



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Sandra I. Heiler  
*Chairman*

Date: January 14, 2020

### MEMORANDUM

TO: Hadi Mansouri  
Department of Permitting Services

FROM: Michael Kyne  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #899307: Siding alterations

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the January 8, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

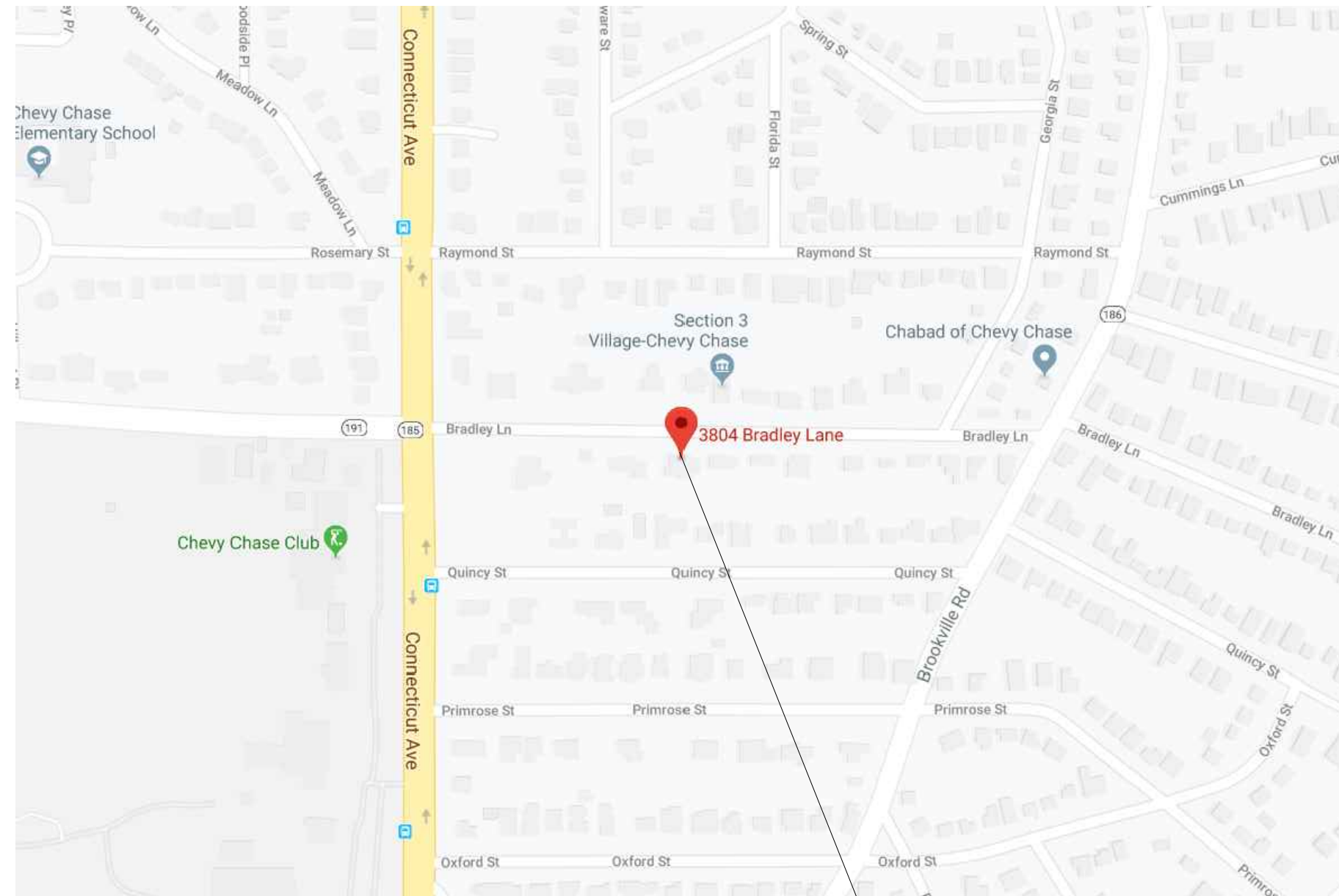
Applicant: David Wodlinger (Phillip Long, Architect)  
Address: 3804 Bradley Ln., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3400 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.



