH THE REGULATIONS SET BY THE BUILDING DEPARTMENTS AND AGENCIES HAVING JURISDICTION.
- 2. DEMOLITION INCLUDES, BUT IS NOT LIMITED TO, WHAT IS INDICATED ON THE DRAWINGS. THE INTENT IS TO PROVIDE THE GENERAL SCOPE OF DEMOLITION REQUIRED TO COMPLETE THE WORK DEMONSTRATED IN THE CONTRACT DRAWINGS. COORDINATE DEMOLITION WITH THE PROPOSED LAYOUT, FURNISHINGS, FIXTURES AND MATERIALS INDICATED IN THE FOLLOWING DRAWINGS.

WALL KEY:

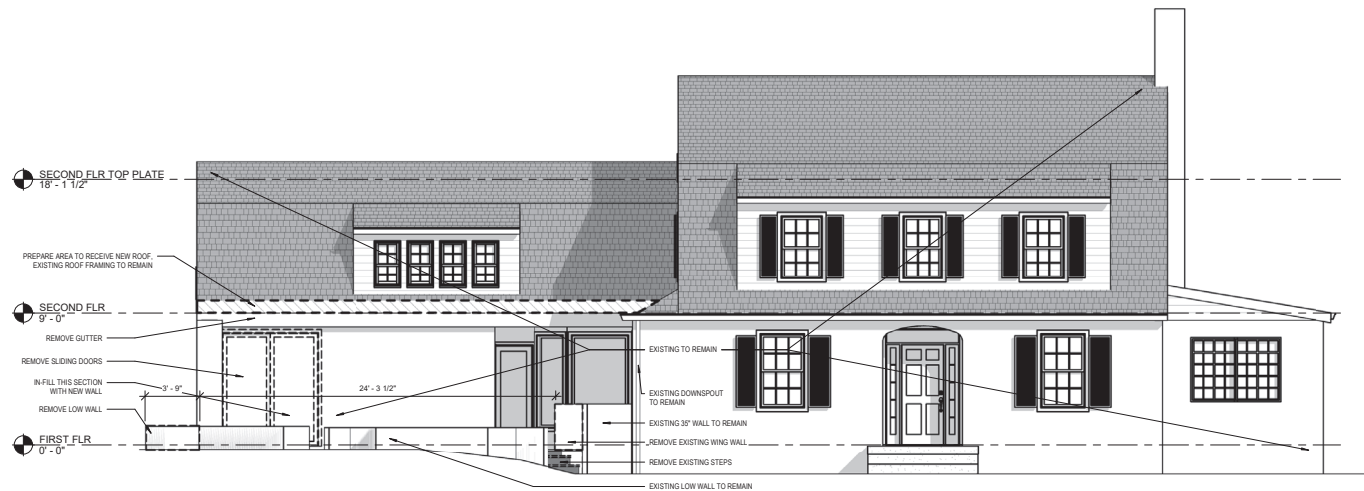
- [---] EXISTING WALLS TO BE DEMOLISHED
- [//] EXISTING WALLS TO REMAIN



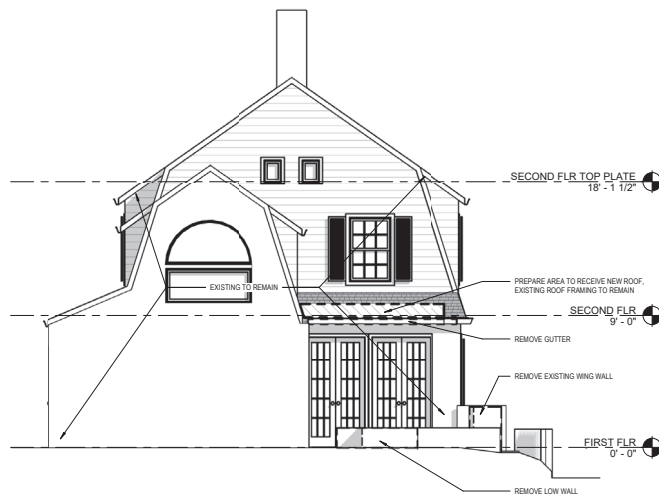
SHEET NAME
EXISTING FIRST FLOOR & ROOF PLANS

SCALE
As indicated

SHEET NO.
D.101



1 EXISTING WEST ELEVATION
1/4" = 1'-0"



2 EXISTING NORTH ELEVATION
1/4" = 1'-0"

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OFFICIAL STAMPS

JK_A

JONATHAN KUHN ARCHITECT
ONE P STREET NW
WASHINGTON DC 20001
T: 202.494.5061
JONATHAN@KUHNARCHITECT.COM
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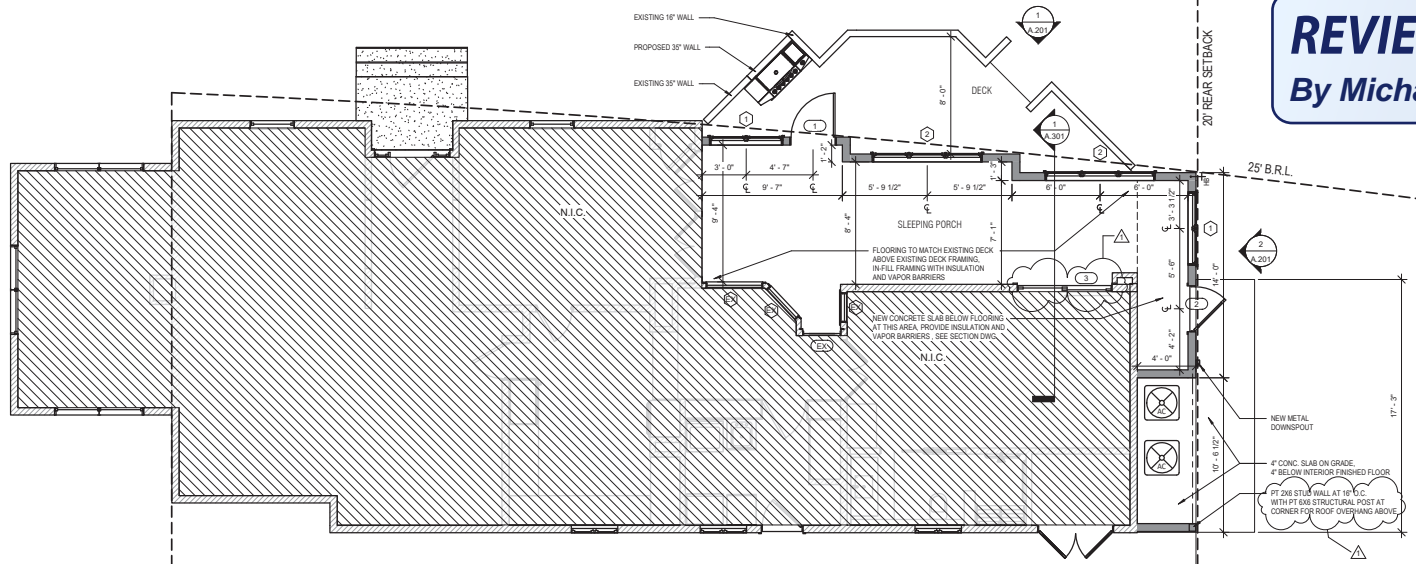
SEAL

EXISTING ELEVATIONS

SCALE
1/4" = 1'-0"

