



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: October 21, 2022

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1007429 - Screened-in Porch Construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the October 12, 2022 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: George Levanthal
Address: 7336 Piney Branch Rd., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



MUNICIPAL STAMPS

LEVENTHAL RESIDENCE SCREENED PORCH ADDITION

7336 PINEY BRANCH ROAD | TAKOMA PARK, MD 20912

SAUL ARCHITECTS
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
P: 301.270.0395
info@saularchitects.com
www.saularchitects.com

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PROJECT NUMBER: 22020	
PRINTING LOG	
DATE	PURPOSE
08.04.22	SCHEMATIC DESIGN SET
10.14.22	PERMIT SET

COVER SHEET

CS

PROJECT TEAM

OWNER:
GEORGE AND SORAIA LEVENTHAL
7336 PINEY BRANCH ROAD
TAKOMA PARK, MD 20912
(617) 230-2265

ARCHITECT:
ERIC C. SAUL, RA
SAUL ARCHITECTS
8114 CARROLL AVENUE
TAKOMA PARK, MD 20912
(240) 506-5551

SHEET INDEX

ARCHITECTURAL

CS	COVER SHEET
A1	FLOOR/ROOF PLANS
A2	EXTERIOR ELEVATIONS
A3	DETAILS
S1	STRUCTURAL FRAMING PLAN AND NOTES
E1	ELECTRICAL PLANS

CODE ANALYSIS

SCOPE OF WORK:
NEW SCREENED PORCH AND OPEN DECK ON THE REAR OF THE EXISTING HOUSE.

LOT: 20
BLOCK: 11

CODE: IRC 2018
ZONE: R60
CONSTRUCTION TYPE: 5B
NO. OF STORIES: 1 PLUS BASEMENT
SPRINKLERED: NO

DESIGN CRITERIA:
GROUND SNOW LOAD 30 PSF
WIND SPEED 115 MPH
SEISMIC DESIGN CATEGORY B
WEATHERING SEVERE
FROST DEPTH LINE 30 IN.
TERMITE MODERATE TO HEAVY
DECAY SLIGHT TO MODERATE
WINTER DESIGN TEMP. 13° F
ICE SHIELD UNDERLAYMENT REQ'D YES
FLOOD HAZARDS JULY 2, 1979
AIR FREEZING INDEX 300
MEAN ANNUAL TEMP. 55° F

ALLOWED HEIGHT: 30'-0" MIDPOINT OF ROOF
PROPOSED HEIGHT: UNCHANGED

SETBACKS:
FRONT YARD 25'-0"
SIDE YARD 7'-0"
REAR YARD 20'-0"

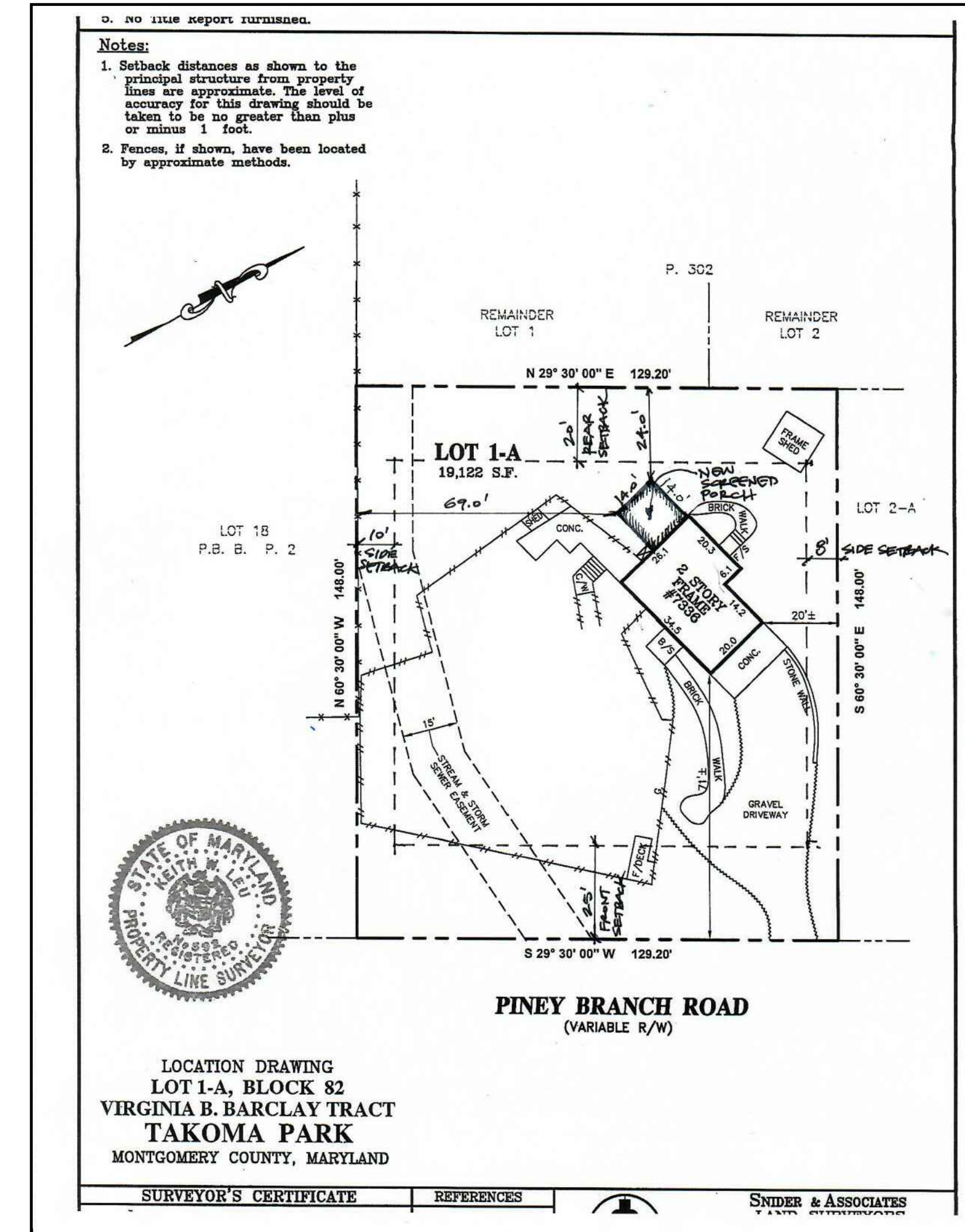
LOT AREA CALCULATIONS:
LOT SIZE 19,122.0 SQ. FT. (100.0%)
MAX. LOT COVERAGE 6,692.7 SQ. FT. (35.0%)
EXISTING COVERAGE 813.8 SQ. FT. (4.3%)
PROPOSED COVERAGE 981.8 SQ. FT. (5.1%)
INCREASED COVERAGE 48.0 SQ. FT. (0.8%)

NEW SCREENED PORCH FOOTPRINT 168.0 SF

GRAPHIC SYMBOLS

	SECTION CALLOUT SHEET WHERE SECTION IS SHOWN
	DETAIL CALLOUT SHEET WHERE DETAIL IS SHOWN
	ELEVATION CALLOUT SHEET WHERE ELEVATION IS SHOWN
	DETAIL NUMBER SHEET WHERE DETAIL IS SHOWN
	INTERIOR ELEVATION (NUMBERS RUN CLOCKWISE)
	WALL TYPE DESIGNATION FIRE RATING
	FLOOR/ROOF ASSEMBLY FIRE RATING
	SPOT ELEVATION
	WINDOW IDENTIFIER
	DOOR IDENTIFIER
	FLOOR HEIGHT IDENTIFIER
	KEYNOTE
	SLOPED OR FURRED DOWN CEILING
	GRID CALLOUT

SITE PLAN - 1" = 20'-0"