# Wodlinger Residence

3804 Bradley Lane, Chevy Chase, MD 20815



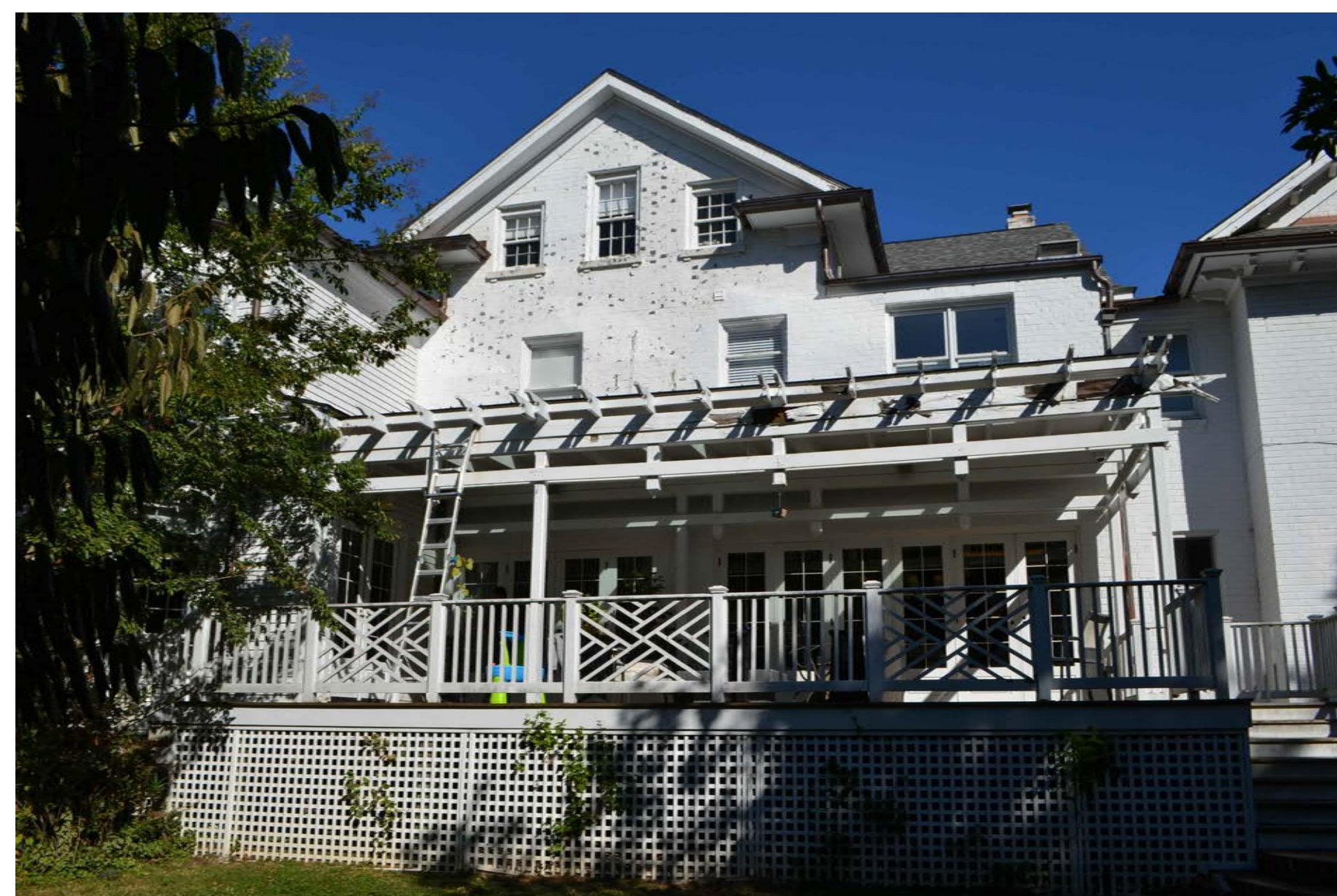
1 SITE LOCATION PLAN  
SCALE: NONE



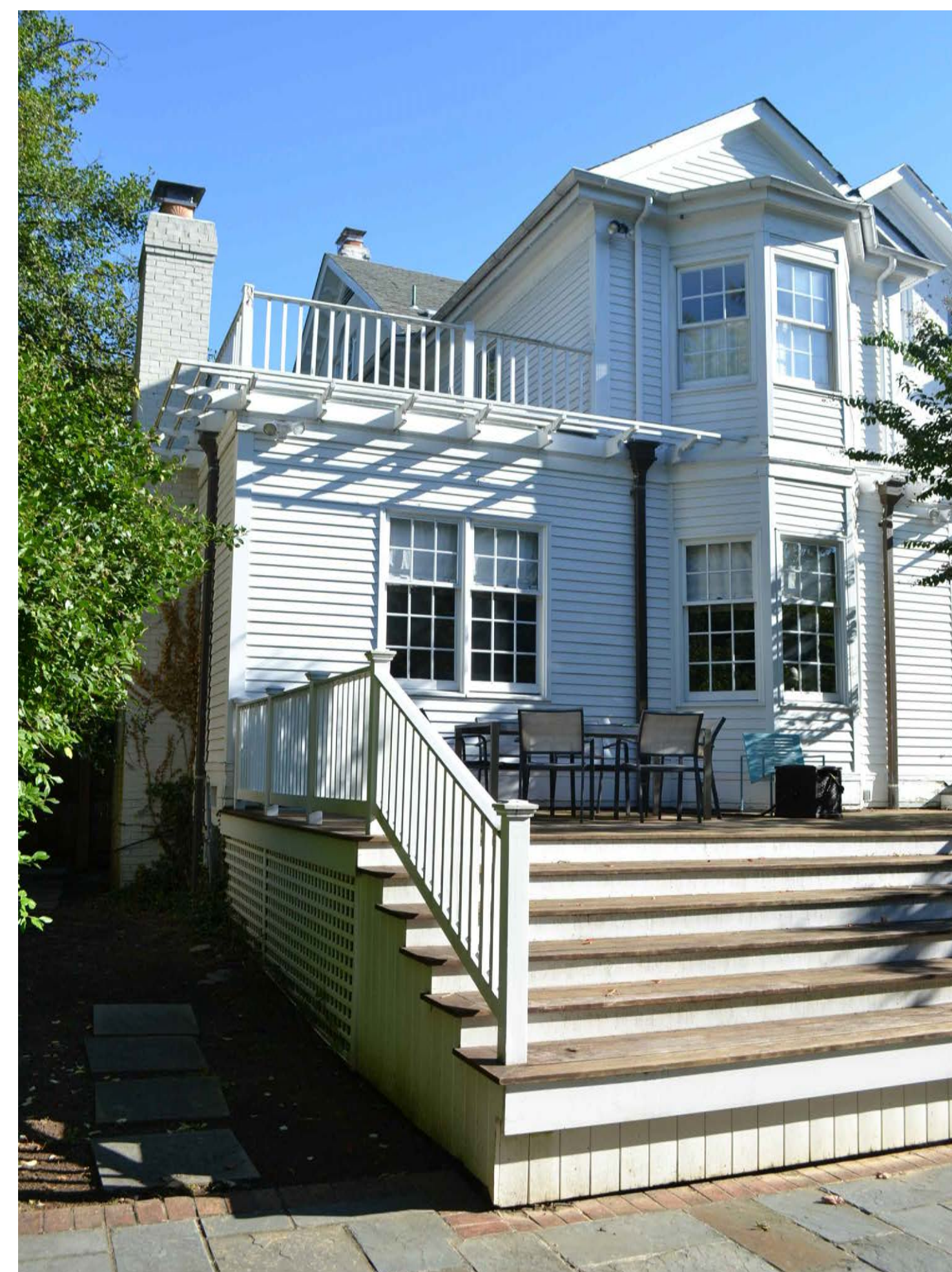
4 EXISTING FRONT ELEVATION OF FAMILY ROOM  
SCALE: NONE