SHEET NO.
D.201

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1 PROPOSED FIRST FLOOR

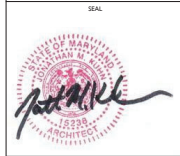
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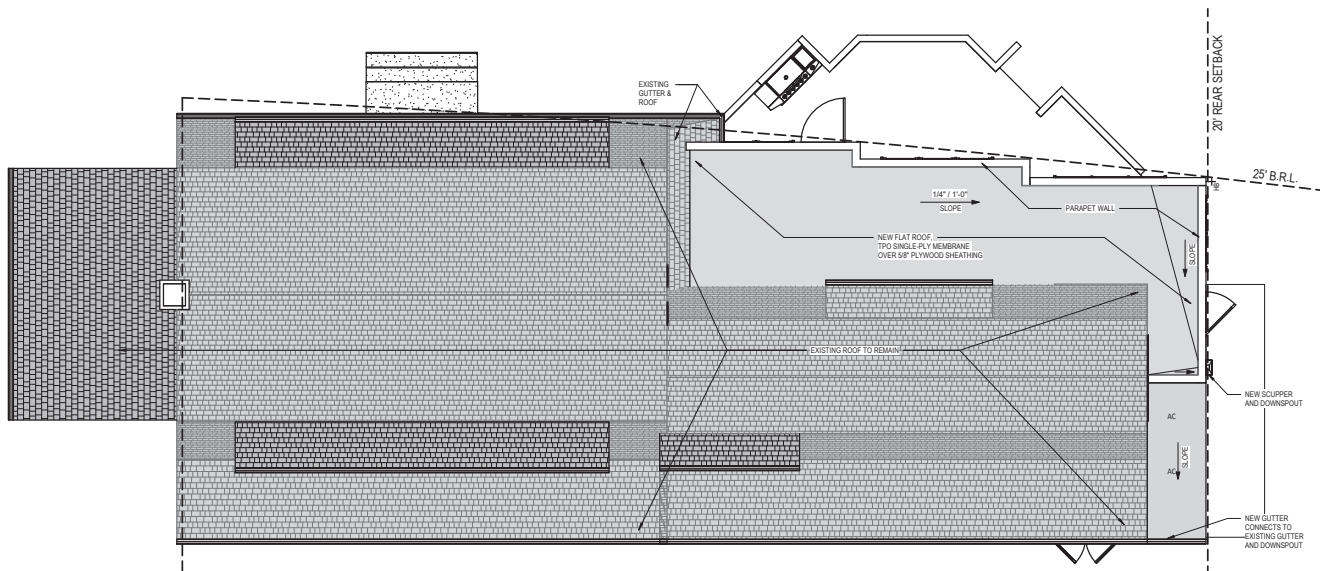
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PROPOSED FIRST FLOOR & ROOF PLANS



2 PROPOSED ROOF PLAN

PLAN GENERAL NOTES

- 1. TYPICAL INTERIOR WALL IS 2X4 WOOD STUD AT 16\"/>
- 2. USE MOISTURE RESISTANT PINK BOARD DRYWALL AT ALL WET LOCATIONS.
- 3. DOORS ARE TO BE LOCATED 6\"/>
- 4. DOORS AT CLOSETS SHALL BE LOCATED AT THE CENTER OF THE INTERIOR FINISHED SPACE. U.N.O.
- 5. MIN U FACTOR FOR GLAZING WILL MEET 0.35

WALL KEY:



SCALE
As indicated

SHEET NO.
A.101

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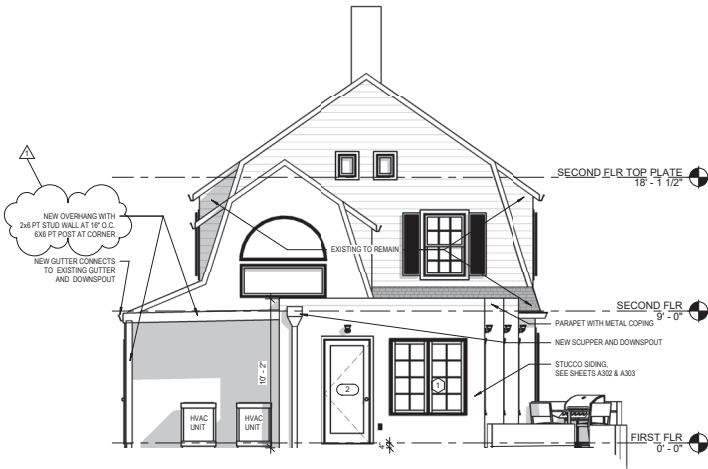
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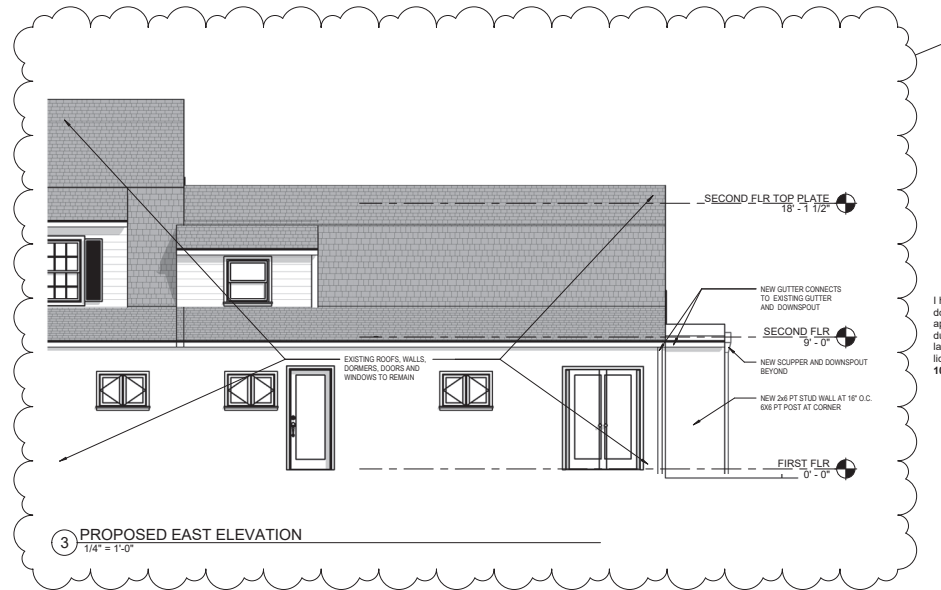
Sandra L. Heiler



1 PROPOSED WEST ELEVATION
1/4" = 1'-0"



2 PROPOSED NORTH ELEVATION
1/4" = 1'-0"



3 PROPOSED EAST ELEVATION
1/4" = 1'-0"

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JK_A

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ONE F STREET NW
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SEAL

Jonathan Kuhn

SHEET NAME
PROPOSED
ELEVATIONS

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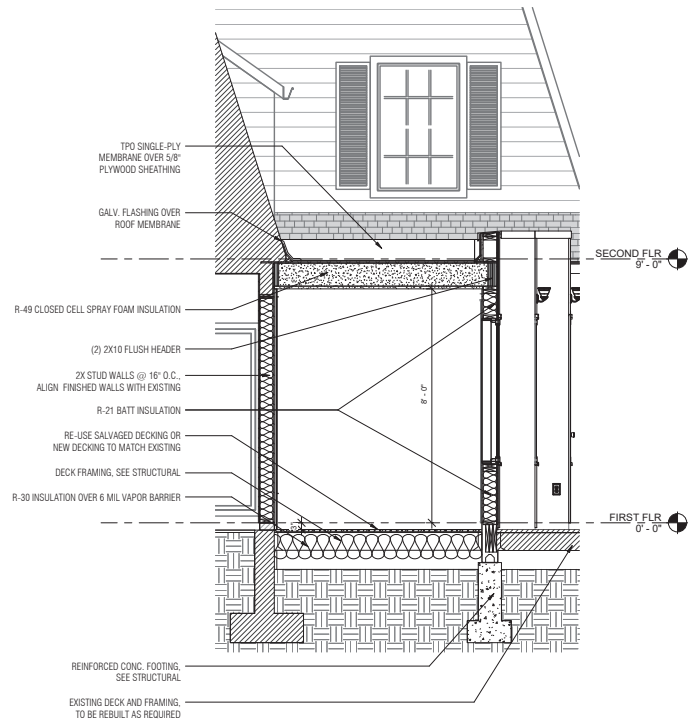
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A.201

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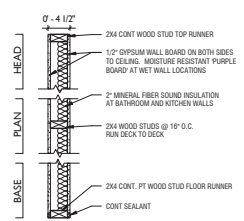
By Michael Kyne at 1:09 pm, Feb 09, 2021

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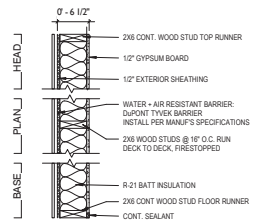
Sandra L. Heiler



1 SECTION AT SLEEPING PORCH
 1/2" = 1'-0"



INTERIOR PARTITION WALL ASSEMBLY
 SCALE: 1" = 1'-0"



EXTERIOR FRAMED WALL ASSEMBLY
 SCALE: 1" = 1'-0"

WALL TYPES
 1" = 1'-0"

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OFFICIAL STAMPS

JK_A

JONATHAN KUHN ARCHITECT
 ONE F STREET NW
 WASHINGTON DC 20001
 T: 202.494.5061
 JONATHAN@KUHNARCHITECT.COM
 WWW.KUHNARCHITECT.COM

Mazer Holzworth Residence
 37 West Irving Street, Chevy Chase,
 Montgomery County, MD 20815

