



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: November 24, 2020

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #927335: New deck construction

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the October 14, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Nancy Rosenthal (Richard Vitullo, Architect)
Address: 7136 Carroll Avenue, Takoma Park

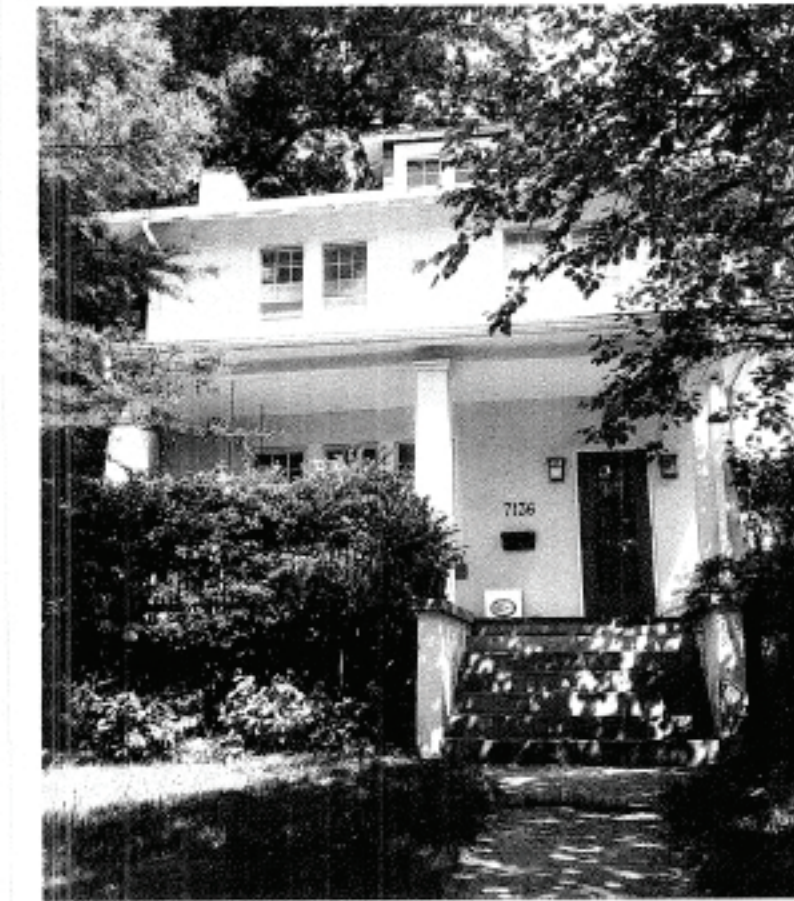
This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



Rear Wood Deck Replacement & Front Porch Renovation for:
Martin-Rosenthal Residence
 7136 Carroll Ave.
 Takoma Park, MD 20912

