



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: January 14, 2021

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #936394: Partial demolition and construction of new rear addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the January 6, 2021 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Alex Walker (Kate Donahue, Agent)
Address: 8008 Westover Road, Bethesda

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



REVIEWED

By Michael Kyne at 12:26 pm, Jan 14, 2021

APPROVED

Montgomery County
Historic Preservation Commission

Sandra L. Heiler

8012 WESTOVER RD

8008 WESTOVER RD

8004 WESTOVER RD



VIEW FROM NORTHWEST CORNER OF LOT LOOKING EAST & SOUTH
TOWARDS REAR OF EXISTING HOUSE AND MASONRY PORCH

8008 Westover Rd EXISTING CONDITIONS

1

FOUR BROTHERS
DESIGN + BUILD

REVIEWED

By Michael Kyne at 12:26 pm, Jan 14, 2021

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VIEW FROM EXISTING REAR MASONRY PORCH LOOKING OUT OVER REAR YARD

8008 Westover Rd EXISTING CONDITIONS

2



FOUR BROTHERS
DESIGN + BUILD

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EXISTING MASONRY DECK AND SUNROOM EXTERIOR DOORS AS VIEWED FROM REAR YARD



EXISTING MASONRY DECK SPACE AND SUNROOM EXTERIOR DOORS AS VIEWED FROM TOP OF DECK STEPS

8008 Westover Rd EXISTING CONDITIONS

3  **FOUR BROTHERS**
DESIGN + BUILD

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PANORAMIC VIEW OF SUNROOM FROM NORTH WEST CORNER OF SPACE



INTERIOR POCKET DOOR TO LIVING ROOM



INTERIOR VIEW OF SUNROOM LOOKING NORTH



EXTERIOR DOORS BETWEEN SUNROOM AND MASONRY DECK

8008 Westover Rd EXISTING CONDITIONS

4  **FOUR BROTHERS**
DESIGN + BUILD

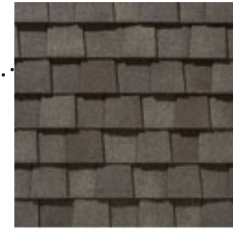
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PROPOSED REAR / WEST ELEVATION



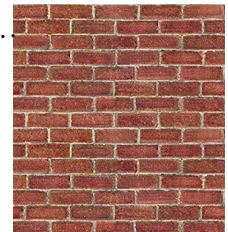
ARCHITECTURAL ASPHALT SHINGLES, COLOR TO MATCH EXISTING



VELUX SKYLIGHTS



SCREEN SYSTEM; ALUMINUM FRAME TO BE WHITE



BRICK BOND AND COLOR



CUMARU WOOD TO BE USED FOR DECK FLOOR, RAILING, DECK APRON, AND DECK SKIRTING

8008 Westover Rd PROPOSED EXTERIOR MATERIALS

PROJECT DATA

SCOPE OF WORK: NEW SCREENED IN PORCH ADDITION AT REAR OF HOUSE TO INCLUDE EXISTING SUNROOM RENOVATION

BUILDING AND SITE INFORMATION:

ZONING: R-90
 NEIGHBORHOOD/OVERLAY DISTRICT: GREENWICH FOREST HISTORIC DISTRICT NON CONTRIBUTING STRUCTURE
 BLOCK: K
 LOT: 9
 CURRENT USE: Single-Family Residence
 PROPOSED USE: Single-Family Residence
 LOT SIZE: 10,477 SF
 EXISTING LOT COVERAGE: 2937 SF or 28%
 PROPOSED LOT COVERAGE: 3136 SF or 30%

APPLICABLE CODES:

IRC 2015, NFPA NEC 2011, IFGC 2012, IPC 2012, IFPC 2012, IECC 2012, ALL AS SPECIFIED BY DCMR12 2013.

BUILDER:

FOUR BROTHERS LLC
 4009 Georgia Av NW
 WASHINGTON, DC 20011
 202.423.8703
 www.fourbrotherscarpentry.com

ENGINEER:

RATHGEBER/GOSS ASSOCIATES, P.C.
 15871 CRABBS BRANCH WAY
 ROCKVILLE, MD 20855
 301.590.0071
 www.rath-goss.com
 ATTN: BILL DUVALL

ARCHITECT:

FOUR BROTHERS LLC
 4009 Georgia Av NW
 WASHINGTON, DC 20011
 202.423.8703
 www.fourbrotherscarpentry.com
 ATTN: KATE DONAHUE

DRAWING SYMBOLS

- EXISTING WALL TO REMAIN
- ≡≡≡ DEMOLITION
- NEW MASONRY WALL
- NEW STUD WALL
- ⊕ PLAN DETAIL REFERENCE
- ⊕ ELEVATION REFERENCE
- ⊕ SECTION REFERENCE
- ◇ INTERIOR ELEVATION DESIGNATION
- DOOR DESIGNATION
- WINDOW DESIGNATION
- PARTITION TYPE
- FIXTURE TYPE
- ⊕ ELEVATION MARKER

DRAWING INDEX

Sheet Number	Sheet Name
CS01	COVER SHEET
C101	SITE PLAN
A101	DEMOLITION AND PROPOSED PLANS
A201	EXTERIOR ELEVATIONS
A301	SECTIONS
A601	DOOR AND WINDOW SCHEDULE
S101	STRUCTURAL NOTES
S102	STRUCTURAL PLANS
S603	STRUCTURAL DETAILS
E101	ELECTRICAL PLANS

REVIEWED
 By Michael Kyne at 12:26 pm, Jan 14, 2021



GENERAL NOTES

- ALL WORK SHALL CONFORM WITH APPLICABLE BUILDING CODES AND REGULATIONS.
- ALL DIMENSIONS ARE FINISH TO FINISH UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS AND CONDITIONS TO BE VERIFIED IN THE FIELD.
- DIMENSIONS GOVERN OVER DRAWING SCALE. LARGE - SCALE DETAILS GOVERN OVER SMALL - SCALE UNLESS NOTED OTHERWISE.
- ALL WORK SHALL BE PERFORMED IN GOOD WORKMANLIKE MANNER AND SHALL BE EXECUTED TO COMPLETION WITH ALL DUE DILIGENCE.
- ALL CUTTING AND PATCHING SHALL BE PERFORMED IN A NEAT, PROFESSIONAL MANNER.
- ALL ADJACENT WORK AND AREAS OR ITEMS NOT IN CONSTRUCTION SHALL BE PROTECTED FROM ANY DAMAGE CAUSE FROM THIS WORK, AS SHALL ANY EXISTING FINISHES THAT ARE TO REMAIN.