ISSUE RECORD
 12.October. 2020
 Issued for Permit
 REVISION SCHEDULE
 NO. DATE

SEAL

Jonathan Kuhn

SHEET NAME
 WALL SECTION AND
 WALL TYPES

SCALE
 As Indicated

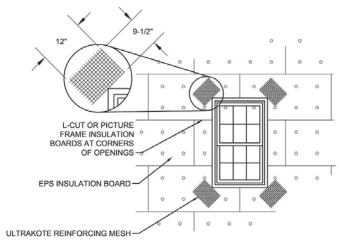
SHEET NO.
A.301

REVIEWED

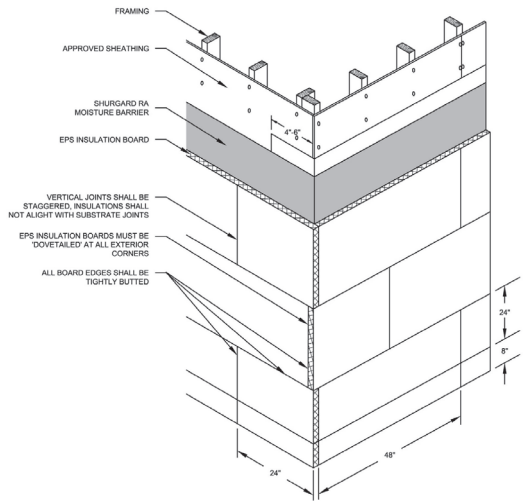
By Michael Kyne at 1:09 pm, Feb 09, 2021

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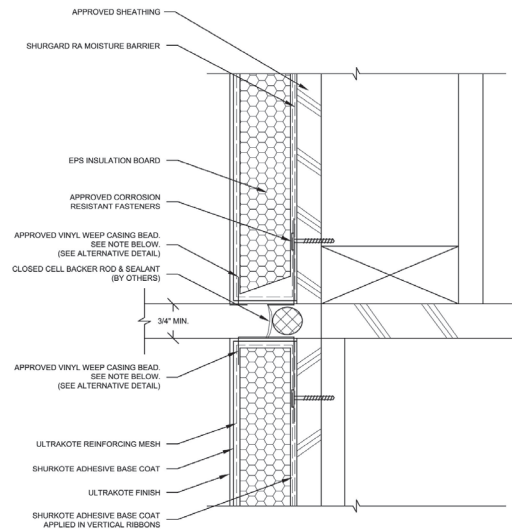
Sandra L. Heiler



1 TYP. REINFORCED MESH AT OPENINGS

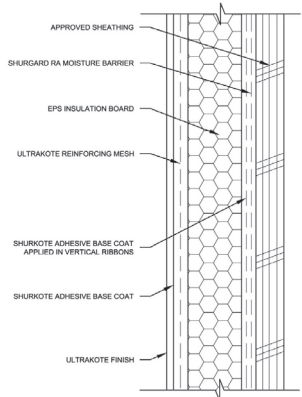


2 TYP. INSULATION BOARD LAYOUT

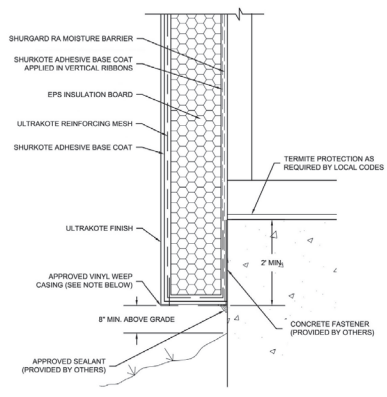


NOTE: MAINTAIN 1/2" SPACE BETWEEN BEVELED INSULATION AND CASING BEAD

3 CONTROL JOINT DETAIL @ FLOOR LINE

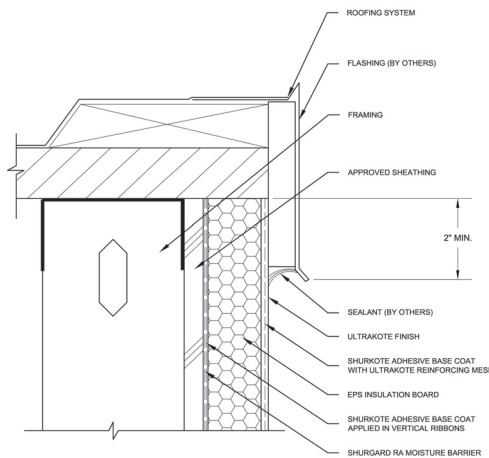


4 TYP. CROSS SECTION

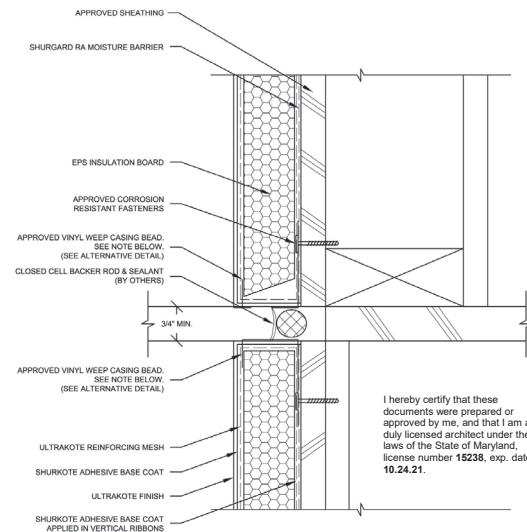


NOTE: MAINTAIN 1/2" SPACING BETWEEN BEVELED INSULATION AND WEEP CASING BEAD

5 TERMINATION @ FOUNDATION LINE



6 FLAT ROOF TERMINATION



NOTE: MAINTAIN 1/2" SPACE BETWEEN BEVELED INSULATION AND CASING BEAD

7 DETAIL @ BUILDING EXPANSION JOINT

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JONATHAN@KUHNARCHITECT.COM
WWW.KUHNARCHITECT.COM

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SHEET NAME
STUCCO SIDING
TYPICAL DETAILS

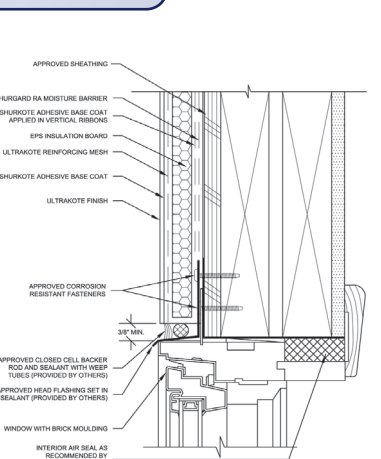
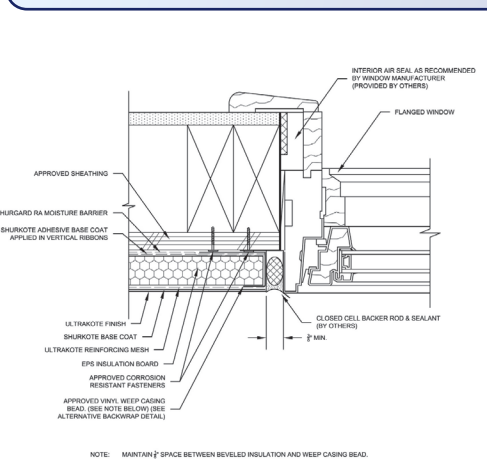
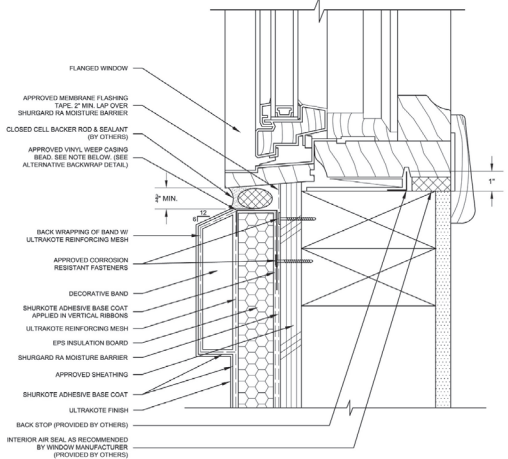
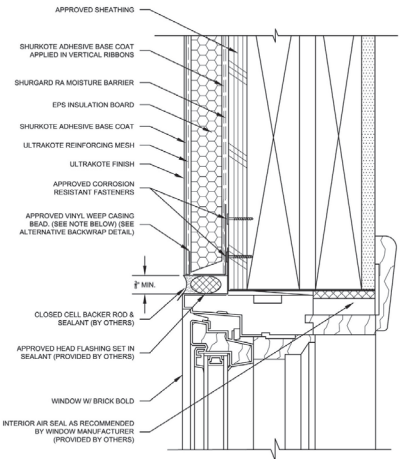
SCALE
6" = 1'-0"

SHEET NO.