REVIEWED
 By Michael Kyne at 12:54 pm, Nov 24, 2020

APPROVED
 Montgomery County
 Historic Preservation Commission
Sandra L. Heiler



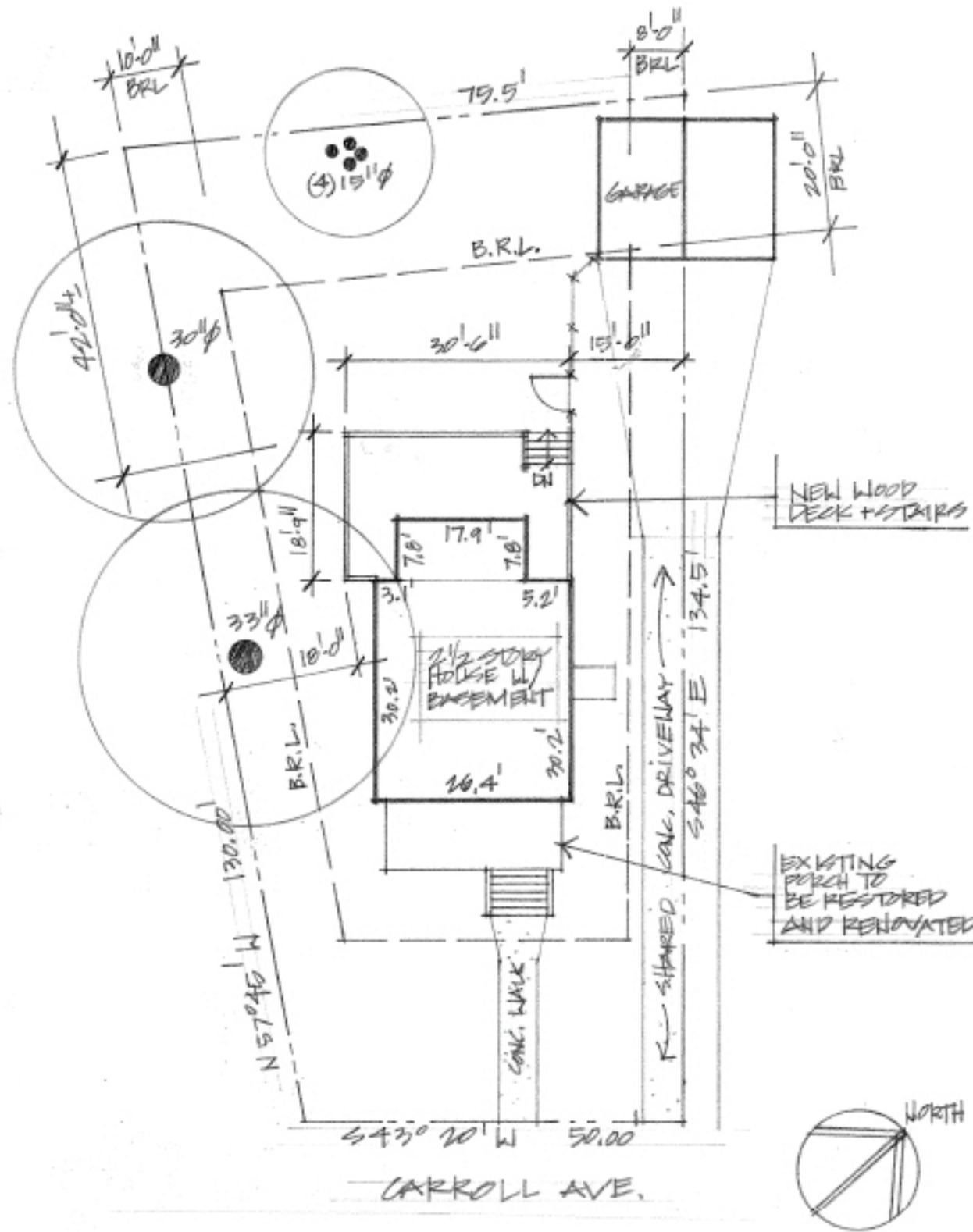
Professional Certificate:
 I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
 License #: 8221-R, Exp. Date: 7/22/2022

Vitullo Architecture Studio, PC
 7016 Woodland Ave.
 Takoma Park, MD 20912
 (301)806-6447 cell

Martin-Rosenthal Residence
 7136 Carroll Ave.
 Takoma Park, MD 20912

COVER

11.17.20



Site Plan

1" = 20'-0"

House/Site Information:

Lot: 12 Block: 2
 Subdivision: Hillcrest
 Address: 7136 Carroll Ave., Takoma Park, MD 20912
 Year built: 1919
 Zoning: R-60

Project Information:

Outstanding Resource House in the Takoma Park Historic District (HAWP approved: 10/14/2020).
 Construct new wood deck to replace existing wood deck at rear. Repair, restore and renovate wood/masonry porch at front; replace roof, and repair house stucco/masonry. Repair wood shed roof at rear.

Residential Code Information:

All construction shall be in conformance with the International Residential Code (IRC), 2018 Edition, as Amended by Mont. Co. Reg. 31-19, adopted 5/20/2020.

AREA CALCULATIONS

EXISTING:

Lot Area: 8210 s.f.
 Lot Coverage/Building Area (House, Porch, Garage, Deck): 1816 s.f.
 % of Lot Coverage: 22%

PROPOSED:

Lot Coverage/Building Area (net gain of new Deck size): 71 s.f.
 Total Lot Coverage: 1887 s.f.
 % of Lot Coverage: 23%

GENERAL DEMOLITION NOTES:

- For removal of any lead paint, asbestos tile, etc., a certified asbestos or lead abatement professional must be used.
- Remove existing wall and/or floor construction as noted on plans as necessary to implement new layout; if walls are bearing walls, use temporary supports to re-direct loads until new bearing elements are constructed.
- Dispose of all discarded material in a safe and clean manner.
- Protect all surfaces during demolition (and construction) from unnecessary damage.

