



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Sandra I. Heiler  
*Chairman*

Date: November 16, 2020

### MEMORANDUM

TO: Mitra Pedoeem  
Department of Permitting Services

FROM: Michael Kyne  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit: Shed demolition, construction of detached accessory structure

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the October 14, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Richard Kline (David Jones, Architect)  
Address: 7 Primrose Street, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.



DATE:  
23 SEPT. 2020  
HAWP SUBMISSION  
19 OCT. 2020  
CONSTRUCTION SET

SITE PLAN & LIST OF DRAWINGS  
1/8" = 1'-0"

KLINE OUTBUILDING  
7 PRIMROSE STREET  
CHEVY CHASE, MD 20815

A001

LIST OF DRAWINGS

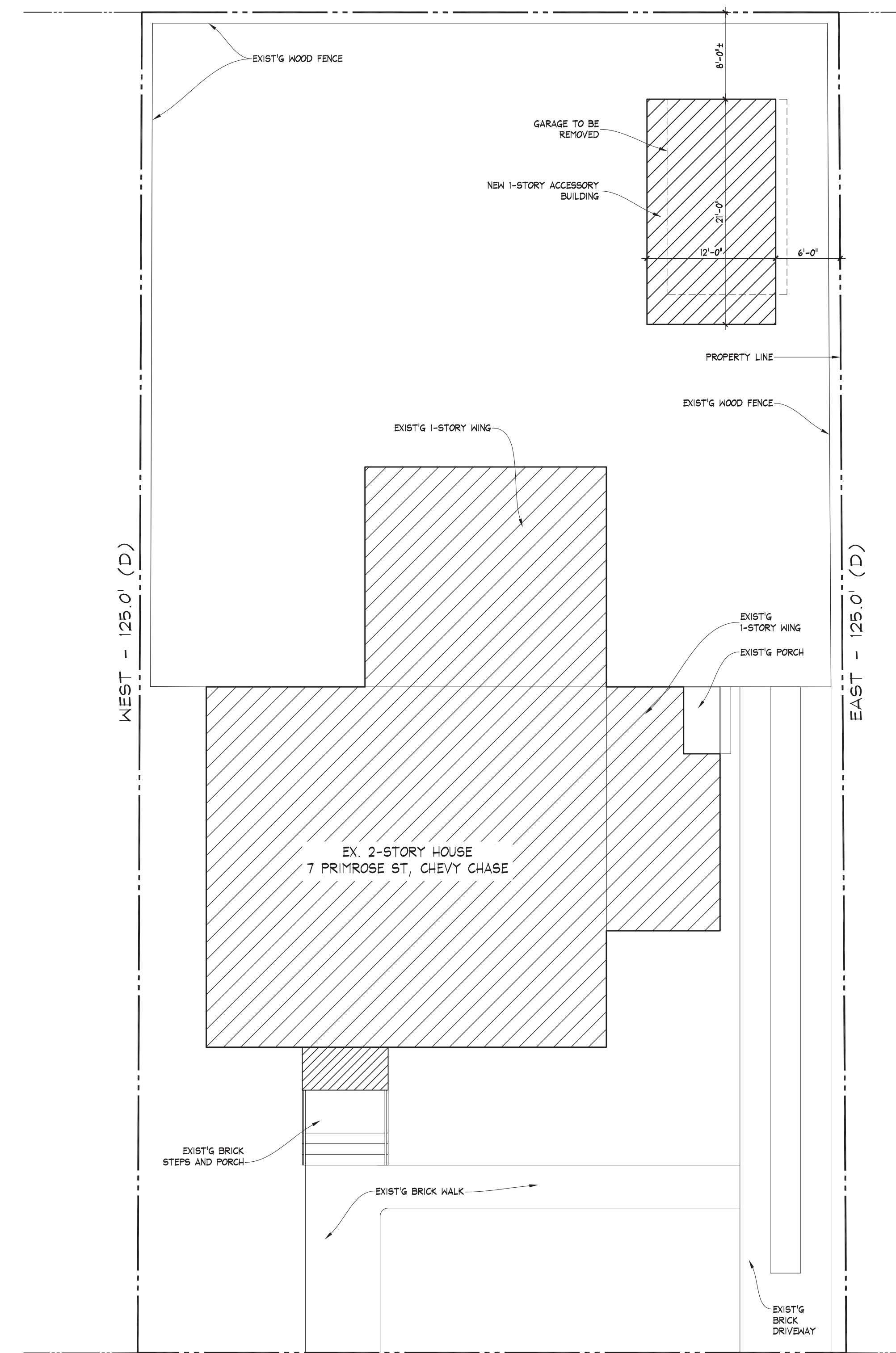
A001 SITE PLAN

ARCHITECTURAL

- A101 PLANS & ELEVATIONS
- A102 BUILDING SECTIONS & DORMER DETAILS
- A103 EXTERIOR DETAILS
- A104 INTERIORS

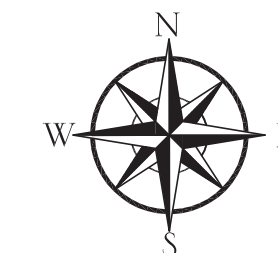
STRUCTURAL

- S001 STRUCTURAL NOTES & WALL BRACING
- S002 FOUNDATIONS, ROOF FRAMING PLANS & SECTIONS



**REVIEWED**  
By Michael Kyne at 3:44 am, Nov 16, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra A. Kline*



PROFESSIONAL CERTIFICATION  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR  
APPROVED BY ME, AND THAT I AM A DULY LICENSED  
ARCHITECT UNDER THE LAWS OF THE STATE OF MARYLAND,  
LICENSE NUMBER 8630, EXPIRATION DATE 6/22/2021



**REVIEWED**  
By Michael Kyne at 3:44 am, Nov 16, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra L. Hiller*

**JONES & BOER ARCHITECTS**  
1739 CONNECTICUT AVENUE, NW WASHINGTON DC 20009 202-332-1200

DATE:  
23 SEPT. 2020  
HAMP SUBMISSION  
19 OCT. 2020  
CONSTRUCTION SET

PLANS & ELEVATIONS  
SCALE: AS NOTED

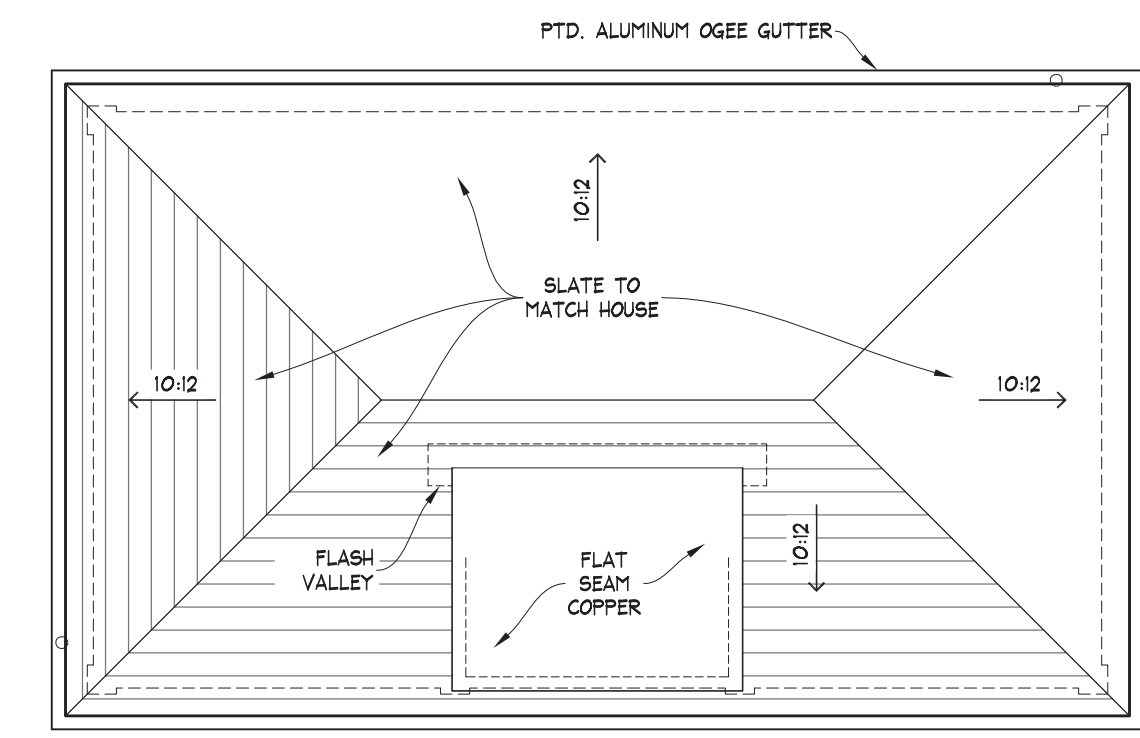
KLING STUBBINS  
7 PRIMROSE STREET  
CHEVY CHASE, MD 20815

A101

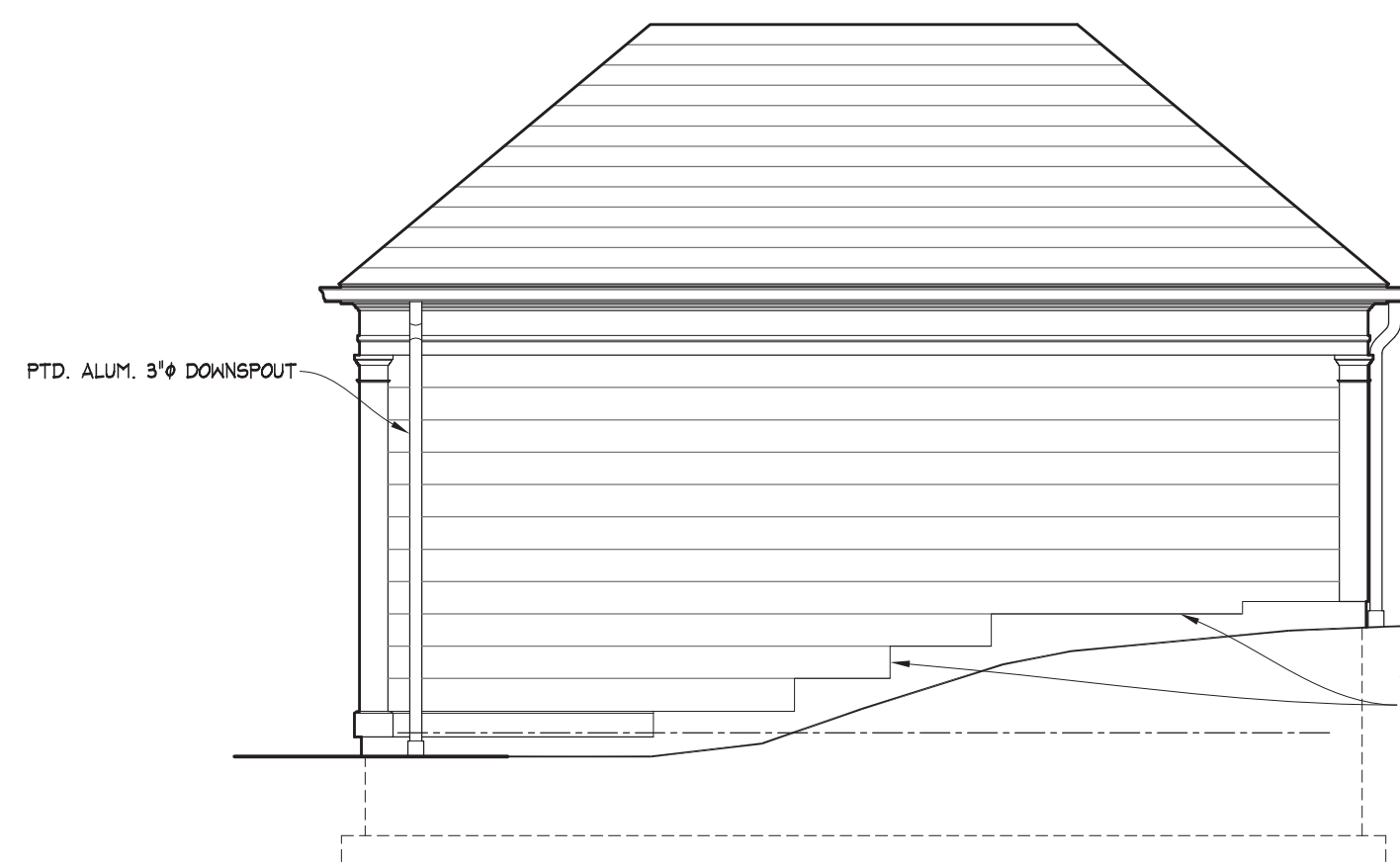
**DOOR & WINDOW SCHEDULE**

SYM.	FRAME O.S.M.	TYPE	MANUF. #
<b>EXTERIOR</b>			
1	5'-2 3/8" x 7'-11 1/2"	CUSTOM WOOD PATIO DOOR	WISWR5480
A	2'-7 3/8" x 4'-8"	CUSTOM WOOD DOUBLE HUNG	CWD3156
B	2'-4" x 2'-0"	CUSTOM WOOD CASEMENT	CWC2824

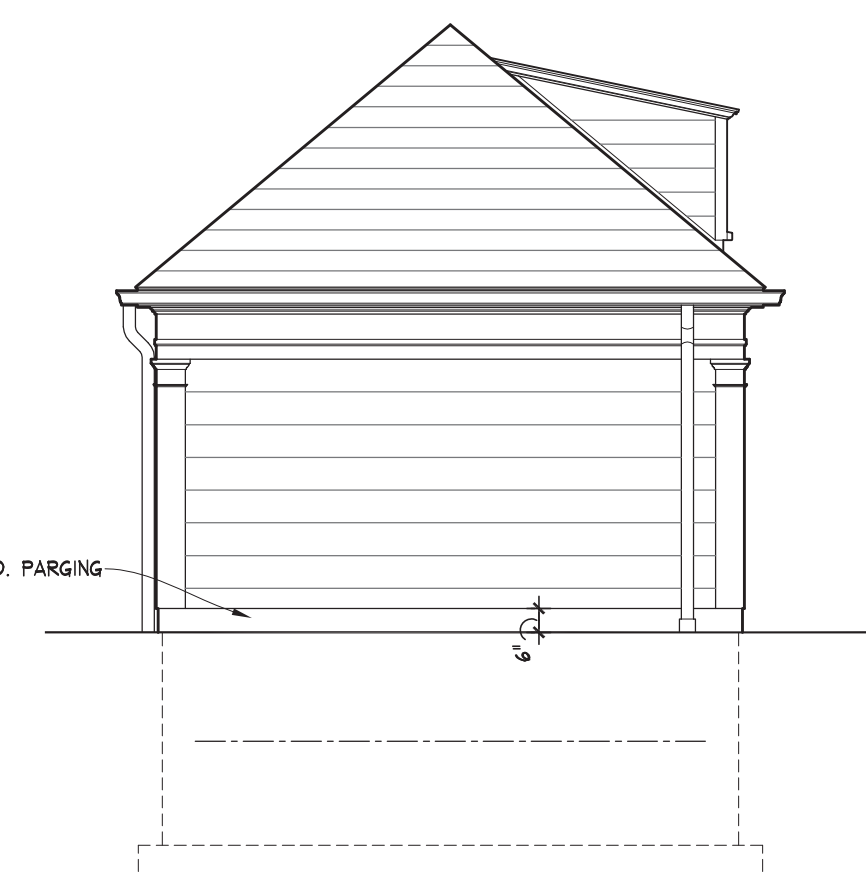
**NOTES:**  
- MANUFACTURERS #S ARE JELD-WEN  
- SEE ELEVATIONS FOR MUNTIN PATTERNS, MUNTING TO MATCH FAMILY ROOM  
- ALL FENESTRATION TO HAVE MAX. U-FACTOR OF 0.35  
- ALL GLAZED FENESTRATION TO HAVE MAX. SHGC OF 0.40  
- ALL FENESTRATION WILL BE CERTIFIED AND LABELED IN ACCORDANCE WITH NFRC  
- WINDOWS AND SLIDING GLASS DOORS SHALL HAVE AN AIR INFILTRATION RATE OF NO MORE THAN 0.3 CFM PER SQUARE FOOT (1.5 L/S/M<sup>2</sup>), AND SWINGING DOORS NO MORE THAN 0.5 CFM PER SQUARE FOOT (2.6 L/S/M<sup>2</sup>), WHEN TESTED ACCORDING TO NFRC 400 OR AAMA/WDMA/CSA 1017.9.2/A440 BY AN ACCREDITED, INDEPENDENT LABORATORY AND LISTED AND LABELED BY THE MANUFACTURER.