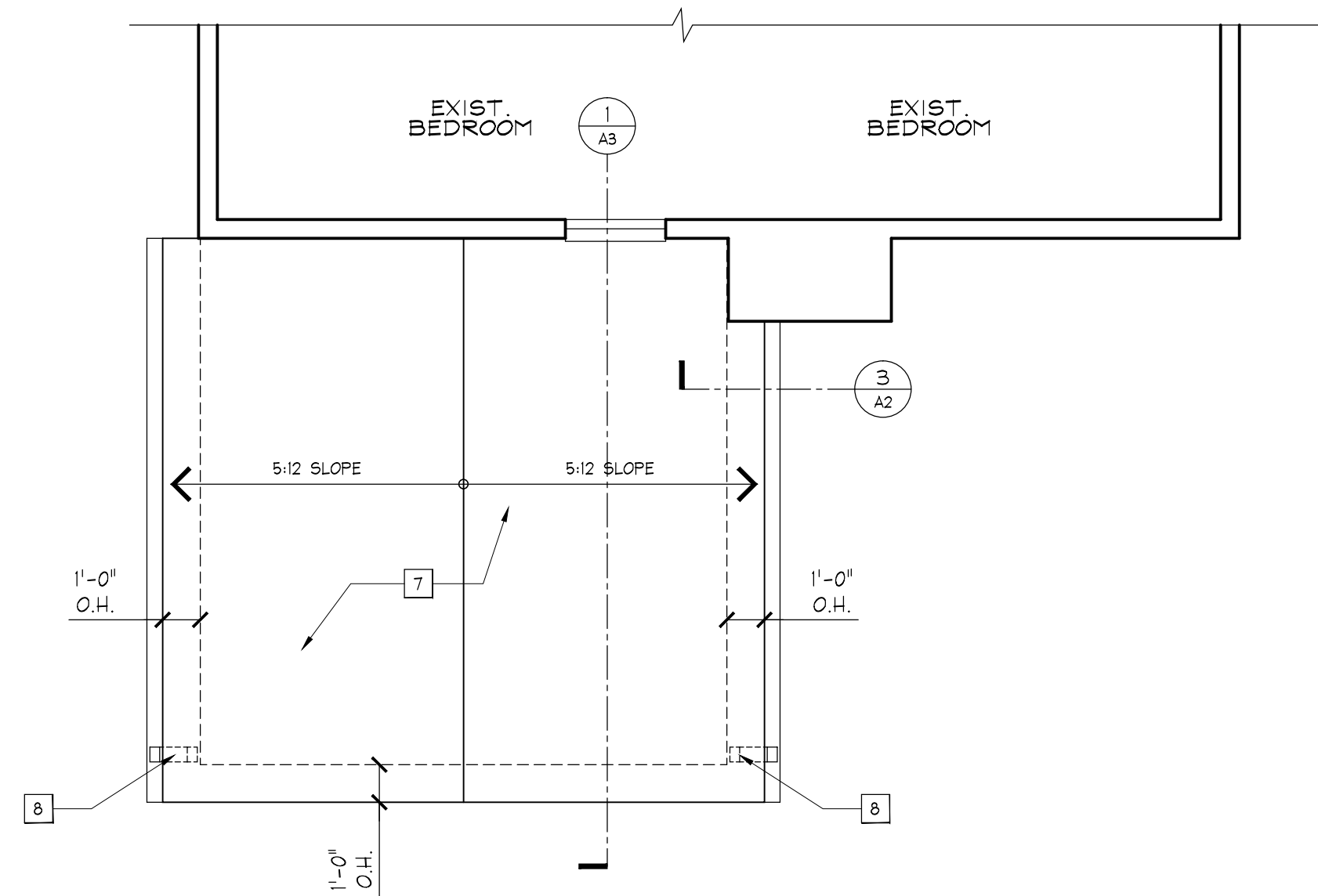


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Montgomery County
Historic Preservation Commission

Robert H. ...

REVIEWED
By Dan.Bruechert at 3:39 pm, Oct 21, 2022

MUNICIPAL STAMPS



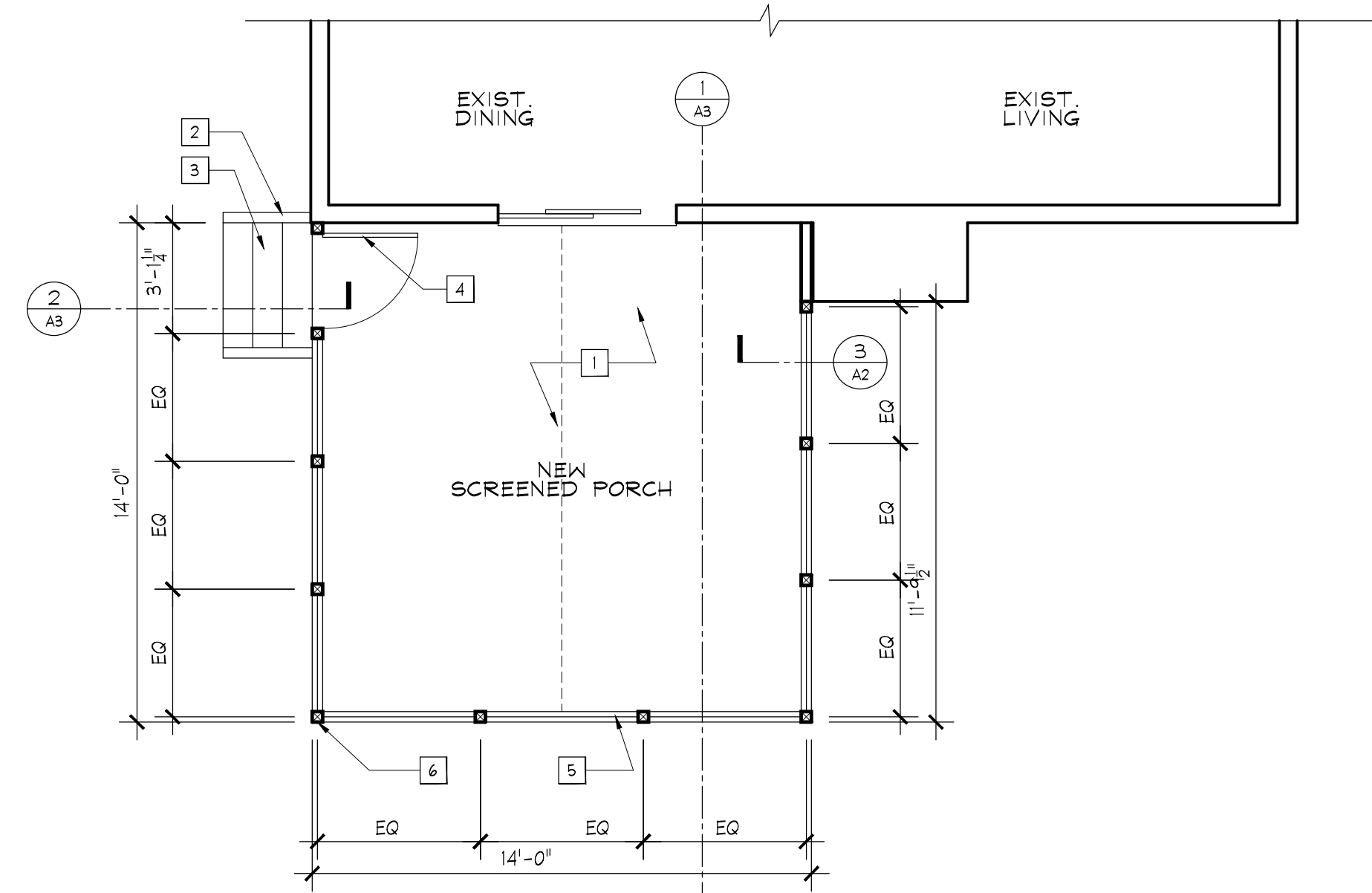
3 PROPOSED ROOF PLAN
A1 1/4" = 1'-0"

FLOOR PLAN KEYNOTES:

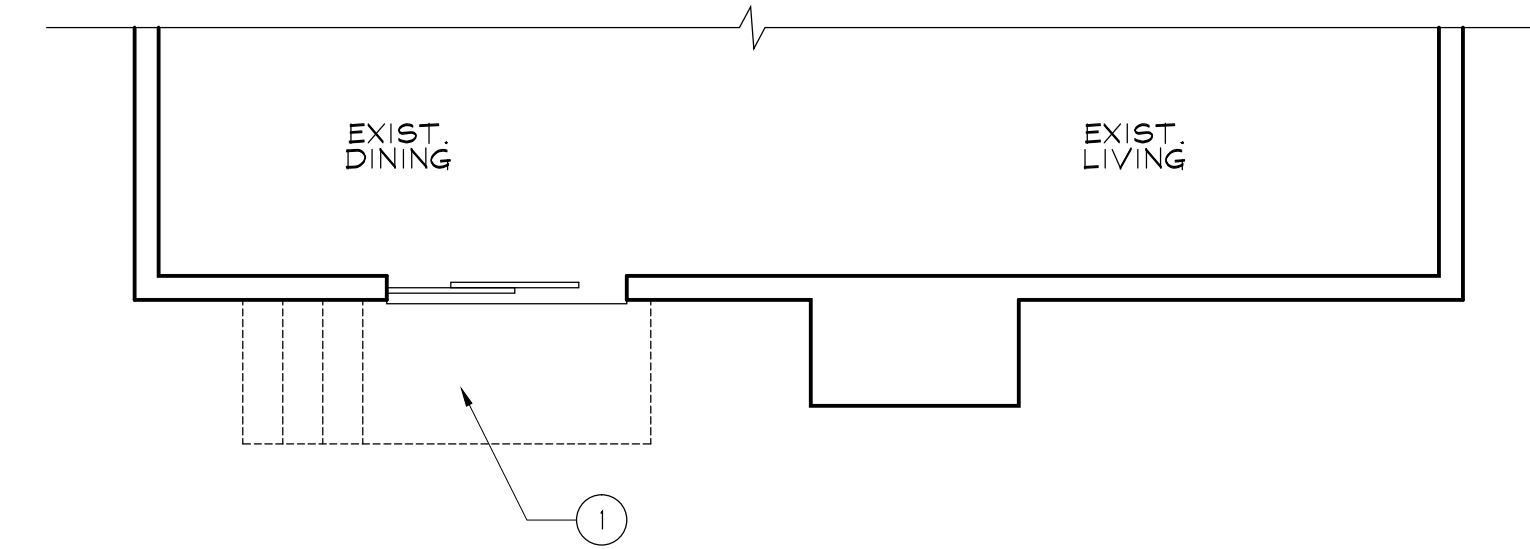
- 1 NEW 5/16 PT DECKING BOARDS
- 2 NEW 36" MIN. HIGH GUARDRAILS
- 3 NEW 42" WIDE DECK STEPS PER CODE
- 4 NEW 32" WIDE SCREEN DOOR
- 5 NEW INSECT SCREENING PANELS
- 6 4X4 PT POST
- 7 ARCHITECTURAL ASPHALT ROOFING
- 8 NEW GUTTERS AND DOWNSPOUTS TO MATCH EXISTING

GENERAL NOTES:

- 1. ALL DIMENSIONS ARE TO FACE OF STUD, CONCRETE OR MASONRY ON NEW WALLS, AND TO FACE OF FINISH OF EXISTING WALLS.
- 2. DOORS TO BE LOCATED 4' FROM WALL ON HINGE SIDE OR CENTER OF THE SPACE, U.N.O.