A.302

REVIEWED

By Michael Kyne at 1:09 pm, Feb 09, 2021

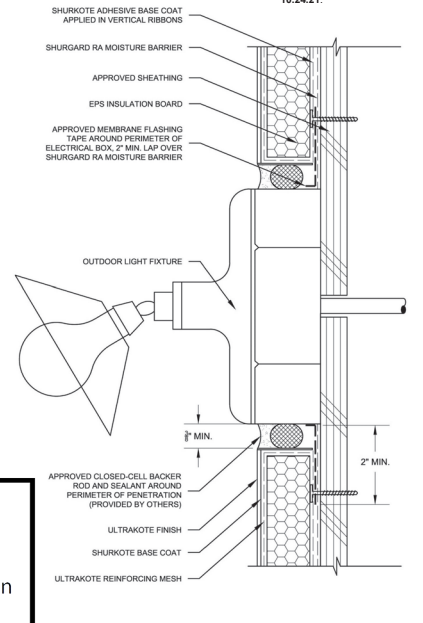
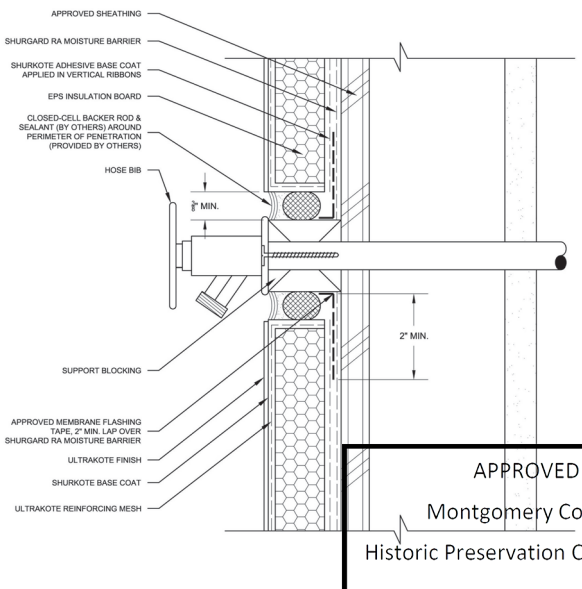
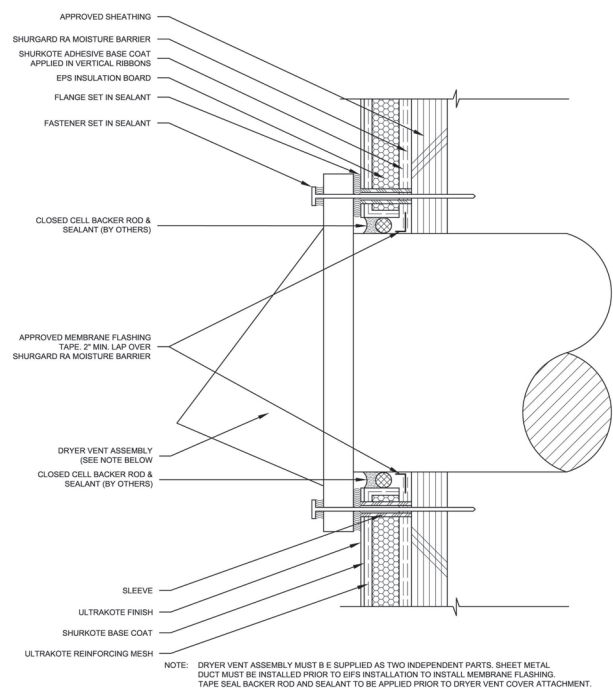


1 TYP. DETAIL @ WINDOW HEAD

2 TYP. DETAIL @ WINDOW SILL

3 TYP. DETAIL @ WINDOW JAMB

4 ALTERNATE BACKWRAP



5 DETAIL @ EXHAUSTED VENT

6 DETAIL @ PIPE PENETRATION

7 TYP. ELEC. BOX PENETRATION

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Montgomery County
Historic Preservation Commission

Sandra J. Heiler

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WASHINGTON DC 20001
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SHEET NAME
STUCCO SIDING
TYPICAL DETAILS

SCALE
6" = 1'-0"

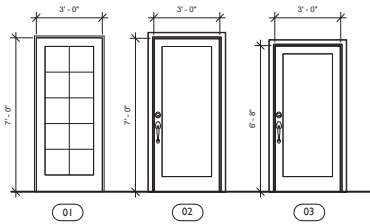
SHEET NO.
A.303

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By Michael Kyne at 1:09 pm, Feb 09, 2021

DOOR SCHEDULE								
TYPE MARK	DIMENSIONS		TYPE	FINISH	FRAME MATERIAL	U-FACTOR	SHGC	NOTES
	WIDTH	HEIGHT						
01	3'-0"	7'-0"	FIBERGLASS	PTD	PTD WD	MAX 0.35	MAX 0.4	EXTERIOR DOOR, DIVIDED LITE 2 OVER 5
02	3'-0"	7'-0"	FIBERGLASS	PTD	PTD WD	MAX 0.35	MAX 0.4	DOOR WITH FULL-LITE, TEMPERED GLASS
03	3'-0"	6'-8"	SOLID CORE HARDBOARD	PTD	PTD WD	MAX 0.35	MAX 0.4	DOOR WITH FULL-LITE, TEMPERED GLASS

NOTES:
 A. INTERIOR DOOR TYPE IS FLUSH-PANEL SOLID CORE HARDBOARD PRE-HUNG STYLE PAINT GRADE.
 B. EXTERIOR DOORS AND ENTRANCE DOOR TO INCLUDE LOCKSET, DEADBOLT, AND SELF CLOSER.
 C. FRAMES ARE SOLID POPLAR JAMB WITH SQUARE CORNER HINGE.
 D. FRAME DEPTH VARIES. FIELD VERIFY PRIOR TO ORDERING.
 E. MINIMUM U-FACTOR FOR GLAZING AT EXTERIOR DOORS WILL MEET 0.35.

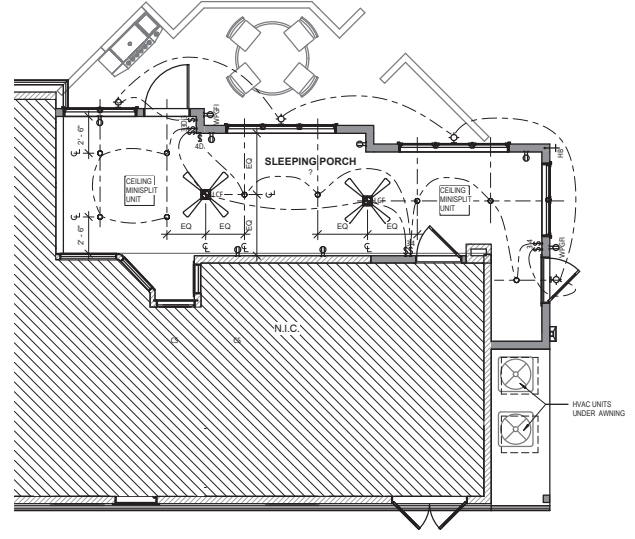
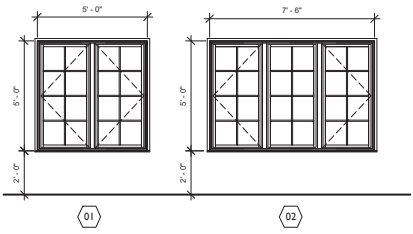


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WINDOW SCHEDULE							
TYPE MARK	DIMENSIONS		MANUF/STYLE	TYPE	SHGC VALUE	U VALUE	NOTES
	WIDTH	HEIGHT					
01	5'-0"	5'-0"	JELD-WEN/ CLAD WOOD	FIXED	MAX 0.40	MAX 0.35	Simulated Divided Lites, 2 over 4
02	7'-6"	5'-0"	JELD-WEN/ CLAD WOOD	CASEMENT/FIXED/CASEMENT	MAX 0.40	MAX 0.35	Simulated Divided Lites, 2 over 4