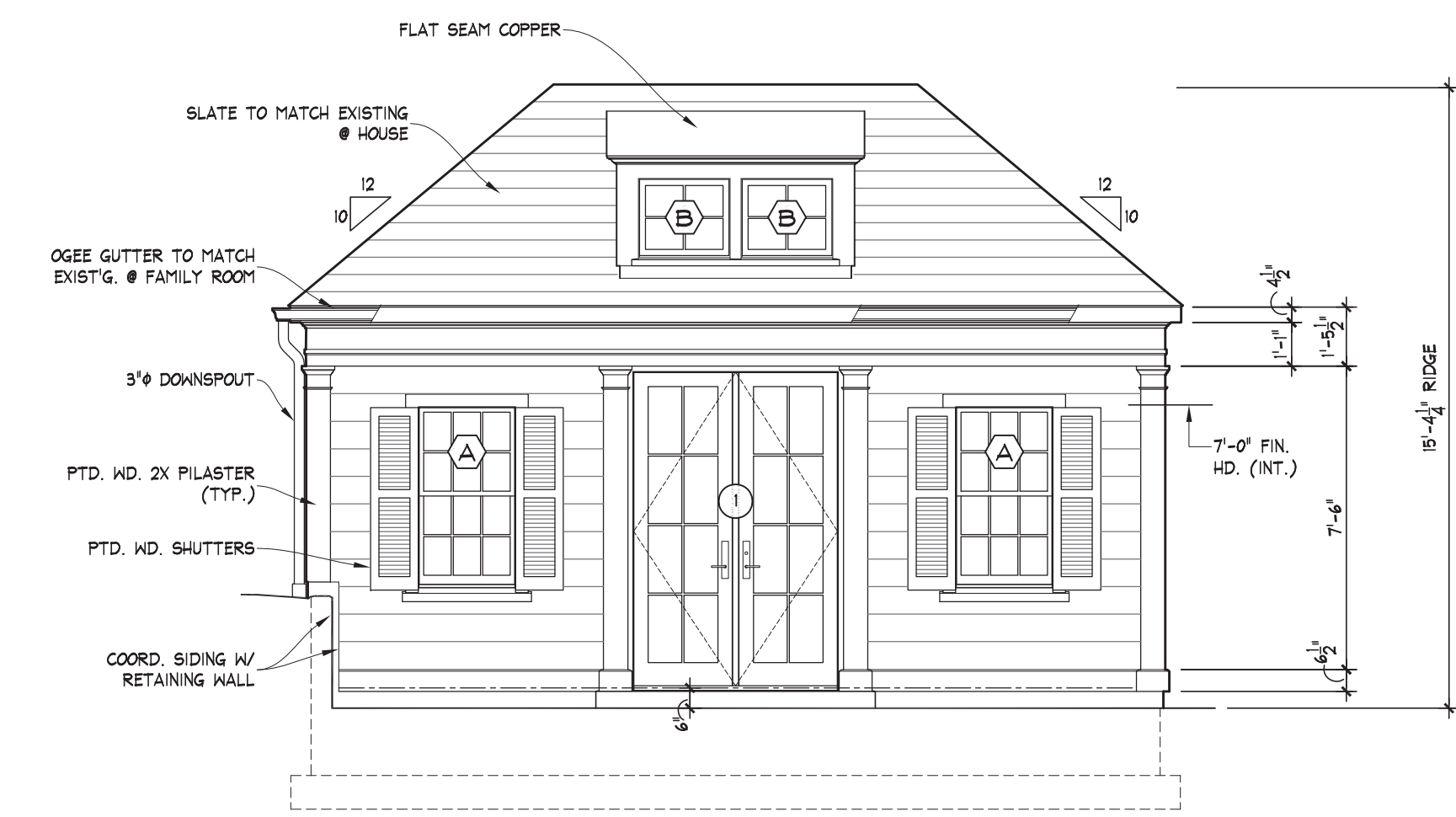
8 ROOF PLAN  
A101 SCALE: 1/4" = 1'-0"



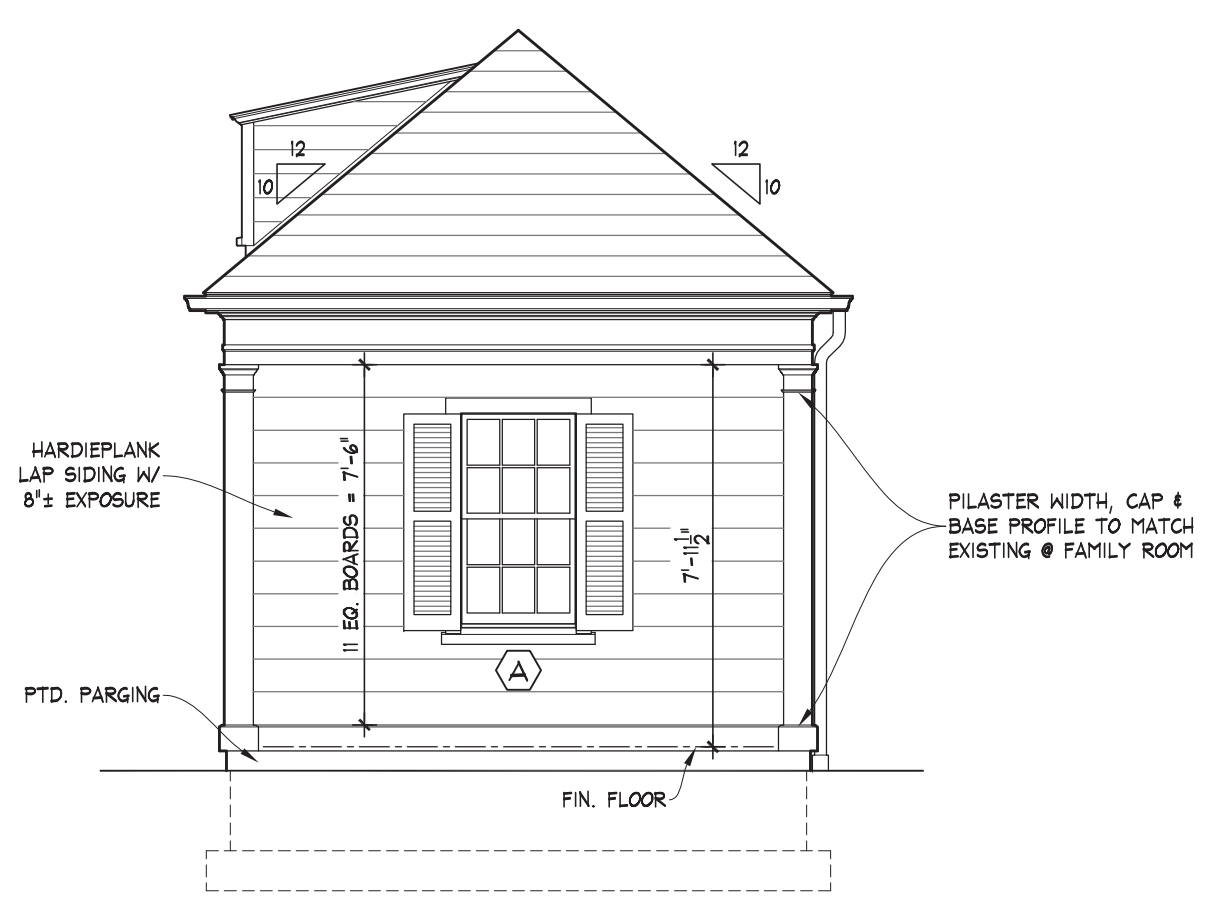
6 EAST ELEVATION  
A101 SCALE: 1/4" = 1'-0"



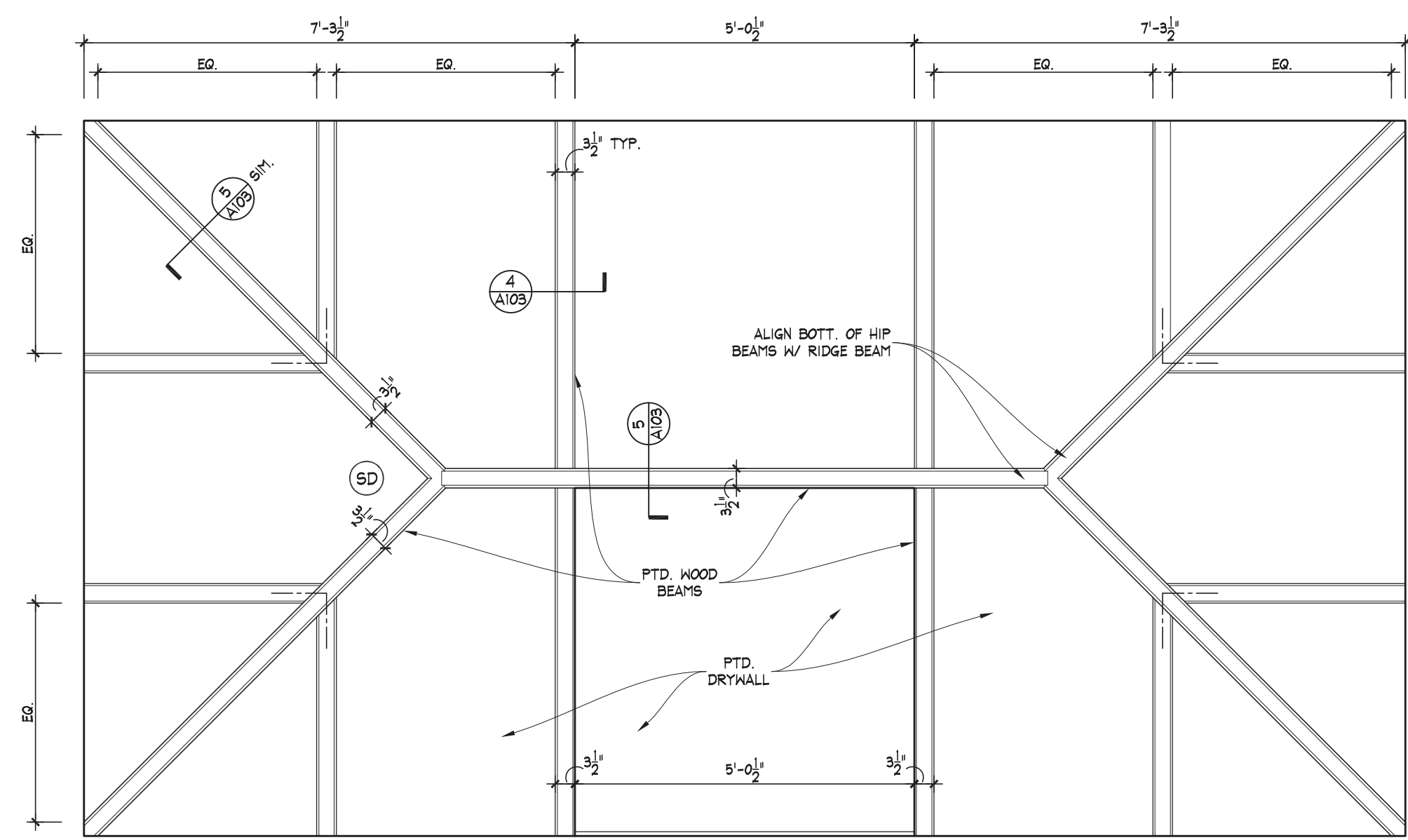
7 NORTH ELEVATION  
A101 SCALE: 1/4" = 1'-0"



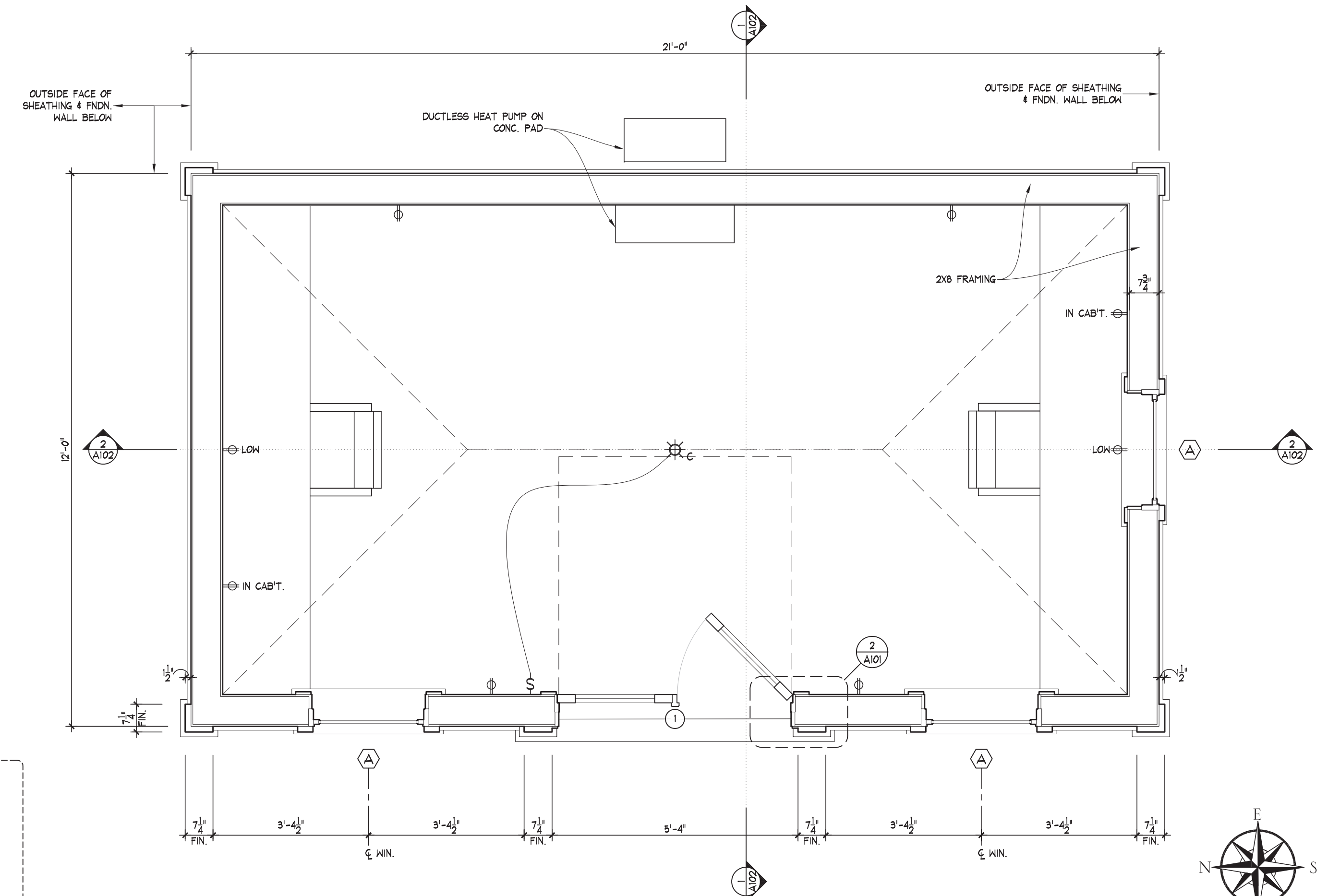
4 WEST ELEVATION  
A101 SCALE: 1/4" = 1'-0"