2 PROPOSED DECK PLAN
A1 1/4" = 1'-0"



1 EXIST./DEMO DECK PLAN
A1 1/4" = 1'-0"

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DEMO PLAN KEYNOTES:

- 1 COMPLETE DEMO OF EXISTING DECK AND STEPS

GENERAL DEMO NOTES

- 1. DEMOLITION DRAWINGS ARE SCHEMATIC AND ARE INCLUDED TO DESCRIBE THE DEMOLITION WORK IN A GENERAL MANNER.
- 2. EXISTING CONSTRUCTION SHALL REMAIN UNLESS NOTED OTHERWISE AND SHALL BE PROTECTED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC. ALL DISTURBED EXISTING ITEMS SHALL BE RESTORED TO ORIGINAL CONDITION.
- 3. SEAL OFF UNDISTURBED AREAS OF THE BUILDING FROM DEMOLITION AREAS TO PREVENT THE INFILTRATION OF DUST AND DEBRIS. SECURE BUILDING TO PREVENT UNWANTED ENTRY THROUGH OPENINGS CREATED DURING CONSTRUCTION.
- 4. EXISTING CONCEALED ELEMENTS WERE NOT NECESSARILY VERIFIED PRIOR TO DEMOLITION. ALL DISCOVERIES OF UNIDENTIFIED OR INCORRECTLY LOCATED EXISTING ELEMENTS SHALL BE REPORTED TO THE ARCHITECT BEFORE REMOVAL FOR FINAL DISPOSAL.
- 5. ALL ITEMS DESIGNATED FOR RE-USE TO BE VERIFIED BY OWNER. PROTECT ANY STORED ITEMS TO BE RE-USED FROM DAMAGE DUE TO DEMOLITION, CONSTRUCTION, THEFT, VANDALISM, MOISTURE, WEATHER, ETC.
- 6. ALL DEBRIS BECOMES THE PROPERTY OF THE CONTRACTOR AND SHALL BE REMOVED FROM THE PREMISES AT THE CONTRACTOR'S EXPENSE AND DISPOSED OF ACCORDING TO LOCAL CODES AND GOVERNING AUTHORITIES.

SAUL ARCHITECTS
8114 CARROLL AVENUE | TAKOMA PARK, MD 20912
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EXIST/DEMO AND PROPOSED DECK PLANS

