



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Robert K. Sutton  
*Chairman*

Date: October 13, 2022

### MEMORANDUM

TO: Mitra Pedoeem  
Department of Permitting Services

FROM: Rebecca Ballo  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1006013: Tree removal, new retaining wall and driveway alteration

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the October 13, 2022 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Nancy Martin  
Address: 7136 Carroll Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Rebecca Ballo at 301.563.3404 or [Rebecca.Ballo@montgomeryplanning.org](mailto:Rebecca.Ballo@montgomeryplanning.org) to schedule a follow-up site visit.





**APPLICATION FOR  
HISTORIC AREA WORK PERMIT**  
HISTORIC PRESERVATION COMMISSION  
301.563.3400

FOR STAFF ONLY:  
HAWP# 1006013  
DATE ASSIGNED \_\_\_\_\_

**APPLICANT:**

Name: Nancy Martin  
Address: 7136 Carroll ave  
Daytime Phone: 301-437-1092

E-mail: benandnancy7136@gmail.com  
City: Takoma Park Zip: 20912  
Tax Account No.: 01077577

**AGENT/CONTACT (if applicable):**

Name: Jesse Karpas / Tillerman Gardens  
Address: 10205 Riggs Road  
Daytime Phone: 301-213-6693

E-mail: jessek@tillermangardens.com  
City: Adelphi Zip: 20783  
Contractor Registration No.: 132027

**LOCATION OF BUILDING/PREMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the Property Located within an Historic District? Yes/District Name 13  
No/Individual Site Name \_\_\_\_\_

Is there an Historic Preservation/Land Trust/Environmental Easement on the Property? If YES, include a map of the easement, and documentation from the Easement Holder supporting this application.

Are other Planning and/or Hearing Examiner Approvals /Reviews Required (Conditional Use, Variance, Record Plat, etc.?) If YES, include information of supplemental information.

APPROVED  
Montgomery County  
Historic Preservation Commission  
  
*Rebecca Ballo*

Building Number: 7136 Street: Carroll ave  
Town/City: Takoma park Nearest Cross Street: Carro  
Lot: 12 Block: 2 Subdivision: 0025 Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 for proposed work are submitted with this application. It will not be accepted for review. Check all that apply:**

- |                                             |                                                         |                                                |
|---------------------------------------------|---------------------------------------------------------|------------------------------------------------|
| <input type="checkbox"/> New Construction   | <input type="checkbox"/> Deck/Porch                     | <input type="checkbox"/> Solar                 |
| <input type="checkbox"/> Addition           | <input type="checkbox"/> Fence                          | <input type="checkbox"/> Tree removal/planting |
| <input type="checkbox"/> Demolition         | <input checked="" type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Window/Door           |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof                           | <input type="checkbox"/> Other: _____          |

**REVIEWED** supporting items  
complete Applications will not  
By Rebecca Ballo at 11:47 am, Oct 13, 2022  
Shed/Garage/Accessory Structure

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

\_\_\_\_\_  
Signature of owner or authorized agent  
Date: 9/7/2022

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**

ROSENTHAL BENJAMIN M &  
NANCY S MARTIN  
7134 Carroll ave  
Takoma Park MD 20912

**Owner's Agent's mailing address**

Jesse Karpas / Tilleran Gardens, LLC.  
10205 Riggs Road  
Adelphi MD 20783

**Adjacent and confronting Property Owners mailing addresses**

GORMAN FAMILY TRUST  
GORMAN GREGORY H  
TRUSTEE ET AL

7134 Carroll ave  
Takoma Park MD 20912

LEE NADEREH & JAMES  
7134 Carroll ave  
Takoma Park MD 20912

7138 Carroll Avenue  
Takoma Park, MD 20912

25 Holt Place  
Takoma Park, MD 20912

7133 Carroll Avenue  
Takoma Park, MD 20912

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Existing block retaining wall at the front of the property line extending up the side of the driveway.  
Existing concrete steps and walkway.  
Wall has colorful mosaic ceramic tile pieces on the face and PA flagstone as the wall cap.

Description of Work Proposed: Please give an overview of the work to be undertaken:

Remove existing block and stone wall facing carroll ave and replace with a bluestone wall.  
The wall will run across the front property line and up the side of the driveway.  
Thin bluestone stacked stone wall with matching natural stone cap.  
The wall section along the driveway will move in 2 ft towards the house, making the driveway wider.  
The wall will be the same height as existing.  
Replace the existing concrete steps and walkway with matching concrete color.