2 EXISTING FRONT ELEVATION OF HOUSE  
SCALE: NONE



3 EXISTING REAR ELEVATION OF HOUSE  
SCALE: NONE

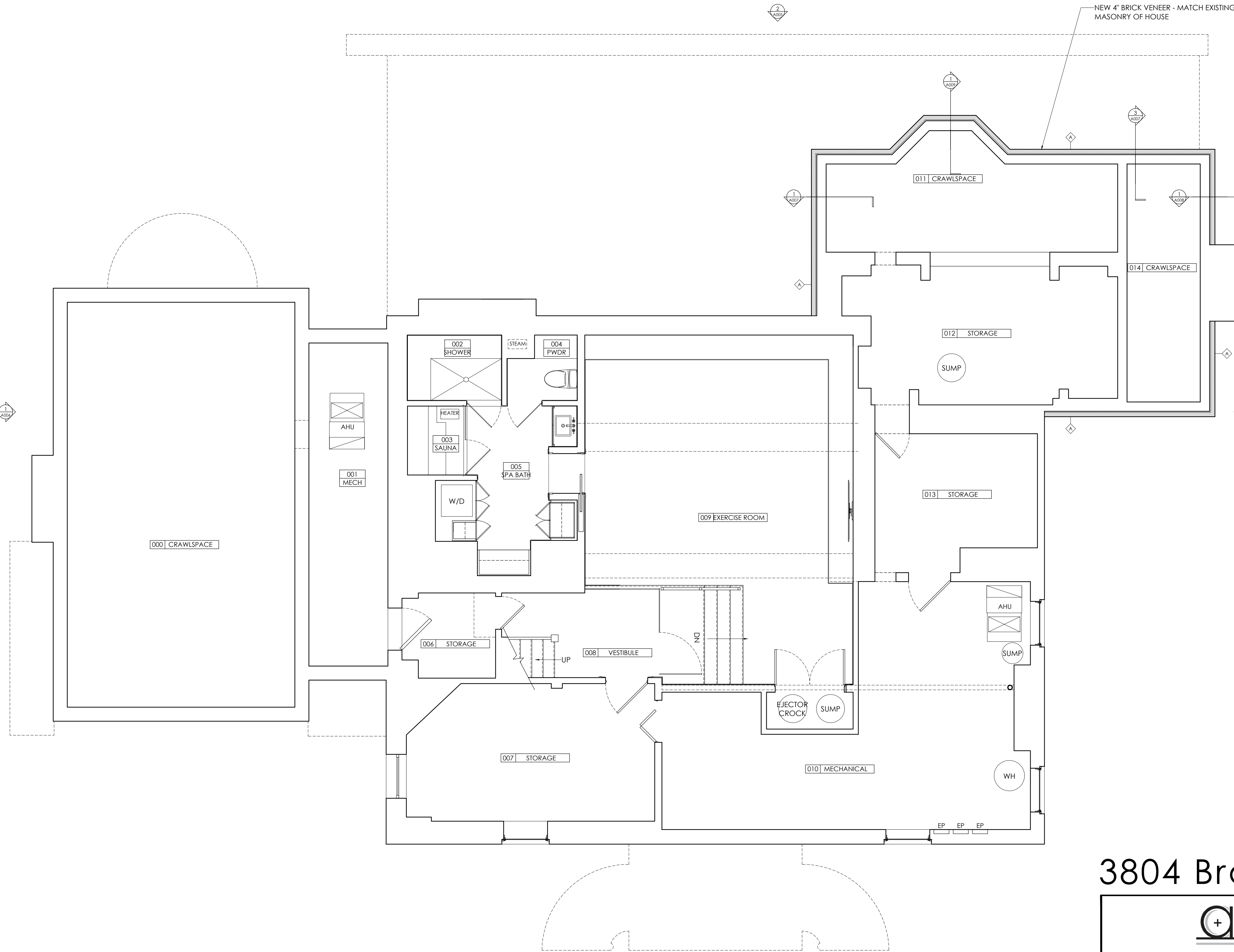


5 EXISTING REAR ELEVATION OF FAMILY ROOM  
SCALE: NONE

DRAWING INDEX		PROJECT DESCRIPTION															
001	COVERSHEET, PROJECT DESCRIPTION, LOCATION, DRAWING INDEX	EXTERIOR RENOVATION OF EXISTING HOUSE, TO INCLUDE NEW INSULATION, SHEATHING, BRICK VENEER AT THE MASTER SUITE & MAIN FLOOR FAMILY ROOM.															
A001	BASEMENT PLAN & GENERAL NOTES																
A002	1ST FLOOR PLAN & GENERAL NOTES																
A003	2ND FLOOR PLAN & GENERAL NOTES																
A004	3RD FLOOR PLAN & GENERAL NOTES																
A005	EXTERIOR ELEVATIONS																
A006	EXTERIOR ELEVATIONS																
A007	SECTION DETAILS																
A008	SECTION DETAILS																
A009	SECTION DETAILS	ZONING INFO															
		LOT:	35	EXIST. LOT OCCUPANCY:	23.1%												
		EXIST. USE:	R-3	PROP. LOT OCCUPANCY:	23.1%												
		PROPOSED USE:	R-3														
		EXIST. LOT AREA:	15,359 SQ.FT.														
		BUILDING INFO															
		IBC OCCUPANCY CLASSIFICATION	EXISTING BUILDING R	RENOVATION R													
		TYPE OF CONSTRUCTION	III	III													
		NUMBER OF STORIES ABOVE GRADE	2	2													
		FLOOR AREA OF POOL HOUSE	269.29 SQ.FT.	269.29 SQ.FT.													
		FLOOR AREA OF EXIST. DECK	352 SQ.FT.	352 SQ.FT.													
		FLOOR AREA OF EXIST. SHED	0 SQ.FT.	0 SQ.FT.													
		FLOOR AREA OF MAIN HOUSE	2934.18 SQ.FT.	2934.18 SQ.FT.													
		NOTE															
		ALL DIMENSIONS LISTED CORRELATE WITH THE DESIGN INTENTION. DO NOT SCALE DRAWINGS. IF ANY DIMENSIONS OR NOTES ARE IN QUESTION, REVIEW WITH ARCHITECT PRIOR TO PROCEEDING WITH WORK.															
		GENERAL INFO															
		OWNER: MR. & MRS. DAVID WODLINGER 3804 BRADLEY LANE CHEVY CHASE, MD 20815	CONTRACTOR: SUPERIOR CONSTRUCTION SERVICES 2201 WISCONSIN AVENUE, NW WASHINGTON, DC 20007 PH: 202.465.4330														
		ARCHITECT: AGGREGATE ARCHITECTURE + DESIGN, PLLC 1308 9th STREET, NW, SUITE 200 WASHINGTON, DC 20001 PH: 202. 289. 0053															
		CODE REVIEW INFO.															
		ALL WORK UNDER THIS CONTRACT SHALL COMPLY WITH THE PROVISIONS OF THE SPECIFICATIONS & DRAWINGS, & SHALL SATISFY ALL APPLICABLE CODES, ORDINANCES AND REGULATIONS OF ALL GOVERNING BODIES INVOLVED. ALL PERMITS, LICENSES & INSURANCE NECESSARY FOR THE PROPER EXECUTION OF WORK SHALL BE SECURED & PAID FOR BY THE GENERAL CONTRACTOR. APPLICABLE CODES INCLUDE, BUT ARE NOT LIMITED TO THE FOLLOWING:															
		2015 INTERNATIONAL RESIDENTIAL CODE (IRC) W/ RELATED MONTGOMERY COUNTY, MD ADDENDUM & ZONING REQUIREMENTS															
		2015 INTERNATIONAL ENERGY CONSERVATION CODE (IECC)															
		2015 INTERNATIONAL MECHANICAL CODE (IMC)															
		2015 WSSC PLUMBING CODE															
		2014 NATIONAL ELECTRIC CODE (NEC)															
		1308 9th St NW, Suite 200 WASHINGTON, DC 20001 Aggregate Architecture & Design, PLLC © 2019 This Drawing &/or Specifications is provided as an instrument of service by AGGREGATE Architecture & Design, PLLC, and is intended for use on this project only. All designs, drawings, specifications, models, and arrangements appearing herein constitutes the original and unpublished Work (the property) of the Architect. Any reproduction, use, or disclosure of the proprietary information contained herein without the prior written consent of the Architect is strictly prohibited.		<table border="1"> <tr> <td>SUBMISSION</td> <td>DATE</td> </tr> <tr> <td>EXT. RENOVATION</td> <td>12.14.19</td> </tr> <tr> <td colspan="2">I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16690 EXPIRATION DATE 10-12-2021</td> </tr> <tr> <td>DRAWN BY:</td> <td>VC / LF</td> </tr> <tr> <td>CHECKED BY:</td> <td>MF</td> </tr> <tr> <td>PROJECT NO:</td> <td>2019-05</td> </tr> </table>		SUBMISSION	DATE	EXT. RENOVATION	12.14.19	I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND. LICENSE NO. 16690 EXPIRATION DATE 10-12-2021		DRAWN BY:	VC / LF	CHECKED BY:	MF	PROJECT NO:	2019-05
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PROJECT NO:	2019-05																
				COVER SHEET													
				001													

**REVIEWED**  
By Michael Kyne at 12:31 pm, Jan 14, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra Heiler*



**TURNOVER REQUIREMENTS**

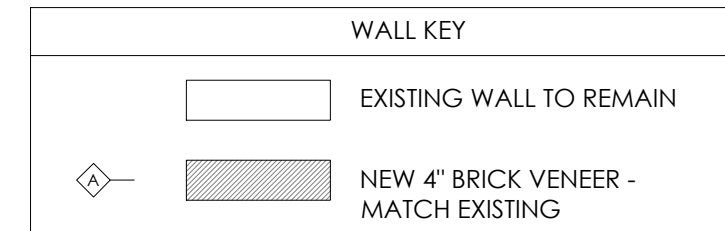
1. The Contractor shall arrange for all inspections and furnish owner's representative with the certificate of occupancy. General Contractor is also to provide a type written list of names, addresses and phone numbers of all Subcontractors and Material Suppliers.
2. The Contractor shall be responsible for having the entire basement cleaned to the satisfaction of the Owner at the time of Carpet and Furniture Installation and at turnover.
3. General Contractor shall be responsible for the coordination of all air diffusers and light fixtures systems as related to field conditions.
4. General Contractor to turn over all keys to the owner's representative and mark each key for identification.
5. The General Contractor shall set all thermostats per the Owner's Requirements.
6. The General Contractor shall explain the operation of all Mechanical Systems to the Owner and provide copies of Operation, Maintenance, and Warranty Manuals.
7. General Contractor and all Subcontractors shall warrant the work for a Period of one (1) year from the date of final acceptance by Owner of finished work.
8. The General Contractor shall install new filters in the HVAC Units one week prior to turnover of the project.

**PARTITION NOTES**

1. General Contractor shall layout partitions as quickly as possible. Layout is to be approved by Architect before studs are installed.
2. All partitions shall be spackled, taped and sanded smooth with no visible joints.
3. All exterior corners of G.W.B. shall have metal corner beads.
4. All interior dimensions are from face of stud wall.
5. Provide bracing at all door and glazing openings in accordance with manufacturer's recommendations.
6. Provide and install fire retardant wood blocking or sheet metal where all hung cabinets, shelves etc., will be installed. Verify shop standard with millwork subcontractor and review with Architect for acceptance prior to fabrication.
7. General Contractor shall coordinate, space and review size and location of all penetrations. All penetrations shall be properly sealed according to applicable codes.
8. Verify door undercuts with Architect prior to installation.
9. All casework work to be installed to A.W.I. standard quality level premium grade. The design, detailing, and fabrication of millwork should be directed toward achieving installation with a minimum of exposed face fastening.