A1

MUNICIPAL STAMPS

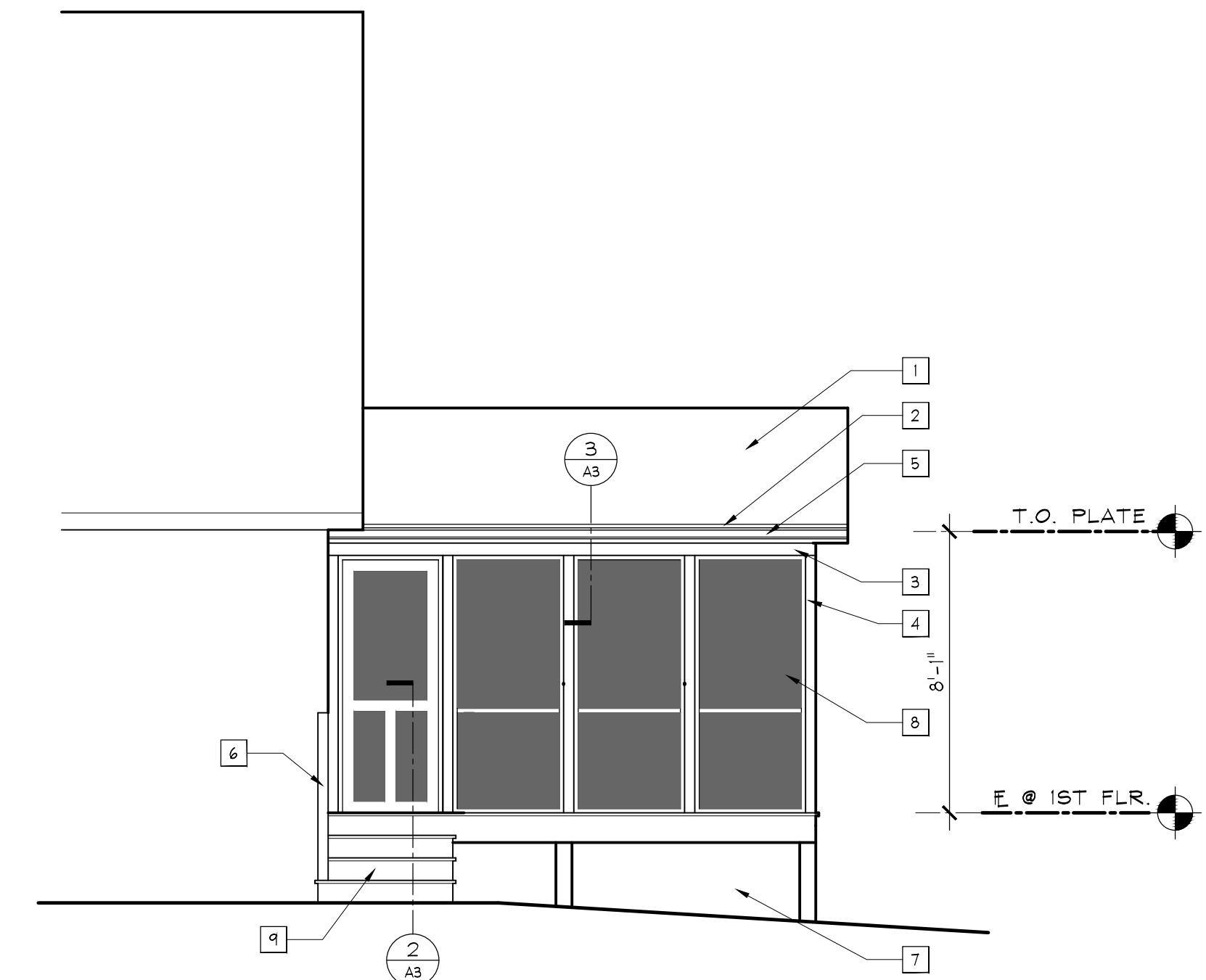
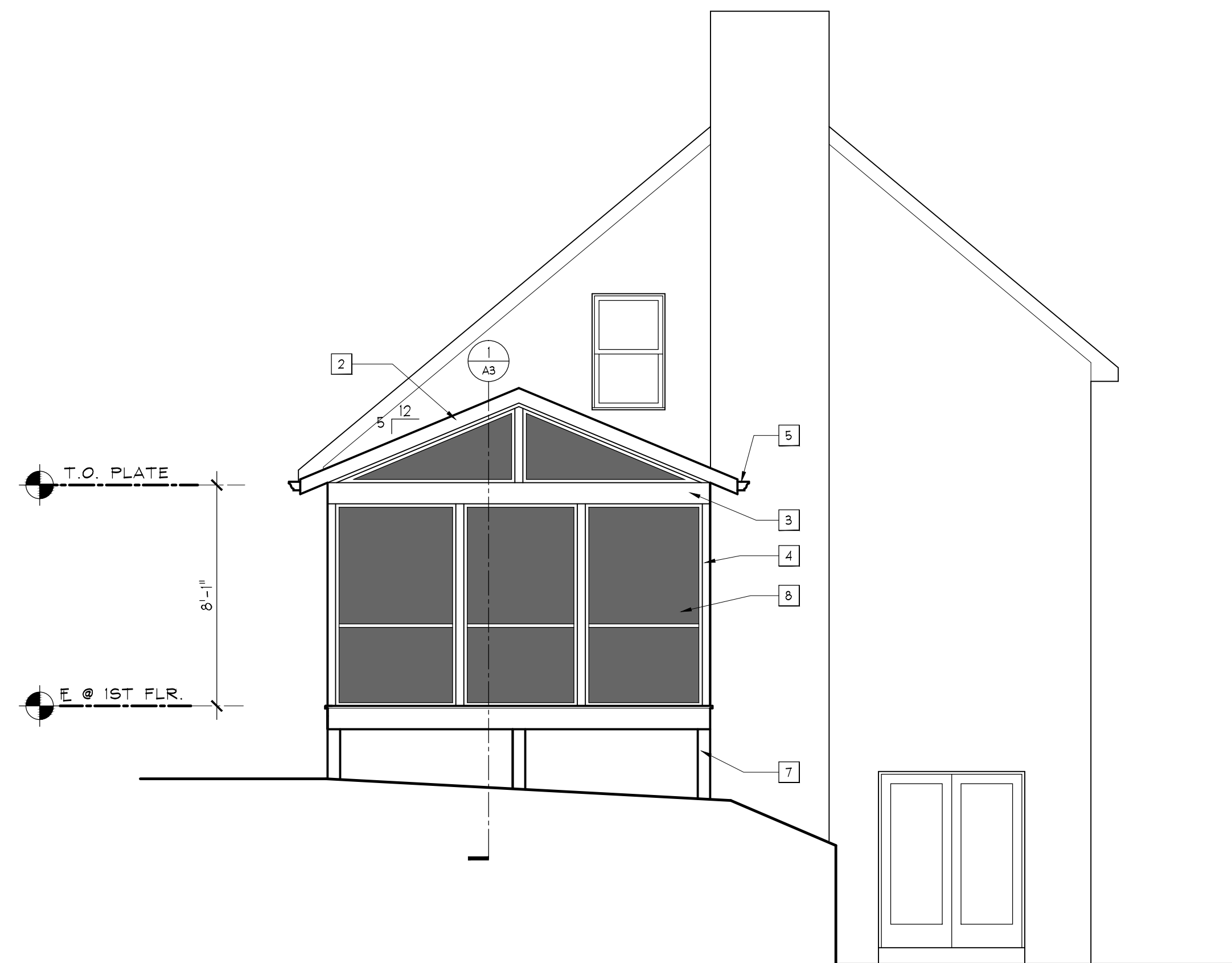
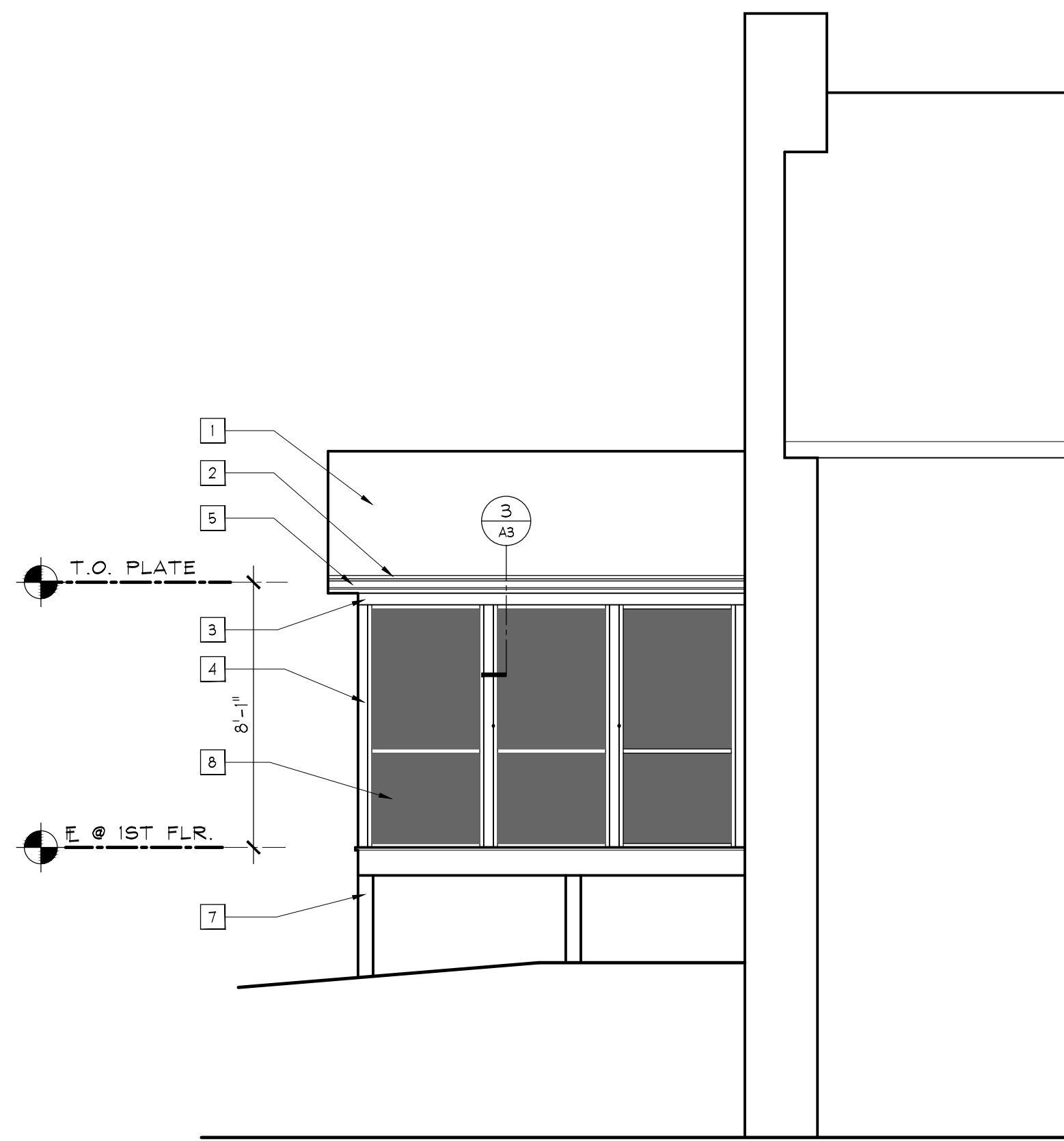
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REVIEWED
By Dan.Bruechert at 3:39 pm, Oct 21, 2022

ELEVATION KEYNOTES:

- 1 30 YR. ASPHALT SHINGLE ROOFING - MATCH EXISTING
- 2 1X6 FASCIA BOARD - PT'D
- 3 (2) 2X8 PT BEAM
- 4 4X4 PT POST
- 5 GUTTER AND DOWNSPOUTS TO MATCH EXISTING
- 6 36" HIGH WOOD GUARDRAIL - SEE DETAIL
- 7 6X6 PT POSTS
- 8 INSECT SCREENING
- 9 DECK STEPS PER CODE - SEE DETAIL