DC WASA NOTES

- A. NOTIFY DCWASA ONE-WEEK PRIOR TO START OF CONSTRUCTION, UTILITY INSPECTION SECTION AT 202-787-2377, WATER SERVICES 202-612-3400 OR 3460 AND SEWER SERVICES 202-264-3824 OR 3829.
- B. DEVELOPERS, CONTRACTORS AND PLUMBERS MUST SUBMIT FINAL CONSTRUCTION AS-BUILT INFORMATION TO THE APPROPRIATE DCWASA INSPECTOR(S) FOR REVIEW AND APPROVAL. UPON COMPLETION OF NEW AND EXISTING UTILITIES TO BE ABANDON IN PUBLIC SPACE, APPLICANT MUST SUBMIT THESE DRAWINGS. AS-BUILT DRAWINGS MUST SHOW DIMENSIONS, ELEVATION, RELOCATION OF ANY WASA UTILITIES AND PERTINENT INFORMATION.
- C. ONCE THE WASA INSPECTOR APPROVES THE AS-BUILT, A COPY MUST BE SUBMITTED TO THE DOCUMENTS AND PERMITS OFFICE AT ROOM 203 AND THE WATER AND SEWER DESIGN SECTION AT 5000 OVERLOOK AVE., S.W., 5TH FLOOR.
- D. UNDER DCWASA CUSTOMER FEES AND CHARGES, CONTRACTORS, PLUMBERS, OWNERS ARE RESPONSIBLE FOR EXCAVATION, BACK FILLING REPAVING AND RESTORATION OF PUBLIC SPACE FOR STREET AND SIDEWALKS CUTS, FOR NEW UTILITIES, CONNECTIONS, TAPS AND ABANDONMENT OF SERVICES WITHIN PUBLIC SPACE UNDER DC WASA INSPECTION. DC WASA IS NOT RESPONSIBLE FOR FINAL RESTORATION OF STREET AND SIDEWALK CUTS PERFORMED BY THESE DEVELOPERS.

ABBREVIATIONS

- ADJ ADJACENT
- AFF ABOVE FINISH FLOOR
- B/O BOTTOM OF
- BLDG BUILDING
- BLK(G) BLOCK(ING)
- BM BEAM
- BSMT BASEMENT
- CFM CUBIC FEET / METER
- CLNG CEILING
- CLR CLEAR/CLEARANCE
- COLM COLUMN
- CONC CONCRETE
- CR CEILING REGISTER
- DBL DOUBLE
- DIR DIRECTION
- DBL DIM(S) DIMENSION(S)
- DN DOWN
- EQ EQUAL
- EXH EXHAUST
- EXT EXTERIOR
- EXST EXISTING
- FLR FLOOR
- GYP BD GYPSUM BOARD
- HDR HEADER
- HDWR HARDWARE
- HT HEIGHT
- HWH HOT WATER HEATER
- INT INTERIOR
- I/S IN JOIST SPACE
- MTL METAL
- NIC NOT IN CONTRACT
- OC ON CENTER
- P1 PLUMBING STACK (1)
- PAN PANTRY
- R/A RETURN-AIR
- RAG RETURN-AIR GRILL
- REG REGISTER
- RM ROOM
- SAM SELF-ADHESIVE MEMBRANE
- S/A SUPPLY-AIR
- SF SQUARE FEET
- SIM SIMILAR
- ST STEEL
- T/O TOP OF
- TBD TO BE DETERMINED
- TYP TYPICAL
- UNO UNLESS NOTED OTHERWISE
- VIF VERIFY IN FIELD
- VOF VERTICAL OUTSIDE FACE
- VTR VENT TO ROOF
- WD WOOD

ZONING REPORT MAP



APPROVED
 Montgomery County
 Historic Preservation Commission
Sandra L. Skiler

WALKER RESIDENCE
 8008 WESTOVER RD
 BETHESDA, MD 20814

No.	Description	Date

COVER SHEET

Drawing Set PERMIT SET
 Date 12.15.2020

CS01

REVIEWED

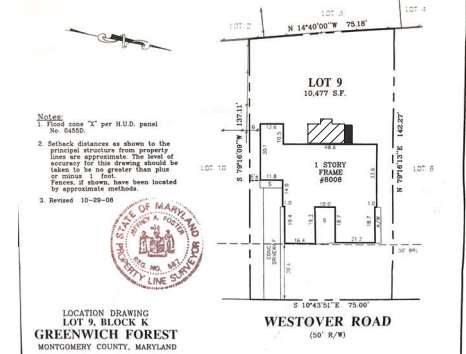
By Michael Kyne at 12:26 pm, Jan 14, 2021

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DESIGN + BUILD**
4008 GEORGIA AVE, NW | WASHINGTON DC 20011
202-428-8762 | www.fourbrothers.com

- CONSUMER INFORMATION NOTES:
1. This plan is a benefit to a consumer similar as it is required by a lender or a title insurance company or its agent in connection with contemplated transfer, financing or re-financing.
 2. This plan is not to be relied upon for the establishment or location of fences, garages, buildings, or other existing or future improvements.
 3. This plan does not provide for the accurate identification of property boundary lines, but such identification may not be required for the transfer of title or securing financing or re-financing.
 4. Boundary line and/or flood zone information is taken from available sources and is subject to interpretation of originator.
 5. No Title Report furnished.



LOCATION DRAWING LOT 9, BLOCK K GREENWICH FOREST MONTGOMERY COUNTY, MARYLAND		WESTOVER ROAD (50' R/W)	
SURVEYOR'S CERTIFICATE <small>THE INFORMATION SHOWN HEREON HAS BEEN BASED UPON THE RESULTS OF A FIELD SURVEY CONDUCTED BY THE SURVEYOR IN ACCORDANCE WITH THE MONTGOMERY COUNTY PROFESSIONAL SURVEYING ACT. THE SURVEYOR HAS BEEN FIELD LOCATED BASED UPON PHOTOGRAPHS FROM PROPERTY ADJACENT TO THE PROPOSED LOT OR ADJACENT OCCUPATION.</small> <i>Sandra J. Heiler</i> <small>Surveyor Professional License Number: 90,187</small>	REFERENCES PLAT BK. 10 PLAT NO. 722		SWINER & ASSOCIATES LAND SURVEYORS <small>20705 Colchester Lane, Suite 110 Greenbelt, Maryland 20854 301-260-5500 Fax 301-260-1586</small>
LIBER POLSO	DATE OF LOCATIONS SEE LOC. 9-11-08	SCALE 1" = 30'	DATE 12-15-2020

Plot
1" = 30'-0"