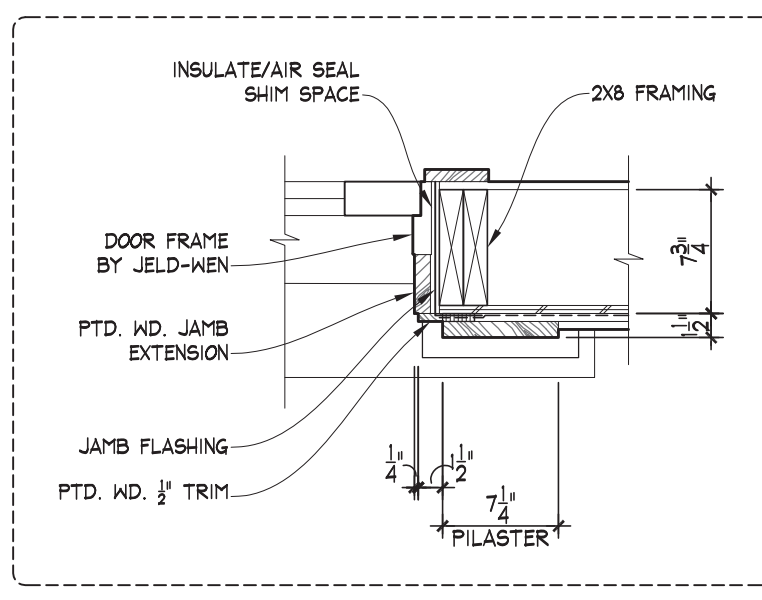
5 SOUTH ELEVATION  
A101 SCALE: 1/4" = 1'-0"



3 REFLECTED CEILING PLAN  
A101 SCALE: 1/2" = 1'-0"



1 FLOOR PLAN  
A101 SCALE: 1/2" = 1'-0"



2 PLAN DETAIL  
A101 SCALE: 1" = 1'-0"

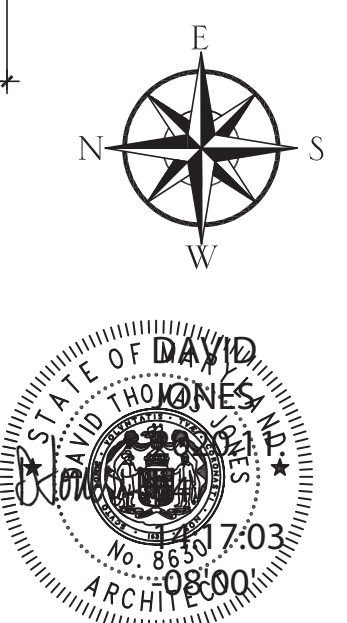
**ELECTRICAL LEGEND**

- SURFACE MOUNTED CEILING - TBS
- SURFACE MOUNTED LANTERN - TBS
- TOGGLE SWITCH W/ SLIDE DIMMER
- DUPLEX RECEPTACLE
- SMOKE & CARBON MONOXIDE DETECTOR

**NOTES:**

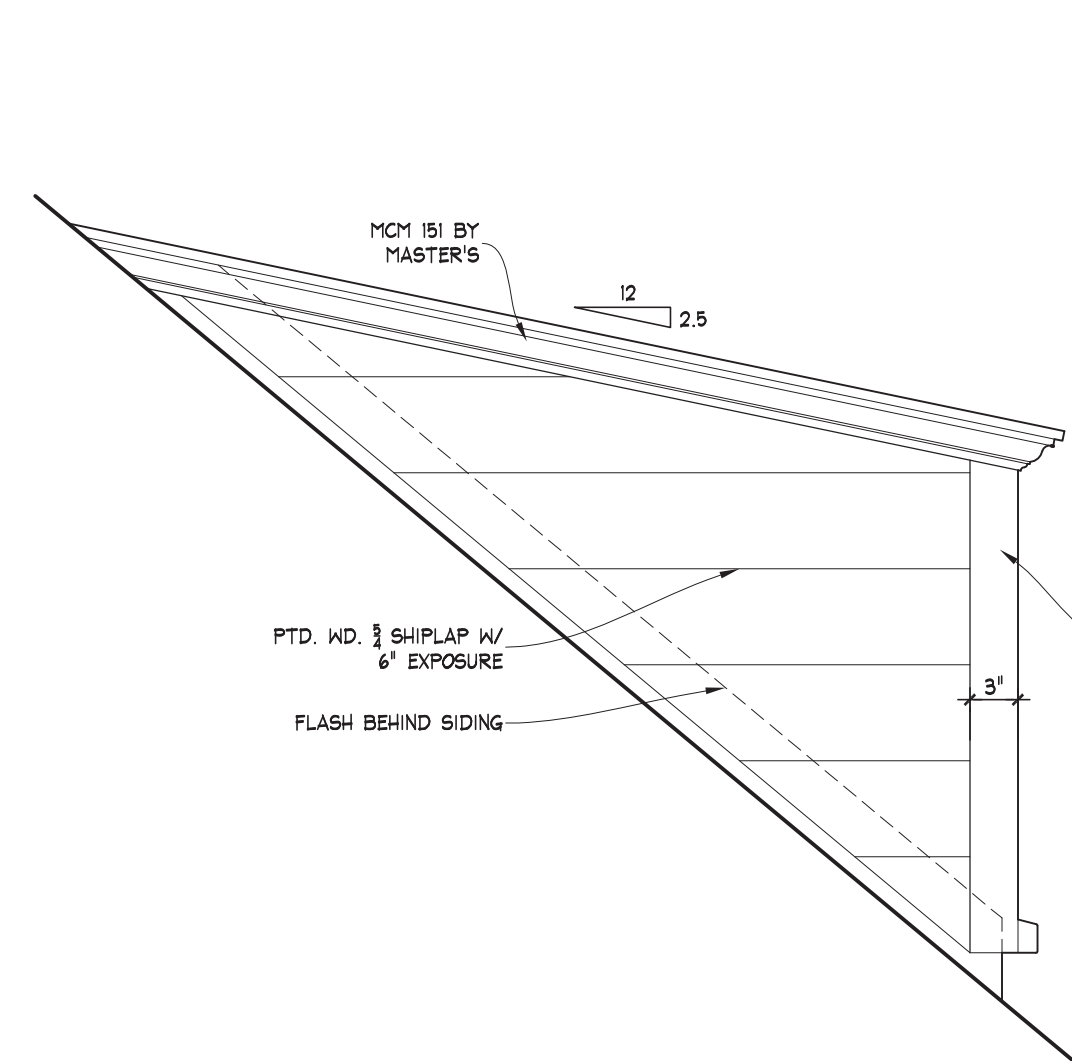
1. PLACE ALL RECEPTACLES AS SHOWN AND PER CODE.
2. PROVIDE ARC FAULT CIRCUIT PROTECTION (AFCI) FOR ALL 15/20A BRANCH CIRCUITS SUPPLYING OUTLETS PER IRC 2012 E3402.12.
3. SMOKE DETECTORS INTERCONNECTED & HARDWIRED W/ BATTERY BACKUP PER CODE
4. LIGHT FIXTURES SHALL COMPLY WITH IRC 2012 N1104.
5. PROVIDE TAMPER RESISTANT RECEPTACLES PER IRC 2012 E4002.14.
6. SERVICE CONDUCTORS FEEDING PANELS TO BE CONCRETE ENCASED OR PROVIDE EXTERIOR SERVICE DISCONNECTS PER IRC 2012 E3601.6.2
7. AVAILABLE SHORT CIRCUIT CURRENT RATING (AIC) FOR ELECTRICAL PANELS TO CONFORM TO IRC 2012 E3404.2 & E3606.3 & UTILITY COMPANY (PEPCO) REQUIREMENTS.
8. GROUNDING ELECTRODE TO BE CONCRETE ENCASED PER IRC 2012 E3608.1.2

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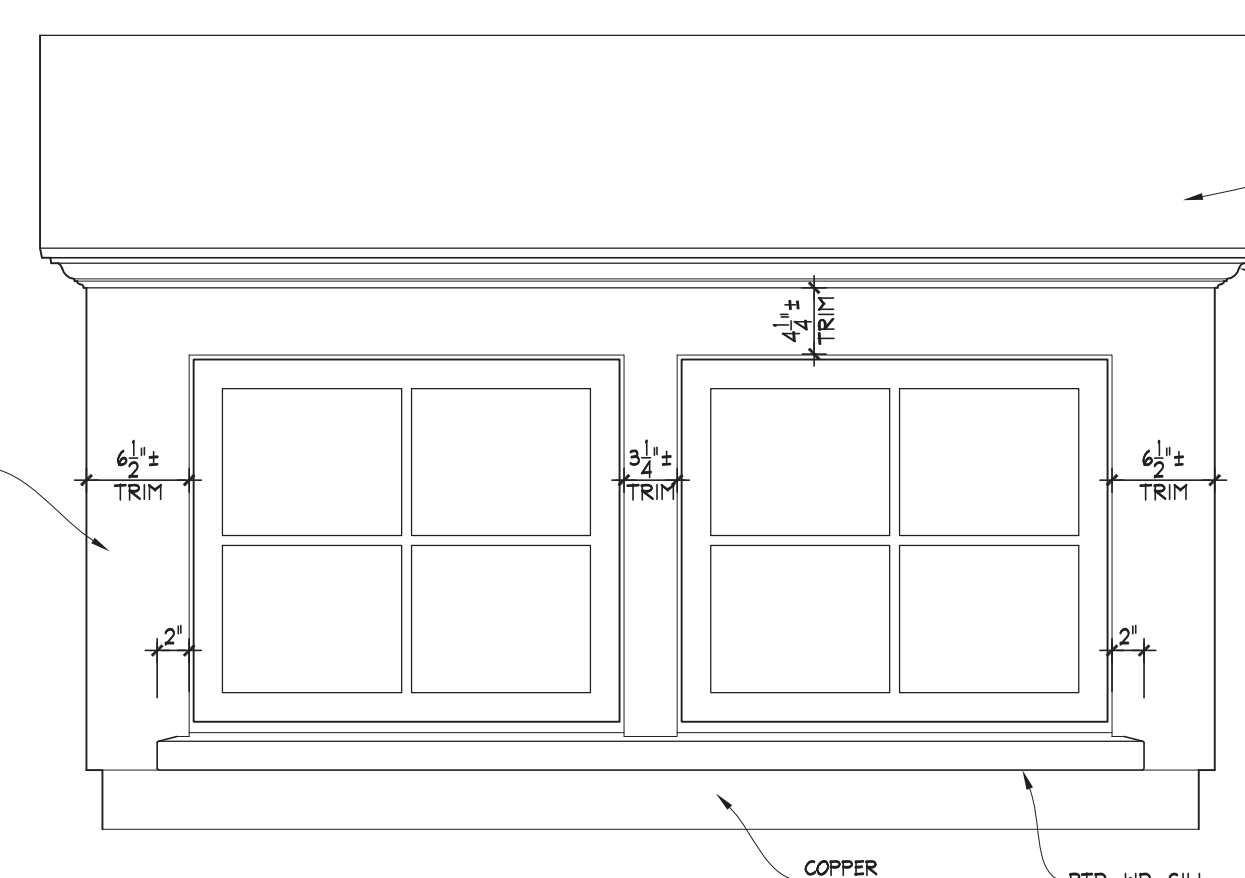




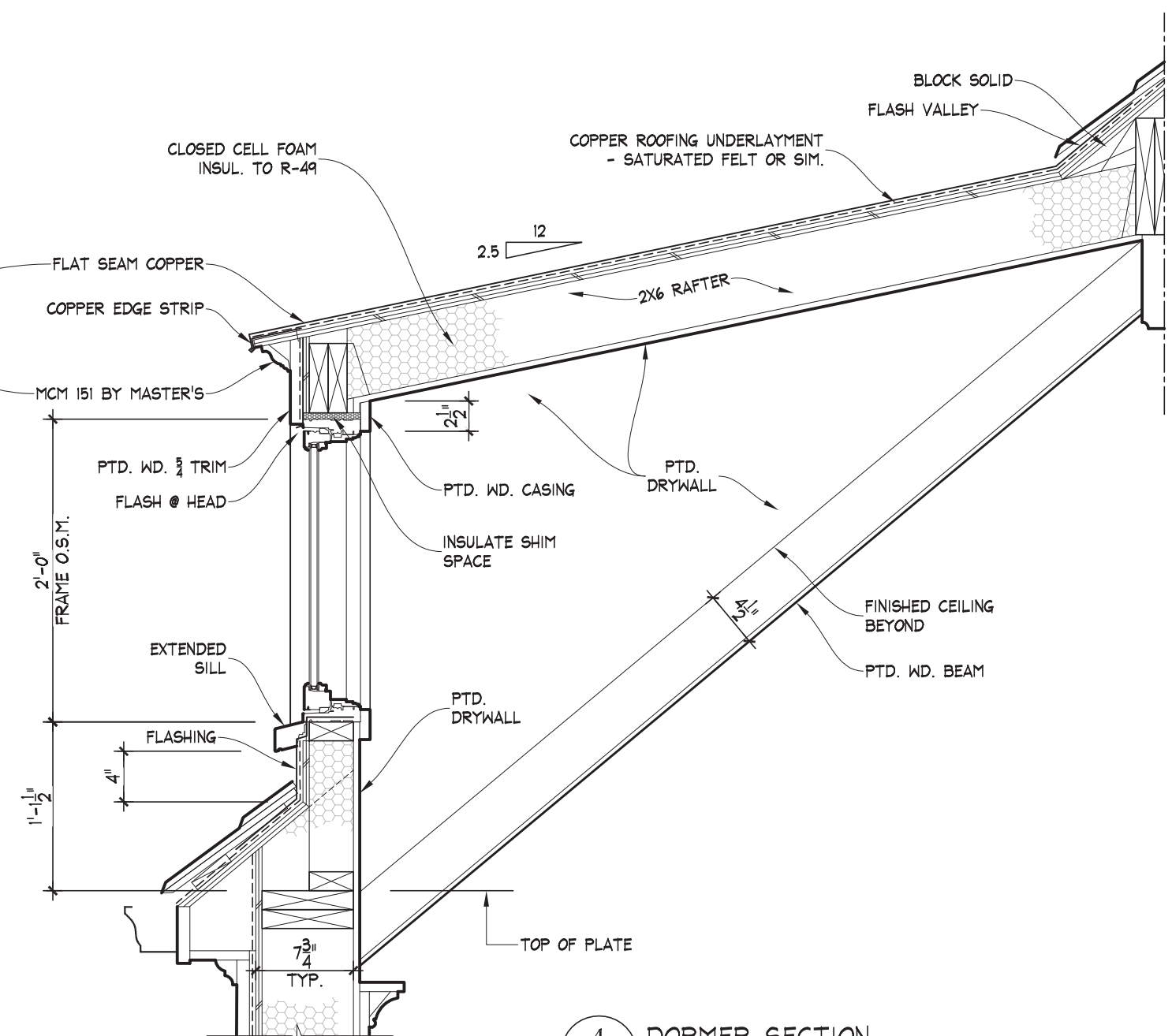
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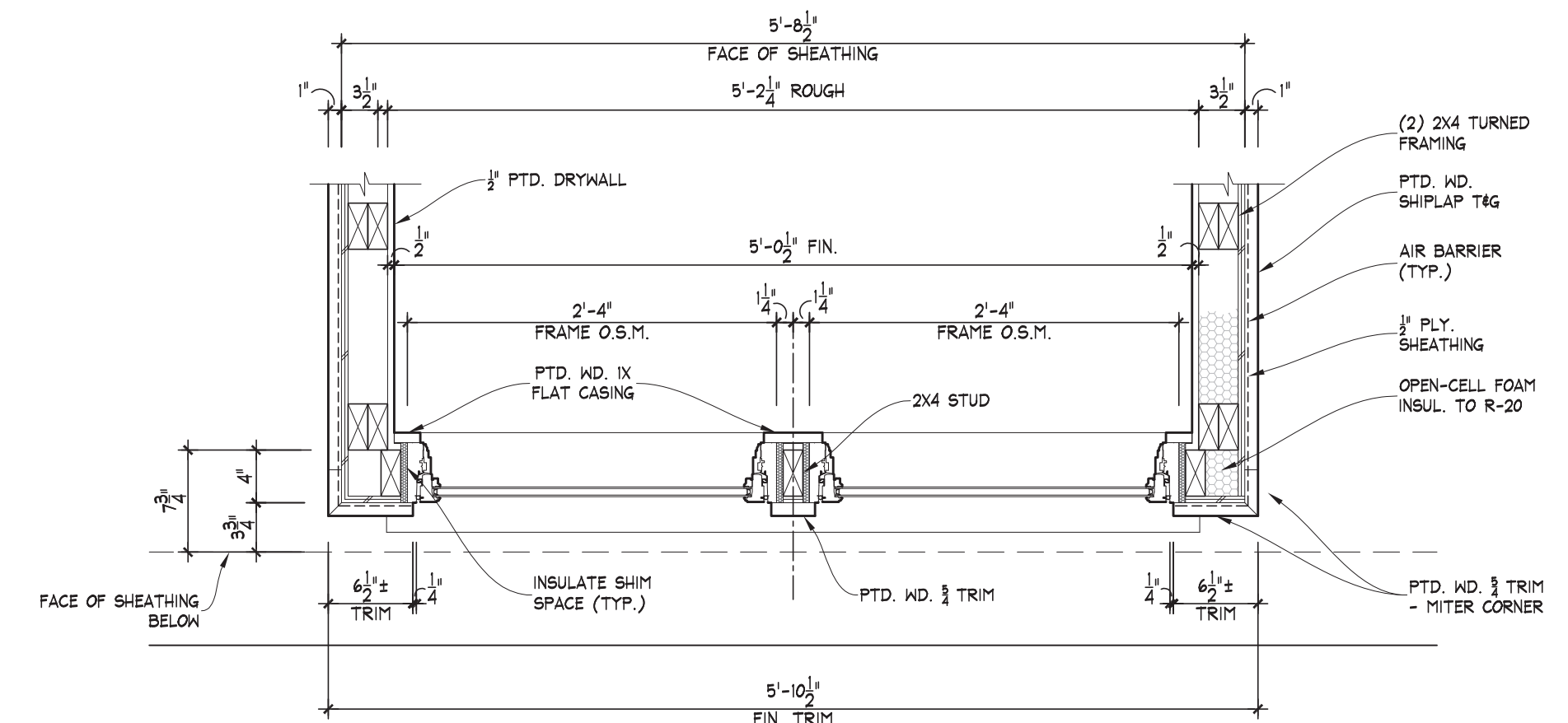
6 DORMER ELEVATION  
A102 SCALE: 1" = 1'-0"