3 PROPOSED PARTIAL SIDE ELEVATION
A2 1/4" = 1'-0"

2 PROPOSED REAR ELEVATION
A2 1/4" = 1'-0"

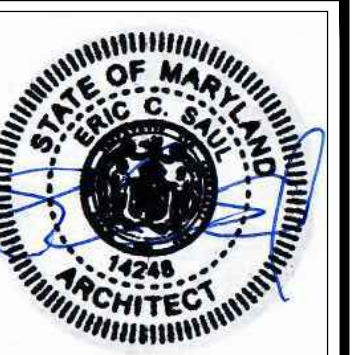
1 PROPOSED PARTIAL SIDE ELEVATION
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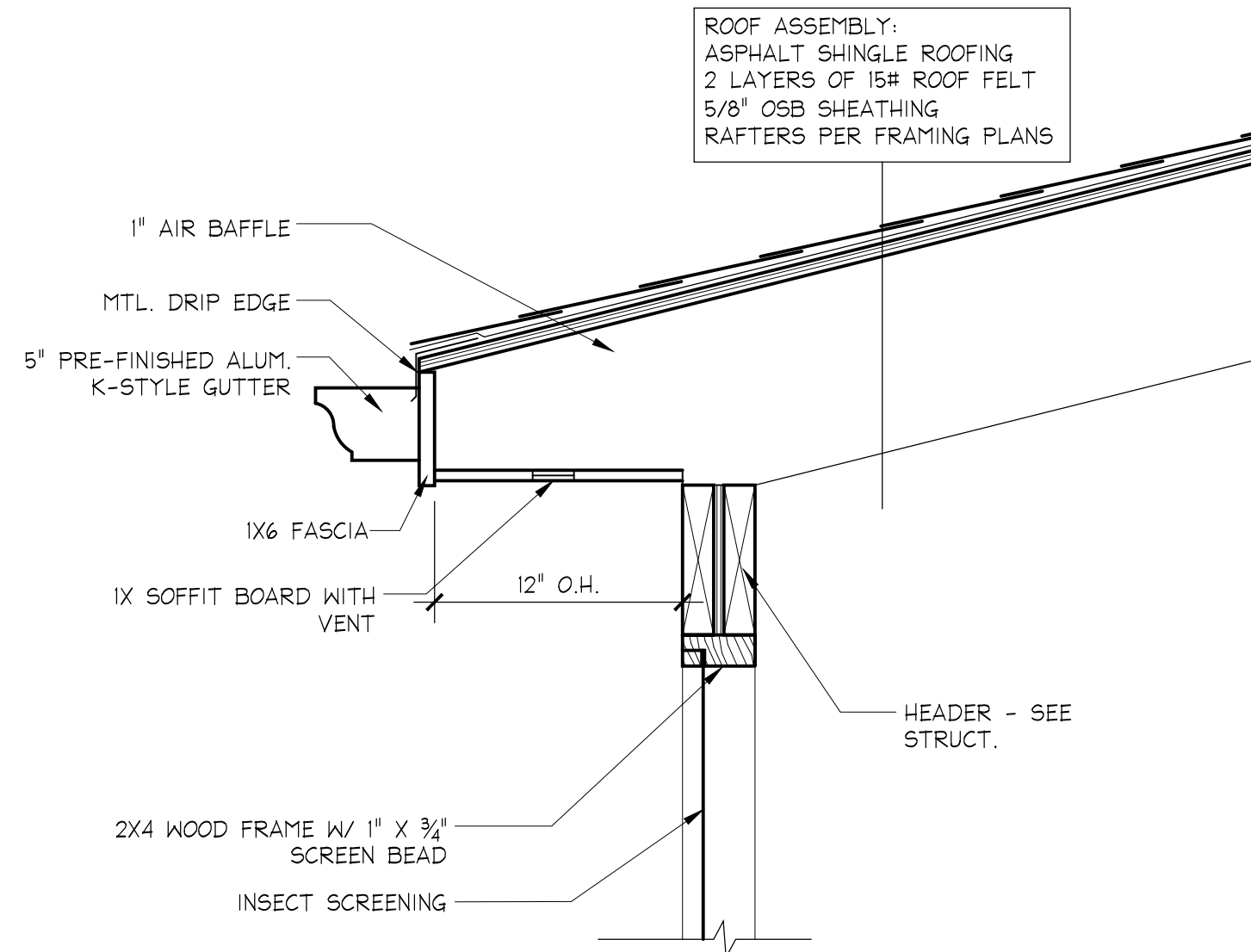
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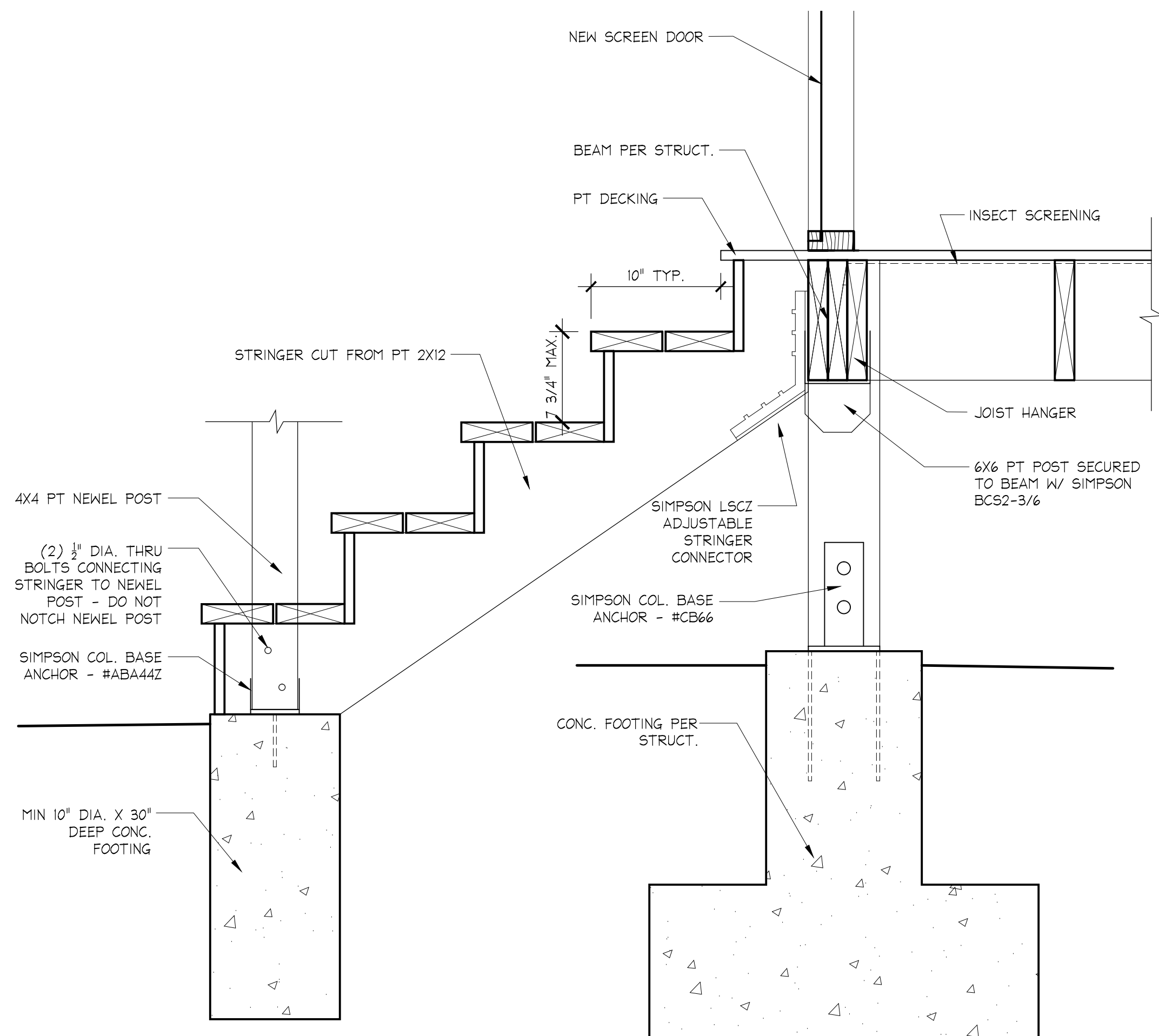
EXTERIOR ELEVATIONS