**GENERAL NOTES**

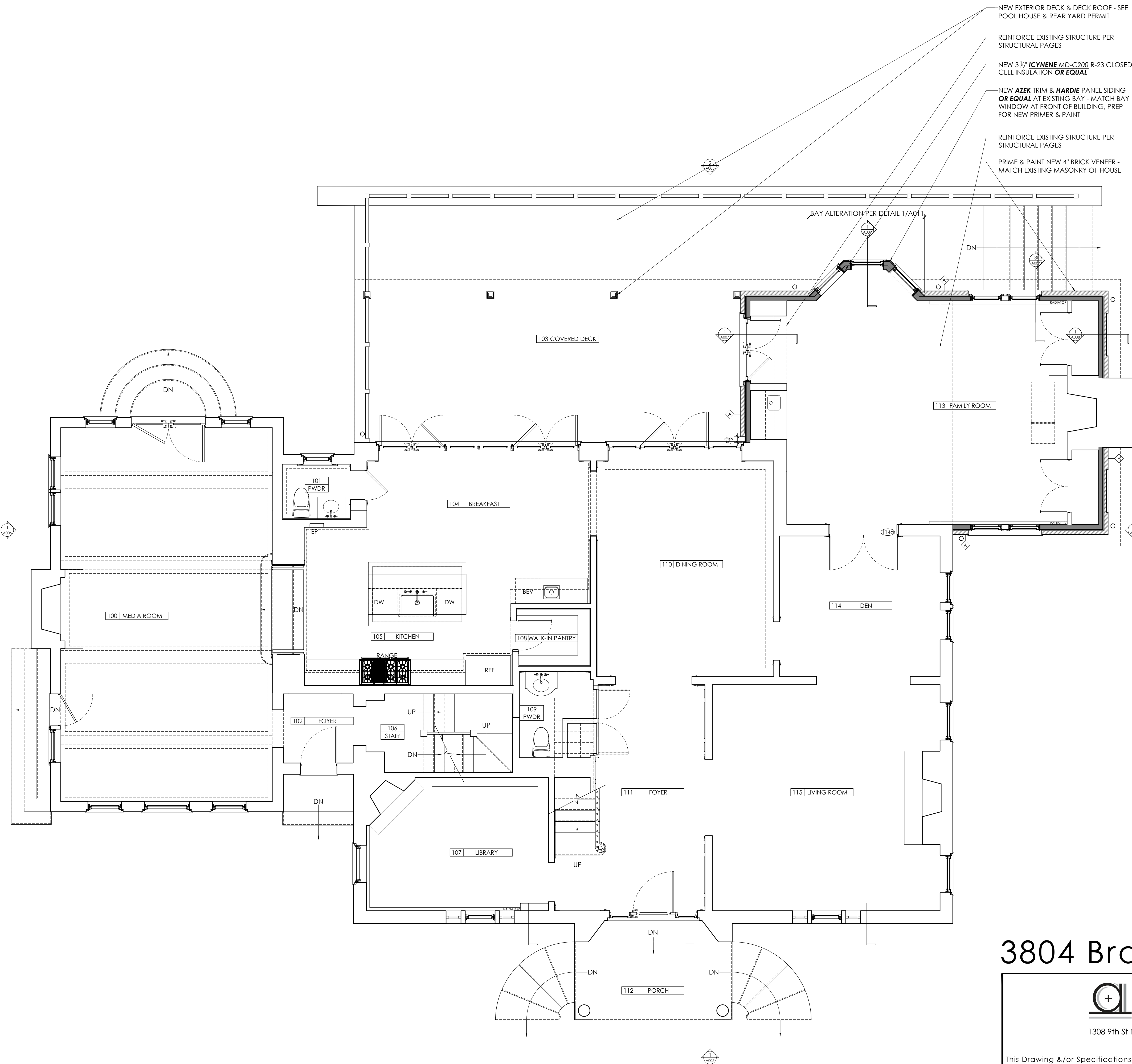
1. It shall be the sole responsibility of the General Contractor to fully examine all existing structure on the project site before commencing the work. General Contractor shall verify the condition and nature of the construction, materials, and available utilities and structural elements and to notify the owner's representative, in writing, of any and all discrepancies between said existing conditions and these drawings. Further, it shall be the joint responsibility of the General Contractor and all Subcontractors and suppliers of materials to secure all necessary adaptations to same as required for their respective work prior to ordering, fabrication or installation of any materials, equipment or components which are to be integrated into the work of this project. No claims for additional compensation shall be made or shall be valid unless written notification is received by the owner's representative and the additional compensation is approved in advance of proceeding with the work.
2. Commencement of work in any area by the Contractor shall be construed as that the contractor has checked the existing conditions & found them satisfactory to accept this portion of work.
3. All work shall be performed as to comply with all governing statutes, ordinances, regulations, codes and insurance rating boards. No work shall commence until all governmental and jurisdictional permits and approvals are obtained.
4. All work shall be performed in a first class manner and shall be in good and usable condition at the date of completion thereof.
5. Contractors are required to give the owner a minimum of twenty four (24) hours advanced written notice of said work.
6. Under No Circumstances shall the contractor install or permit to be installed, any materials containing asbestos within the Building.
7. All work shall be confined to the premises and not permitted to perform any said Owner's work (Or store any materials or machinery) outside of the premises, subject to Owner's approval otherwise.
8. No construction material or debris shall be placed in any of the Owner's trash receptacles or compactors at any time. The Contractor shall arrange (if Required) for a trash dumpster, size and location of which is subject to owner's approval, for the removal of refuse.
9. The abbreviation of "N.I.C." indicates work and or material is not in the contract of the General Contractor, however this does not relieve the General Contractor of the Responsibility of coordination.
10. Repair all damage or voids caused during construction to any of the property to the original condition. Protect adjacent areas from dirt and dust.
11. All concealed wood blocking in walls and ceiling shall be Flame Retardant Treated.
12. All Exits are to remain clear and open during all phases of construction if applicable.
13. The locations of existing utilities are shown in an approximate way only and have not been individually verified by the owner or his representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might occur by the Contractor's failure to exactly locate and preserve any and all utilities.
14. The term "Owner" shall refer to MR. & MRS. DAVID WOLDINGER and their agents or representatives. The term "General Contractor" and "G.C." shall refer to the person and/or persons who have contracted or subcontracted for the work.
15. Contractor provide the scheduled pre finished millwork as described and detailed and responsible to receive, check and confirm the millwork's arrival in good condition, and in sufficient quantity and shall notify Owner immediately of any discrepancies. All pieces are sent unassembled and shall be installed by the Contractor in a first class manner, with minimum number of joints possible. Cope all returns, miter all corners and use scarf joints for end to end jointing. Refinish at all cuts and damaged areas as required.
16. General Contractor shall check-in with the Owner prior to commencing construction.
17. In addition to the General Notes listed herein, A.I.A. document A201 General Conditions of contract for construction shall apply.
18. General Contractor to provide 5% additional stock of finish materials or as agreed to by the construction manager.
19. General Contractor to adhere to owner provided close out forms if any.



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<p>aggregate architecture+design 1308 9th St NW, Suite 200 WASHINGTON, DC 20001 Aggregate Architecture &amp; Design, PLLC © 2019 This Drawing &amp;/or Specifications is provided as an instrument of service by AGGREGATE Architecture &amp; Design, PLLC, and is intended for use on this project only. All designs, drawings, specifications, models, and arrangements appearing herein constitutes the original and unpublished Work (the property) of the Architect. Any reproduction, use, or disclosure of the proprietary information contained herein without the prior written consent of the Architect is strictly prohibited.</p>		<table border="1"> <tr> <th>SUBMISSION</th> <th>DATE</th> </tr> <tr> <td>EXT. RENOVATION</td> <td>12.14.19</td> </tr> </table>	SUBMISSION	DATE	EXT. RENOVATION	12.14.19	<p>ARCH. PLANS</p> <p>A001</p>		
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1 PROPOSED BASEMENT PLAN  
SCALE: 1/4" = 1'-0"



- NEW EXTERIOR DECK & DECK ROOF - SEE POOL HOUSE & REAR YARD PERMIT
- REINFORCE EXISTING STRUCTURE PER STRUCTURAL PAGES
- NEW 3 1/2" ICYNENE MD-C200 R-23 CLOSED CELL INSULATION OR EQUAL
- NEW AZEK TRIM & HARDIE PANEL SIDING OR EQUAL AT EXISTING BAY - MATCH BAY WINDOW AT FRONT OF BUILDING, PREP FOR NEW PRIMER & PAINT
- REINFORCE EXISTING STRUCTURE PER STRUCTURAL PAGES
- PRIME & PAINT NEW 4" BRICK VENEER - MATCH EXISTING MASONRY OF HOUSE

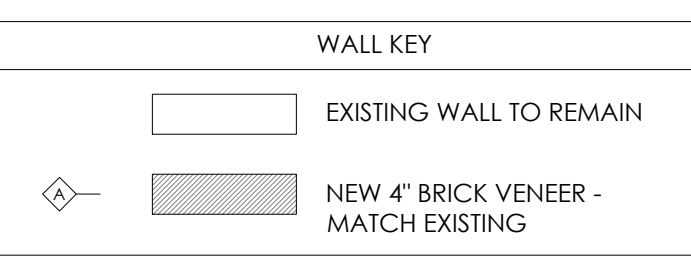
**REVIEWED**  
By Michael Kyne at 12:31 pm, Jan 14, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra Hillen*

- TURNOVER REQUIREMENTS**
- The Contractor shall arrange for all inspections and furnish owner's representative with the certificate of occupancy. General Contractor is also to provide a type written list of names, addresses and phone numbers of all Subcontractors and Material Suppliers.
  - The Contractor shall be responsible for having the entire basement cleaned to the satisfaction of the Owner at the time of Carpet and Furniture Installation and at turnover.
  - General Contractor shall be responsible for the coordination of all air diffusers and light fixtures systems as related to field conditions.
  - General Contractor to turn over all keys to the owner's representative and mark each key for identification.
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  - General Contractor and all Subcontractors shall warrant the work for a Period of one (1) year from the date of final acceptance by Owner of finished work.
  - The General Contractor shall install new filters in the HVAC Units one week prior to turnover of the project.