- PROPOSED REAR SCREENED IN PORCH
- UNCOVERED STOOP AND PORCH STEPS

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 BETHESDA, MD 20814

No.	Description	Date

SITE PLAN

Drawing Set PERMIT SET
Date 12.15.2020

C101

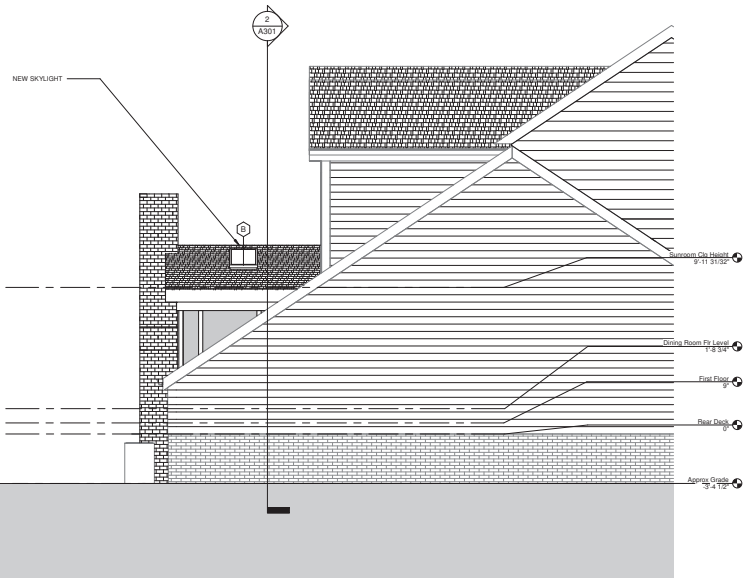
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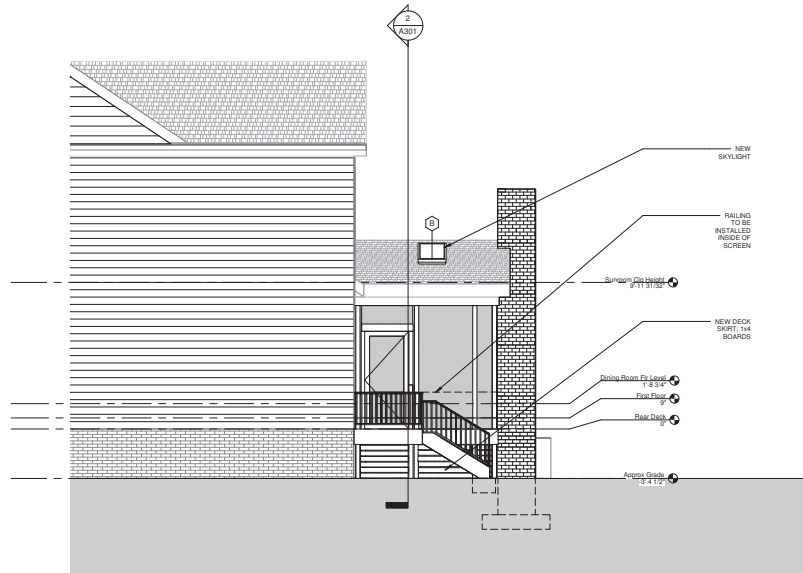
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PROPOSED EXTERIOR WEST
 ELEVATION
 1 1/4" = 1'-0"



PROPOSED EXTERIOR SOUTH
 ELEVATION
 3 1/4" = 1'-0"



PROPOSED EXTERIOR NORTH
 ELEVATION
 2 1/4" = 1'-0"

WALKER RESIDENCE
 8008 WESTOVER RD
 BETHESDA, MD 20814

No.	Description	Date

EXTERIOR
 ELEVATIONS

Drawing Set PERMIT SET
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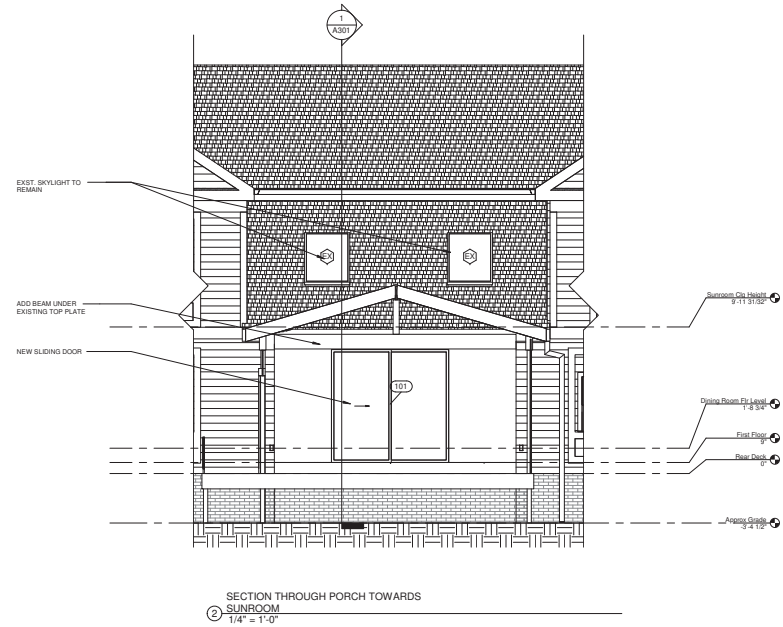
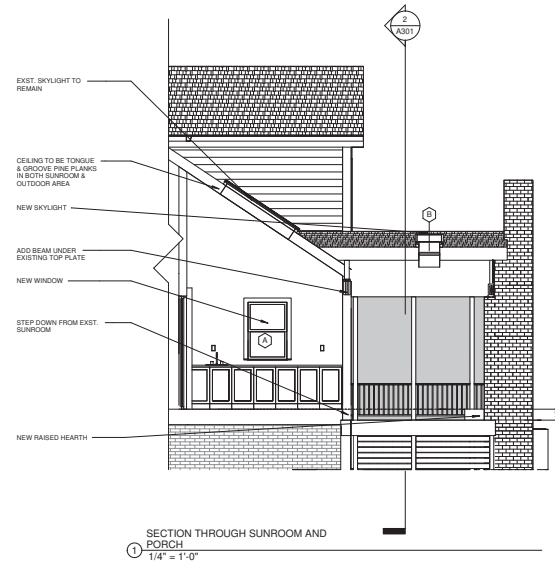
A201

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BETHESDA, MD 20814

No.	Description	Date

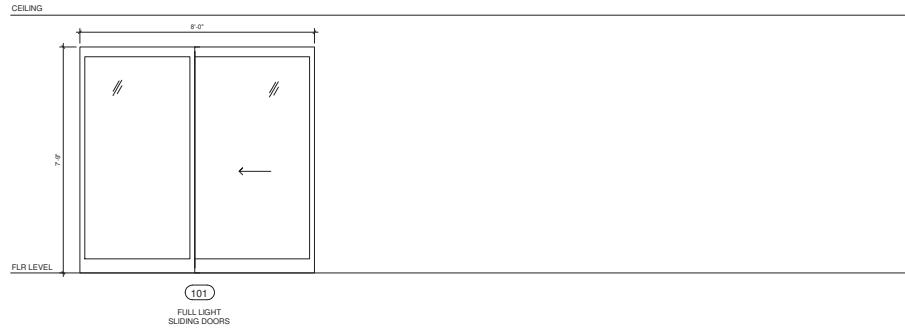
SECTIONS

Drawing Set PERMIT SET
Date 12.15.2020

A301

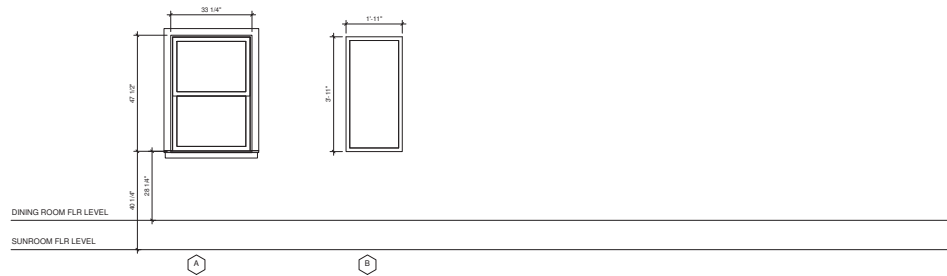
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○ Door Types
1/2" = 1'-0"