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Montgomery County  
Historic Preservation Commission



**REVIEWED**

By Rebecca Ballo at 11:47 am, Oct 13, 2022

Work Item 1: Replace retaining wall

Description of Current Condition:

Existing block retaining wall at the front of the property line extending up the side of the driveway.  
Existing concrete steps and walkway.  
Wall has colorful mosaic ceramic tile pieces on the face and PA flagstone as the wall cap.

Proposed Work:

Remove existing block and stone wall facing carroll ave and replace with a bluestone wall. The wall will run across the front property line and up the side of the driveway.  
Thin bluestone stacked stone wall with matching natural stone cap.  
The wall section along the driveway will move in 2 ft towards the house, making the driveway wider.  
The wall will be the same height as existing.  
Replace the existing concrete steps and walkway with matching concrete color.

Work Item 2: \_\_\_\_\_

Description of Current Condition:

Proposed Work:

Work Item 3: \_\_\_\_\_

Description of Current Condition:

Proposed Work:



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Montgomery County  
Historic Preservation Commission

*Rebecca Ballo*

**REVIEWED**  
By Rebecca Ballo at 11:47 am, Oct 13, 2022



APPROVED

Montgomery County  
Historic Preservation Commission



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**REVIEWED**

By Rebecca Ballo at 11:47 am, Oct 13, 2022



APPROVED

Montgomery County  
Historic Preservation Commission

**REVIEWED**

By Rebecca Ballo at 11:47 am, Oct 13, 2022





Takoma Park, Maryland

Google

Street View - Nov 2021

Image capture: Nov 2021 © 2022 Google

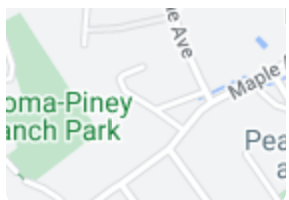
**REVIEWED**

*By Rebecca Ballo at 11:47 am, Oct 13, 2022*

APPROVED

Montgomery County

Historic Preservation Commission



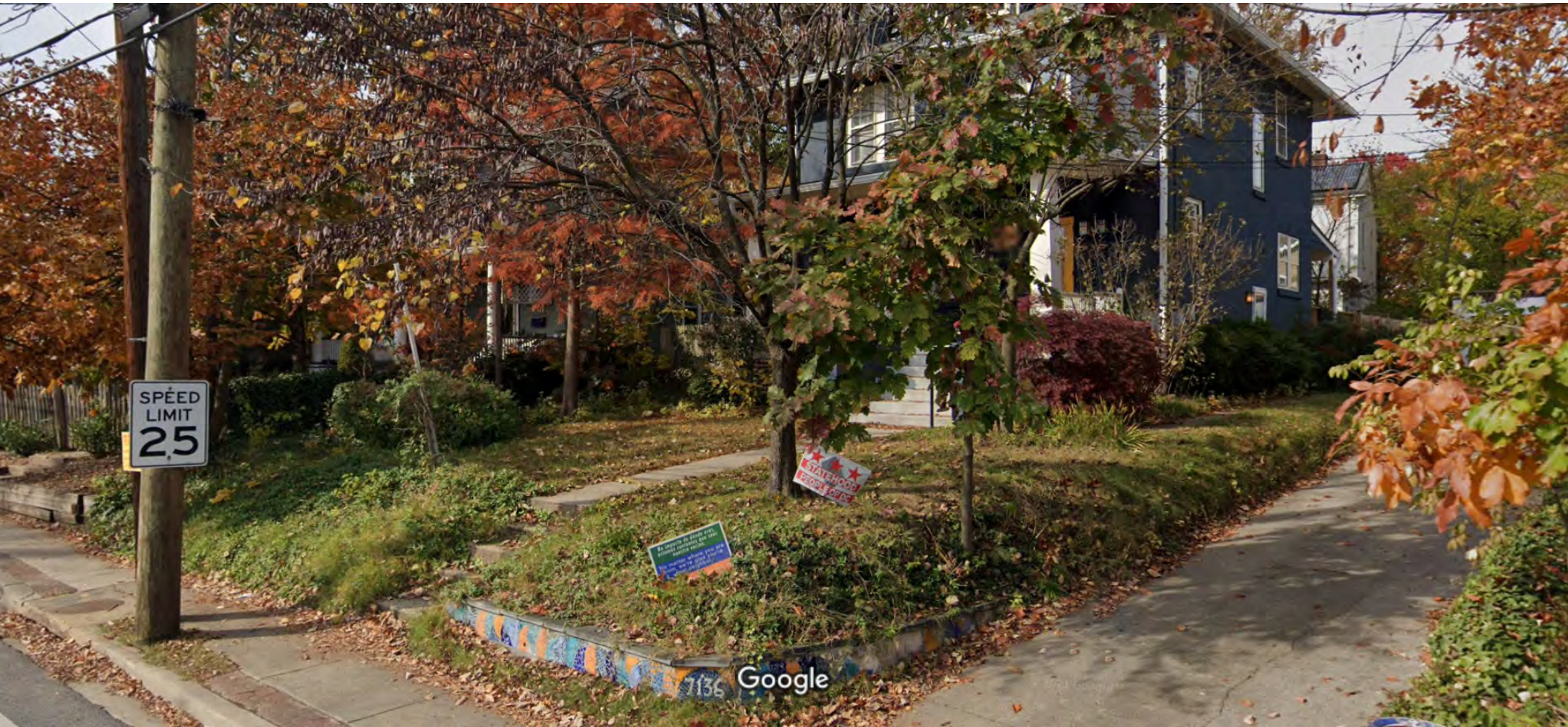


Image capture: Nov 2021 © 2022 Google

Takoma Park, Maryland

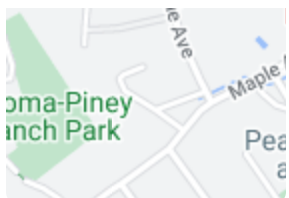
Google

Street View - Nov 2021

**REVIEWED**

*By Rebecca Ballo at 11:47 am, Oct 13, 2022*

APPROVED  
 Montgomery County  
 Historic Preservation Commission





Takoma Park, Maryland

Google

Street View - Nov 2021

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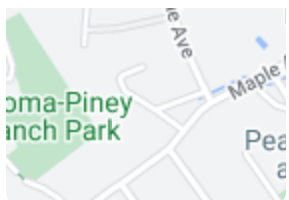
**REVIEWED**