- PARTITION NOTES**
- General Contractor shall layout partitions as quickly as possible. Layout is to be approved by Architect before studs are installed.
  - All partitions shall be spackled, taped and sanded smooth with no visible joints.
  - All exterior corners of G.W.B. shall have metal corner beads.
  - All interior dimensions are from face of stud wall.
  - Provide bracing at all door and glazing openings in accordance with manufacturer's recommendations.
  - Provide and install fire retardant wood blocking or sheet metal where all hung cabinets, shelves etc., will be installed. Verify shop standard with millwork subcontractor and review with Architect for acceptance prior to fabrication.
  - General Contractor shall coordinate, space and review size and location of all penetrations. All penetrations shall be properly sealed according to applicable codes.
  - Verify door undercuts with Architect prior to installation.
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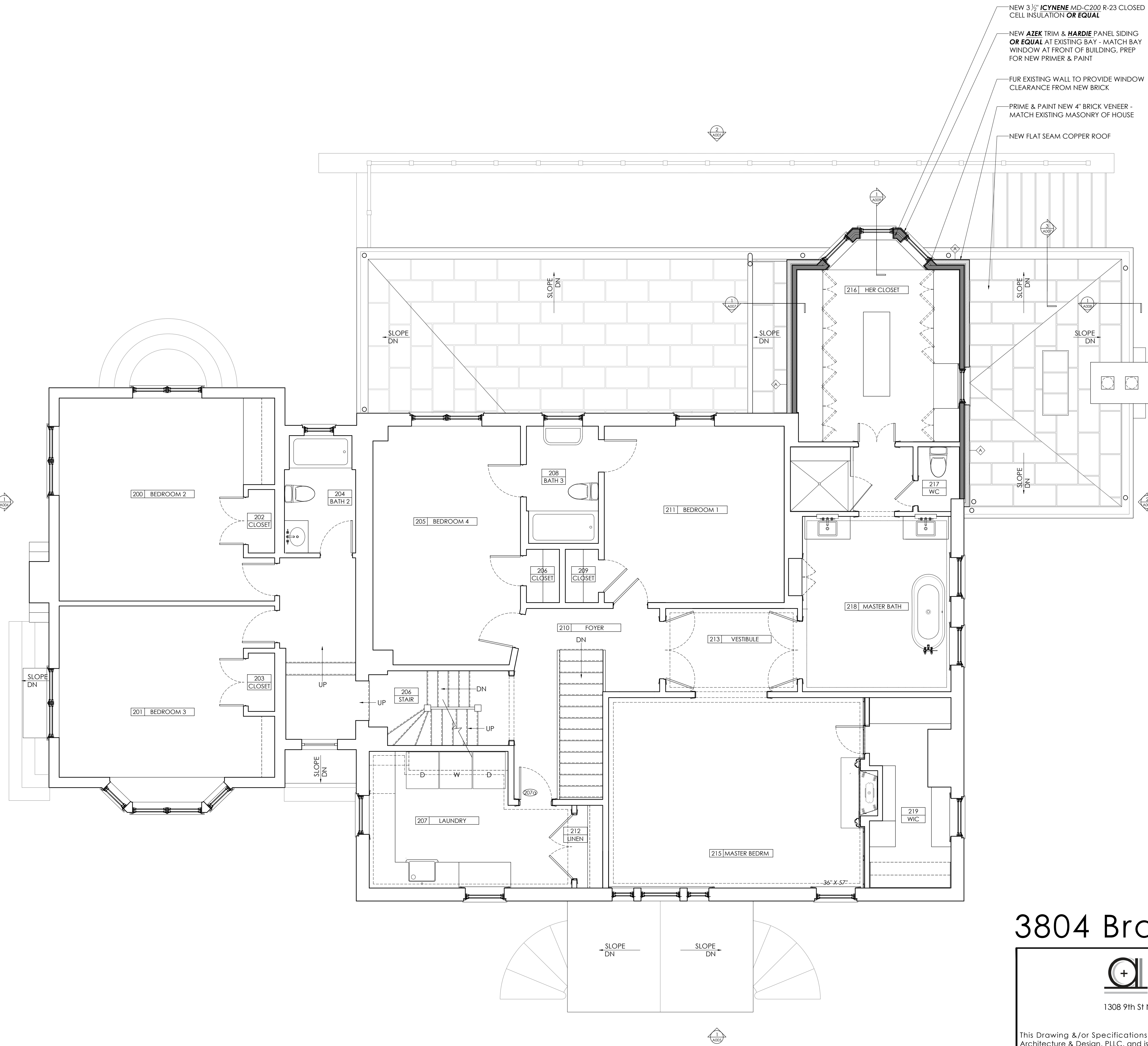
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  - General Contractor to provide 5% additional stock of finish materials or as agreed to by the construction manager.
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1 PROPOSED MAIN FLOOR PLAN  
SCALE: 1/4" = 1'-0"

# 3804 Bradley Lane, Chevy Chase, MD 20815

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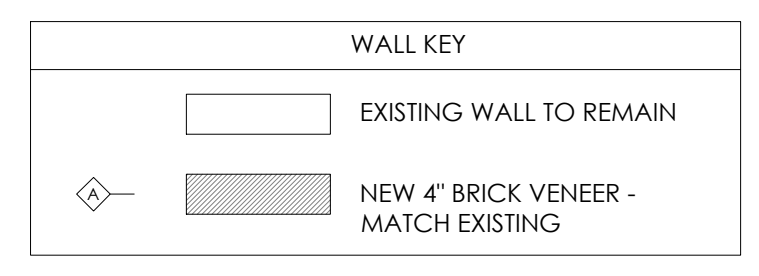
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*Sandra A. Hahn*

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  13. The locations of existing utilities are shown in an approximate way only and have not been individually verified by the owner or his representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might occur by the Contractor's failure to exactly locate and preserve any and all utilities.
  14. The term "Owner" shall refer to MR. & MRS. DAVID WOLINGER and their agents or representatives. The term "General Contractor" and "G.C." shall refer to the person and/or persons who have contracted or subcontracted for the work.
  15. Contractor provide the scheduled pre finished millwork as described and detailed and responsible to receive, check and confirm the millwork's arrival in good condition, and in sufficient quantity and shall notify Owner immediately of any discrepancies. All pieces are sent unassembled and shall be installed by the Contractor in a first class manner, with minimum number of joints possible. Cope all returns, miter all corners and use scarf joints for end to end jointing. Refinish at all cuts and damaged areas as required.
  16. General Contractor shall check-in with the Owner prior to commencing construction.
  17. In addition to the General Notes listed herein, A.I.A. document A201 General Conditions of contract for construction shall apply.
  18. General Contractor to provide 5% additional stock of finish materials or as agreed to by the construction manager.
  19. General Contractor to adhere to owner provided close out forms if any.



# 3804 Bradley Lane, Chevy Chase, MD 20815

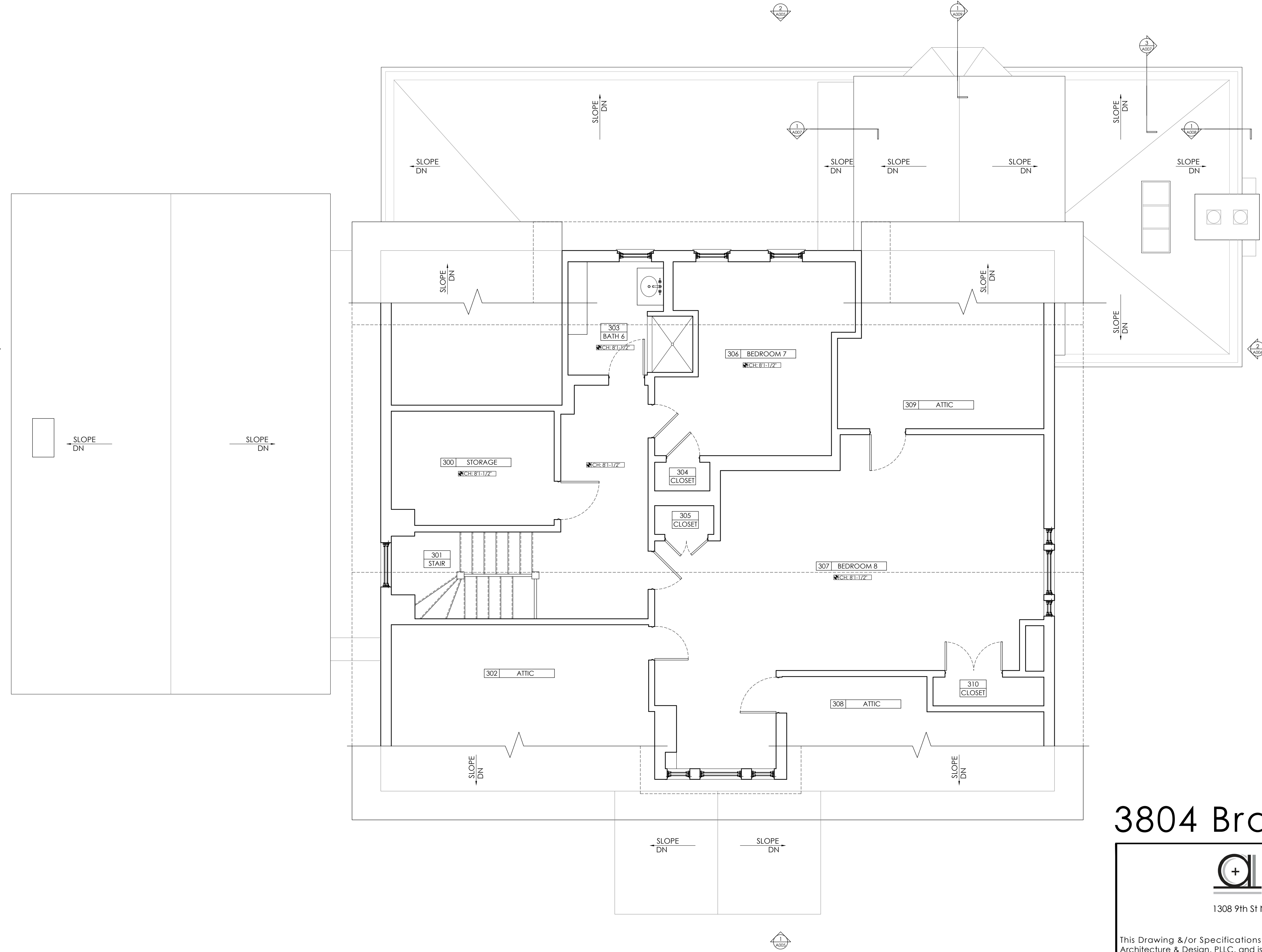
**aggregate** PLLC  
architecture+design  
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SUBMISSION	DATE	ARCH. PLANS
EXT. RENOVATION	12.14.19	
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DRAWN BY:	VC / LF	
CHECKED BY:	MF	
PROJECT NO:	2019-05	