A2

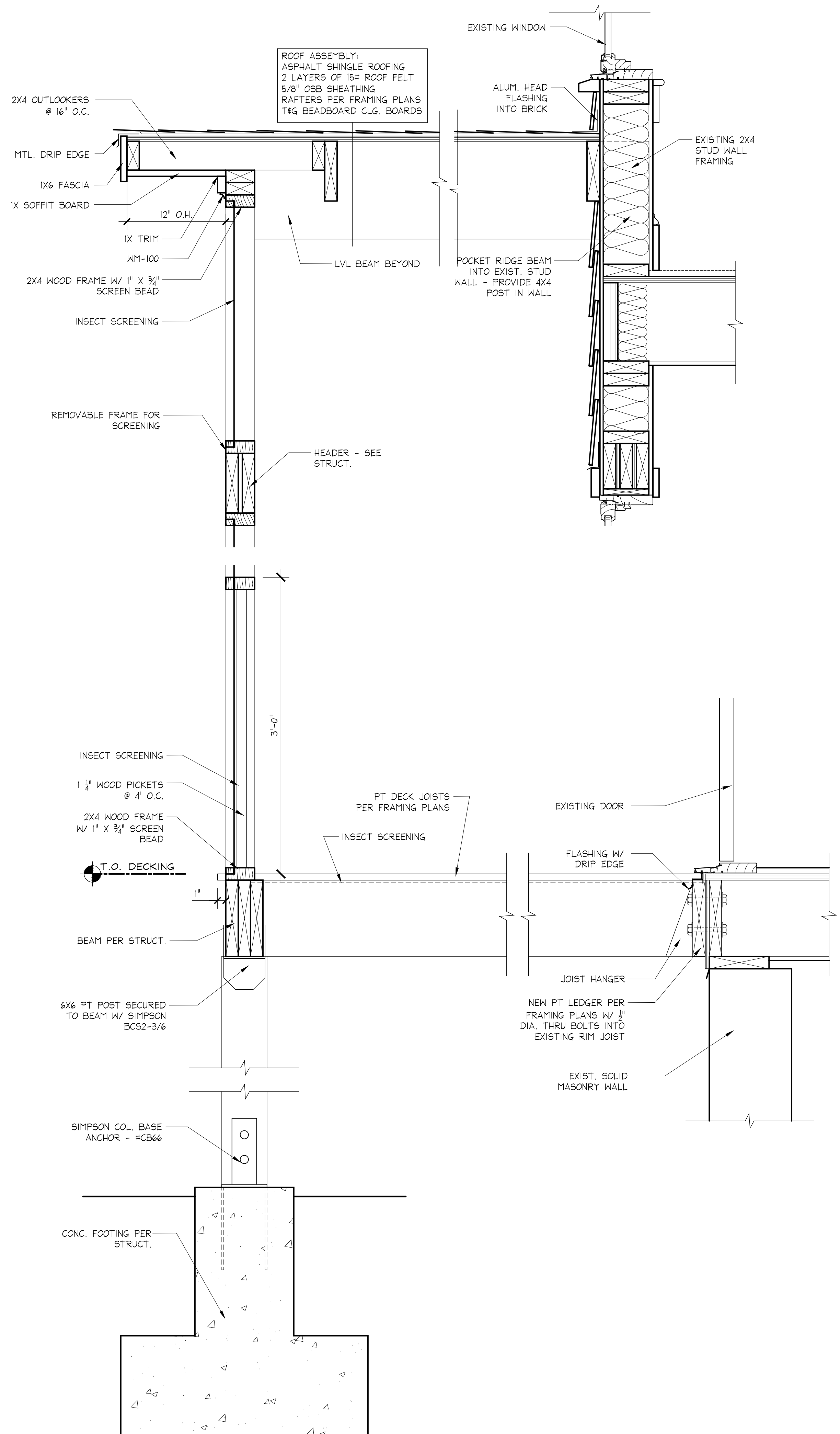
MUNICIPAL STAMPS



3 TYP. EAVE DETAIL
A3 1 1/2" = 1'-0"



2 TYP. STAIR DETAIL
A3 1 1/2" = 1'-0"



1 PORCH SECTION DETAIL
A3 1 1/2" = 1'-0"

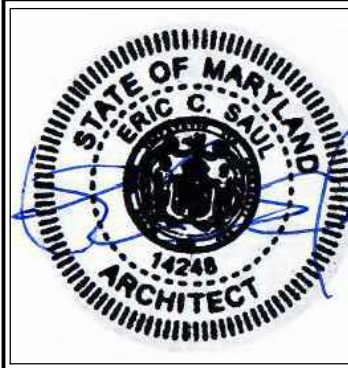
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DETAILS

A3

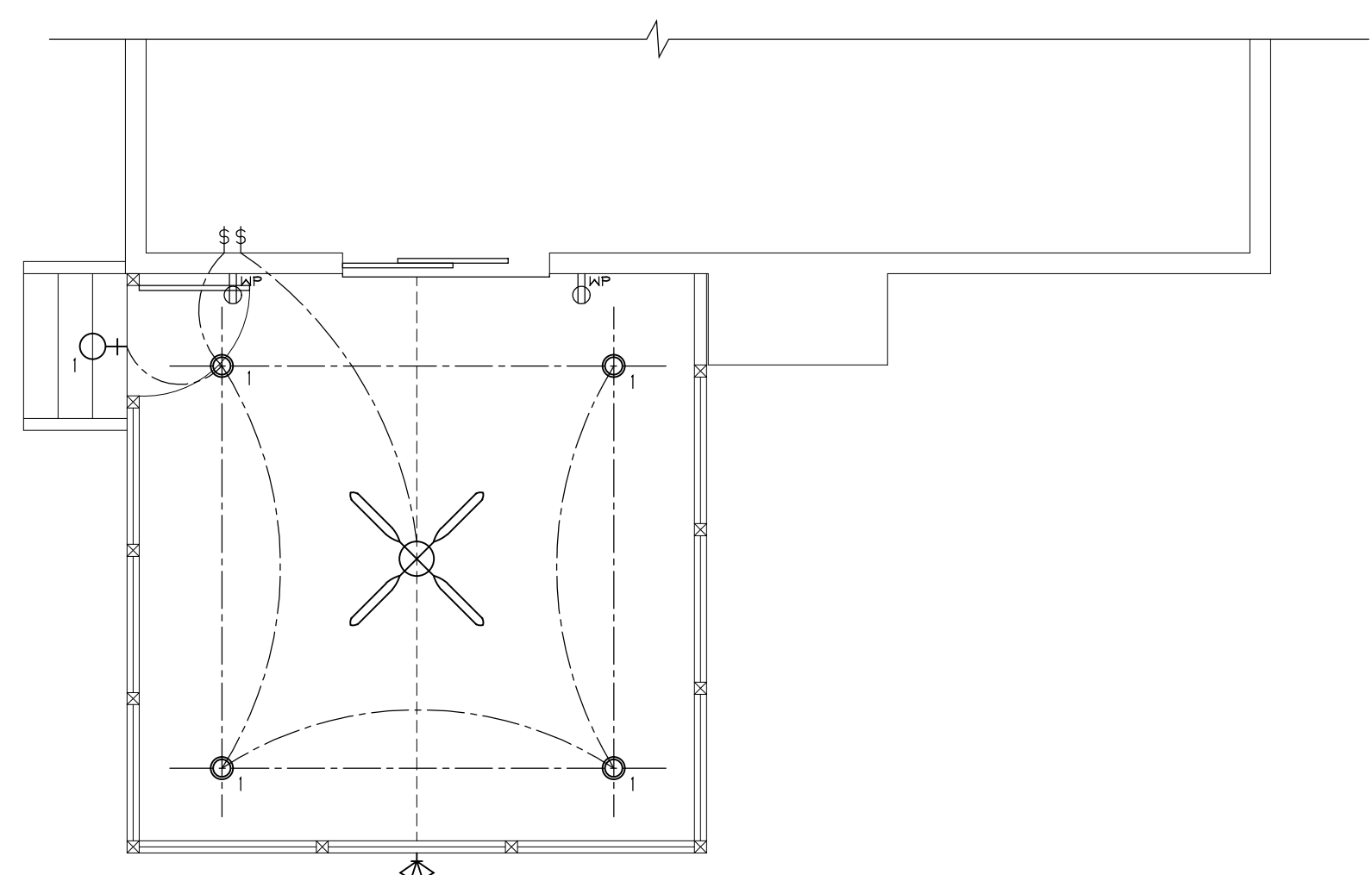
MUNICIPAL STAMPS

ELECTRICAL SYMBOLS

- ⌘ SWITCH
- ⌘₃ THREE-WAY SWITCH
- ⌘_J JAMB SWITCH
- ⌘_D SWITCH WITH DIMMER
- ⌘_{AD} AIR SWITCH FOR DISPOSAL
- ⌘ DUPLEX RECEPTACLE
- ⌘_Q QUADRUPLEX RECEPTACLE
- ⌘_S SWITCHED OUTLET
- ⌘_{GFP} GROUND FAULT PROTECTED RECEPTACLE
- ⌘_{WP} WATERPROOF RECEPTACLE
- ⌘_{220V} 220V RECEPTACLE
- ⌘_{FLR} FLOOR MOUNTED DUPLEX RECEPTACLE
- ⌘_{CLG} CEILING MOUNTED WIRELESS ACCESS POINT JACK
- ⌘_{TV} CABLE TELEVISION JACK W/ DUAL CAT6 DATA WIRING
- ⌘_{TEL} TELEPHONE JACK/INTERNET/DATA
- ⊙ SMOKE DETECTOR
- ⊕ SURFACE MOUNTED CEILING FIXTURE (OSCI)
- RECESSED CEILING FIXTURE
- ₁ RECESSED CEILING FIXTURE - RATED FOR WET LOCATION
- RECESSED WALL WASH FIXTURE
- +○ WALL MOUNTED FIXTURE
- +○₁ EXTERIOR WALL MOUNTED FIXTURE
- ₁ WALL SCONCE
- ⚡ FLOODLIGHT
- ⊙_B BATHROOM EXHAUST FAN
- ⊗ CEILING FAN W/ LIGHT (OSCI)
- ▬ UNDER CABINET/OVER DOOR LED STRIP LIGHT
- ⬇ RECESSED RISER MOUNTED STEP LIGHT

GENERAL ELECTRICAL NOTES:

1. ELECTRICAL LAYOUT TO MEET REQUIREMENTS OF THE CURRENT NATIONAL ELECTRICAL CODE.
2. SMOKE DETECTORS ARE TO BE HARDWIRED TOGETHER SO THAT ACTIVATION OF ONE DETECTOR ACTIVATES ALL. PROVIDE BATTERY BACK-UPS.
3. INSTALL CARBON MONOXIDE DETECTOR ON EACH FLOOR.
4. WIRE ENTIRE HOUSE FOR INTERNET SERVICE.