GENERAL CONSTRUCTION NOTES:

- These drawings are to show only materials and layout of the design; means and methods are to be determined by contractor. The contractor shall fully acquaint him/herself with the conditions relating to construction and labor so that he/she understands the issues relating to the execution of the work.
- Contractor shall provide all materials, labor and equipment and pay all freight charges, taxes, and handling of materials necessary for the full implementation of the work herein described on these drawings unless noted otherwise.
- Contractor to verify all dimensions and assumed conditions in the field; bring any discrepancies, omissions, ambiguities or conflicts to the attention of the architect and owner as soon as possible before proceeding with any of this work in question.
- Contractor to notify architect if any existing pipes, ducts, or structural elements (or any other relevant item) that are revealed by demolition and are scheduled to be removed or re-routed for the new plan are determined to be not easily moved, or removed.
- Contractor to notify architect and/or structural engineer if any existing wood joists, sheathing, studs, etc. are damaged or deteriorated from termites, water, etc.
- All construction will meet or exceed all applicable building and health codes, unless a code modification approval is granted.
- The owner's written authorization will be required before any work is executed or materials ordered that involve a change from the original specifications affecting the contract price.
- All plan dimensions on drawings are set to edge of framing members; all finishes are not taken into account unless otherwise noted. If dimension is taken to a finish surface, it shall be noted as "FINISH DIMENSION", "FIN. DIM.", or "CLEAR DIM."
- Solid blocking required under posts or any bearing from above to solid bearing below; match bearing area of post above to bearing below; cut bearing blocks to minimum 1/16" deeper than joists.
- Install solid blocking in walls for receipt of plumbing fixtures, accessories (towel bars, toilet paper holders, etc.), hardware, cabinets, etc., as necessary; verify rough-in dimensions for plumbing fixtures prior to framing of posts, studs, beams and joists.
- All wood in contact with masonry/concrete surfaces shall be pressure-treated; install sill gasket underneath all sill plates.
- If house-wrap and/or building paper is used, apply and lap in a shingle-fashion so that upper courses lap over lower courses; any window and door flashing is integrated into this system in the same manner. Apply Z-flashing at all heads and apply pan flashing at all sills.
- All new or existing wall surfaces are to be prepared for painting to be smooth and free of cracks, peeling paint, etc.; walls to be primed and painted (2 coats, min.) with color to be selected by owner.
- Any new flooring material (tile, etc.) to be selected by owner, installed by contractor. Make surface smooth and flat for receipt of new flooring.
- All electrical outlets at exterior to be ground fault circuit interrupters (GFCI).