1 PROPOSED SECOND FLOOR PLAN  
SCALE: 1/4" = 1'-0"

**REVIEWED**  
By Michael Kyne at 12:31 pm, Jan 14, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra L. Hillen*



**TURNOVER REQUIREMENTS**

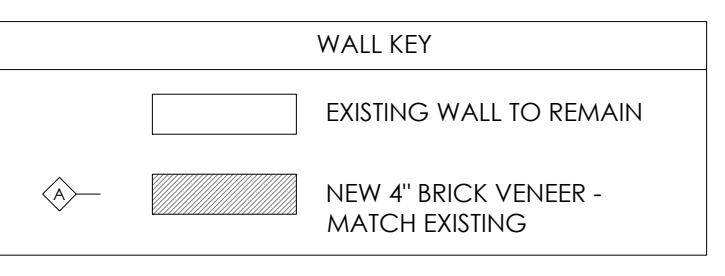
- The Contractor shall arrange for all inspections and furnish owner's representative with the certificate of occupancy. General Contractor is also to provide a type written list of names, addresses and phone numbers of all Subcontractors and Material Suppliers.
- The Contractor shall be responsible for having the entire basement cleaned to the satisfaction of the Owner at the time of Carpet and Furniture Installation and at turnover.
- General Contractor shall be responsible for the coordination of all air diffusers and light fixtures systems as related to field conditions.
- General Contractor shall set all thermostats per the Owner's Requirements.
- The General Contractor shall explain the operation of all Mechanical Systems to the Owner and provide copies of Operation, Maintenance, and Warranty Manuals.
- General Contractor and all Subcontractors shall warrant the work for a Period of one (1) year from the date of final acceptance by Owner of finished work.
- The General Contractor shall install new filters in the HVAC Units one week prior to turnover of the project.

**PARTITION NOTES**

- General Contractor shall layout partitions as quickly as possible. Layout is to be approved by Architect before studs are installed.
- All partitions shall be spackled, taped and sanded smooth with no visible joints.
- All exterior corners of G.W.B. shall have metal corner beads.
- All interior dimensions are from face of stud wall.
- Provide bracing at all door and glazing openings in accordance with manufacturer's recommendations.
- Provide and install fire retardant wood blocking or sheet metal where all hung cabinets, shelves etc., will be installed. Verify shop standard with millwork subcontractor and review with Architect for acceptance prior to fabrication.
- General Contractor shall coordinate, space and review size and location of all penetrations. All penetrations shall be properly sealed according to applicable codes.
- Verify door undercuts with Architect prior to installation.
- All casework work to be installed to A.W.I. standard quality level premium grade. The design, detailing, and fabrication of millwork should be directed toward achieving installation with a minimum of exposed face fastening.

**GENERAL NOTES**

- It shall be the sole responsibility of the General Contractor to fully examine all existing structure on the project site before commencing the work. General Contractor shall verify the condition and nature of the construction, materials, and available utilities and structural elements and to notify the owner's representative, in writing, of any and all discrepancies between said existing conditions and these drawings. Further, it shall be the joint responsibility of the General Contractor and all Subcontractors and suppliers of materials to secure all necessary adaptations to same as required for their respective work prior to ordering, fabrication or installation of any materials, equipment or components which are to be integrated into the work of this project. No claims for additional compensation shall be made or shall be valid unless written notification is received by the owner's representative and the additional compensation is approved in advance of proceeding with the work.
- Commencement of work in any area by the Contractor shall be construed as that the contractor has checked the existing conditions & found them satisfactory to accept this portion of work.
- All work shall be performed as to comply with all governing statutes, ordinances, regulations, codes and insurance rating boards. No work shall commence until all governmental and jurisdictional permits and approvals are obtained.
- All work shall be performed in a first class manner and shall be in good and usable condition at the date of completion thereof.
- Contractors are required to give the owner a minimum of twenty four (24) hours advanced written notice of said work.
- Under No Circumstances shall the contractor install or permit to be installed, any materials containing asbestos within the Building.
- All work shall be confined to the premises and not permitted to perform any said Owner's work (Or store any materials or machinery) outside of the premises, subject to Owner's approval otherwise.
- No construction material or debris shall be placed in any of the Owner's trash receptacles or compactors at any time. The Contractor shall arrange (if Required) for a trash dumpster, size and location of which is subject to owner's approval, for the removal of refuse.
- The abbreviation of "N.I.C." indicates work and/or material is not in the contract of the General Contractor, however this does not relieve the General Contractor of the Responsibility of coordination.
- Repair all damage or voids caused during construction to any of the property to the original condition. Protect adjacent areas from dirt and dust.
- All concealed wood blocking in walls and ceiling shall be Flame Retardant Treated.
- All Exits are to remain clear and open during all phases of construction if applicable.
- The locations of existing utilities are shown in an approximate way only and have not been individually verified by the owner or his representative. The contractor shall determine the exact location of all existing utilities before commencing work, and agrees to be fully responsible for any and all damages which might occur by the Contractor's failure to exactly locate and preserve any and all utilities.
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1 PROPOSED THIRD FLOOR PLAN  
SCALE: 1/4" = 1'-0" NO NEW WORK ON THIS FLOOR



1 NORTH ELEVATION  
SCALE: 3/16" = 1'-0"



2 SOUTH ELEVATION  
SCALE: 3/16" = 1'-0"

**REVIEWED**  
By Michael Kyne at 12:31 pm, Jan 14, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra A. Hiler*

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		SUBMISSION	DATE						
EXT. RENOVATION	12.14.19								
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PROJECT NO.:	2019-05								