Door Schedule								
Mark	Single/Pair	Type	Width	Height	Level	U-Value	SHGC	Comments
101	SINGLE	SLIDING DOOR	8'-0"	7'-8 1/2"	First Floor	0.3	0.26	EXTERIOR SUNROOM SLIDING DOOR



○ Window Types
1/2" = 1'-0"

Window Schedule													
Window Type	Model	Manufacturer	Type	Width	Height	Rough Width	Rough Height	Max U-Value	Max SHGC	Comments	Tempered	Count	Comment
A	ULTIMATE DOUBLE HUNG G2	MARVIN	EXTERIOR DOUBLE HUNG	2'-9 1/4"	4'-0"	2'-10 1/4"	4'-0"	0.3	0.30	NEW SUNROOM WINDOW		1	
B	FCM 2246	VELUX	CURB MOUNTED SKYLIGHT	1'-10"	3'-10"	2'-1 1/2"	4'-1 1/2"	0.52				1	
B	FCM 2246	VELUX	CURB MOUNTED SKYLIGHT	1'-10"	3'-10"			0.52	0.24	NEW SCREENED PORCH SKYLIGHTS	Yes	2	Rough Opening dimensions are outside curb dimensions
EX				3'-0"	6'-0"	3'-0 1/2"	6'-0 1/2"					2	

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WALKER RESIDENCE
8008 WESTOVER RD
BETHESDA, MD 20814

No.	Description	Date

DOOR AND WINDOW SCHEDULE

Drawing Set PERMIT SET
Date 12.15.2020

A601

A. APPLICABLE CODES:

- GENERAL DESIGN CODE: 2018 IRC W/ MONTGOMERY COUNTY SUPPLEMENTS
- CONCRETE WORK SHALL FOLLOW ACI 318, ACI 301 AND ACI 308
- MASONRY WORK SHALL BE IN ACCORDANCE WITH BUILDING CODE REQUIREMENTS FOR MASONRY STRUCTURES (TMS 402/ACI 530/ASCE) AND "SPECIFICATIONS FOR MASONRY STRUCTURES" (TMS 602/ACI 530.1/ASCE 6)
- WOOD FRAMING SHALL FOLLOW THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" 2018, PROVIDED BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.
- ALL CONSTRUCTIONS AND MATERIALS SHALL MEET THE APPLICABLE PROVISIONS OF THE FOLLOWING STANDARDS AND CODES:
 - AMERICAN CONCRETE INSTITUTE (ACI)
 - AMERICAN CONCRETE FOR TESTING AND MATERIALS (ASTM)
 - AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC)
 - NATIONAL CONCRETE MASONRY ASSOCIATION(NCMA)
 - AMERICAN FOREST AND PAPER ASSOCIATION
 - NATIONAL FOREST PRODUCTS ASSOCIATION (NFPA)

B. DESIGN LOADS:

- GRAVITY LOADS:
 - ROOFS
 - GROUND SNOW LOAD 30 PSF (LIVE LOAD)
 - FLAT ROOF SNOW LOAD 21 PSF (LIVE LOAD)
 - ROOF RAFTERS 15 PSF (DEAD LOAD)

ROOF DESIGN LIVE LOAD SHALL BE LARGER OF IRC/ASCE COMPUTED LOAD AND 30 PSF EQUIVALENT UNIFORM SNOW LOAD PLUS DRIFTING AND SLIDING SNOW

- FLOORS
 - ROOMS OTHER THAN SLEEPING ROOMS 40 PSF (LIVE LOAD)
 - SLEEPING ROOMS 30 PSF (LIVE LOAD)
 - FLOOR ASSEMBLY LOAD 10 PSF (DEAD LOAD)

- LATERAL LOADS:
 - WIND LOADS
 - BASIC WIND SPEED 90 MPH (3 SEC GUST)
 - WIND IMPORTANCE FACTOR 1.0
 - WIND EXPOSURE B
 - DESIGN WIND LOAD IS LARGER OF IRC/ASCE COMPUTED LOADS AND 16 PSF FOR MAIN WIND FORCE RESISTING SYSTEM AND COMPONENTS AND CLADDING
 - SEISMIC DESIGN CATEGORY B

- FOUNDATION
 - FOUNDATION DESIGN ASSUMED SOIL BEARING VALUE OF 1,500 PSF.
 - DEFLECTION LIMITS
 - FLOOR JOISTS (LIVE LOAD) SPAN/480
 - FLOOR JOISTS (TOTAL LOAD) SPAN/240
 - ROOF RAFTERS (LIVE LOAD) SPAN/240
 - ROOF RAFTERS (TOTAL LOAD) SPAN/180

- C. GENERAL :**
- THE METHOD OF CONSTRUCTION AND THE SEQUENCE OF OPERATIONS IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
 - THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING TEMPORARY SHORING AND LATERAL STABILITY OF THE BUILDING AND PORTION THEREOF DURING CONSTRUCTION.
 - CONTRACTOR TO FOLLOW OSHA REGULATIONS DURING CONSTRUCTION.
 - UNBRACED EXCAVATIONS SHALL BE NO GREATER THAN 2 HORIZONTAL PER 1 VERTICAL OR PER OSHA STANDARDS.

- D. CONCRETE:**
- ALL REINFORCEMENT TO BE BILLET STEEL CONFORMING TO ASTM A615 GRADE 60 AND DETAILED, FABRICATED AND PLACED IN CONFORMANCE WITH ACI 315.
 - ALL WELDED WIRE FABRIC SHALL CONFORM WITH ASTM A185. ALL MESH EDGES SHALL OVERLAP 2 SQUARES MINIMUM.
 - CONCRETE COMPRESSIVE STRENGTH F_c AT 28 DAYS SHALL BE 3,000 PSI (FOR FOOTINGS, FOUNDATION WALLS, PIERS ETC.)
 - CONCRETE COVER UP TO THE FACE OF REINFORCING BAR:
 - CONCRETE CAST PERMANENTLY EXPOSED TO EARTH: 3"
 - FORMED CONCRETE EXPOSED TO WEATHER OR EARTH: 2"
 - FORMED CONCRETE NOT EXPOSED TO WEATHER OR EARTH:
 - FOR SLABS, WALLS WITH #11 AND SMALLER REBARS 3/4"
 - FOR BEAMS AND COLUMNS (DISTANCE TO TIES OR PRIMARY REINFORCEMENT WITHOUT TIES) 1.5"
 - TOTAL AIR CONTENT FOR CONCRETE EXPOSED TO WEATHER TO BE 6% PER TABLE 4.4.1 OF ACI 318.
 - PROVIDE CHAIRS, BOLSTERS, TIES ETC. AT THE APPROPRIATE SPACES TO ENSURE THE CORRECT PLACE AND SUPPORT OF THE REINFORCEMENT.
 - REINFORCEMENT SPLICES SHALL BE LAP SPLICES PER CHAPTER 12 OF ACI 318 WITH A MINIMUM LAP OF 36 DIAMETERS.
 - PROVIDE CORNER BARS AT ALL WALL, FOOTINGS AND BEAM INTERSECTIONS TO MATCH CONTINUOUS REINFORCEMENT UNLESS NOTED OTHERWISE.
 - ALL CONCRETE TO BE CONSOLIDATED IN PLACE USING INTERNAL VIBRATORS.
 - ALL KEYWAYS SHALL BE MINIMUM 1.5" X 3.5".