Sheet No. Sheet Title

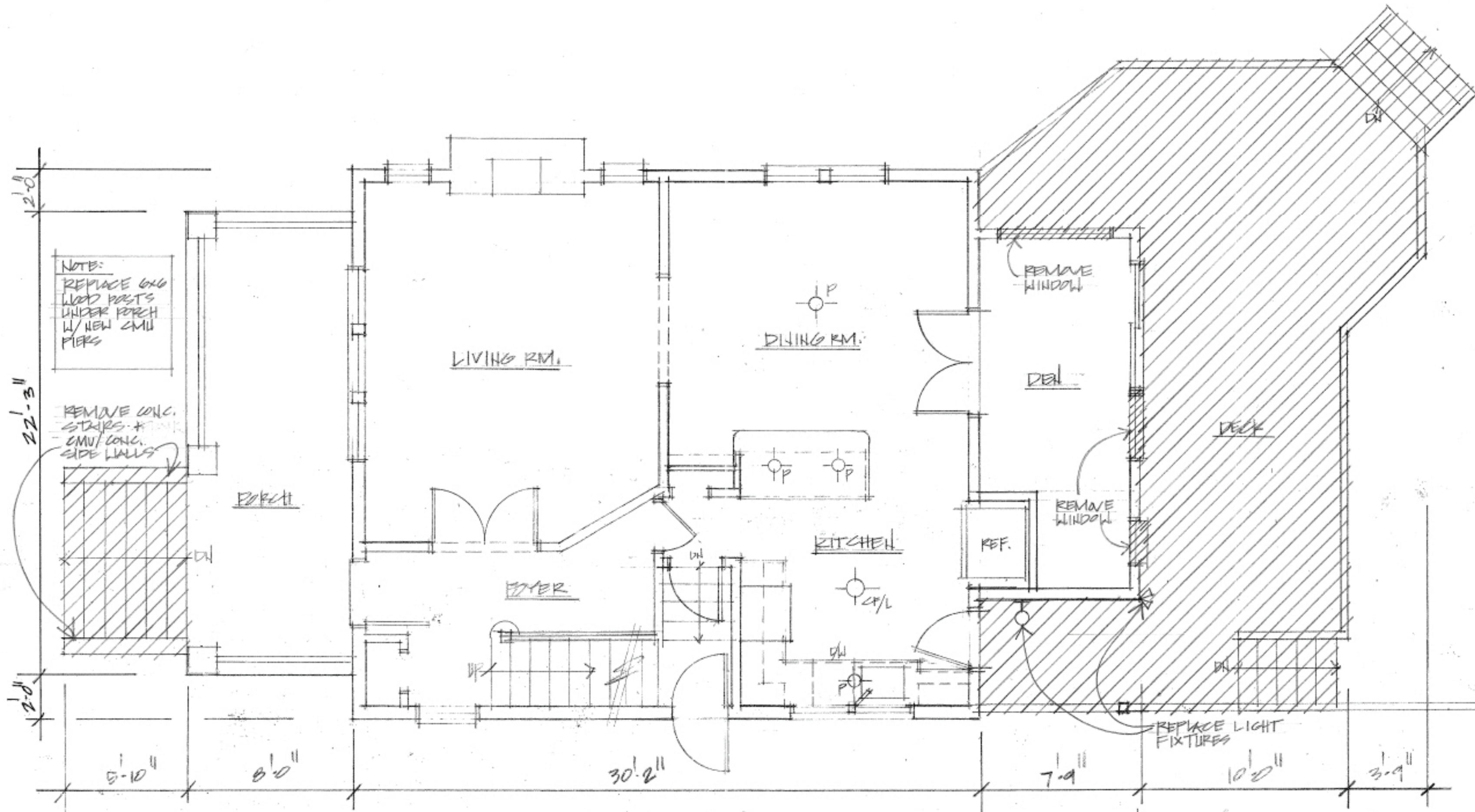
Sheet No.	Sheet Title
Cover	Site Plan/Project Description /General Notes
D-1	1 st Floor Demolition Plans (1/4"=1'-0")/ Demolition Notes
A-1	First Floor Plan (1/4"=1'-0") Electrical & Lighting Legend
A-2	Exterior Elevations (1/4"=1'-0") Stair Sidewall Section (3/4"=1'-0")
A-3	Exterior Elevations (1/4"=1'-0") Wood railing Detail (1"=1'-0")
S-1	Front Porch/1 st Floor Framing Plan (1/4"=1'-0") Front Porch Foundation Plan (1/4"=1'-0") Front Concrete Stair Section (3/4"=1'-0") Rear Wood Deck Found. Plan (1/4"=1'-0") Rear Wood Deck/ 1 st Floor Framing Plan (1/4"=1'-0") Rear Shed Roof Framing Plan (1/4"=1'-0")

REVIEWED

By Michael Kyne at 12:54 pm, Nov 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission

Sandra A. Heiler



NOTE:
REPLACE EXISTING
WOOD POSTS
UNDER PORCH
W/ NEW CMU
PIERS

REMOVE CONC.
STAIRS +
CMU CONC.
SIDE WALLS

REPLACE LIGHT
FIXTURES

EXISTING TO REMAIN
TO BE DEMOLISHED

FIRST FLOOR DEMOLITION PLAN
1/4" = 1'-0"



Professional Certification:
I certify that these documents were prepared or
approved by me, and that I am a duly licensed
architect under the laws of the State of Maryland.
License #: 8221-R, Exp. Date: 7/22/2022

Vitullo Architecture Studio, PC
7016 Woodland Ave.
Takoma Park, MD 20912
(301)806-6447 cell