WINDOW SCHEDULE NOTES:
 A. CONTRACTOR TO VERIFY ALL WINDOWS AND MASONRY OPENINGS IN FIELD
 B. EGRESS UNITS TO MEET OR EXCEED THE FOLLOWING CODE DIMENSION - CLEAR OPENING AREA: 5.7 SQ FT, CLEAR OPENING WIDTH 20", CLEAR OPENING HEIGHT 24"
 C. ALL GLAZING IN HAZARDOUS LOCATIONS AS DEFINED BY IBC 2406.4 SHALL BE SAFETY GLAZING AND BE LABELED PER IBC 2406
 D. OPERABLE WINDOWS TO COMPLY WITH IBC 2015 SECTION 1013.8 WINDOW SILLS - FOR OPERABLE WINDOWS WITH SILL HEIGHT LESS THAN 36" ABOVE FINISH FLOOR AND LOCATED MORE THAN 12" FROM EXTERIOR SURFACE, PROVIDE WINDOW LIMIT DEVICE TO RESTRICT WINDOW OPENING FOR 4" OR MORE.
 E. U-FACTOR FOR GLAZING MAXIMUM 0.35 AND SHGC MAXIMUM 0.40



1 FIRST FLOOR-REFLECTED CEILING PLAN
 1/4" = 1'-0"

RCP + ELECTRICAL KEY


- RECESSED CAN
- ◇ EXTERIOR SCENE
- ⊗ CEILING FAN WITH LIGHT
- † HOSE BIB
- S SINGLE POLE SWITCH
- S DIMMER SWITCH
- S 3-WAY SWITCH
- S 4-WAY SWITCH
- ⊕ TYPICAL DUPLEX RECEPTACLE, WILL BE AT 18" AFF. UND
- ⊕ GFCI AT WET LOCATIONS
- ⊕ GFCI AT EXTERIOR LOCATIONS w/WATERPROOF COVER
- ⊕ WFCI IN ALL HABITABLE SPACES
- ⊕ TYPICAL DUPLEX RECEPTACLE, WATERPROOF

GENERAL RCP NOTES

- ALL ELECTRICAL REQUIREMENTS INCLUDING SWITCHING, RECEPTABLES (SPACING AND LOCATIONS) WILL ADHERE TO THE 2014 NFPA NATIONAL ELECTRICAL CODE.
- ALL OUTLETS TO BE WHITE STANDARD TYPE
- ALL SWITCHES TO BE WHITE TOGGLE TYPE
- RECEPTACLE AND SWITCH COVER PLATES ARE WHITE, U.N.O.
- ALL VISIBLE SCREWS TO BE HORIZONTALLY ALIGNED
- ALL LIGHTS TO BE CENTERED IN ROOM, U.N.O.
- RECEPTABLES SHOWN ALONGSIDE SWITCHES ARE TO BE CENTERED BELOW SWITCHES, U.N.O.
- RECEPTABLES SHOWN BELOW WINDOWS WILL BE CENTERED ON WINDOW OPENING. ALL ELECTRICAL REQUIREMENTS INCLUDING SWITCHING, RECEPTABLES (SPACING AND LOCATIONS) WILL ADHERE TO THE 2014 NFPA NATIONAL ELECTRICAL CODE.
- RECESSED LIGHT FIXTURES INSTALLED IN THE BUILDING THERMAL ENVELOPE SHALL BE AIR TIGHT, IC RATED, AND SEALED TO THE DRYPWALL.
- A MIN OF 75% OF LAMPS IN PERMANENT FIXTURES OR 75% OF PERMANENT FIXTURES SHALL USE HIGH EFFICIENCY LAMPS.

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SHEET NAME
 REFLECTED CEILING
 PLAN, DOOR
 SCHEDULE, WINDOW
 SCHEDULE
 SCALE
 As Indicated
 SHEET NO.
A.501



(/?landingpage=false)

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Barcelona BAW-6

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DESCRIPTION

6" Barcelona Wall Mount

- **Dimensions:** 5.75"W x 11"H x 6.5"D
- **Extension:**
- **Canopy/Back Plate Dimensions:** 5.25" x 6"
- **Mounting Center to Top:** 5.25"
- **Bulb Type:** 1-100W Medium (not included)
- **Safety Rating:** Suitable for Wet Locations
- **Finish Shown:** Bronze
- **Ships Via:** Small Parcel

Glass

White Opalescent

Finish

Slate

REVIEWED

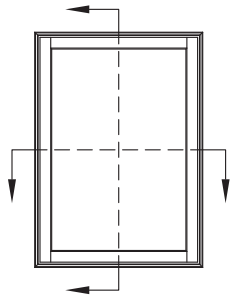
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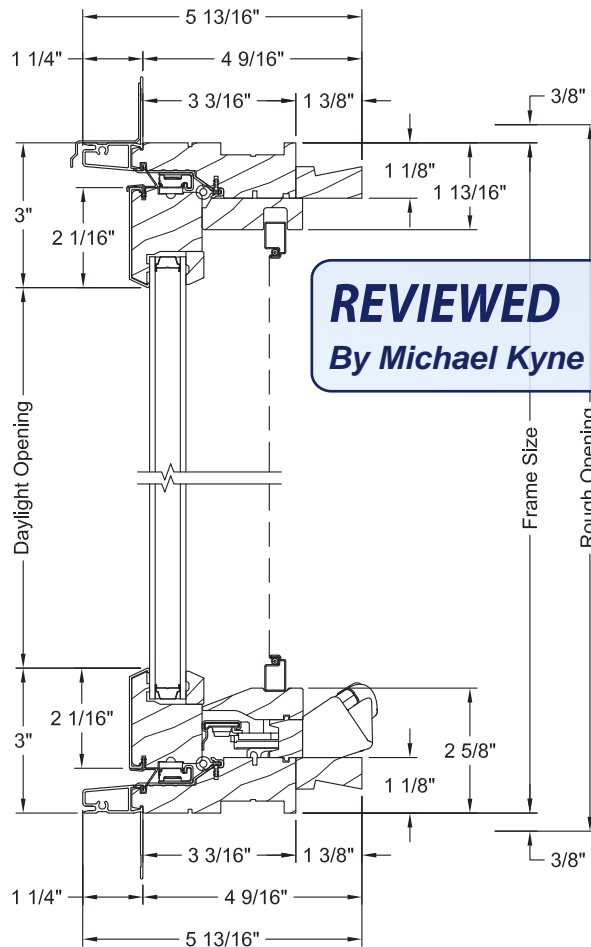
Sandra L. Heiler