1 FIRST FLOOR ELECTRICAL PLAN
E1 1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

Dan Bruechert
REVIEWED
By Dan.Bruechert at 3:39 pm, Oct 21, 2022

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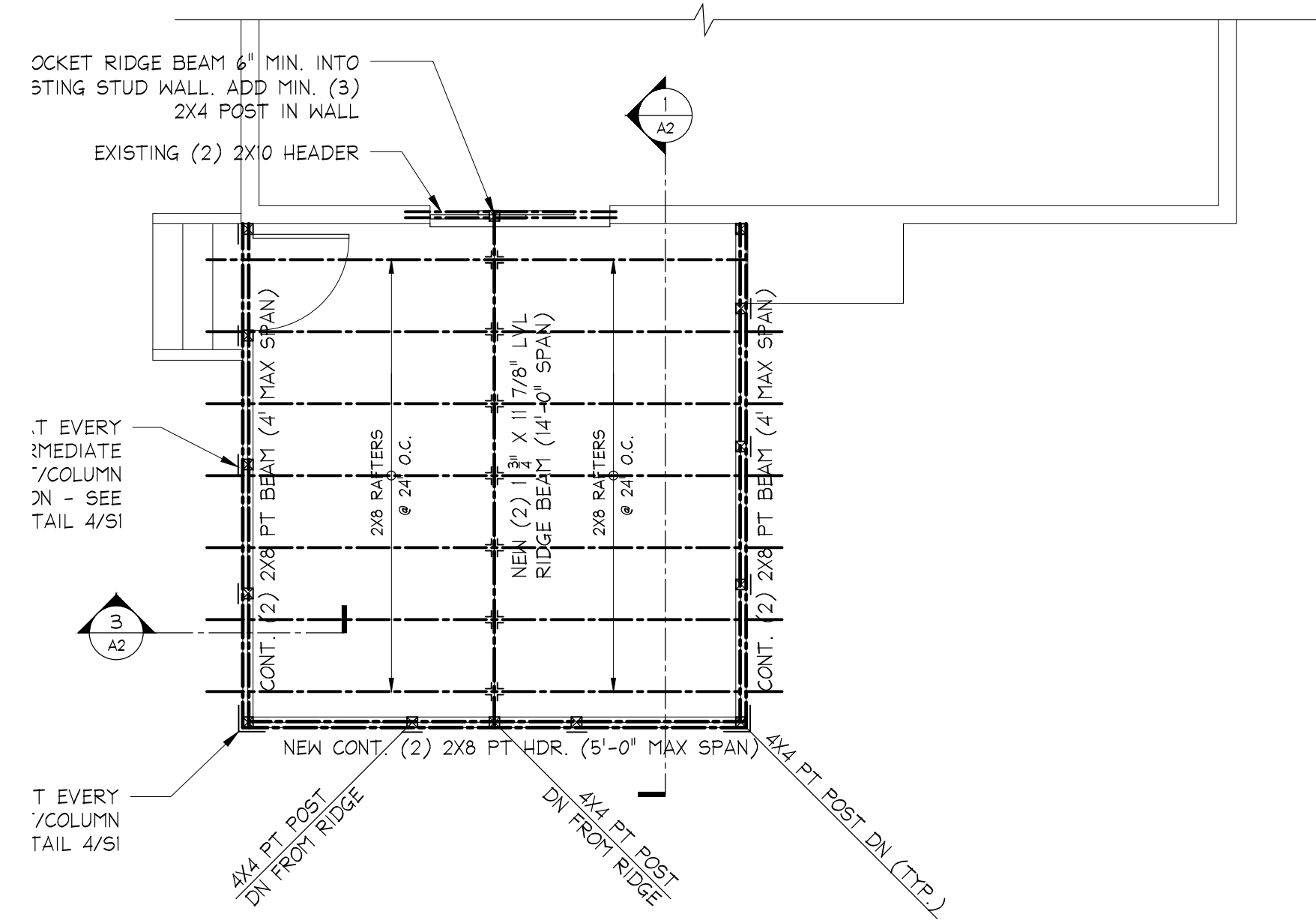
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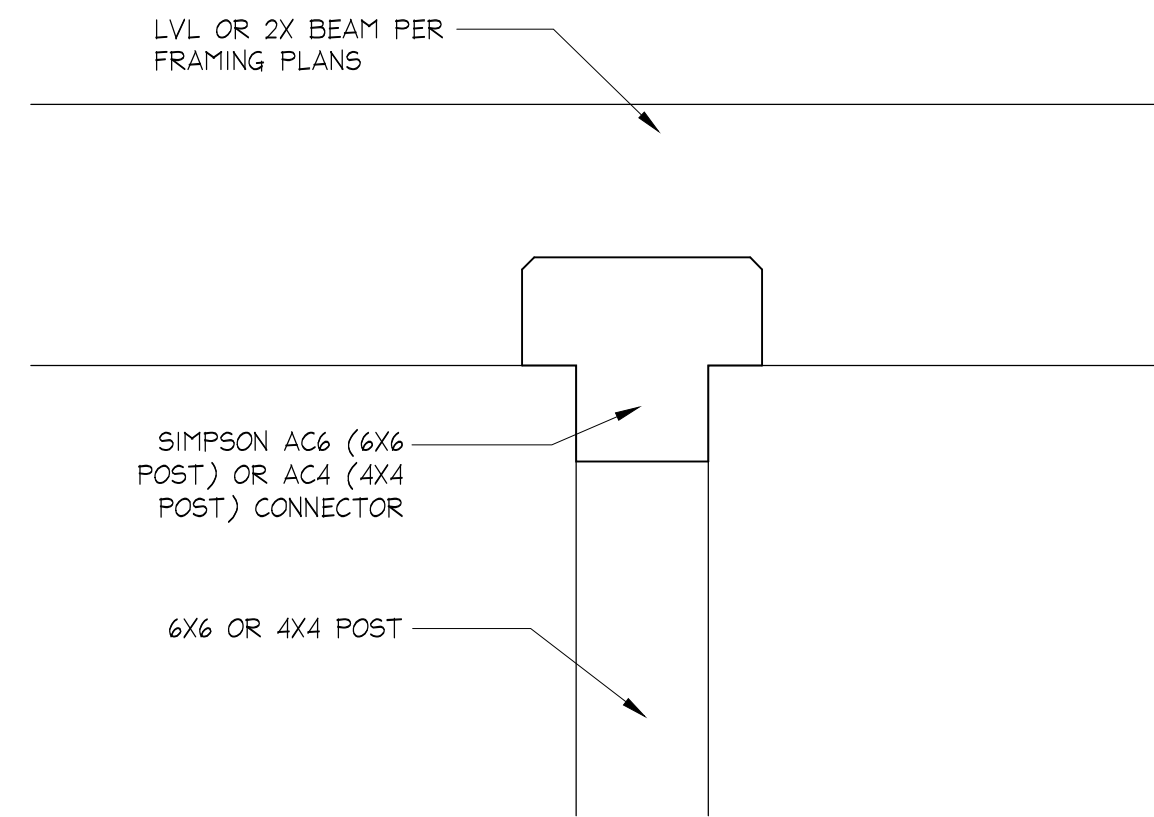
ELECTRIC PLANS

E1

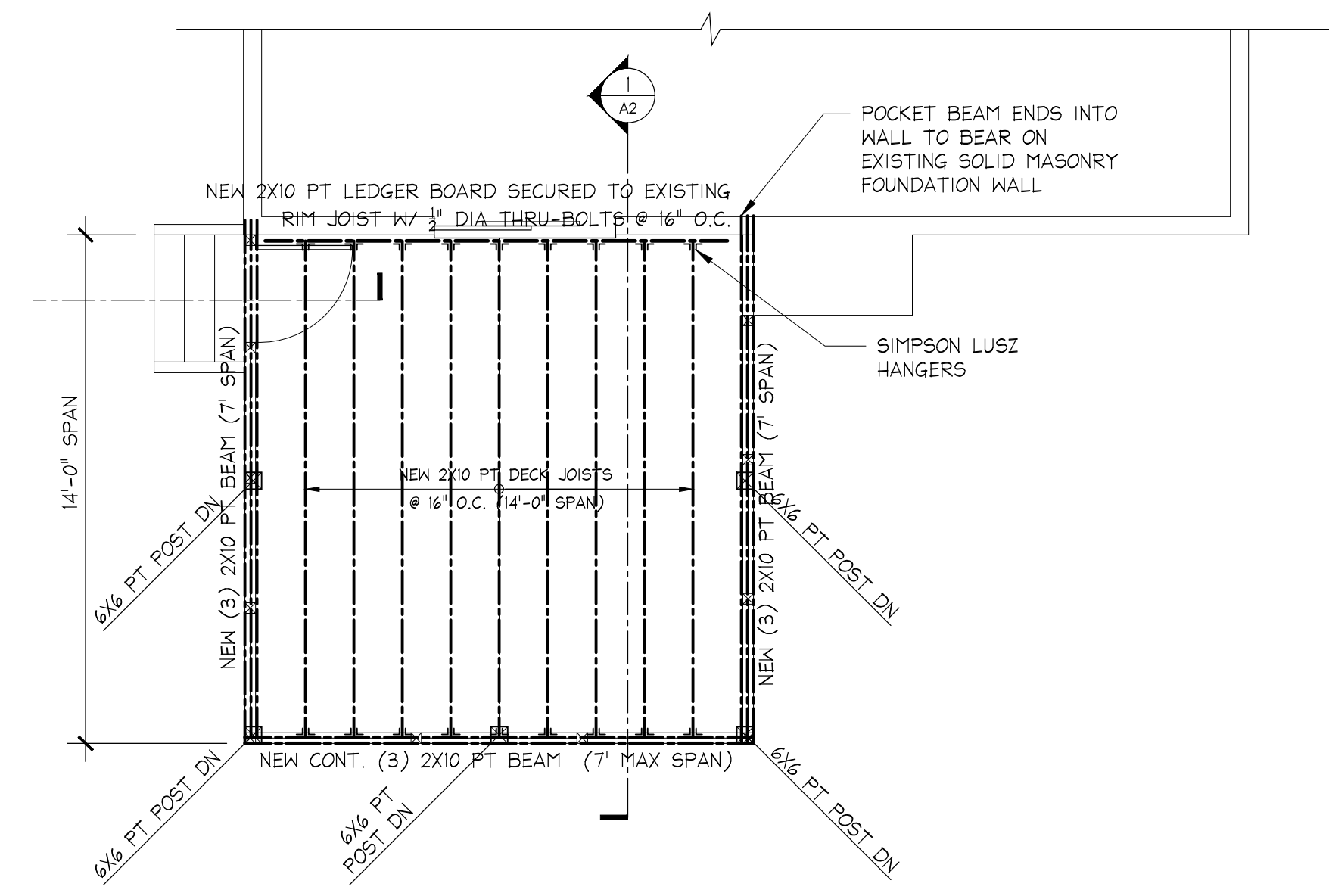
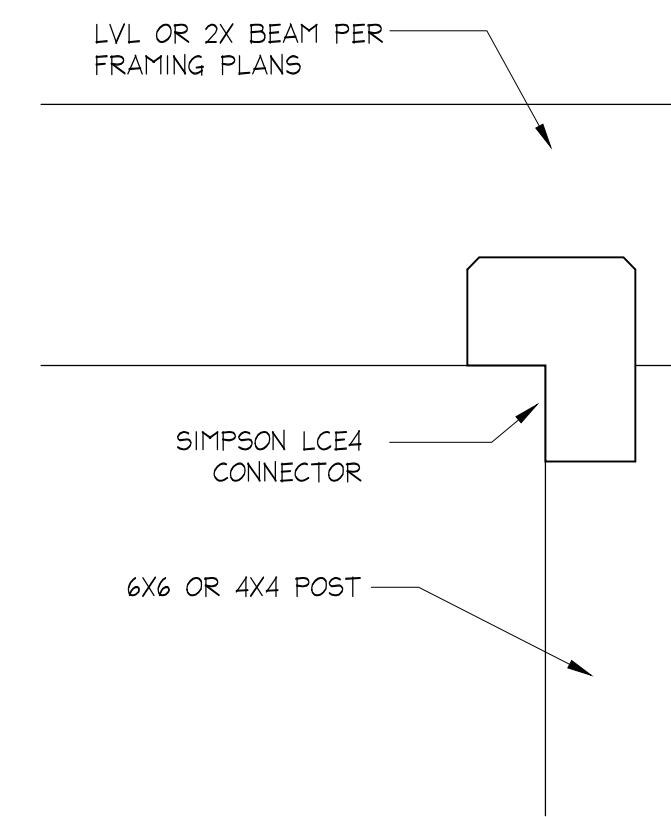
MUNICIPAL STAMPS