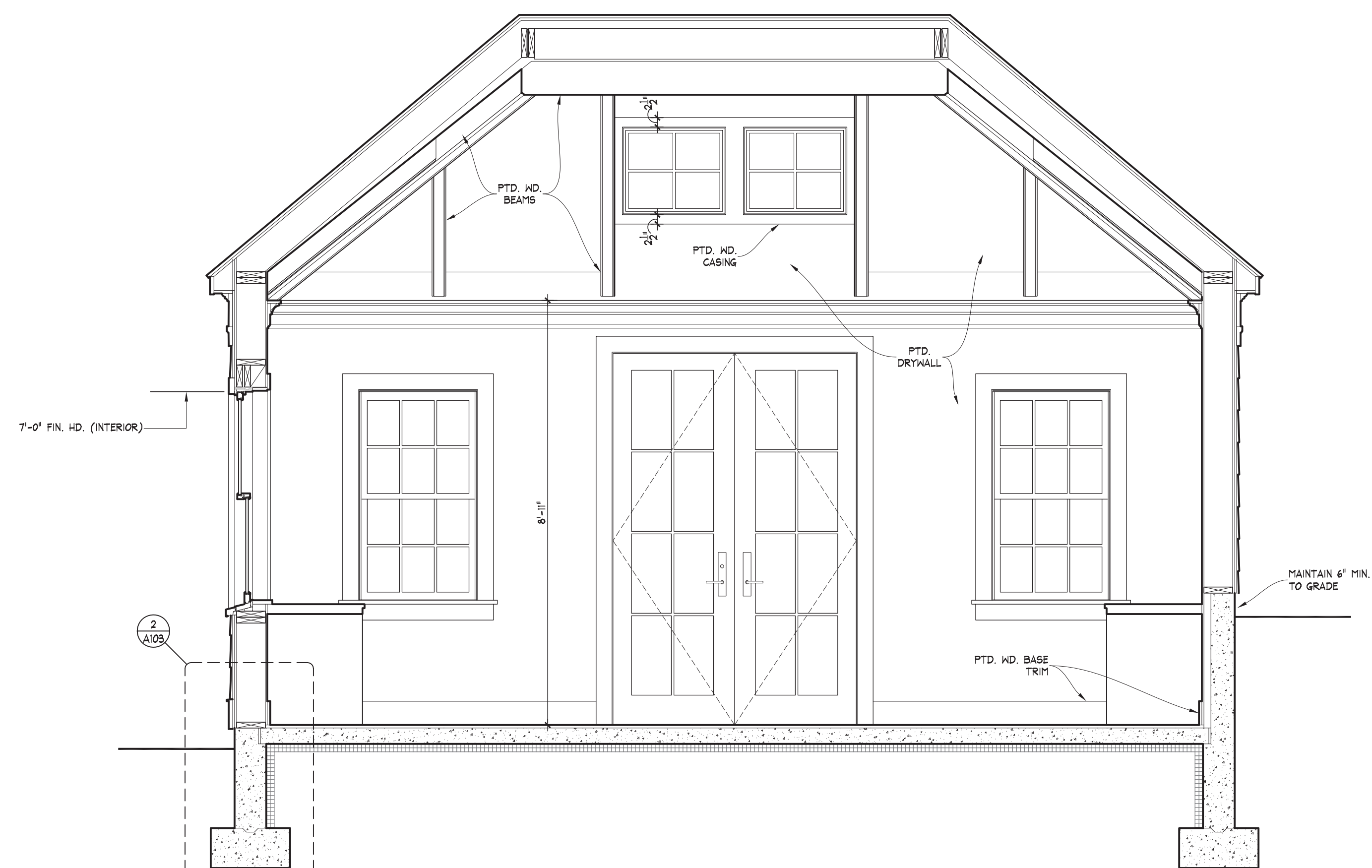
5 DORMER ELEVATION  
A102 SCALE: 1" = 1'-0"



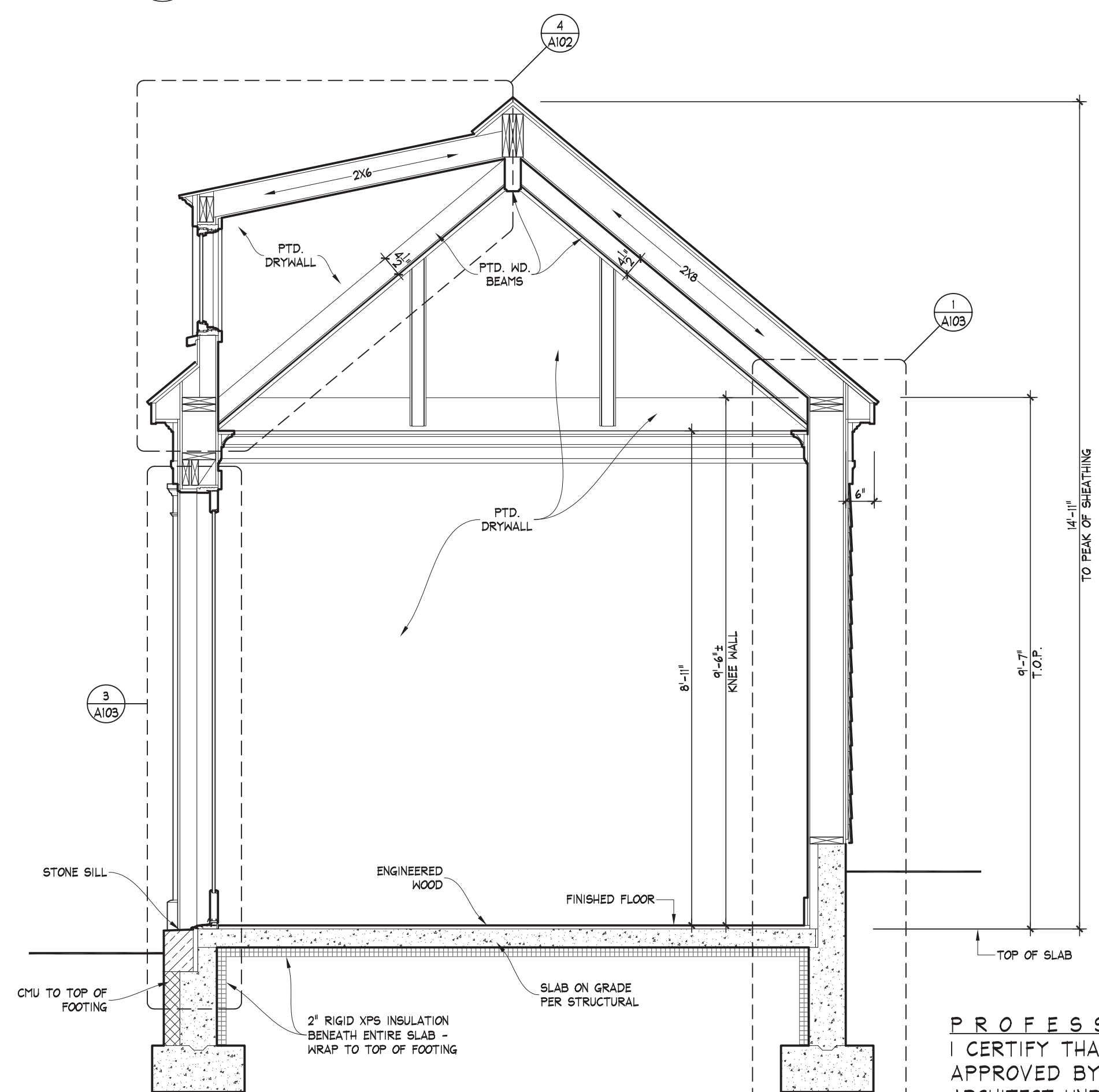
4 DORMER SECTION  
A102 SCALE: 1" = 1'-0"



3 DORMER PLAN  
A102 SCALE: 1" = 1'-0"



2 BUILDING SECTION  
A102 SCALE: 1/2" = 1'-0"



1 BUILDING SECTION  
A102 SCALE: 1/2" = 1'-0"

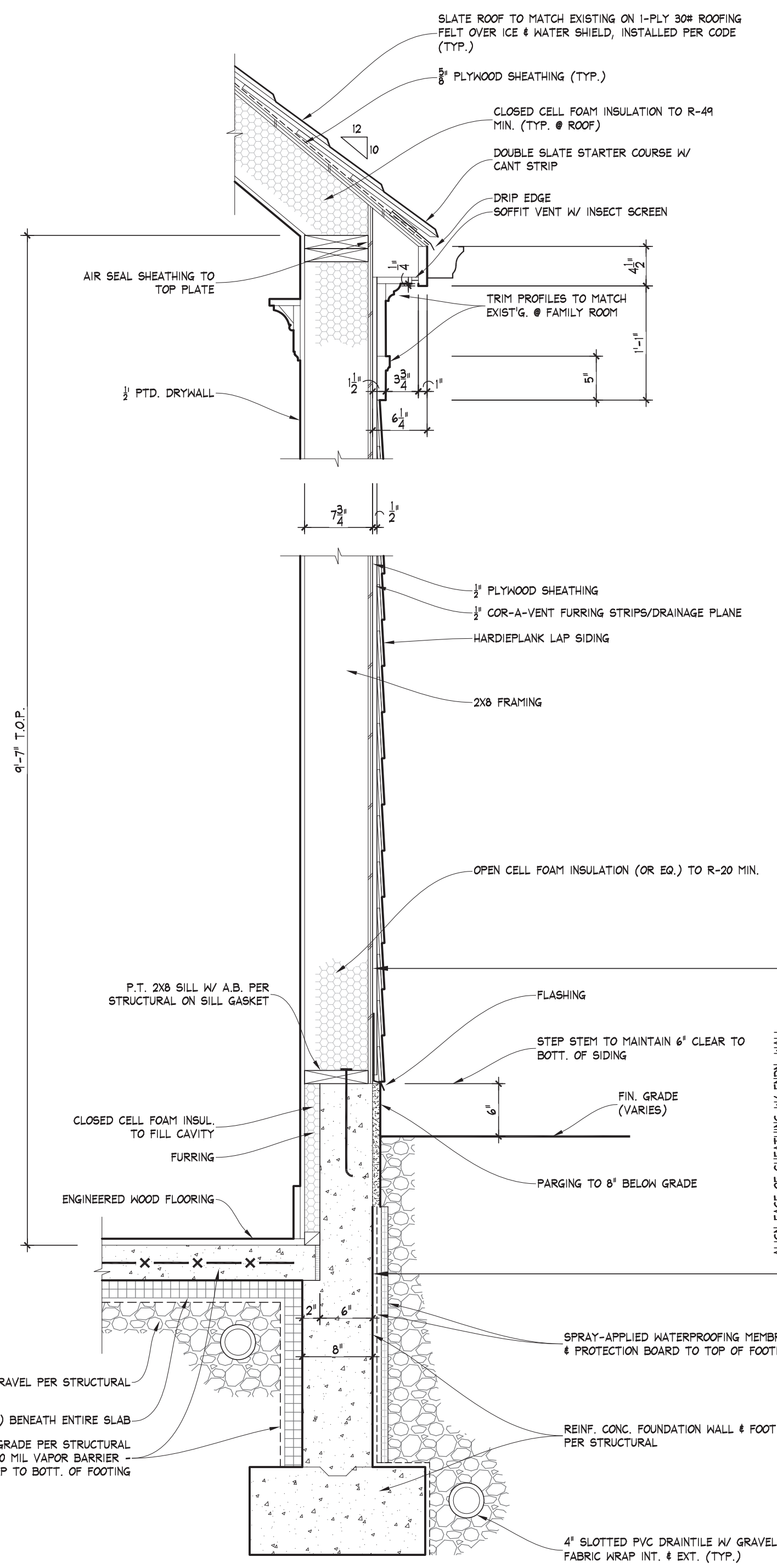
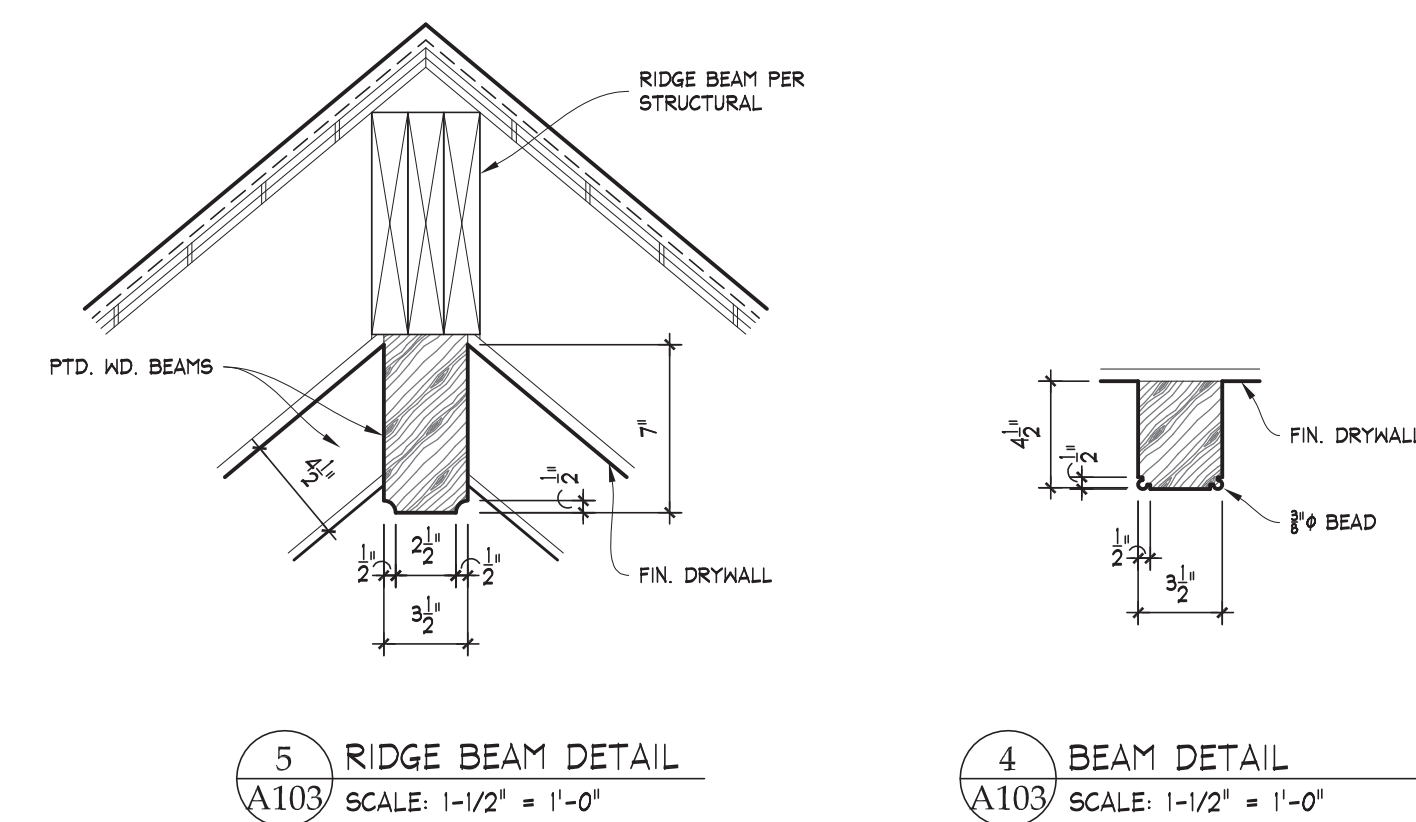
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Historic Preservation Commission  
*Sandra D. Hilder*