OPERATOR SECTIONS

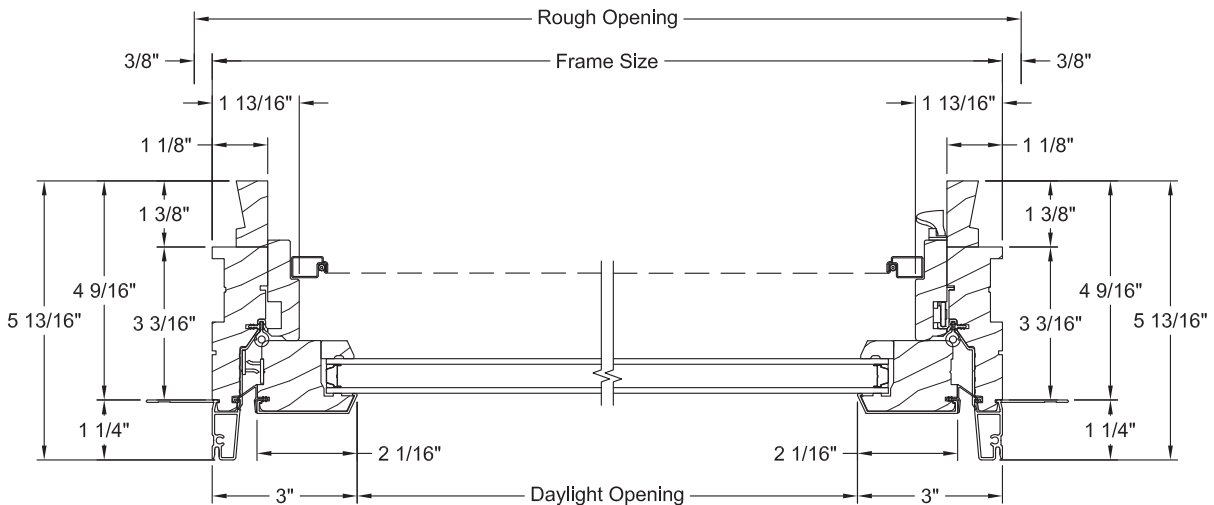


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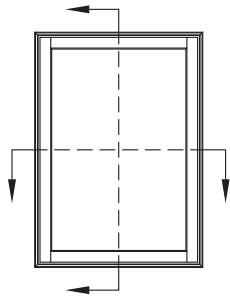
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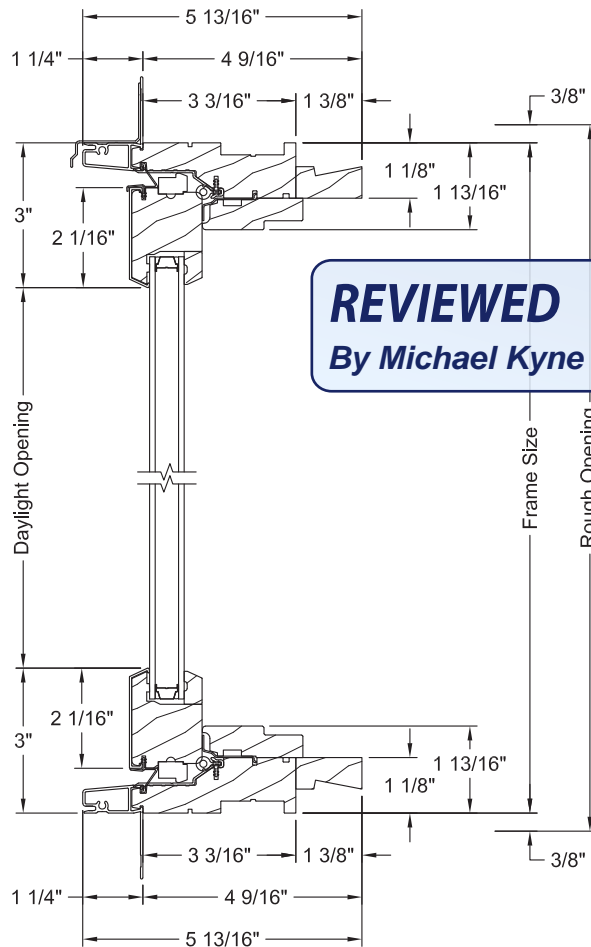




STATIONARY SECTIONS

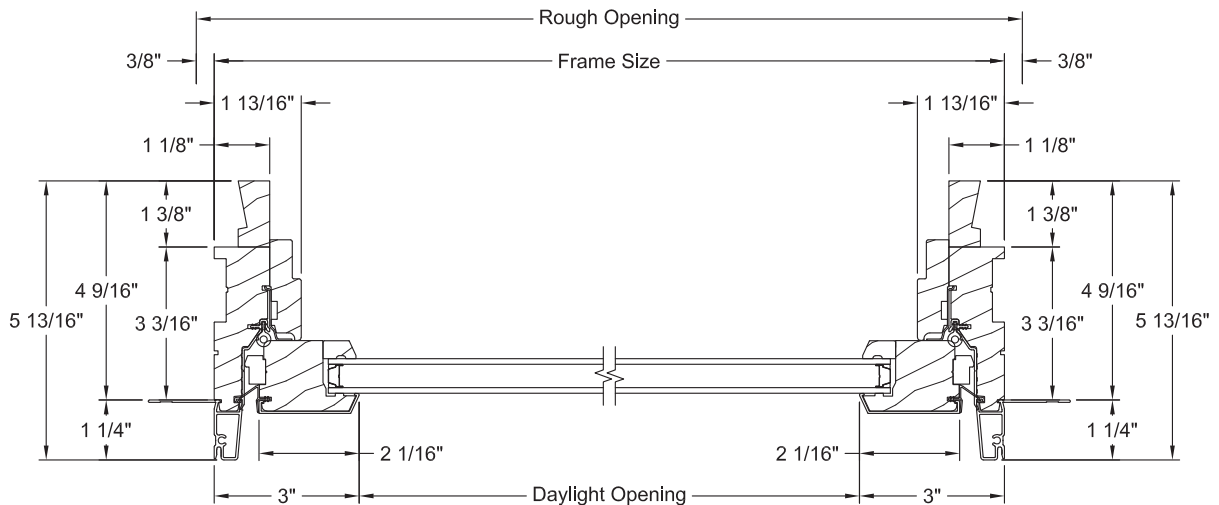


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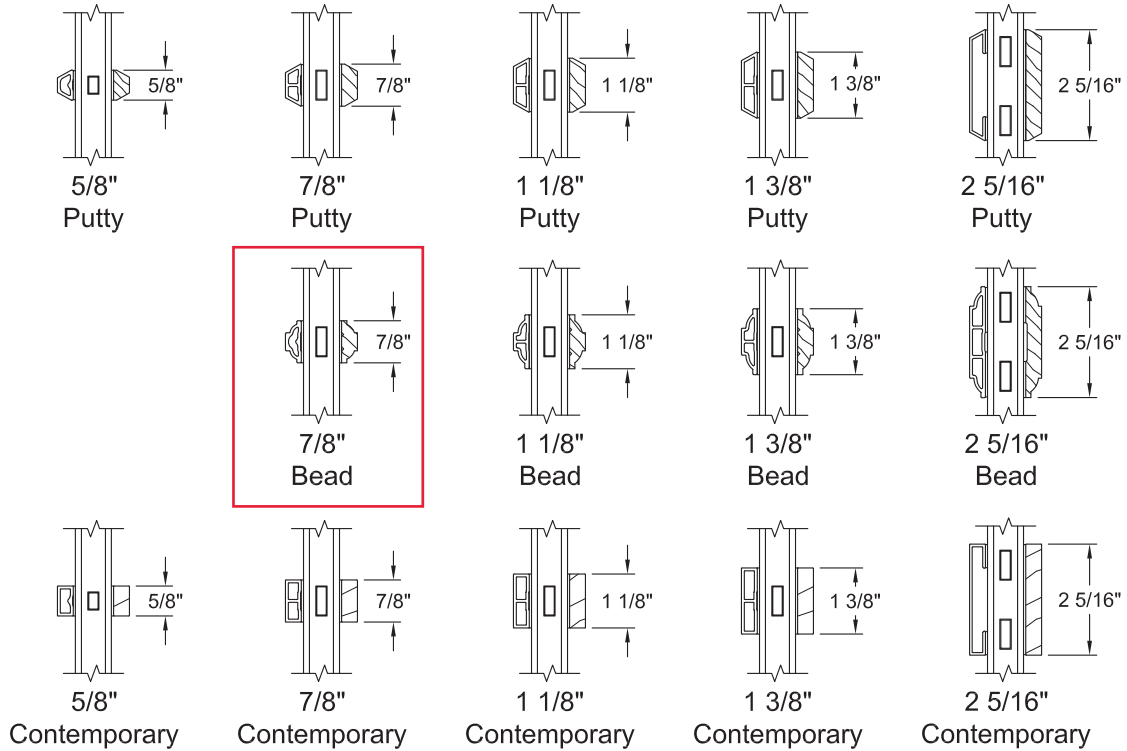




GRID & GLASS STOP OPTIONS

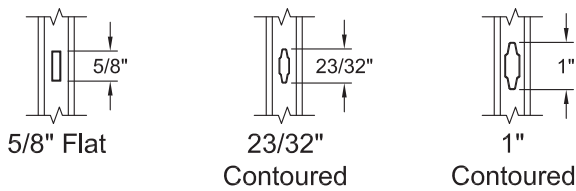
Exterior ← → Interior

SDL Options

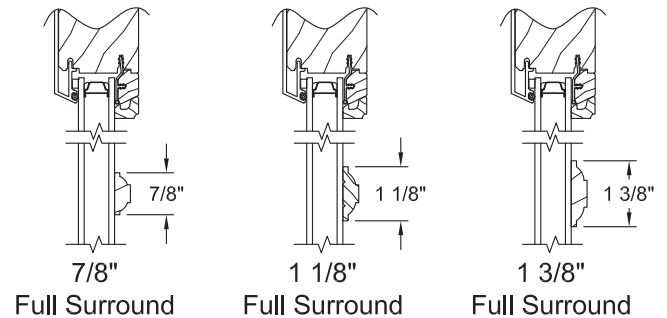


Note: Various Combinations of the SDL Bars Shown are Available

GBG Options



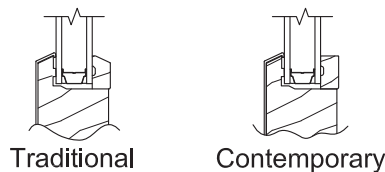
Grille Options



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Glass Stop Options

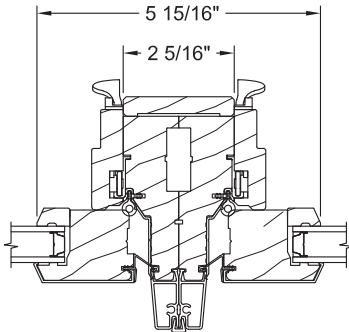


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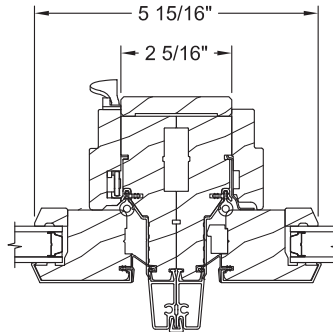
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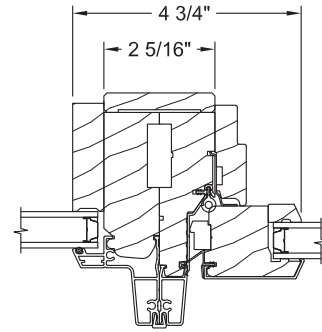
MULLION OPTIONS