E. MASONRY:

- HOLLOW LOAD BEARING UNITS SHALL CONFORM WITH ASTM C90 WITH A NET AREA COMPRESSIVE MASONRY STRENGTH OF 1m OF 1,500 PSI.
- MORTAR SHALL BE PER ASTM C270 TYPE S.
- USE COARSE GROUT TO FILL MASONRY CELLS WITH 2,500 PSI COMPRESSION STRENGTH AT 28 DAYS.
- VERTICAL REINFORCEMENT BARS SHALL HAVE MINIMUM 1/2" CLEARANCE FROM MASONRY. THE MINIMUM DISTANCE BETWEEN BARS TO BE 1" OR ONE BAR DIAMETER (WHICHEVER IS BIGGER OF THE TWO)
- MINIMUM BAR SPLICE SHALL BE 36 DIAMETERS.
- HORIZONTAL WALL REINFORCING SHALL BE DUR-O-WALL OR EQUIVALENT AND SPACED AT MAXIMUM 16" ON CENTER.
- GROUT POUR HEIGHT SHALL NOT EXCEED 24". CONSOLIDATE GROUT POUR MECHANICALLY AND RECONSOLIDATE AFTER THE INITIAL WATER LOSS AND SETTLEMENT.
- MASONRY TO BE PLACED IN RUNNING BOND WITH 3/8" MORTAR JOINTS.

F. WOOD:

- ALL LUMBER IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESERVATIVE TREATED.
- HEADERS SHALL BE MINIMUM HEM FIR #2 WITH THE FOLLOWING DESIGN VALUES:
 - F_b = 850 PSI
 - F_c perpendicular = 405 PSI
 - F_v = 150 PSI
 - E = 1,300,000 PSI
- ALL BEARING WALLS TO BE SPRUCE PINE FIR #2 WITH THE FOLLOWING DESIGN VALUES:
 - F_b = 875 PSI
 - F_c parallel = 1,150 PSI
 - F_v (LIVE LOAD) = 1,400 PSI
- WALL TOP AND BOTTOM PLATES TO BE SOUTHERN PINE #2 WITH THE FOLLOWING DESIGN VALUES:
 - F_b = 1,250 PSI
 - F_v = 175 PSI
 - F_c perpendicular = 565 PSI
 - E = 1,600,000 PSI
- ALL 6X6 PRESERVATIVE TREATED POSTS TO BE SOUTHERN PINE #2 WITH THE FOLLOWING DESIGN VALUES FOR WET SERVICE CONDITION:
 - F_b = 1,150 PSI
 - F_c parallel = 825 PSI
 - F_c perpendicular = 375 PSI
 - E = 1,200,000 PSI
- THE MULTIPLE PLYS OF LVL BEAMS TO BE CONNECTED TOGETHER PER MANUFACTURER'S RECOMMENDATIONS AND HAVE THE FOLLOWING DESIGN VALUES FOR 100% LOAD DURATION:
 - F_b = 2,600 PSI (12" DEPTH)
 - F_c perpendicular = 750 PSI
 - F_v = 285 PSI
 - E = 1,900,000 PSI
- PARALLAM PSL COLUMNS 1.8E TO HAVE THE FOLLOWING DESIGN VALUES FOR 100% LOAD DURATION:
 - F_b = 2,400 PSI (12" DEPTH)
 - F_c parallel = 2,500 PSI
 - E = 1,800,000 PSI
- PRESERVATIVE TREATED LUMBER REQUIREMENTS:
 - ALL LUMBER EXPOSED TO WEATHER OR IN CONTACT WITH EXTERIOR WALL TO BE ACO (ALKALINE COPPER QUATERNARY) OR MCA (MICRONIZED COPPER AZOLE) TREATED.
 - ALL STEEL FASTENERS, HANGERS, ETC.) IN CONTACT WITH PRESERVATIVE TREATED WOOD TO BE HOT DIPPED GALVANIZED WITH MINIMUM 185 COATING OR STAINLESS STEEL.
 - ALL INTERIOR WOOD IN DIRECT CONTACT WITH CONCRETE OR MASONRY TO BE SODIUM BORATE TREATED WOOD.

G. CARPENTRY:

- PROVIDE SOLID BLOCK UNDER ALL BEARING WALLS AND POSTS CONTINUOUSLY TO THE FOUNDATIONS.
- PROVIDE SOLID BLOCKING BETWEEN THE JOISTS AND RAFTERS AT ALL BEARING POINTS.
- PROVIDE SOLID BLOCKING AT MAXIMUM 8'-0" O.C. ALONG THE JOISTS AND RAFTERS SPANS.
- LUMBER SHALL BEAR THE STAMP OF THE MANUFACTURER'S ASSOCIATION AND BE FULLY SURFACED ON ALL FOUR SIDES (S4S).
- LUMBER TO BE SOUND, SEASONED AND FREE OF WARP.
- ALL WOOD MEMBERS SHALL COMPLY WITH THE AMERICAN SOFT WOOD LUMBER STANDARD P500 LATEST EDITION.
- THE MAXIMUM MOISTURE CONTENT OF WOOD MEMBERS SHALL BE 19%.
- ROOF SHEATHING TO BE 5/8" APA RATED SHEATHING EXPOSURE 1 OR EXTERIOR, NAILED TO ROOF MEMBERS WITH 8d COMMON NAILS AT 6" ON CENTER AND 12" ON CENTER IN FIELD. USE PLYWOOD CLIPS IF EDGES OF THE PANELS ARE BETWEEN THE FRAMING MEMBERS UNLESS NOTED OTHERWISE.
- PLYWOOD OR OSB SUBFLOOR SHALL BE 3/4" THICK TONGUE AND GROOVE APA RATED 4924 NAIL PLYWOOD OSB TO FRAMING MEMBERS WITH 8d COMMON NAILS AT 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER IN FIELD UNLESS NOTED OTHERWISE ON PLANS. INSTALL 100% GLUE LINE OF PANELS TO FRAMING MEMBERS.
- EXTERIOR STUD WALL SHEATHING TO BE 7/16" APA RATED EXPOSURE 1 NAILED AT 6" ON CENTER AT PANEL EDGES AND 12" ON CENTER IN FIELD UNLESS NOTED OTHERWISE ON PLANS.
- ALL WOOD TOP PLATE SPLICES SHALL BE MINIMUM 4'-0" STAGGERED.
- ALL WALL SHEATHING TO BE CONTINUOUS BETWEEN THE TOP PLATES AND THE BOTTOM PLATE OF THE WALL ABOVE.