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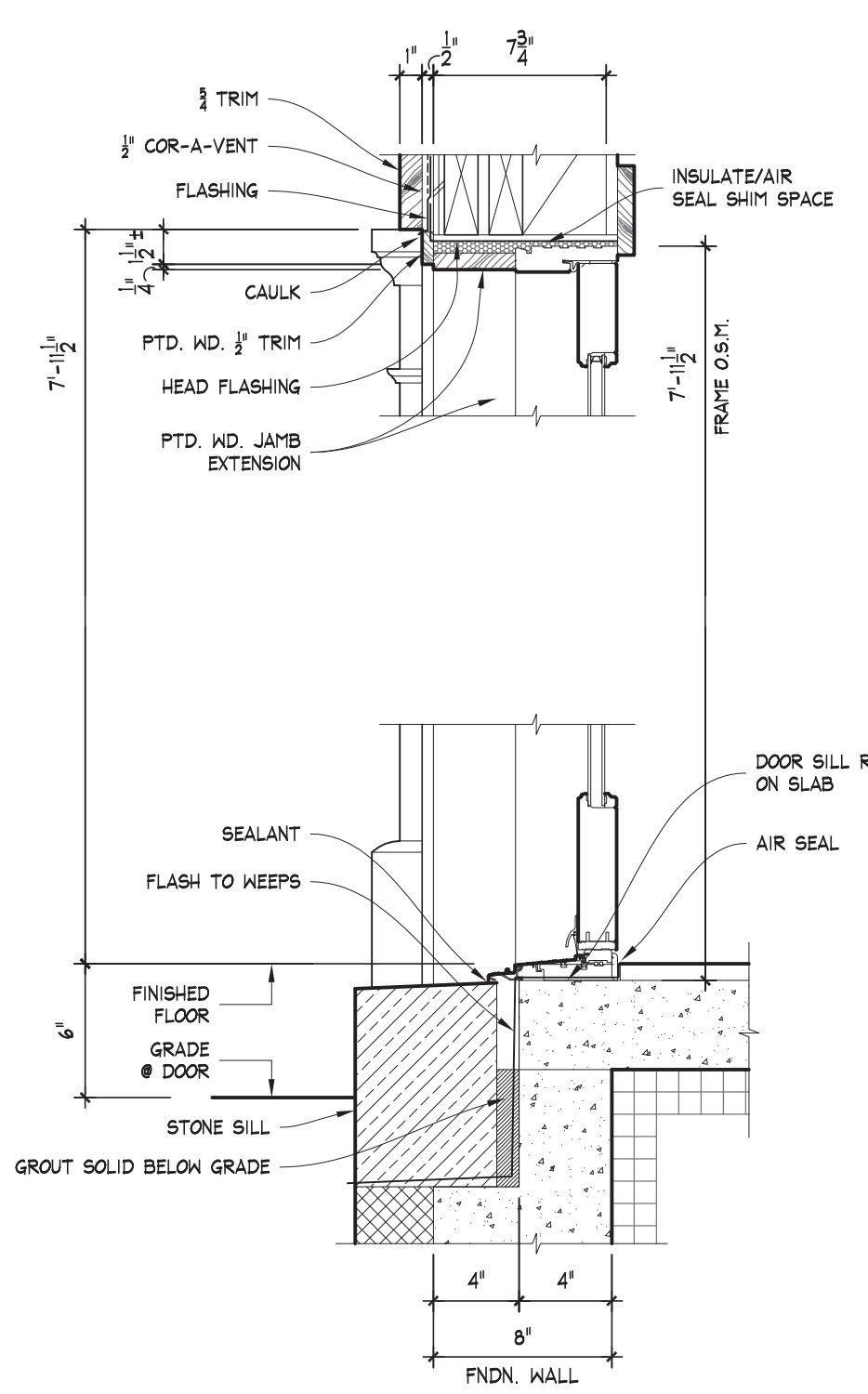


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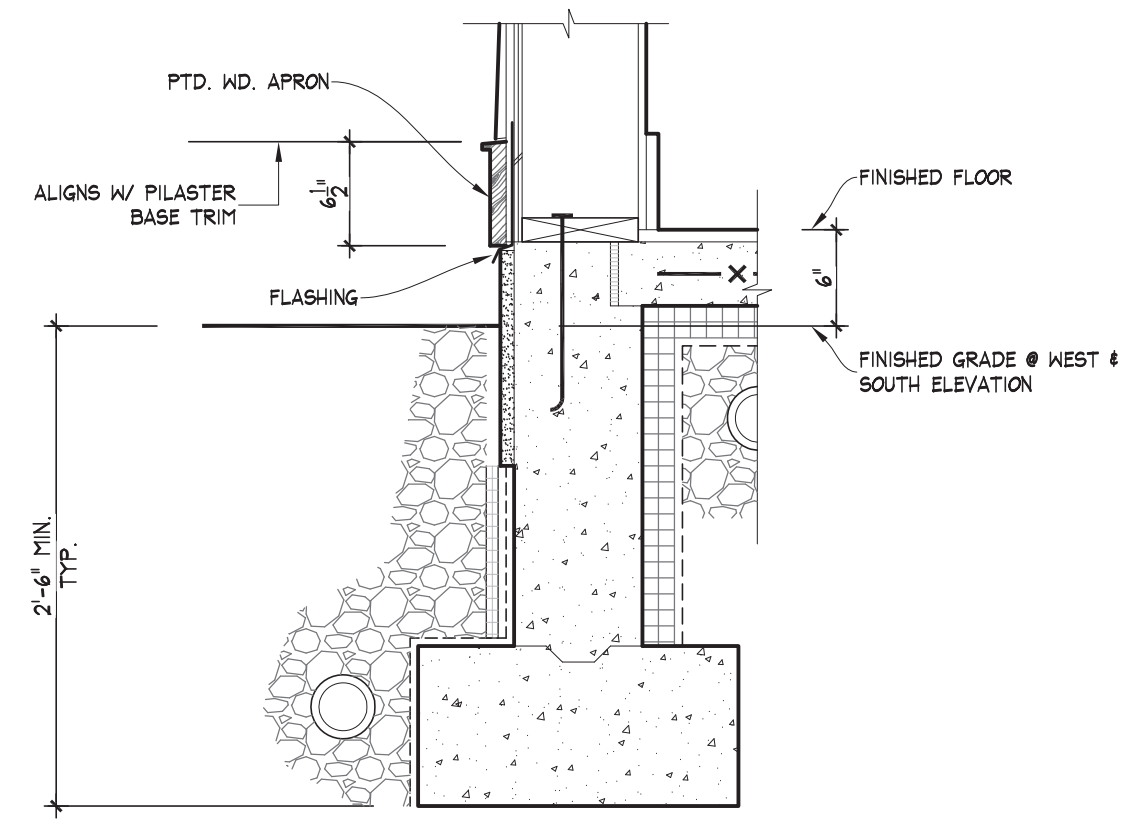


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APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra H. Hiler*



3 DOOR SECTION  
A103 SCALE: 1-1/2" = 1'-0"



2 FOUNDATION SECTION  
A103 SCALE: 1" = 1'-0"

1 WALL SECTION  
A103 SCALE: 1" = 1'-0"

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EXTERIOR DETAILS  
SCALE: AS NOTED

KLINE OUTBUILDING  
7 PRIMROSE STREET  
CHEVY CHASE, MD 20815

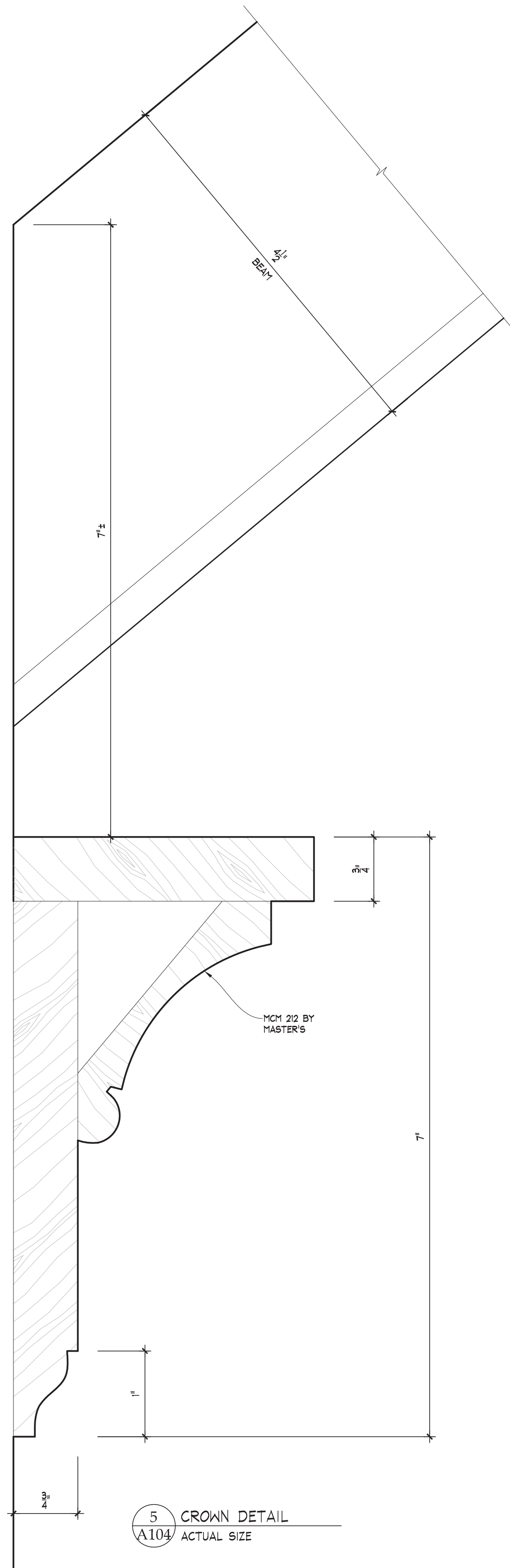
A103



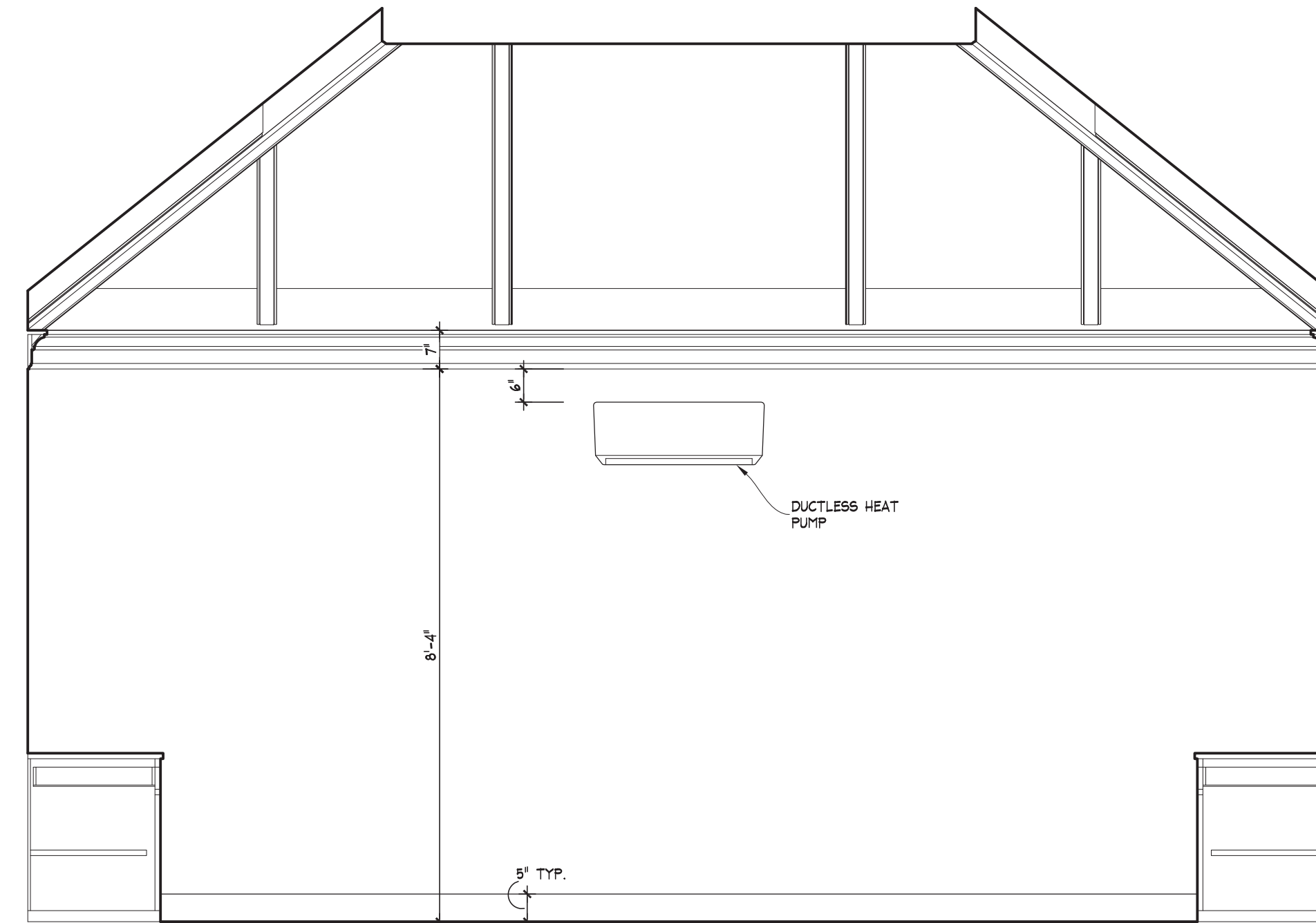
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*Linda S. Hilber*