Operator / Operator

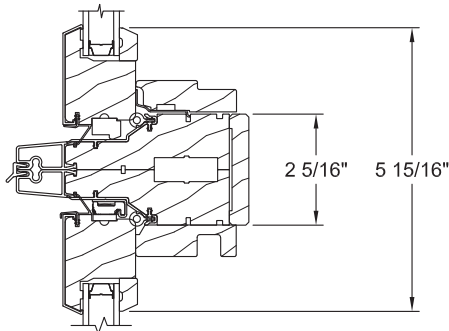


Operator / Stationary

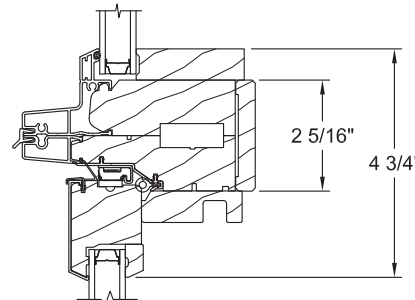


Direct Set / Operator

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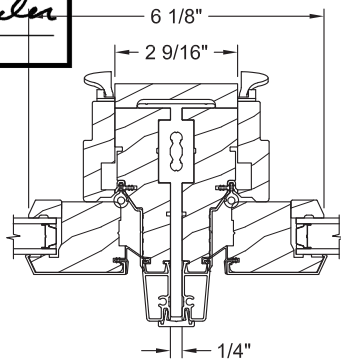


Stationary
Operator

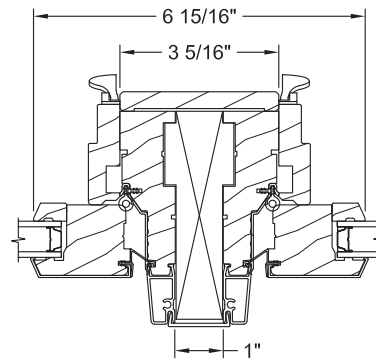


Direct Set
Operator

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Operator / Operator
1/4" Structural Mull



Operator / Operator
1" Solid Spread Mull



View full-size in new tab

Mitsubishi MXZ-2C20NA2-U1 - M-Series Multi-Zone Outdoor Heat Pump Unit, 20K BTU, R410A, 208-230/1/60

Item: MXZ2C20NA2U1 MFR: MXZ-2C20NA2-U1

What's the price?

Sign in or register for pricing.

Quantity *

Your Order Templates

Save products for later, or create order templates to quickly re-buy items for routine jobs.

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North Carolina

- 0 Charlotte #704
- 10 Hickory #703
- 5 Raleigh #708
- 7 Wilmington #706
- 1 Winston - Salem #701

Virginia

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- 2 Chesapeake #713
- 3 Newport News #714
- 0 **Richmond #711**

Description

Specifications

Name	Mitsubishi MXZ-2C20NA2-U1 - M-Series Multi-Zone Outdoor Heat Pump Unit, 20K BTU, R410A, 208-230/1/60
Gemaire Item Number	MXZ2C20NA2U1
Manufacturer Product Number	MXZ-2C20NA2-U1
SKU - PIM Number	6461263476817593
ERP Number	374085
Unit of Measure	EA
Weight	126.0 Pounds (Lb)
Length	13.0 Inches (In)
Width	33.1 Inches (In)
Height	27.9 Inches (In)
Country of Origin	JPN
Brand	Mitsubishi
Tonnage	1.5
SEER	20
EER	10-12.7
Refrigerant	R-410a
CFM	1342-1458
Cooling Capacity	5700-20000
Heating Capacity	7400-25000
Voltage	208-230 VAC
Phase	Single
Cycle/Hertz	60 Hz
Circuit Breaker - Max Amps	20
Rated Load Amps	10.7
Suction Line Fitting	Flare
Suction Line Size (OD)	3/8"
Liquid Line Fitting	Flare
Liquid Line Size (OD)	1/4"
Multi Zone	Yes

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Color	White
Inverter	Yes
Warranty Offered	Yes
Energy Star Rated	Yes
UL Listed	No
Product Family	MXZ
Equipment Type	Heat Pump
Number of HVAC Zones	2
GEM - Case Quantity	

Matched Systems

REVIEWED
By Michael Kyne at 1:14 pm, Feb 09, 2021

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Job Name:

System Reference:

Date:



GENERAL FEATURES

- Ceiling-recessed cassette (24"x24") ductless heat pump
- Install SLZ in a drywalled ceiling (with an access panel for servicing) or in a 2'x2' drop ceiling
- Wide airflow pattern for excellent air distribution
- Fresh air intake provided in the main body
- Built-in drain condensate lift mechanism (lifts to 33")
- Multiple control options available:
 - kumo cloud® smart device app for remote access
 - Third-party interface options
 - Wired or wireless controllers
- Long-life air filter included
- Individual vane control

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By Michael Kyne at 1:14 pm, Feb 09, 2021

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Sandra L. Heiler

SPECIFICATIONS: SLZ-KF09NA

Cooling Capacity ^{1, 3}		Btu/h	9,000
Heating Capacity ^{2, 3}		Btu/h	11,000
Electrical	Voltage, Phase, Frequency		208/230V, 1 phase, 60Hz
	Guaranteed Voltage Range		V AC 187-253
	Voltage: Indoor - Outdoor, S1-S2		V AC 208/230
	Voltage: Indoor - Outdoor, S2-S3		V DC 24
	Voltage: Indoor - Remote controller		V DC 12
MCA		A	0.25
Fan Motor Full Load Amperage		A	0.20
Fan Motor Output		W	50
Airflow Rate at Cooling, Dry		CFM	300-265-230
Airflow Rate at Cooling, Wet		CFM	270-239-207
Airflow Rate at Heating, Dry		CFM	335-265-230
Sound Pressure Level (Cooling) ¹		dB(A)	31-28-25
Sound Pressure Level (Heating) ²		dB(A)	31-28-25
External Static Pressure		in.WG	N/A
Drain Pipe Size		In. (mm)	1 1/4 (32)
Condensate Lift Mechanism, Maximum Distance		In. (mm)	33 (850)
Heat Exchanger Type		Plate fin coil	
External Finish Color		Munsell 1.0Y 9.2/0.2	
Unit Dimensions	W: In. (mm)		22-7/16 (570)
	D: In. (mm)		22-7/16 (570)
	H: In. (mm)		9-21/32 (245)
Package Unit Dimensions	W: In. (mm)		24-13/32 (620)
	D: In. (mm)		27-15/16 (710)
	H: In. (mm)		9-7/16 (240)
Unit Weight		Lbs. (kg)	31 (13.9)
Package Unit Weight		Lbs. (kg)	37 (17)
Refrigerant	Type		R410A
	Charge	Lbs, oz	2, 5
Piping	Gas Pipe Size O.D. (Flared)		In.(mm) 3/8 (9.52)
	Liquid Pipe Size O.D. (Flared)		In.(mm) 1/4 (6.35)

Notes:

Nominal Conditions	¹ Cooling (Indoor // Outdoor)	°F	80 DB, 67 WB // 95 DB, 75 WB
	² Heating at 47°F (Indoor // Outdoor)	°F	70 DB, 60 WB // 47 DB, 43 WB

³Capacity varies based on the number of indoor units operating and the model of the Multi-zone Outdoor Unit. For reference to connected capacity charts, please refer Multi-zone Outdoor Unit Operational Performance.