*By Rebecca Ballo at 11:47 am, Oct 13, 2022*

APPROVED

Montgomery County

Historic Preservation Commission





Google

Image capture: Nov 2021 © 2022 Google

Takoma Park, Maryland

Google

Street View - Nov 2021

**REVIEWED**

*By Rebecca Ballo at 11:47 am, Oct 13, 2022*

APPROVED

Montgomery County

Historic Preservation Commission

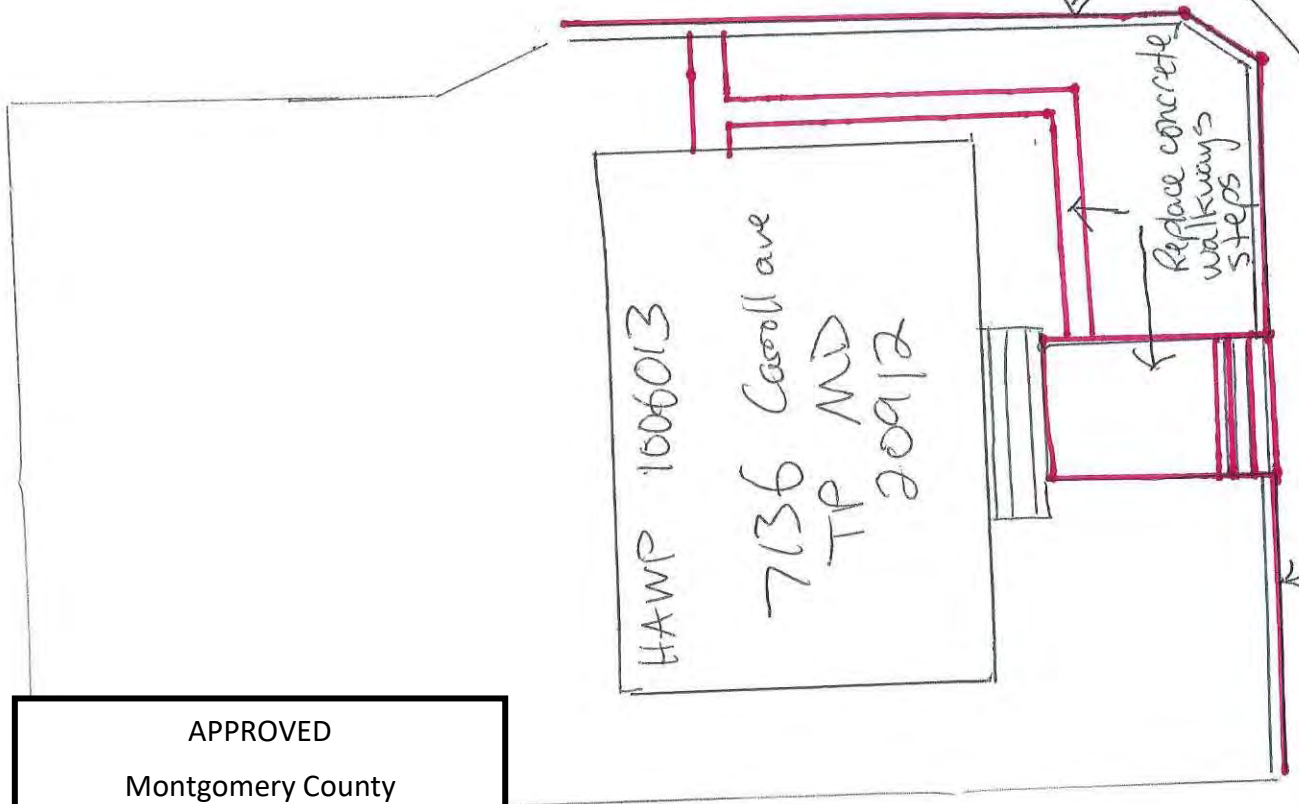


Site Plan  
HAWP 1006013  
Install new retaining  
wall + walkway/steps

7138  
Carroll ave

Shared  
Driveway

Carroll ave  
Replace wall with stacked  
stone



APPROVED  
Montgomery County  
Historic Preservation Commission  


**REVIEWED**  
By Rebecca Ballo at 11:47 am, Oct 13, 2022

Work description HAWP

Historic Area Work Permit 1006013

Replace block wall with bluestone wall

For:

Nancy Martin

7136 Carroll ave

Takoma Park MD 20912

**Remove and replace retaining wall.**

Remove existing block and stone wall facing carroll ave and replace with a bluestone wall.

The wall will run across the front property line and up the side of the driveway.

Thin bluestone stacked stone wall with matching natural stone cap.

The wall section along the driveway will move in 2 ft towards the house, making the driveway wider.

The wall will be the same height as existing.

Replace the existing concrete steps and walkway with matching concrete color.