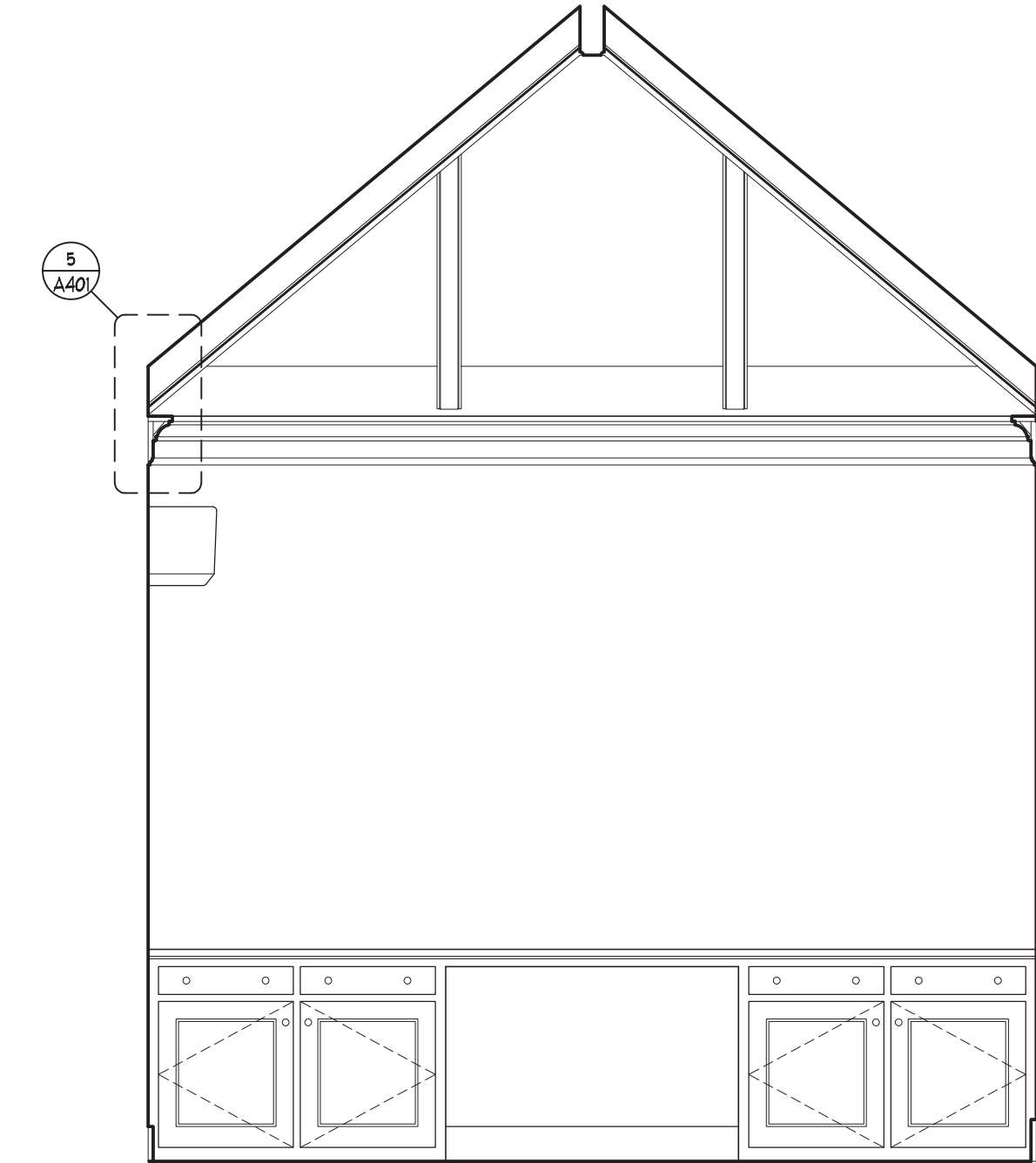
DATE:  
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5 CROWN DETAIL  
A104 ACTUAL SIZE



4 INTERIOR ELEVATION  
A104 SCALE: 1/2" = 1'-0"



3 INTERIOR ELEVATION  
A104 SCALE: 1/2" = 1'-0"



2 INTERIOR ELEVATION  
A104 SCALE: 1/2" = 1'-0"



1 INTERIOR ELEVATION  
A104 SCALE: 1/2" = 1'-0"

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INTERIORS  
SCALE: AS NOTED

KLINE OUTBUILDING  
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CHEVY CHASE, MD 20815

A104

STRUCTURAL NOTES

1 GENERAL

A. THE STRUCTURAL DESIGN IS IN ACCORDANCE WITH THE 2015 INTERNATIONAL RESIDENTIAL CODE. THE FOLLOWING LIVE LOADS WERE UTILIZED IN THE DESIGN:

SNOW LOAD (GROUND SNOW)	30 PSF
WIND LOAD	115 MPH (ULTIMATE) 90 MPH (SERVICE)
SEISMIC DESIGN CATEGORY	B
TERMITE HAZARD	MODERATE TO SEVERE
DAMAGE FROM WEATHERING	SEVERE

A MINIMUM OF 12 PSF DEAD LOAD WAS ADDED IN THE DESIGN.

2 EARTHWORK

A. SOIL BEARING VALUE AT THE BOTTOM OF ALL FOOTINGS IS ASSUMED TO BE 1500 PSF. THIS VALUE IS TO BE VERIFIED IN THE FIELD PRIOR TO POURING FOOTINGS BY A REGISTERED ENGINEER EXPERIENCED IN SOILS ENGINEERING OR BY A QUALIFIED INSPECTOR.

B. BOTTOM OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-6" BELOW FINISH EXTERIOR GRADE. WHERE REQUIRED, STEP FOOTINGS IN RATIO OF 2 HORIZONTAL TO 1 VERTICAL.

C. COMPACTED BACKFILL BELOW BUILDING SLABS (EXCEPT AT STRUCTURED SLAB AREAS) - ALL SOIL FILL MATERIAL MUST BE APPROVED BY SOILS ENGINEER PRIOR TO PLACEMENT. MATERIALS TO BE FREE FROM ORGANIC MATERIAL, TRASH, MUCK, CONCRETE, ASPHALT OR OTHER DELETERIOUS SUBSTANCES. PRIOR TO PLACING FILL, THE EXISTING SURFACE SHALL BE CLEARED OF ALL REFUSE OR ORGANIC MATERIALS. FILL MATERIAL SHALL BE PLACED IN LAYERS NOT TO EXCEED 8" AND COMPACTED TO MIN. 95% OF THE DRY MAX. DENSITY AS DETERMINED BY ASTM D698.

3 CONCRETE

A. ALL CONCRETE TO HAVE MINIMUM COMPRESSIVE STRENGTH (F'c) = 3000 PSI IN 28 DAYS. FLOOR SLABS SHALL HAVE A MINIMUM STRENGTH OF 3500 PSI. ALL CONCRETE TO BE POURED IN ACCORDANCE WITH ACI 301 SPECIFICATIONS. CONCRETE EXPOSED TO WEATHER TO BE AIR-ENTRAINED.

4 WOOD

A. ALL FRAMING LUMBER SHALL BE HEM-FIR, GRADE #2, OR SPRUCE-PINE-FIR, GRADE #1 / #2, OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2x12 MEMBERS):

- \_BENDING STRESS "Fb" = 850 PSI FOR SINGLE MEMBER USE
- \_HORIZONTAL SHEAR "Fv" = 135 PSI
- \_COMPRESSION PERPENDICULAR TO GRAIN "Fc" = 405 PSI
- \_COMPRESSION PARALLEL TO GRAIN "Fcl" = 1,150 PSI
- \_MODULUS OF ELASTICITY "E" = 1,300,000 PSI

NOTE: SPRUCE-PINE-FIR (SOUTH) IS NOT ACCEPTABLE. SPRUCE-PINE-FIR MUST BE GRADED BY NLGA.

B. ALL EXPOSED EXTERIOR FRAMING AND FRAMING IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE-TREATED WITH ALKALINE COPPER QUOT (ACQ) OR COPPER AZOLE (CBA-A AND CBA-B), NOT SODIUM BORATE (SBX). LUMBER OR STRUCTURAL POSTS SHALL BE SOUTHERN YELLOW PINE, GRADE #2 OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2X12 LUMBER WITH REDUCTIONS)

- \_BENDING STRESS "Fb" = 750 PSI FOR SINGLE MEMBER USE
- \_HORIZONTAL SHEAR "Fv" = 175 PSI
- \_COMPRESSION PERPENDICULAR TO GRAIN "Fc" = 565 PSI
- \_COMPRESSION PARALLEL TO GRAIN "Fcl" = 1,250 PSI
- \_MODULUS OF ELASTICITY "E" = 1,400,000 PSI

C. ALL WALL STUDS SHALL BE SPF STUD GRADE OR BETTER, HAVING THE FOLLOWING MINIMUM PROPERTIES (BASED ON 2x6 MEMBERS):

- COMPRESSION PARALLEL TO GRAIN "Fcl" = 725 PSI
- BENDING STRESS "Fb" = 675 PSI FOR SINGLE USE MEMBERS
- MODULUS OF ELASTICITY "E" = 1,200,000 PSI

D. UNLESS NOTED OTHERWISE, FASTENING FOR STRUCTURAL MEMBERS SHALL FOLLOW INTERNATIONAL RESIDENTIAL CODE REQUIREMENTS.

E. PREFABRICATED JOIST HANGERS, BEAM HANGERS, POST CAPS AND POST BASES SHALL BE SIZED AND ATTACHED PER MANUFACTURER'S RECOMMENDATION. FASTENERS AND CONNECTORS UTILIZED WITH PRESSURE-TREATED MEMBERS SHALL MEET G185 HOT-DIPPED GALVANIZING.

F. ANCHOR BOLTS CONNECTING PRESSURE-TREATED WOOD PLATES TO MASONRY OR CONCRETE SHALL BE HOT-DIPPED GALVANIZED OR STAINLESS STEEL.

G. ALL HEADERS SHALL HAVE A MINIMUM OF TWO STUDS AT EACH END UNLESS NOTED. BUILT-UP STUD COLUMNS SHALL HAVE ONE JACK STUD AND THE REMAINING STUDS SHALL BE KING STUDS. MULTIPLE STUDS SHALL BE NAILED WITH 12d NAILS AT 8" O.C. PROVIDE SOLID BLOCKING OR CRIPPLE STUDS IN FLOOR SYSTEM AT ALL POINT LOADS ABOVE.

H. ALL STUD BEARING WALLS TO BE PROVIDED WITH 2 CONTINUOUS TOP PLATES AND 1 CONTINUOUS BOTTOM PLATE WITH A MINIMUM OF ONE ROW OF HORIZONTAL BRIDGING AT MID HEIGHT OF WALL UNLESS NOTED OTHERWISE. SPLICES OF TOP PLATE SHALL OCCUR OVER STUD. SPLICES SHALL BE STAGGERED A MINIMUM OF FOUR FEET.

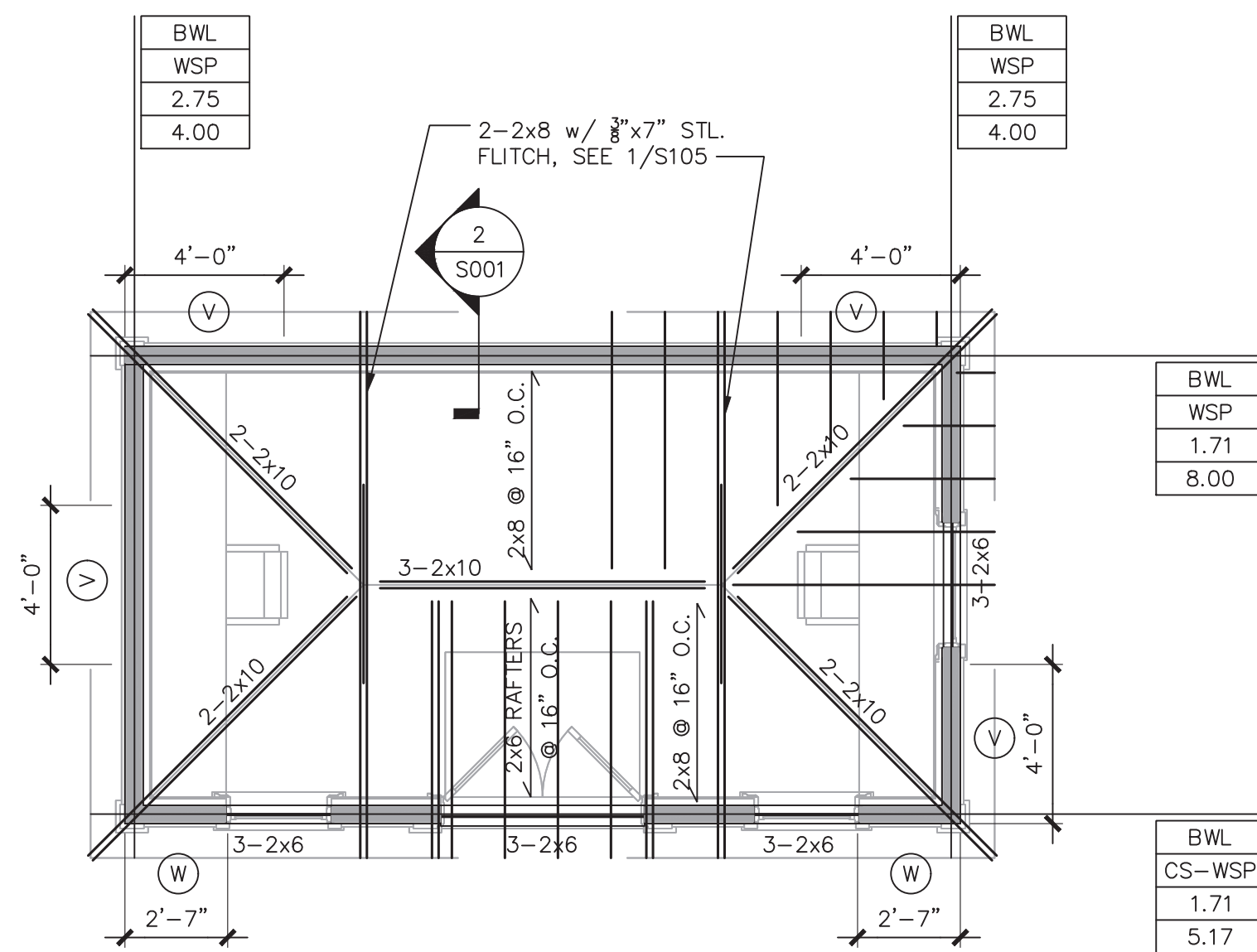
I. ALL ROOF RAFTERS SHALL BE CONNECTED AT EACH BEARING POINT WITH ONE PREFABRICATED GALVANIZED METAL CONNECTOR. EACH ANCHOR SHALL BE 18 GAGE MINIMUM THICK AND SHALL BE ATTACHED TO HAVE A CAPACITY TO RESIST A 450# UPLIFT LOADING UNLESS SHOWN OTHERWISE ON DRAWINGS.

5 SHEATHING

A. EXTERIOR WALL SHEATHING SHALL BE 7/16 (1/2) INCH THICK APA RATED WOOD STRUCTURAL PANELS. FASTEN PANELS TO STUDS WITH 8d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND AT 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. PANEL EDGES NEED NOT BE BLOCKED UNLESS NOTED OTHERWISE.

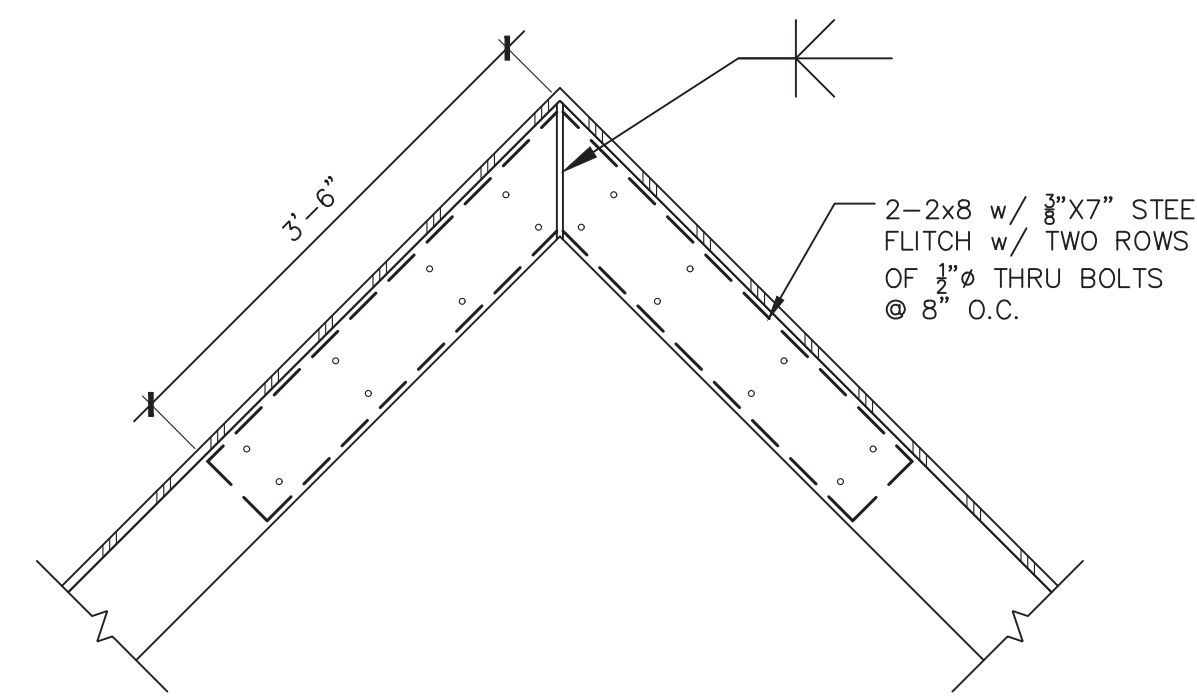
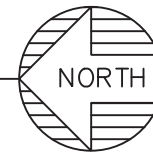
B. ROOF SHEATHING SHALL BE 19/32 (5/8) INCH APA RATED WOOD PANELS WITH SPAN RATING OF 24/0 OR BETTER. FASTEN PANELS TO FRAMING WITH 10d NAILS AT 6 INCHES ON CENTER AT PANEL EDGES AND 12 INCHES ON CENTER AT INTERMEDIATE SUPPORTS. ORIENT LONG DIMENSION OF PANELS ACROSS THREE OR MORE SUPPORTS. EDGES NEED NOT BE BLOCKED, UNLESS OTHERWISE NOTED.