REVIEWED

By Michael Kyne at 1:14 pm, Feb 09, 2021

APPROVED

Montgomery County
Historic Preservation Commission

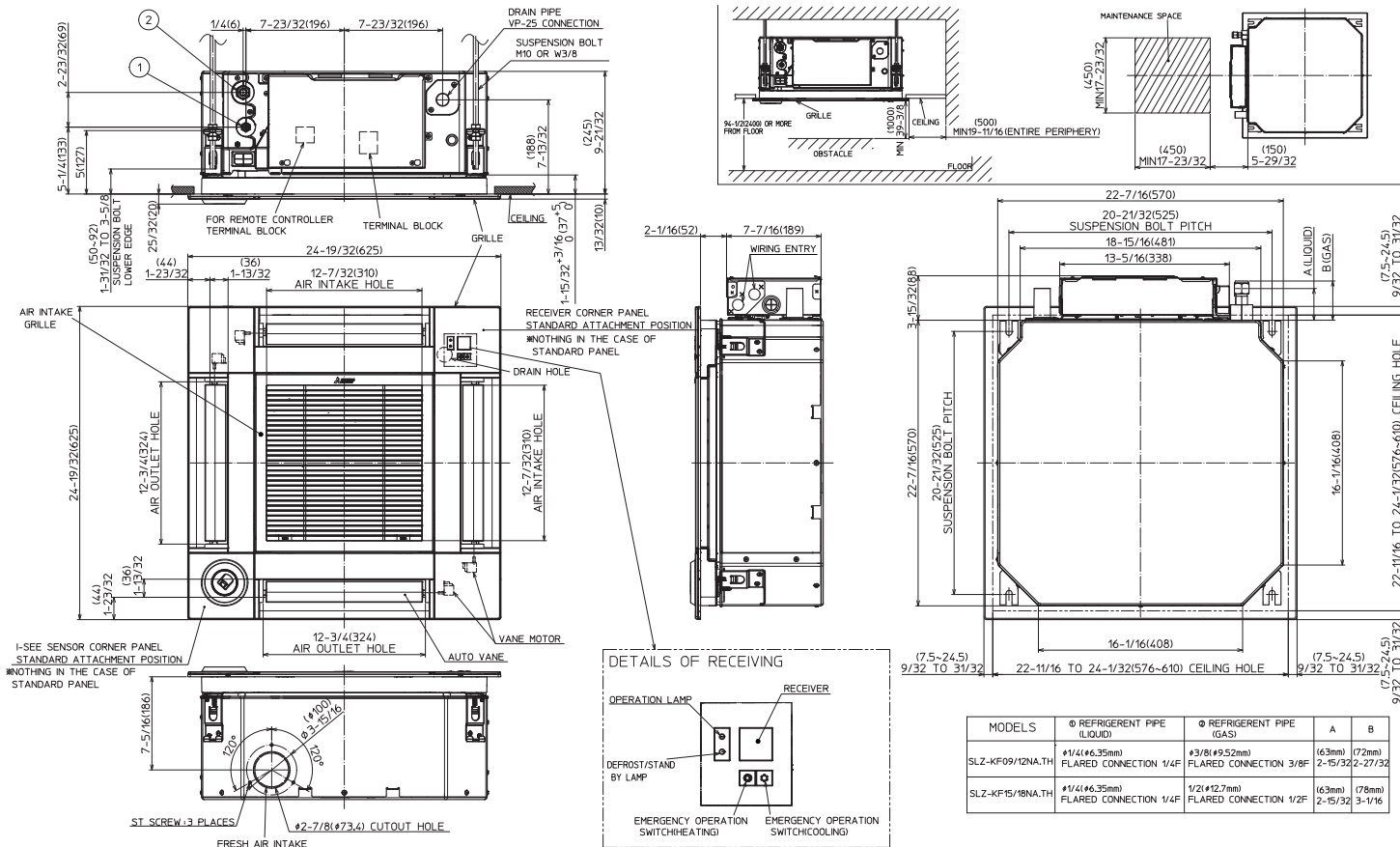
ACCESSORIES: SLZ-KF09NA

Wireless Signal Receiver		<input type="checkbox"/> PAR-FA32MA-W
Wireless Signal Receiver		<input type="checkbox"/> PAR-FA32MA-E
Wireless Remote Receiver Panel		<input type="checkbox"/> PAR-SF9FA-E
Wireless Remote Controller		<input type="checkbox"/> PAR-SL100A-E
Backlit, Wall-mounted, Wireless Controller		<input type="checkbox"/> MHK1
Portable Central Controller		<input type="checkbox"/> MCCH1
Wired MA Controller	REVIEWED <i>By Michael Kyne at 1:14 pm, Feb 09, 2021</i>	<input type="checkbox"/> PAR-33MAA
Simple MA Controller		<input type="checkbox"/> PAC-YT53CRAU
Touch MA Controller		<input type="checkbox"/> PAR-CT01MAU-SB
Wired Remote Sensor		<input type="checkbox"/> PAC-SE41TS-E
Wireless Temperature and Humidity Sensor	APPROVED Montgomery County Historic Preservation Commission 	<input type="checkbox"/> PAC-USWHS003-TH-1
Outside Air Sensor for MHK1		<input type="checkbox"/> MOS1
Flush Mount Remote Temperature Sensor		<input type="checkbox"/> PAC-USSEN001-FM-1
System Control Interface		<input type="checkbox"/> MAC-333IF-E
Wireless Interface		<input type="checkbox"/> PAC-USWHS002-WF-1
Thermostat Interface		<input type="checkbox"/> PAC-US444CN-1
kumo station®		<input type="checkbox"/> PAC-WHS01HC-E
USNAP Interface		<input type="checkbox"/> PAC-WHS01UP-E
IT Extender		<input type="checkbox"/> PAC-WHS01IE-E
BACnet® and MODBUS® Interface		<input type="checkbox"/> PAC-UKPRC001-CN-1
External Fan / Heater Control Relay Adapter	<input type="checkbox"/> CN24RELAY-KIT-CM3	
Wire for Remote on/off with CN32 connector	<input type="checkbox"/> PAC-715AD	
Connector and wire for Operation status/error using CN51	<input type="checkbox"/> PAC-725AD	
Connector cable for remote display	<input type="checkbox"/> PAC-SA88HA-EP	
Connector for CN32 (remote on/off)	<input type="checkbox"/> PAC-SE55RA-E	
Remote Operation Adapter ¹	<input type="checkbox"/> PAC-SF40RM-E	
Grille (required)	<input type="checkbox"/> SLP-18FAU	
3D i-see Sensor™ Corner Panel	<input type="checkbox"/> PAC-SF1ME-E	
Grille with 3D i-see Sensor™	<input type="checkbox"/> SLP-18FAEU	
Blue Diamond Sensor Extension Cable — 15 Ft.	<input type="checkbox"/> C13-103	
Blue Diamond Alarm Extension Cable — 6.5 Ft.	<input type="checkbox"/> C13-192	
Blue Diamond MultiTank — collection tank for use with multiple pumps	<input type="checkbox"/> C21-014	
Blue Diamond Rubber Foot Pads	<input type="checkbox"/> F10-010	
Mini Condensate Pump — 230 volt application	<input type="checkbox"/> SI30-230	
MegaBlue Advanced Blue Diamond Condensate Pump w/ Reservoir & Sensor	<input type="checkbox"/> X87-835 - 110 to 250V	
Advanced Blue Diamond Mini Condensate Pump w/ Reservoir & Sensor (208/230V) [recommended]	<input type="checkbox"/> X87-721 - 208/230V	
Drain Pan Level Sensor	<input type="checkbox"/> DPLS2	
(30A/600V/UL) [fits 2" X 4" utility box] - Black	<input type="checkbox"/> TAZ-MS303	
(30A/600V/UL) [fits 2" X 4" utility box] - White	<input type="checkbox"/> TAZ-MS303W	

¹ Unable to use with wireless remote controller

DIMENSIONS: SLZ-KF09NA

Unit: inch (mm)



REVIEWED
 By Michael Kyne at 1:14 pm, Feb 09, 2021

APPROVED
 Montgomery County
 Historic Preservation Commission
Sandra L. Heiler



1340 Satellite Boulevard, Suwanee, GA 30024
 Toll Free: 800-433-4822 www.mehvac.com

FORM# SLZ-KF09NA FOR MULTI-ZONE HEAT PUMP SYSTEMS - 201901



Specifications are subject to change without notice.

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