1 EAST ELEVATION  
SCALE: 1/4" = 1'-0"


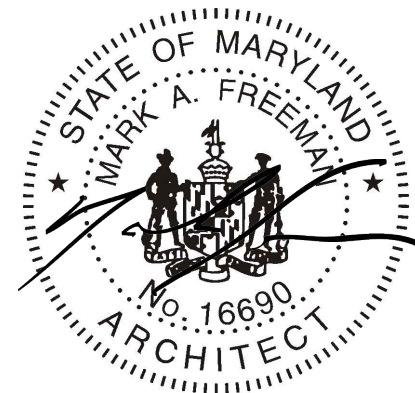


2 WEST ELEVATION  
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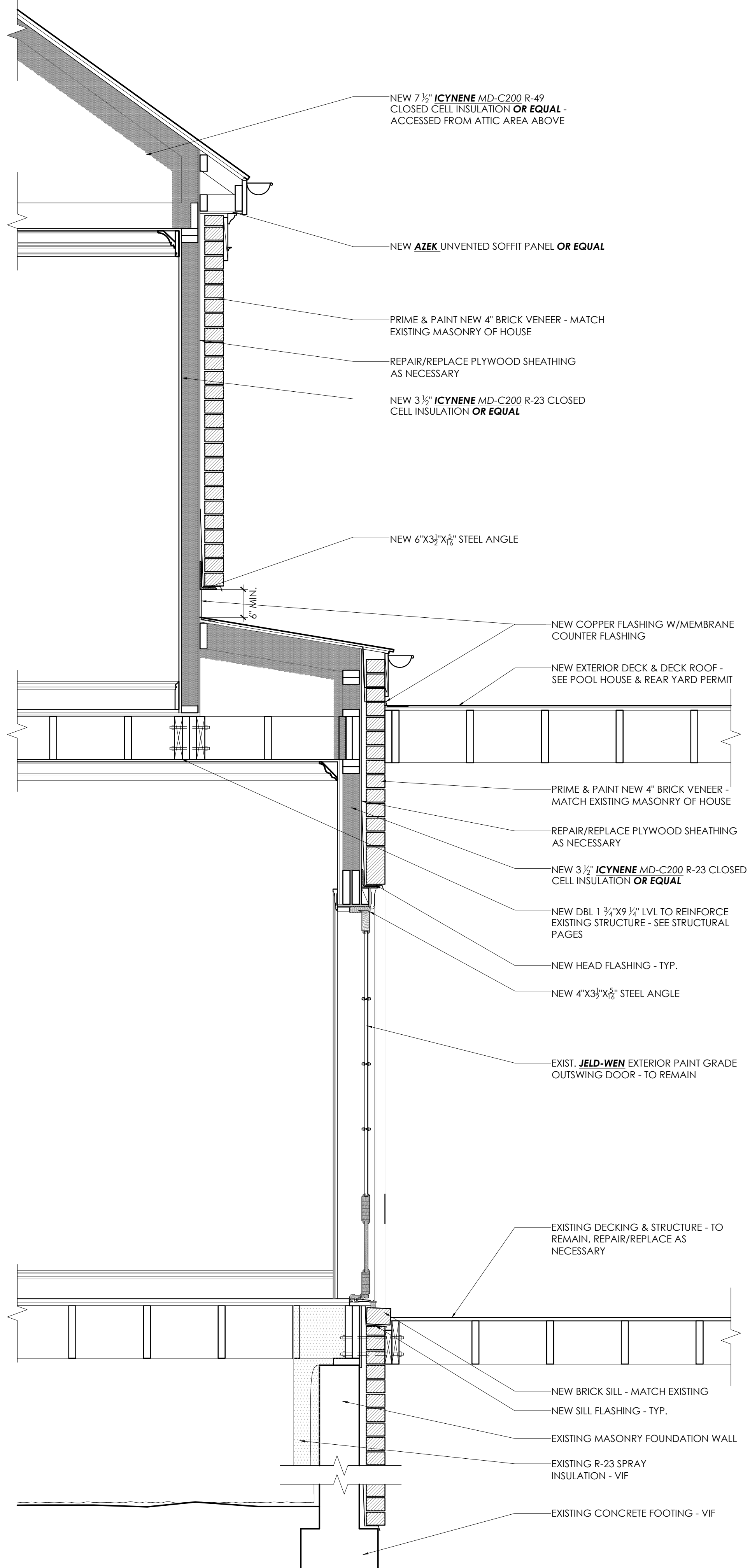
**REVIEWED**  
By Michael Kyne at 12:32 pm, Jan 14, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra L. Heiler*

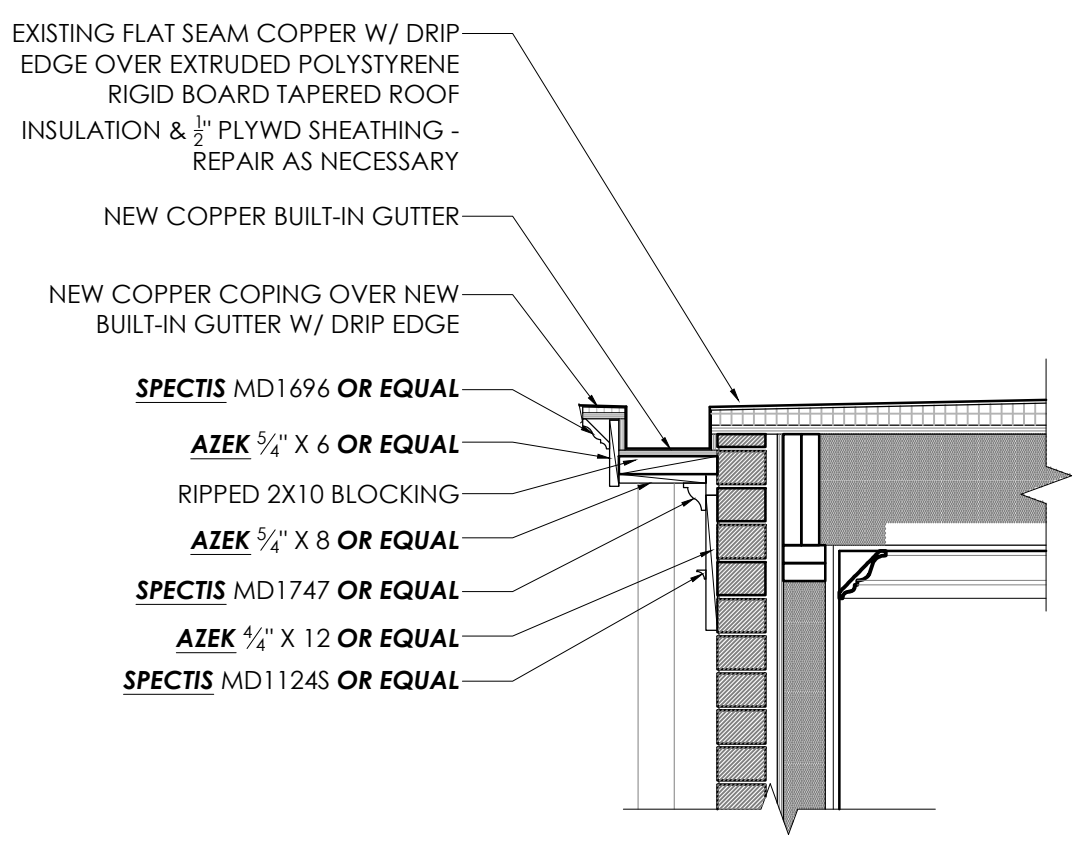
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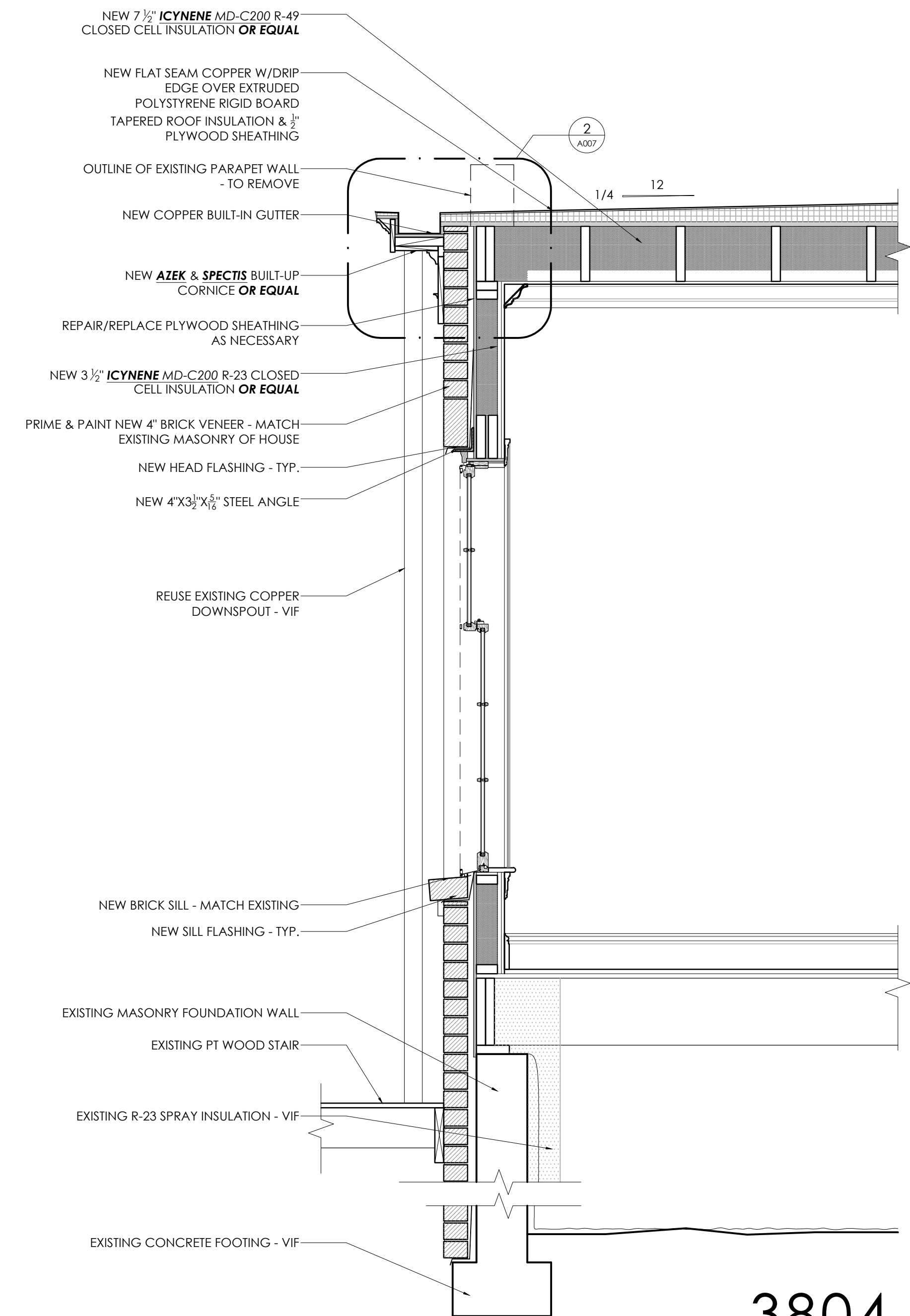