- FASTEN ALL MULTIPLE PLY MEMBERS TOGETHER WITH MINIMUM 2 ROWS OF 10d NAILS AT 12" ON CENTER (FOR BEAMS UP TO 12" DEEP) AND 3 ROWS FOR DEEPER BEAMS. NAILS TO BE STAGGERED.
- DOUBLE STUDS TO BE NAILED TOGETHER WITH 12d NAILS AT 8" ON CENTER.
- STUDS TO BE DOUBLED AT ALL ANGLES AND AROUND ALL OPENINGS WITH TRIPLE STUDS AT CORNERS.
- PROVIDE MID HEIGHT BLOCKING WHERE WALL SHEATHING IS REQUIRED TO HAVE PANEL EDGE NAILING.
- EXTERIOR WALL SILL PLATES ANCHORAGE SHALL BE DONE WITH 1/2" DIAMETER ANCHOR BOLTS PLACED AT 4'-0" ON CENTER WITH MINIMUM 7" EMBEDMENT IN CONCRETE AND 12" MAXIMUM FROM THE SILL PLATE END.
- 1/2" DIAMETER EXPANSION ANCHOR BOLTS WITH MINIMUM 3 1/2" EMBEDMENT IN CONCRETE AT 30" ON CENTER AND 12" MAXIMUM FROM THE SILL PLATE END SHALL BE USED AT THE INTERIOR BEARING OR SHEAR WALLS.
- ENGINEERED WOOD LUMBER SHALL CONFORM WITH THE PRODUCT SPECIFICATIONS AND INSTALLATION REQUIREMENTS OF WEYERHAEUSER/LEVEL MANUFACTURED PRODUCTS.

H. STEEL:

- W-SHAPES & WT-SHAPES..... ASTM A992
- S-SHAPES, M-SHAPES, HP-SHAPES..... ASTM A36
- ST-SHAPES & MT-SHAPES..... ASTM A36
- C-SHAPES & MC-SHAPES..... ASTM A36
- ANGLES & PLATES..... ASTM A36
- HSS SHAPES..... ASTM A500, GRADE B
- STEEL PIPE..... ASTM A53 (TYPE E OR S), GRADE B
- HIGH STRENGTH BOLTS..... ASTM A325
- MACHINE BOLTS..... ASTM A307
- ANCHOR RODS..... ASTM F1554, GRADE 55 TYPE S1(UNC)
- WELDED HEADED STUDS..... ASTM A108
- DEFORMED BAR ANCHORS..... ASTM A496
- WELDING ELECTRODES..... AWS D1.1, E70 SERIES

- NON-SHRINK GROUT TO BE NON-METALLIC, SHRINKAGE RESISTANT GROUT, PRE-MIXED, NON-CORROSIVE, NONSTAINING PRODUCT CONTAINING SILICA SANDS, PORTLAND CEMENT, SHRINKING COMPENSATING AGENTS, PLASTICIZING AND WATER REDUCING AGENTS, COMPLYING WITH CE-CRD-621
- ENGINEER SHALL BE CONTACTED FOR APPROVAL OF ANY FIELD MODIFICATIONS OF ANCHOR BOLTS OR RODS AND COLUMN BASE PLATES.
- TEMPORARY BRACING OF STRUCTURAL STEEL ELEMENTS SHALL BE INSTALLED, AND STRUCTURAL STABILITY SHALL BE MAINTAINED AT ALL TIMES DURING THE ERECTION PROCESS.
- PROVIDE ONE SHOP COAT OF RUST-INHIBITIVE PRIMER ON ALL STEEL EXCEPT FOR ITEMS TO BE HOT DIPPED GALVANIZED OR SPRAY FIREPROOFED. DO NOT PAINT PORTIONS EMBEDDED IN CONCRETE.
- WELD OPERATORS SHALL BE CURRENTLY AWS QUALIFIED.
- SHOP CONNECTIONS SHALL BE WELDED OR HIGH STRENGTH BOLTED. USE 3/16" FILLET WELD MINIMUM.
- FIELD CONNECTIONS SHALL BE WELDED OR HIGH STRENGTH BOLTED AS DETAILED. NO FIELD WELDING OF HOT DIPPED GALVANIZED MEMBERS WILL BE ALLOWED. USE 3/16" FILLET WELD MINIMUM.
- DURING THE ERECTION OF STEEL BEAMS AND DIAGONAL BRACING, ALL BOLTING AND FIELD WELDING SHALL BE COMPLETE BEFORE RELEASING HOISTING CABLES.
- SUBMIT FOR REVIEW SHOP DRAWINGS OF STEEL DETAILS PRIOR TO FABRICATING STRUCTURAL STEEL.
- ALL EXTERIOR ELEMENTS AND THOSE ELEMENTS NOTED TO BE GALVANIZED SHALL BE HOT DIPPED GALVANIZED IN ACCORDANCE WITH ASTM A123 AFTER SANDBLAST CLEANING PER SSPC-SP10. USE ASTM A325 BOLTS HOT DIPPED GALVANIZED WITH GALVANIZED HARDENED WASHERS AND GALVANIZED HEAVY HEX NUTS FOR BOLTING OF GALVANIZED ITEMS.
- STEEL COLUMNS, BASE PLATES AND ALL STEEL BELOW GRADE SHALL HAVE A MINIMUM 3" CONCRETE COVER PROTECTION.
- MEMBERS NOTED AS "CONTINUOUS" SHALL BE FULLY WELDED AT ALL BUTT SPLICES OR CONNECTIONS SHALL BE DETAILED TO PROVIDE CONTINUITY.



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WALKER RESIDENCE
 8008 WESTOVER RD
 BETHESDA, MD 20814

APPROVED
 Montgomery County
 Historic Preservation Commission


REVIEWED
 By Michael Kyne at 12:26 pm, Jan 14, 2021

No.	Description	Date

STRUCTURAL NOTES

Drawing Set	PERMIT SET
Date	12.15.2020

S101

REVIEWED

By Michael Kyne at 12:26 pm, Jan 14, 2021

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Montgomery County

Historic Preservation Commission

STRUCTURAL MEMBER SCHEDULE

MARK	SIZE
B1	(2) P.T. 2 X 8
B2	(2) 2 X 10 @ 24" O.C.
B3	(2) P.T. 2 X 8
B4	(2) P.T. 2 X 8
J1	P.T. 2 X 8 @ 16" O.C.
JH1	LUGS
JH2	HURRICANE
H1	(2) 2 X 8
H2	2 @ 25 LVL w/ DOUBLE TRIMMER STUDS
L1	P.T. 2 X 12 LEDGER BD.
R1	2 X 10 @ 24" O.C.
R2	(2) 2 X 12 RIDGE BEAM