**REVIEWED**

*By Rebecca Ballo at 11:47 am, Oct 13, 2022*

APPROVED

Montgomery County

Historic Preservation Commission



7136 Carroll Avenue, Takoma Park

HAWP #1006013

Tree Survey Information

----- Forwarded message -----

From: **Online Customer Service Center** <[TakomaParkMD@mycusthelp.com](mailto:TakomaParkMD@mycusthelp.com)>

Date: Tue, Jul 26, 2022 at 2:21 PM

Subject: Tree Removal Request :: W009415-072522

To: [benandnancy7136@gmail.com](mailto:benandnancy7136@gmail.com) <[benandnancy7136@gmail.com](mailto:benandnancy7136@gmail.com)>

07/26/2022

APPLICATION NUMBER [W009415-072522](#)

Nancy Martin

7136 Carroll Ave.

Takoma Park, MD 20912

Re: Tree Removal Application at:

7136 Carroll Ave.

Takoma Park MD 20912



Dear Nancy Martin:

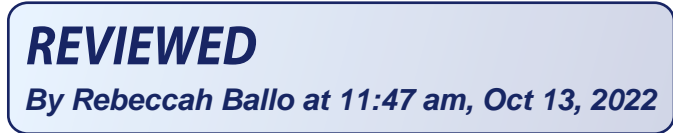
This letter is a response following your Tree Removal Permit Application and the Urban Forest Manager's inspection of the tree. The following are the details from the assessment:

---

Tree Type: **NORWAY MAPLE**

Trunk Diameter: **5.5 inches**

Tree Location Relative to House: **FRONT LEFT**



Assessment Notes:

**Completely dead. Under protected size.**

---

Since this tree does not qualify as an Urban Forest Tree at this time, no permit is required and you may proceed with removal as you wish.