1 FAMILY ROOM SECTION DETAIL  
SCALE: 3/4"=1'-0"



2 BUILT-IN GUTTER SECTION DETAIL  
SCALE: 3/4"=1'-0"



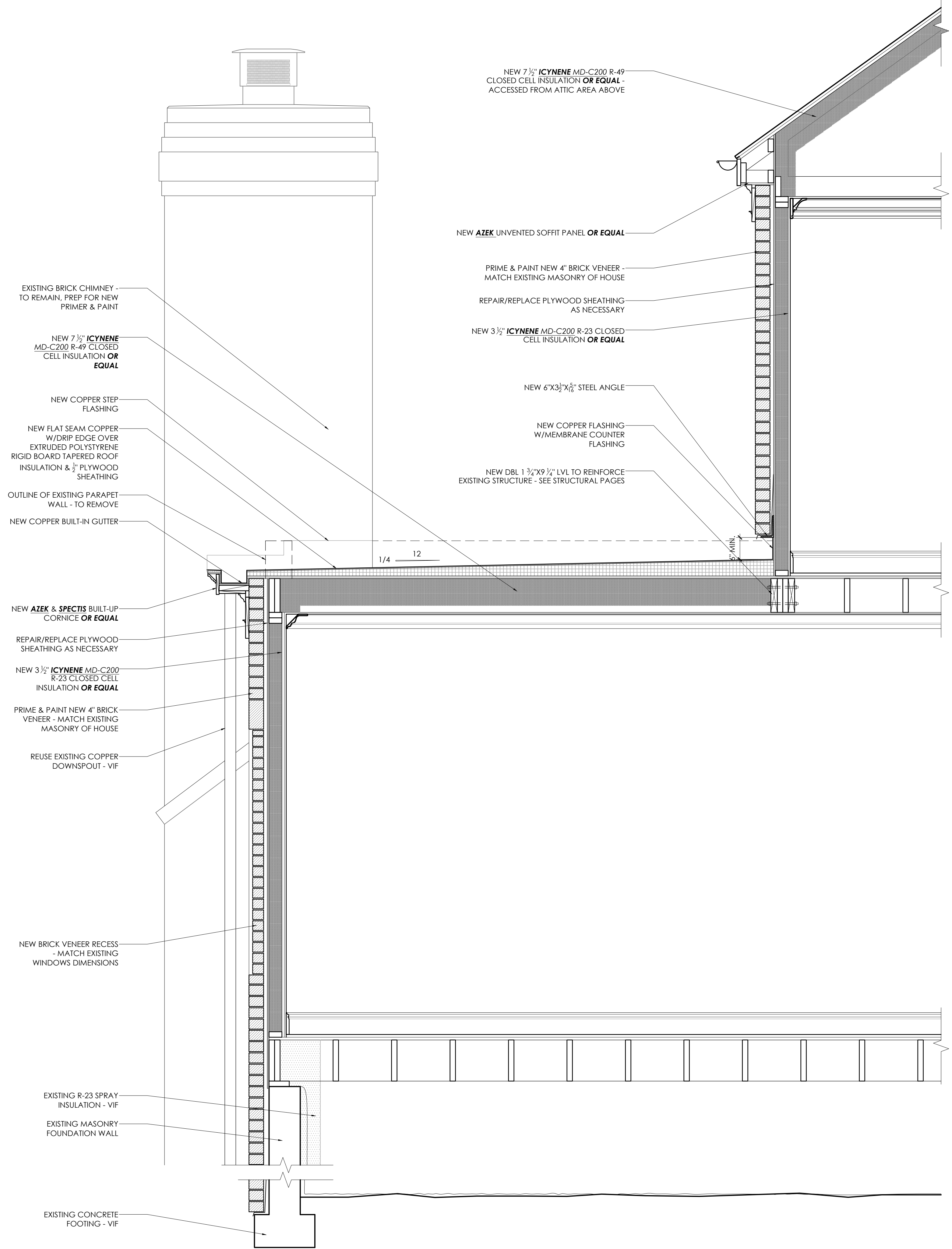
3 FAMILY ROOM SECTION DETAIL  
SCALE: 3/4"=1'-0"

**REVIEWED**  
By Michael Kyne at 12:32 pm, Jan 14, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra A. Heiler*

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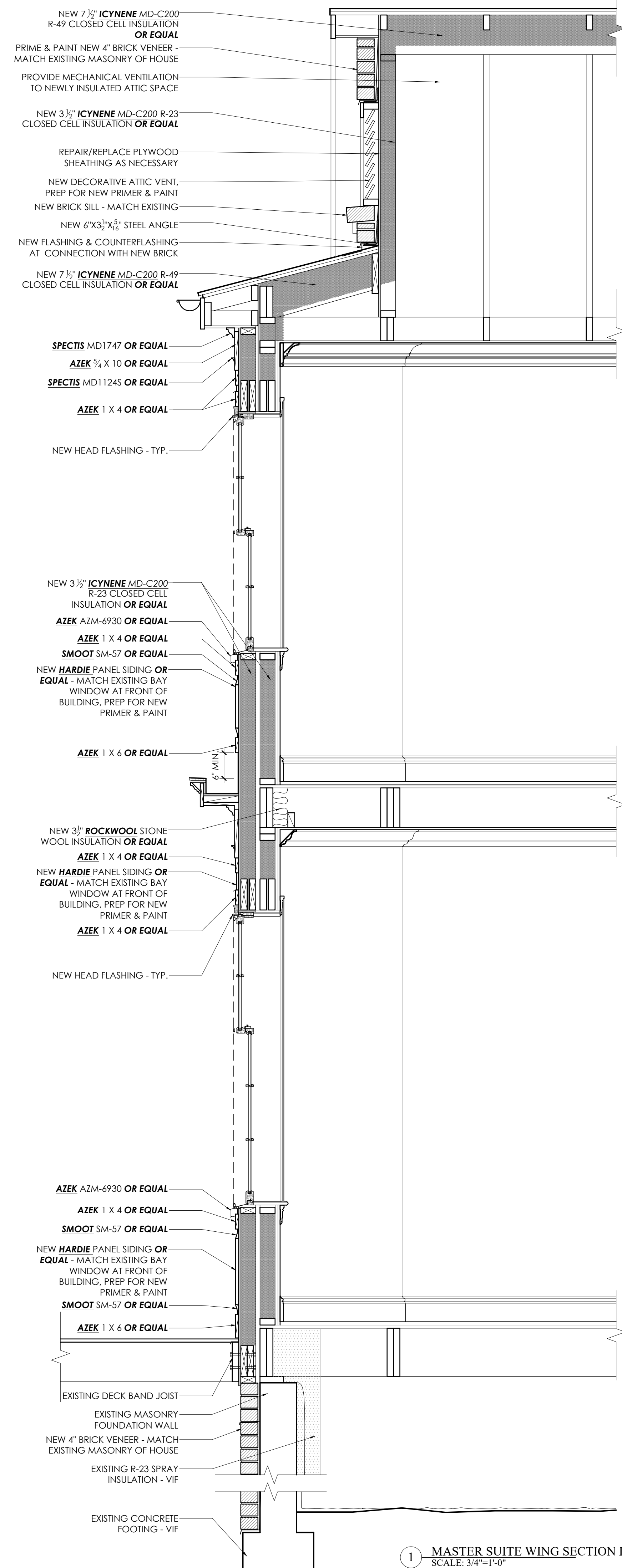
1 FAMILY ROOM SECTION DETAIL  
SCALE: 3/4"=1'-0"

**REVIEWED**  
By Michael Kyne at 12:32 pm, Jan 14, 2020

APPROVED  
Montgomery County  
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1 MASTER SUITE WING SECTION DETAIL  
SCALE: 3/4"=1'-0"

**REVIEWED**  
By Michael Kyne at 12:32 pm, Jan 14, 2020

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