Sandra Heiler

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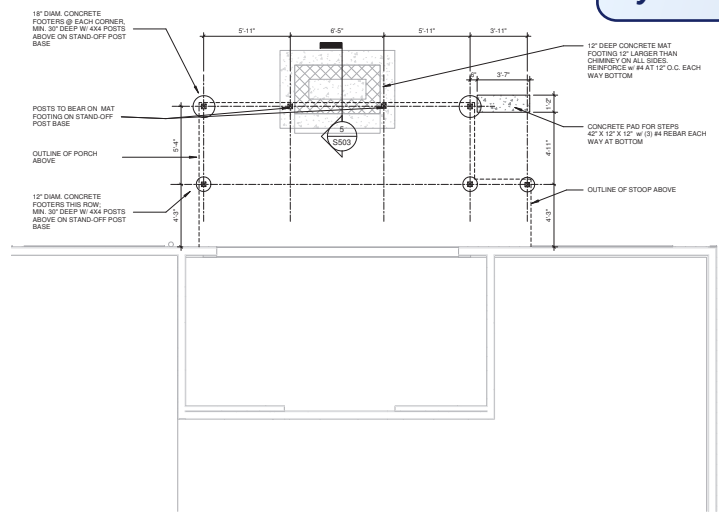
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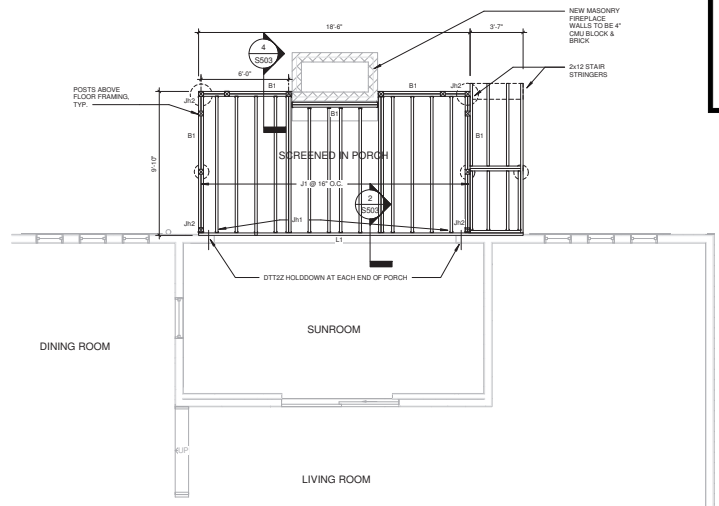
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Drawing Set PERMIT SET
Date 12.15.2020

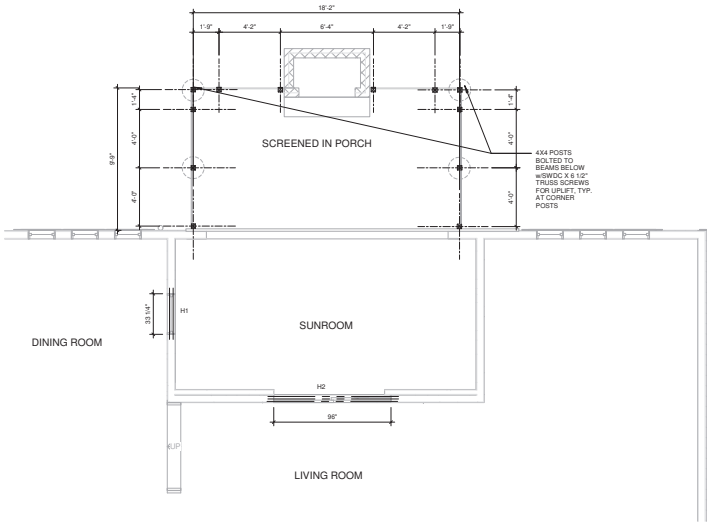
S102



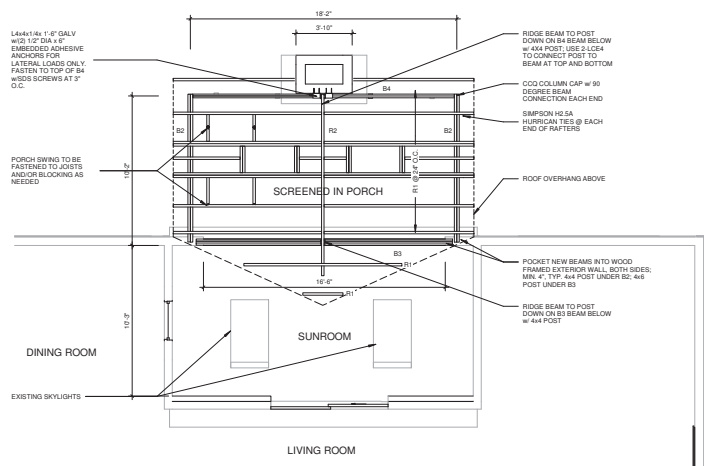
1 PROPOSED FOOTING PLAN
1/4" = 1'-0"



2 PROPOSED DECK FRAMING PLAN
1/4" = 1'-0"



3 PROPOSED PORCH POST PLAN
1/4" = 1'-0"



4 PROPOSED ROOF FRAMING PLAN
1/4" = 1'-0"



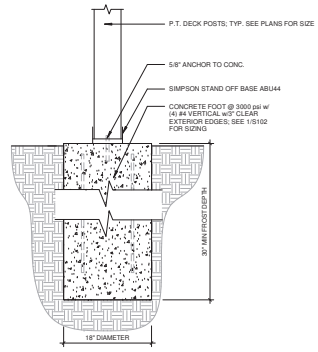
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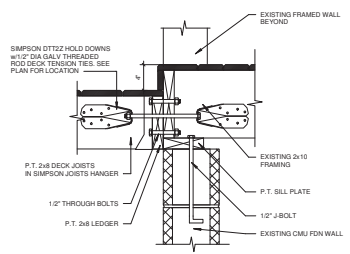
STRUCTURAL DETAILS

Drawing Set: PERMIT SET
Date: 12.15.2020

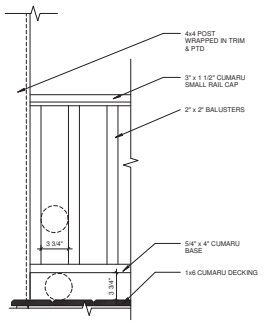
S503



① TYP. DECK POST DETAIL
1" = 1'-0"

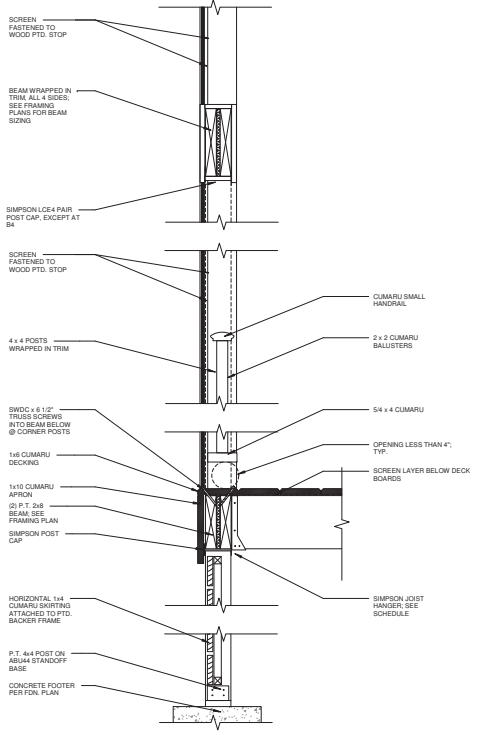


② LEDGER BOARD DETAIL
1 1/2" = 1'-0"