**WARNING:** THE STRUCTURAL INTEGRITY OF THE BUILDING SHOWN ON THESE PLANS IS DEPENDENT UPON COMPLETION ACCORDING TO PLANS AND SPECIFICATIONS. STRUCTURAL MEMBERS ARE NOT SELF-BRACING UNTIL PERMANENTLY AFFIXED TO THE STRUCTURE AS DIRECTED. THE STRUCTURAL ENGINEERS ASSUME NO LIABILITY FOR THE STRUCTURE DURING CONSTRUCTION UNLESS THE CONSTRUCTION METHOD AND BRACING ARE INCLUDED IN THE PLANS AND SPECIFICATIONS OR ARE SUPERVISED BY THE STRUCTURAL ENGINEERS DURING CONSTRUCTION.



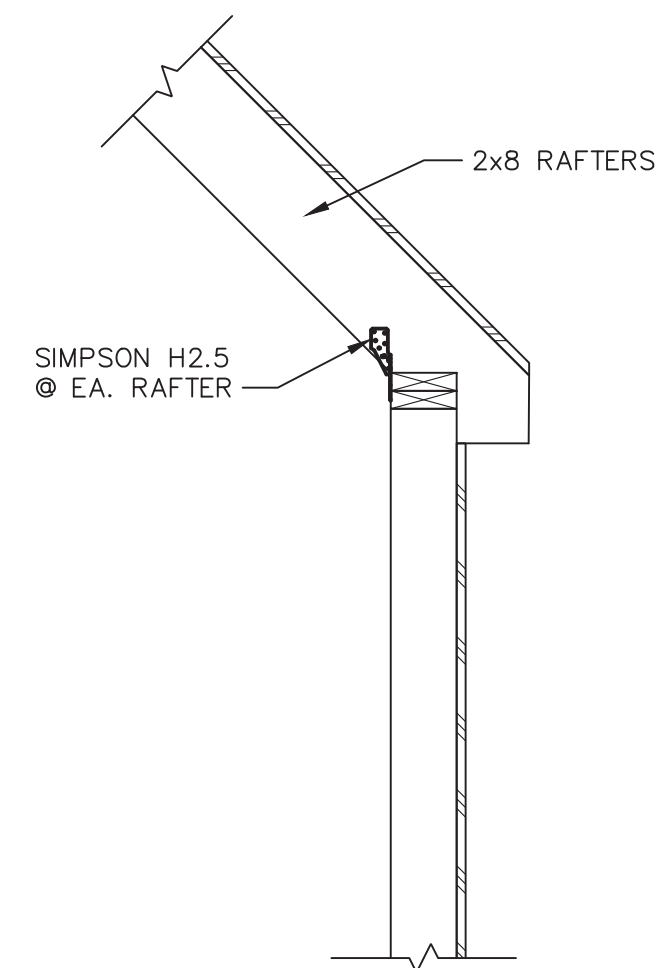
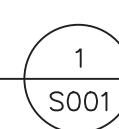
ROOF FRAMING PLAN

SCALE: 1/4" = 1'-0"



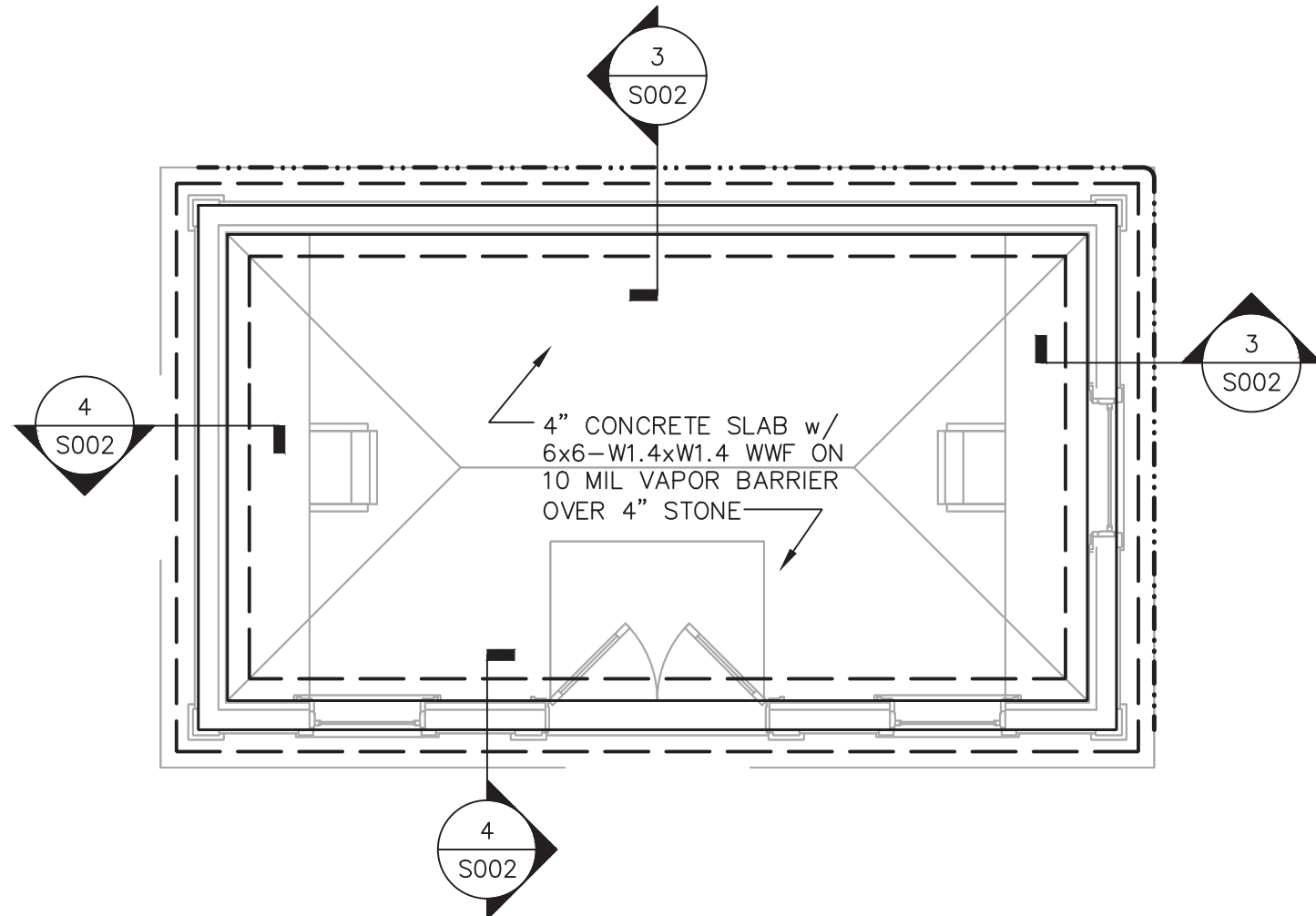
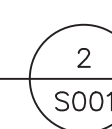
SECTION 1

SCALE: 3/4" = 1'-0"



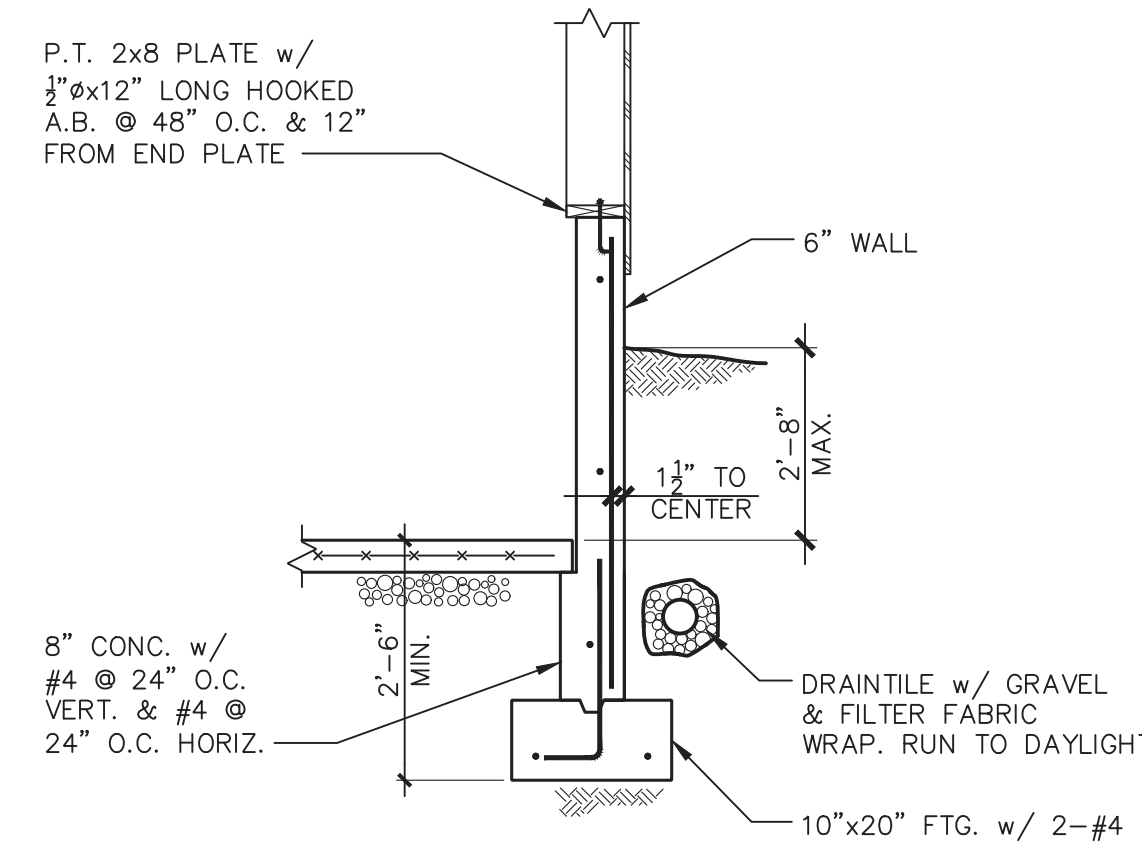
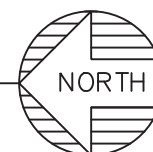
SECTION 2

SCALE: 3/4" = 1'-0"



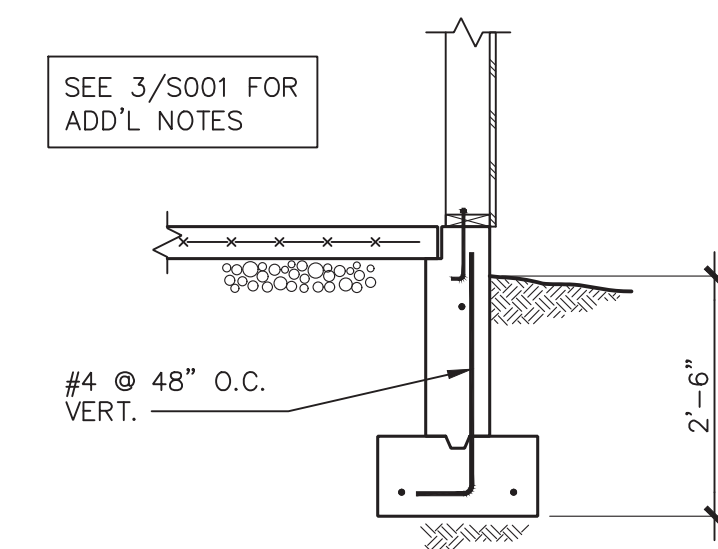
FOUNDATION PLAN

SCALE: 1/4" = 1'-0"



SECTION 3

SCALE: 1/2" = 1'-0"



SECTION 4

SCALE: 1/2" = 1'-0"



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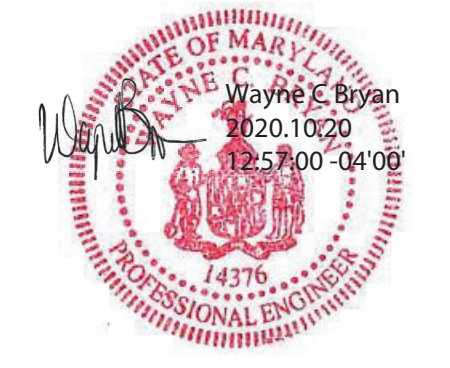
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7 PRIMROSE STREET  
CHEVY CHASE, MD 20815

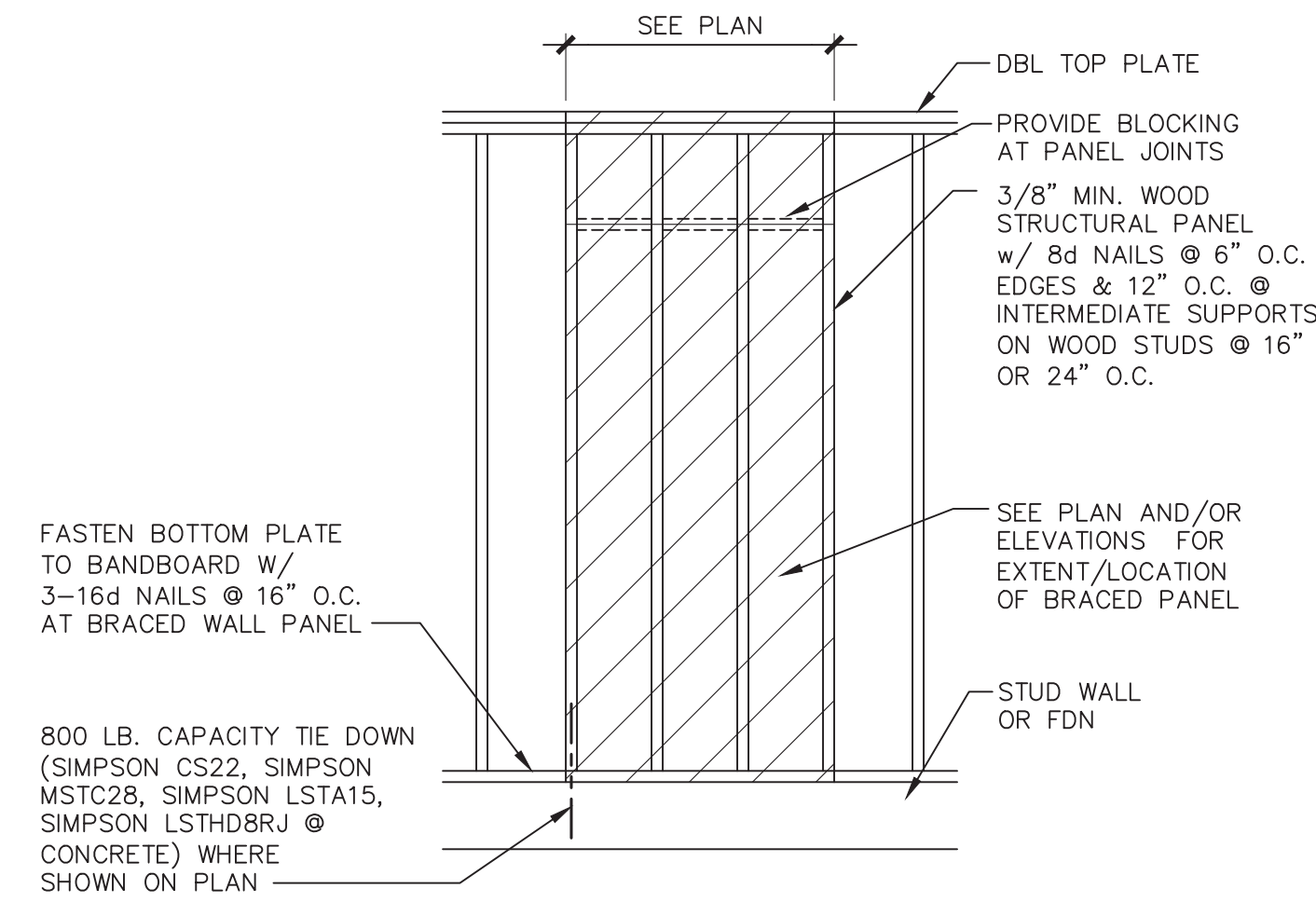


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Professional Certification. I, Wayne C. Bryan, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of State of Maryland, License no. 14376, Expiration Date: 04/06/21.