If you have any questions, please contact the Urban Forest Manager by replying to this email.

7136 Carroll Avenue, Takoma Park  
HAWP #1006013  
Tree Survey Information

----- Forwarded message -----

From: **Online Customer Service Center** <[TakomaParkMD@mycusthelp.com](mailto:TakomaParkMD@mycusthelp.com)>  
Date: Tue, Jul 26, 2022 at 2:23 PM  
Subject: Tree Removal Request :: W009416-072522  
To: [benandnancy7136@gmail.com](mailto:benandnancy7136@gmail.com) <[benandnancy7136@gmail.com](mailto:benandnancy7136@gmail.com)>

07/26/2022

APPLICATION NUMBER [W009416-072522](#)

Nancy Martin  
7136 Carroll Ave.  
Takoma Park, MD 20912

Re: Tree Removal Application at:  
7136 Carroll Ave.  
Takoma Park MD 20912



**REVIEWED**

*By Rebecca Ballo at 11:47 am, Oct 13, 2022*

Dear Nancy Martin:

This letter is a response following your Tree Removal Permit Application and the Urban Forest Manager's inspection of the tree. The following are the details from the assessment:

---

Tree Type: **WHITE MULBERRY**  
Trunk Diameter: **6.9 inches**  
Tree Location Relative to House: **FRONT RIGHT**

Assessment Notes:

**Tree is healthy. Under minimum protected size, no permit required.**

---

Since this tree does not qualify as an Urban Forest Tree at this time, no permit is required and you may proceed with removal as you wish.

If you have any questions, please contact the Urban Forest Manager by replying to this email.



7136 Carroll Avenue, Takoma Park  
HAWP #1006013  
Tree Survey Information

----- Forwarded message -----

From: **Online Customer Service Center** <[TakomaParkMD@mycusthelp.com](mailto:TakomaParkMD@mycusthelp.com)>  
Date: Tue, Jul 26, 2022 at 2:20 PM  
Subject: Tree Removal Request :: W009414-072522  
To: [benandnancy7136@gmail.com](mailto:benandnancy7136@gmail.com) <[benandnancy7136@gmail.com](mailto:benandnancy7136@gmail.com)>

07/26/2022

PERMIT NUMBER [W009414-072522](#)

Nancy Martin  
7136 Carroll Ave.  
Takoma Park, MD 20912

Re: Tree Removal Permit Application for tree located at:  
7136 CARROLL  
TAKOMA PARK MD 20912



Dear Nancy Martin:

**REVIEWED**

*By Rebecca Ballo at 11:47 am, Oct 13, 2022*

A permit has been granted to remove the following tree from your property. This email is your permit.

Tree Type: **NORWAY MAPLE**

Trunk Diameter: **6.5 inches**

Tree Location Relative to House: **FRONT LEFT**

Determination: **The tree has been determined to be dead and/or hazardous.**

Assessment Notes:

**Dead. Under minimum protected size**

Please follow the link below to find a template notice of tree removal. Please print this, fill in the required information, and post in your front window or yard with the permit number noted.

<https://documents.takomaparkmd.gov/government/public-works/Trees/Dead-Hazardous%20Permitted%20Tree%20Removal%20Notice%205.6.2022.pdf>

7136 Carroll Avenue, Takoma Park  
HAWP #1006013  
Tree Survey Information

Note that because this tree has been determined to be dead and/or hazardous a replacement tree planting is not required as a condition for receiving a permit. However, we always encourage property owners to plant trees to maintain the urban forest canopy whenever possible.

TREE WORK DONE FOR HIRE IN THE CITY OF TAKOMA PARK MUST BE CARRIED OUT BY A MARYLAND STATE LICENSED TREE EXPERT (LTE). HIRING SOMEONE WHO IS NOT LICENSED IS A VIOLATION OF CITY AND STATE LAW. MAKE SURE YOUR CONTRACTOR HAS AN LTE NUMBER BEFORE YOU HIRE THEM.

If you have any questions, please contact the Urban Forest Manager by replying to this email.



**REVIEWED**

*By Rebecca Ballo at 11:47 am, Oct 13, 2022*