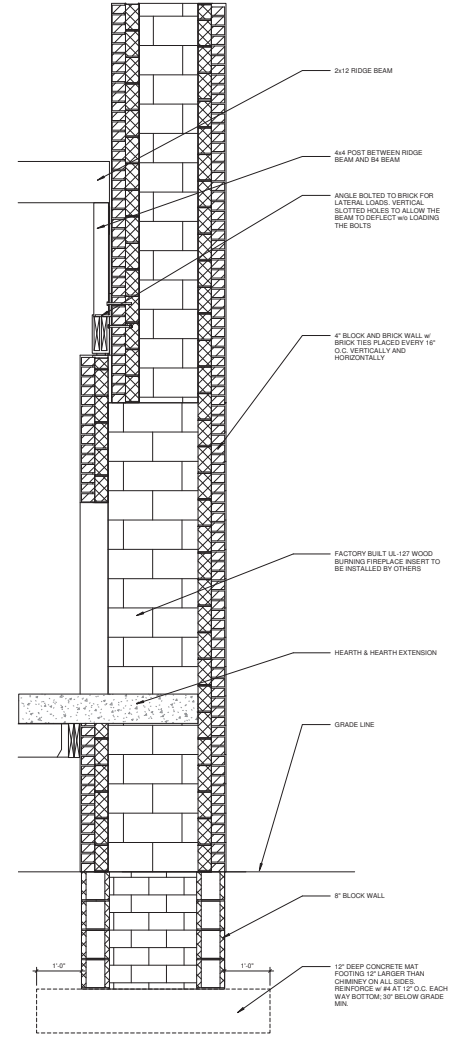


③ RAILING ELEVATION DETAIL
1 1/2" = 1'-0"

NOTE: RAILING TO BE INSTALLED ON INSIDE OF SCREEN SYSTEM



④ FOOTING TO ROOFING DETAIL
1 1/2" = 1'-0"



⑤ DETAIL AT FIREPLACE MANSIONRY
3/4" = 1'-0"

REVIEWED
By Michael Kyne at 12:26 pm, Jan 14, 2021

APPROVED
Montgomery County
Historic Preservation Commission
Sandra J. Heiler

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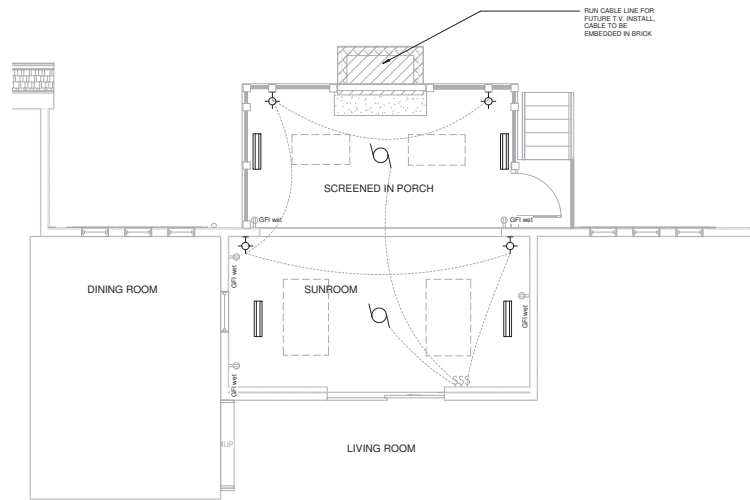
ELECTRICAL NOTES:

- ALL WORK SHALL BE PERFORMED BY LICENSED CONTRACTORS IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE (NEC) AND DISTRICT OF COLUMBIA CODE. WHERE ANY PORTION OF THE WORK IS NOT SHOWN IN ACCORDANCE WITH APPLICABLE REGULATIONS AND CODES, MAKE CHANGES AS REQUIRED IN A MANNER APPROVED BY THE OWNER WITHOUT ADDITIONAL COST TO THE OWNER. RESOLVE ANY CONFLICTS BEFORE INSTALLATION AT NO ADDITIONAL COST TO THE OWNER.
- ELECTRICAL EQUIPMENT SHALL BE NEW, UNDAMAGED, AND BEAR THE 'UL' LABEL. INSTALL EQUIPMENT IN STRICT ACCORDANCE WITH MANUFACTURERS' RECOMMENDATIONS OR ANY HIGHER STANDARD REQUIRED BY CONSTRUCTION DOCUMENTS OR RELEVANT CODE.
- THE PROVISIONS OF THE GENERAL REQUIREMENTS, THE GENERAL PROVISIONS, AND THE BIDDING AND CONTRACT REQUIREMENTS APPLY TO ALL ELECTRICAL WORK.
- OBTAIN REQUIRED PERMITS AND PAY ANY FEES REQUIRED FOR THE ELECTRICAL WORK, AS INCLUDED IN BID PRICE.
- TEST ALL SYSTEMS, DEVICES, AND RELATED EQUIPMENT ON-SITE WITH EQUIPMENT IN PLACE AS WORK IS COMPLETED. REPLACE ANY DEFECTIVE WORK AND RETEST UNTIL SATISFACTORY AT NO ADDITIONAL COST TO THE OWNER.
- ELECTRICAL DRAWINGS ARE DIAGRAMMATIC AND ARE FOR CIRCUIT ALLOCATION ONLY. DO NOT SCALE DRAWINGS. SEE ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF STRUCTURE.
- PROVIDE HARDWIRED, INTERLINKED SMOKE DETECTORS W/ BATTERY BACKUP PER CODE.
- ALL OUTLETS LOCATED IN KITCHENS, BATHROOMS, LAUNDRY ROOMS, GARAGES, OUTSIDE, AND IN OTHER WET LOCATIONS, ARE TO BE GFI RATED.
- ALL RECESSED LIGHT FIXTURES SHALL BE SEALED HOUSINGS AND LABELED ACCORDINGLY TO MEET 2.0 CFM LEAKAGE AT 75 Pa.
- ALL RECESSED LIGHT FIXTURES SHALL BE LED AND 75% OF ALL OTHER FIXED LIGHTING SHALL HAVE HIGH EFFICIENCY BULBS INSTALLED.
- ALL INTERIOR LIGHTS TO BE ON DIMMER SWITCHES.

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ELECTRICAL LEGEND	
D	DIMMER
	200 AMP ELECTRICAL PANEL
	120V DUPLEX RECEPTACLE MTD 14" AFF
	120V DUPLEX RECEPTACLE w/ GROUND FAULT INTERRUPTER, MTD 14" AFF
	120V DUPLEX RECEPTACLE w/ AFCI
	120V DUPLEX RECEPTACLE w/ AFCI
	DEDICATED APPLIANCE OUTLET
	WALL SWITCH, MTD 48" AFF
	3 WAY WALL SWITCH, MTD 48" AFF
	DISPOSAL SWITCH
	CHANDELIER
	WALL MNTD LIGHT FIXTURE
	CEILING MNTD LIGHT FIXTURE
	PENDANT LIGHT FIXTURE
	4" DIAMETER RECESSED CEILING LIGHT FIXTURE
	4" DIAMETER RECESSED CEILING LIGHT FIXTURE, WET LOCATION
	EXHAUST FAN
	CEILING FAN w/ LIGHT
	SMOKE/CARBON MONOXIDE DETECTOR (HARDWIRED & INTERLINKED)
	CLOSET LIGHTING



1 Proposed First Floor Electrical Plan
 1/4" = 1'-0"

NOTE:
 1. EXISTING 200A ELECTRICAL PANEL IN BASEMENT; NEW 150A SUBPANEL TO BE INSTALLED

No.	Description	Date

ELECTRICAL PLANS

Drawing Set PERMIT SET
 Date 12.15.2020

E101