**S001**

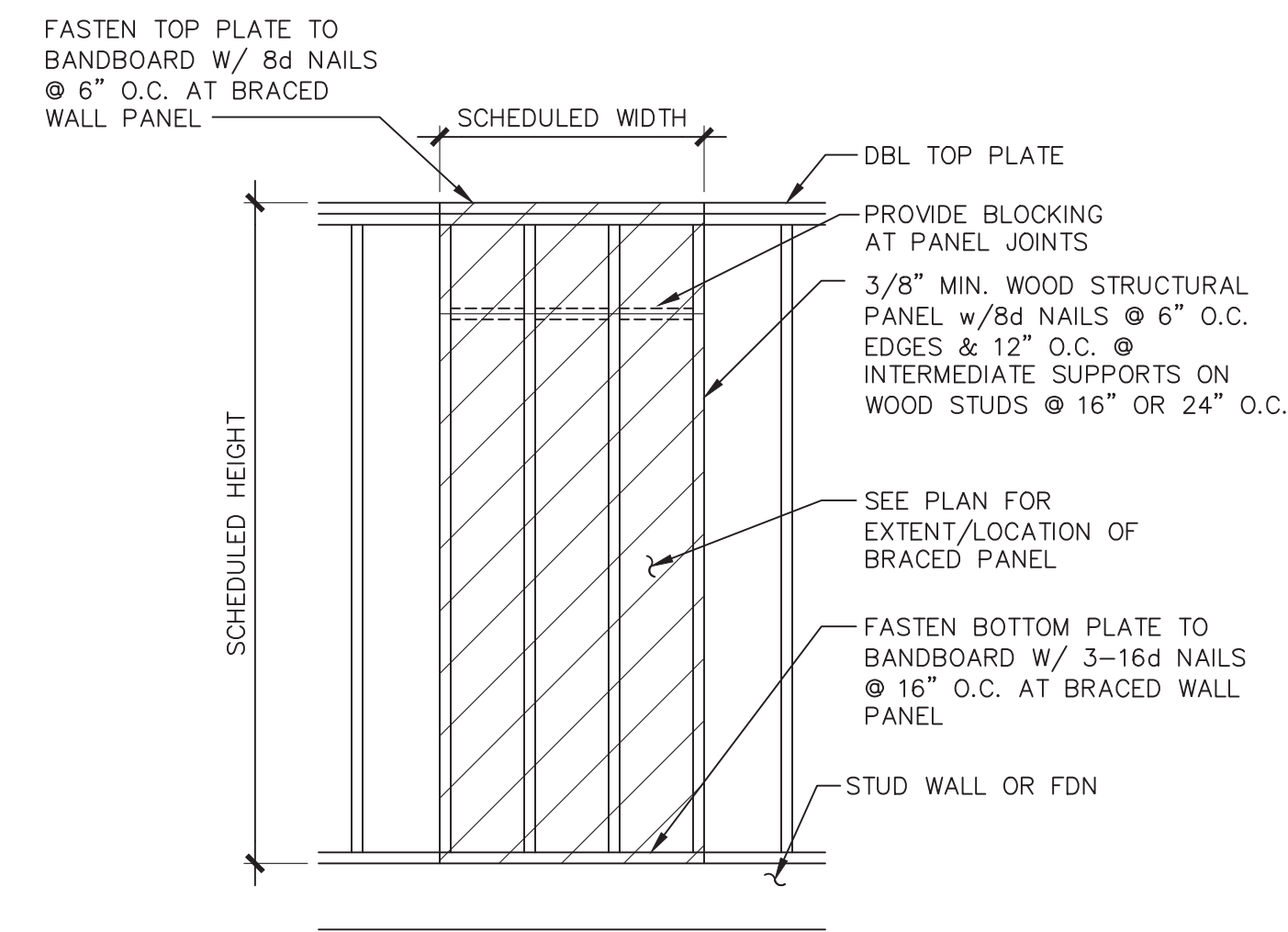




EXTERIOR BRACED WALL PANEL ELEVATION (CS-WSP)

NOTE: SEE DETAIL (R) AND (S) FOR ROOF CONDITION  
NOTE: SEE DETAIL (T) FOR CORNER CONDITION

DETAIL (W)  
SCALE:



BRACED WALL PANEL ELEVATION (WSP)

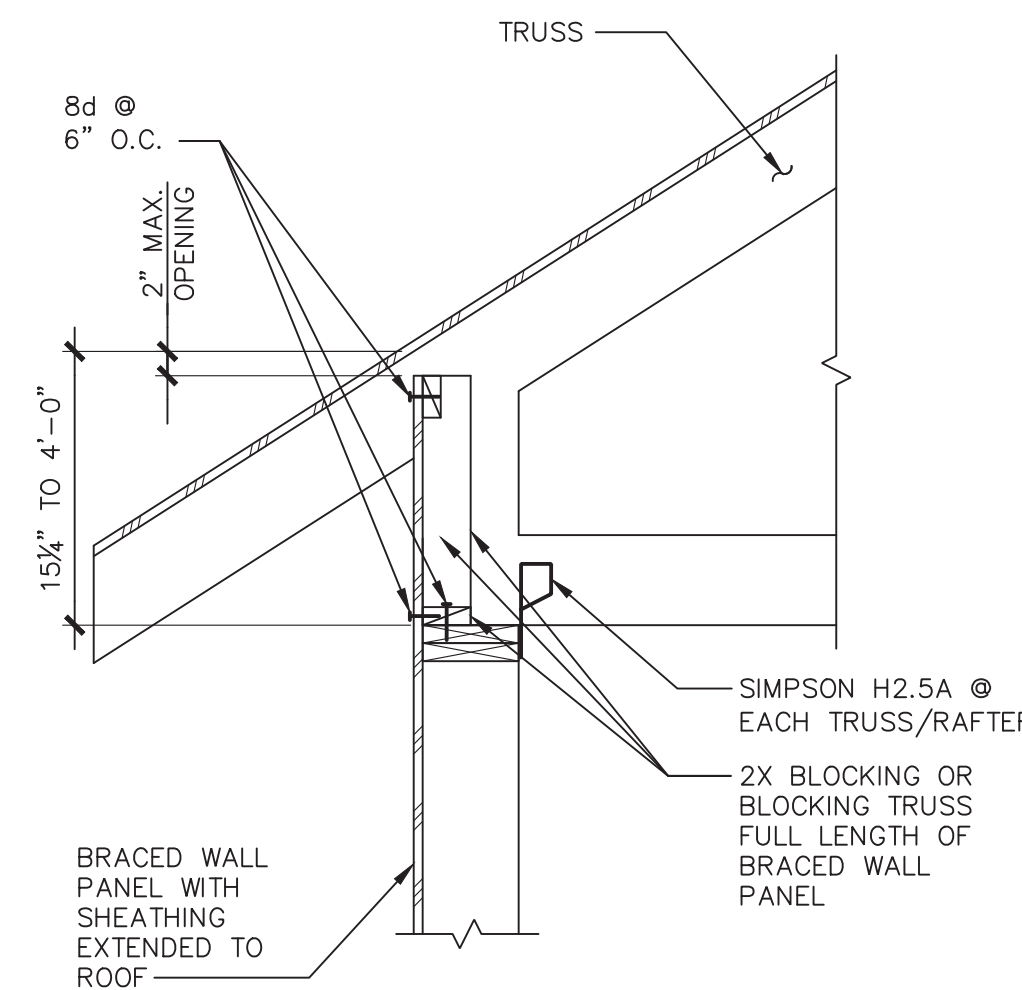
NOTES: SEE DETAIL (R) AND (S) FOR ROOF CONDITION

MIN. PANEL WIDTHS	
HEIGHT	WIDTH
<10'	4'-0"
11'	4'-5"
12'	4'-10"

DETAIL (V)  
SCALE:

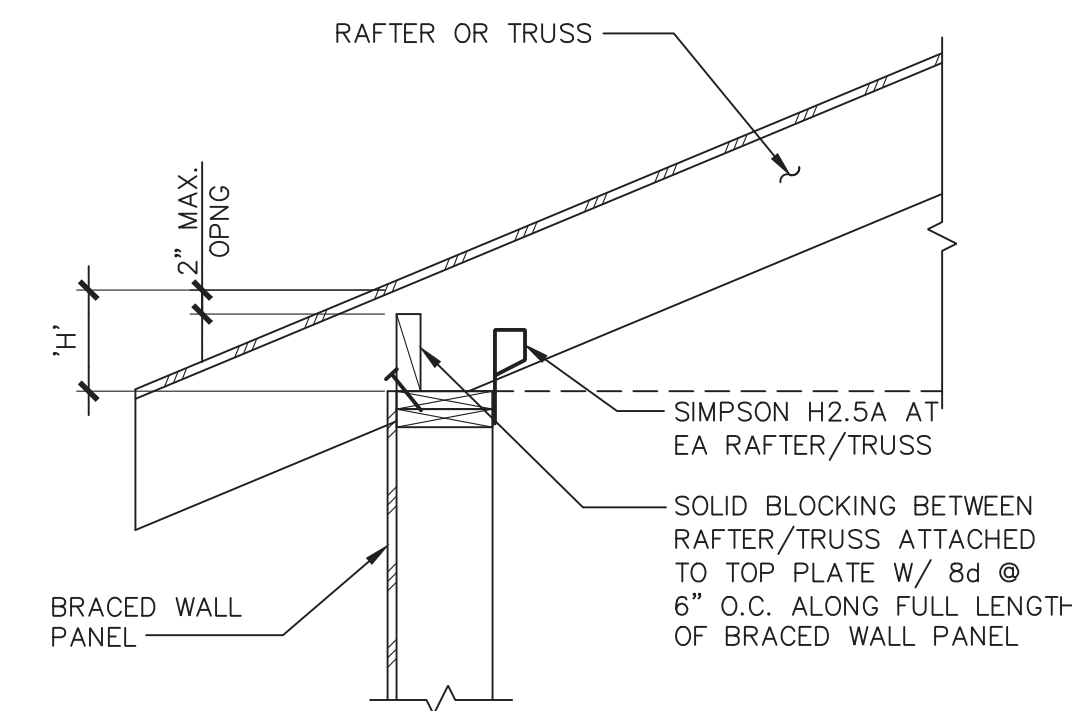
BRACED WALL METHOD		
DETAIL	ABBREVIATION	BRACED WALL METHOD
(U)	ENGR.	ENGINEERED
(V)	WSP	WOOD STRUCTURAL PANEL
(W)	CS-WSP	CONTINUOUSLY SHEATHED WOOD STRUCTURAL PANEL
(X)	CS-PF	CONTINUOUSLY SHEATHED PORTAL FRAME
(Y)	GB	GYPSUM BOARD PANEL (DOUBLE SIDED UNLESS NOTED OTHERWISE)

BWL #1	BRACED WALL LINE NUMBER
WSP	BRACING METHOD
11.47'	BRACED WALL LENGTH REQUIRED
12'	BRACED WALL LENGTH PROVIDED



RAFTER/TRUSS @ BRACED WALL PANEL > 15 1/4"

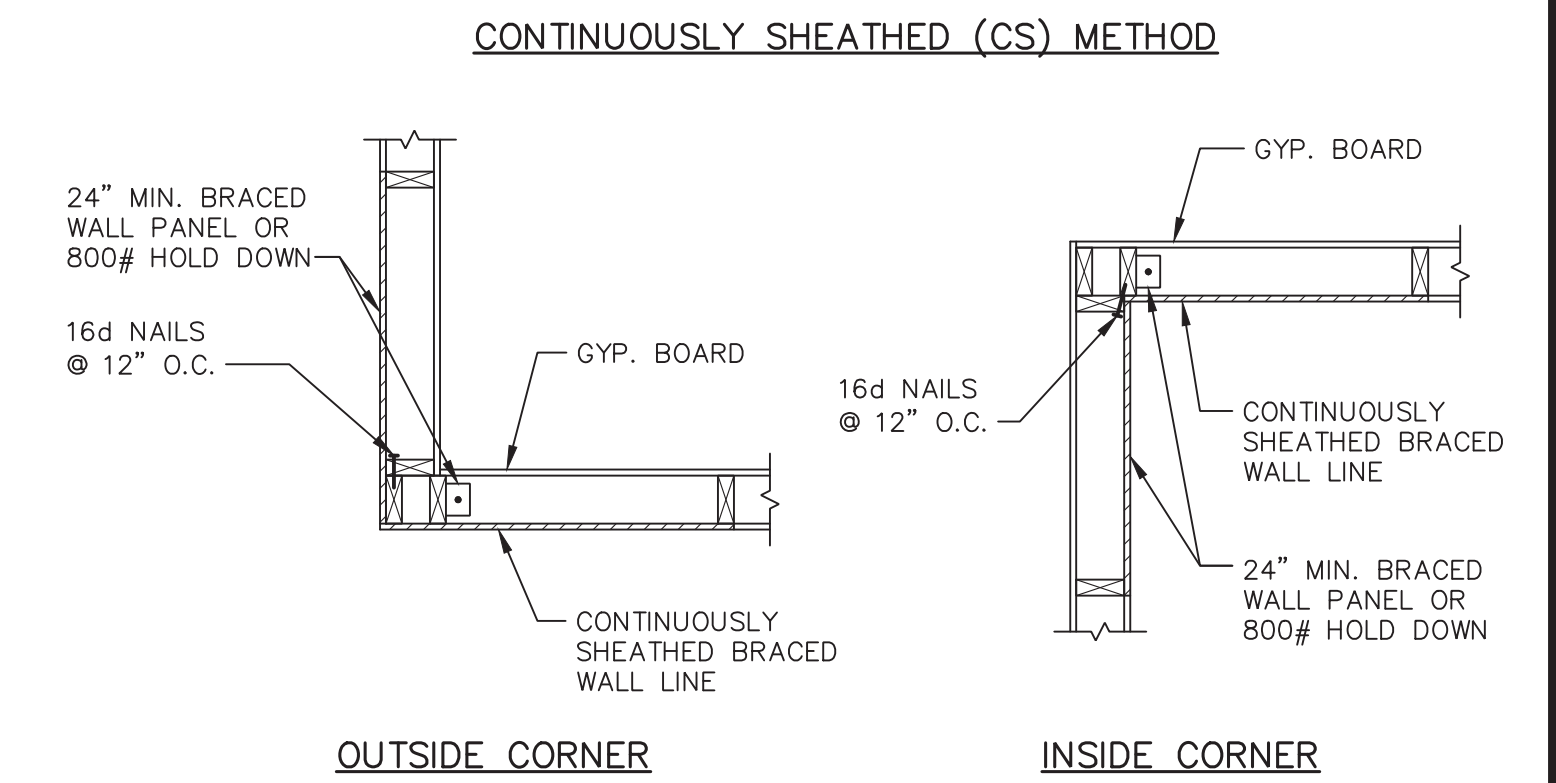
DETAIL (R)  
SCALE:



RAFTER/TRUSS @ BRACED WALL PANEL < 15 1/4"

'h' < 9 1/4" - NO BLOCKING REQUIRED  
9 1/4" < 'h' < 15 1/4" - SOLID BLOCKING AS SHOWN  
15 1/4" < 'h' < 4'-0" - SEE DETAIL (R)

DETAIL (S)  
SCALE:



OUTSIDE CORNER INSIDE CORNER

TYPICAL CORNER DETAILS

DETAIL (T)  
SCALE:

**REVIEWED**  
By Michael Kyne at 3:44 am, Nov 16, 2020

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra L. Hiller*



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