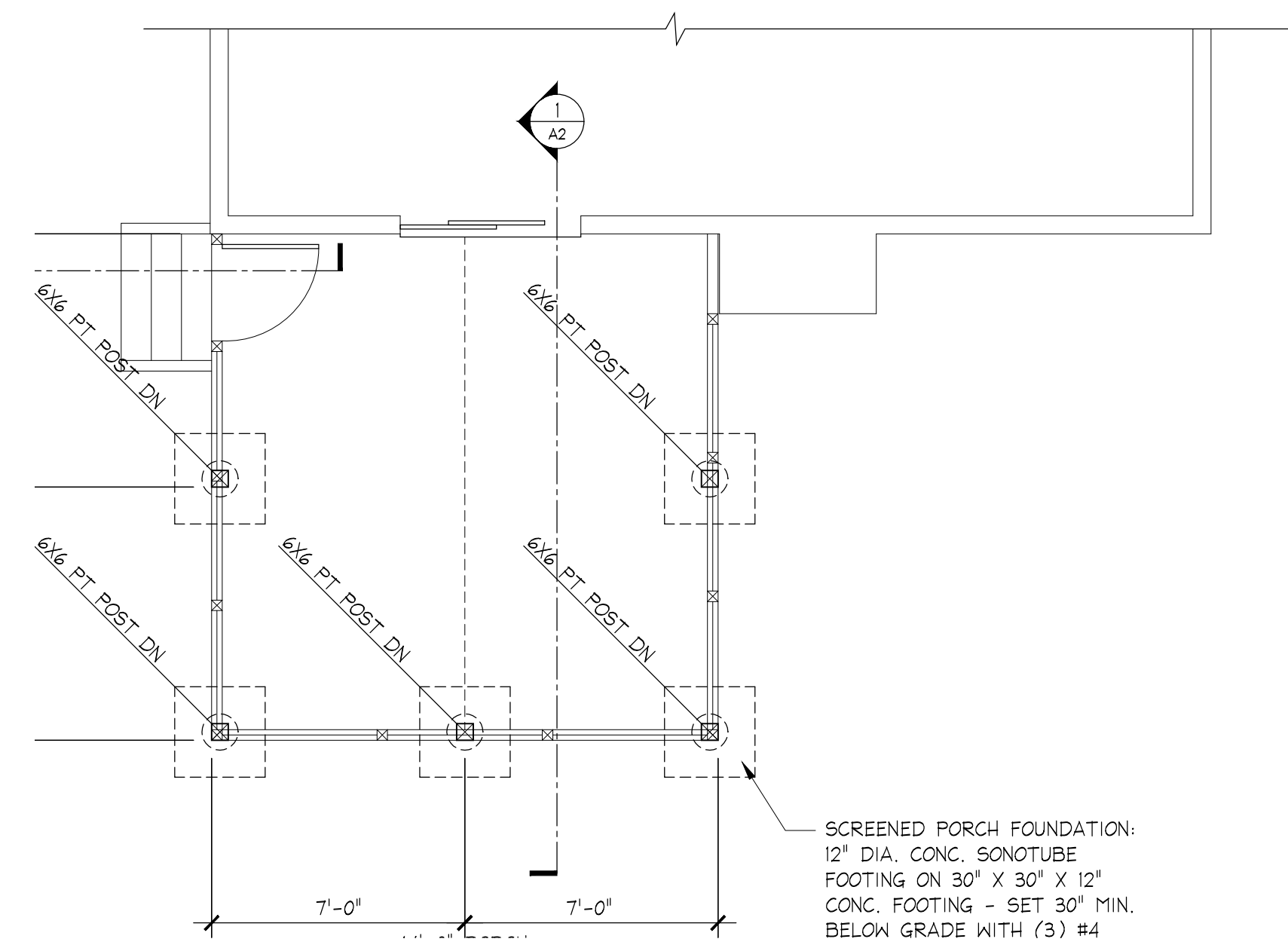
3 ROOF FRAMING PLAN
SI 1/4" = 1'-0"



4 LATERAL BRACING BRACKET DETAILS
SI 1 1/2" = 1'-0"



2 DECK FRAMING PLAN
SI 1/4" = 1'-0"



1 FOUNDATION PLAN
SI 1/4" = 1'-0"

STRUCTURAL NOTES:

- USE MONTGOMERY COUNTY, MD. BUILDING CODE IRC 2018.
- LOADS- LIVE -FLOOR RESIDENTIAL - 40PSF; ROOF - 30 PSF - SNOW; WIND 115 MPH EXPOSURE B IMPORTANCE I; SEISMIC AND WIND LOADS ACCOMMODATED BY EXISTING BUILDING.
- FOUNDATION LOADS ARE DESIGNED TO CARRY LATERAL FORCES/WIND LOADS. FOUNDATIONS ARE DESIGNED FOR 2000 PSF SOIL. FOOTING BOTTOMS SHALL BE AT LEAST 30" BELOW GRADE AND A MINIMUM OF 12" INTO EXISTING NATURAL SOIL.
- CONCRETE - 3000 PSI @ 28 DAYS MINIMUM. REINFORCING STEEL ASTM A615 GRADE 60. USE ACI STANDARDS.
- FRAMING LUMBER SHALL BE STRUCTURAL GRADE, SOUTHERN PINE #2 OR STRONGER. USE HURRICANE CLIPS FOR ALL ROOF RAFTERS. USE MANUFACTURERS STANDARDS FOR MANUFACTURED LUMBER. LVL'S Fb=2650PSI, E=1.9M PSI
- SHEAR WALLS: 1/2" PLYWOOD PANELS 48" WIDE BY FULL STORY HEIGHT OR AS DIMENSIONED. 8d NAILS @ 6" O.C. ON EDGES AND 12" O.C. ON INTERMEDIATE STUDS. WIND LOADS ARE ACCOMMODATED BY CONTINUOUS SHEATHING METHOD AND SECTION R301.1.
- CONC. BLOCK REINFORCEMENT: USE 9 GAGE TRUSS-TYPE HORIZONTAL REINFORCEMENT EVERY OTHER COURSE (DUR-O-WALL OR EQUAL). VERTICAL REINFORCEMENT: #5 BARS @ 32" O.C. - NEEDED ONLY WHERE DIRT IS RETAINED ABOVE 36" HIGH. ALL CONC. BLOCK CELLS TO BE GROUT SOLID.
- ALL FASTENERS SHALL BE HOT-DIPPED GALVANIZED MEETING ASTM 153. ALL SCREWS, BOLTS, WASHERS, NUTS AND NAILS SHALL BE HOT-DIPPED ZINC-COATED GALVANIZED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD.

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[Signature]

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FOUNDATION AND FRAMING PLANS

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