Martin-Rosenthal Residence
7136 Carroll Ave.
Takoma Park, MD 20912

D-1

11.17.20

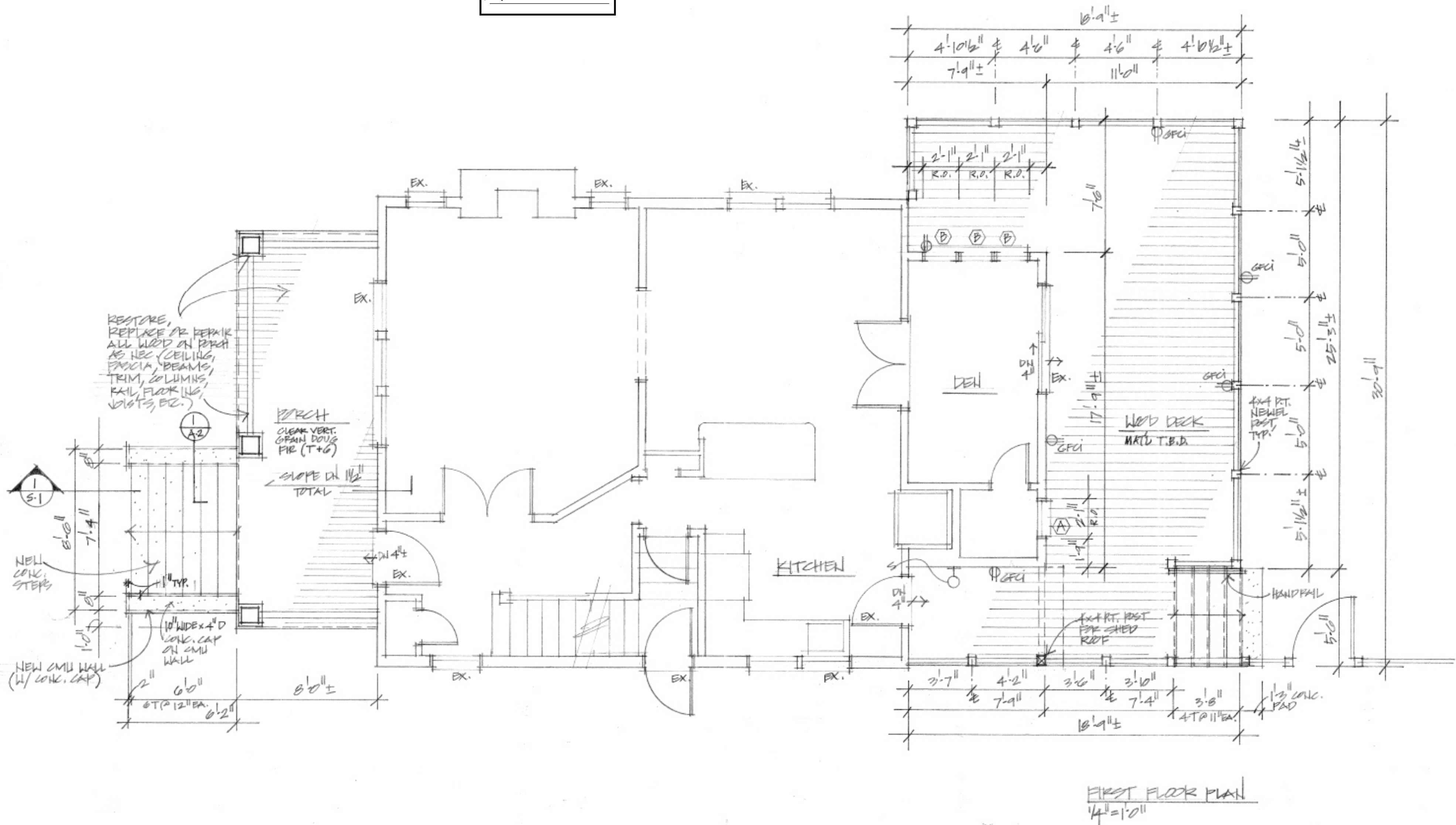
REVIEWED

By Michael Kyne at 12:54 pm, Nov 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra L. Hilker

ELECTRICAL & LIGHTING LEGEND

- "E" Indicates existing unit (light or outlet)
(all outlets to be made code-compliant)
- ⊕ Duplex Outlet/new
- ⊕ A/C Duplex Outlet/new/above counter
- ⊕ GFCI Duplex Outlet/new/GFCI
(all outlets in kitchens, baths, and exterior are to be GFCI)
- ⊕ AFCI Duplex Outlet/new/AFCI
(All-Fault Circuit Interrupter outlets for all but in Kitchen)
- ⊕ Double Duplex Outlet
- ⊕ F Duplex Floor Outlet
- ⊕ 240 240v Outlet
- ⊕ EF Exhaust Fan
- ⊕ EF/H Exhaust Fan/Heat
- ⊕ EF/H/L Exhaust Fan/Heat/Light
- ⊕ CF Ceiling Fan
- ⊕ CF/L Ceiling Fan/Light
- ⊕ PL Pendant Light Fixture
- ⊕ RL Recessed Light Fixture
- ⊕ RL/EX Recessed Light Fixture/Existing
- ⊕ RL/EY Recessed Light Fixture/Eyeball
- ⊕ SM Surface Mounted Light Fixture
- ⊕ WM Wall Mounted Light Fixture/Sconce
- ⊕ WP Light Fixture /Waterproof
- ⊕ DL Dual Flood Light
- ⊕ DSL Data/Telephone Jack
- ⊕ TV Coaxial/Cable TV
- ⊕ SP Audio Speaker
- S Switch
- S D Switch/Dimmer
- S 3 Three-way Switch



Professional Certification:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
License #: 8221-R, Exp. Date: 7/22/2022

Vitullo Architecture Studio, PC
7016 Woodland Ave.
Takoma Park, MD 20912
(301)806-6447 cell

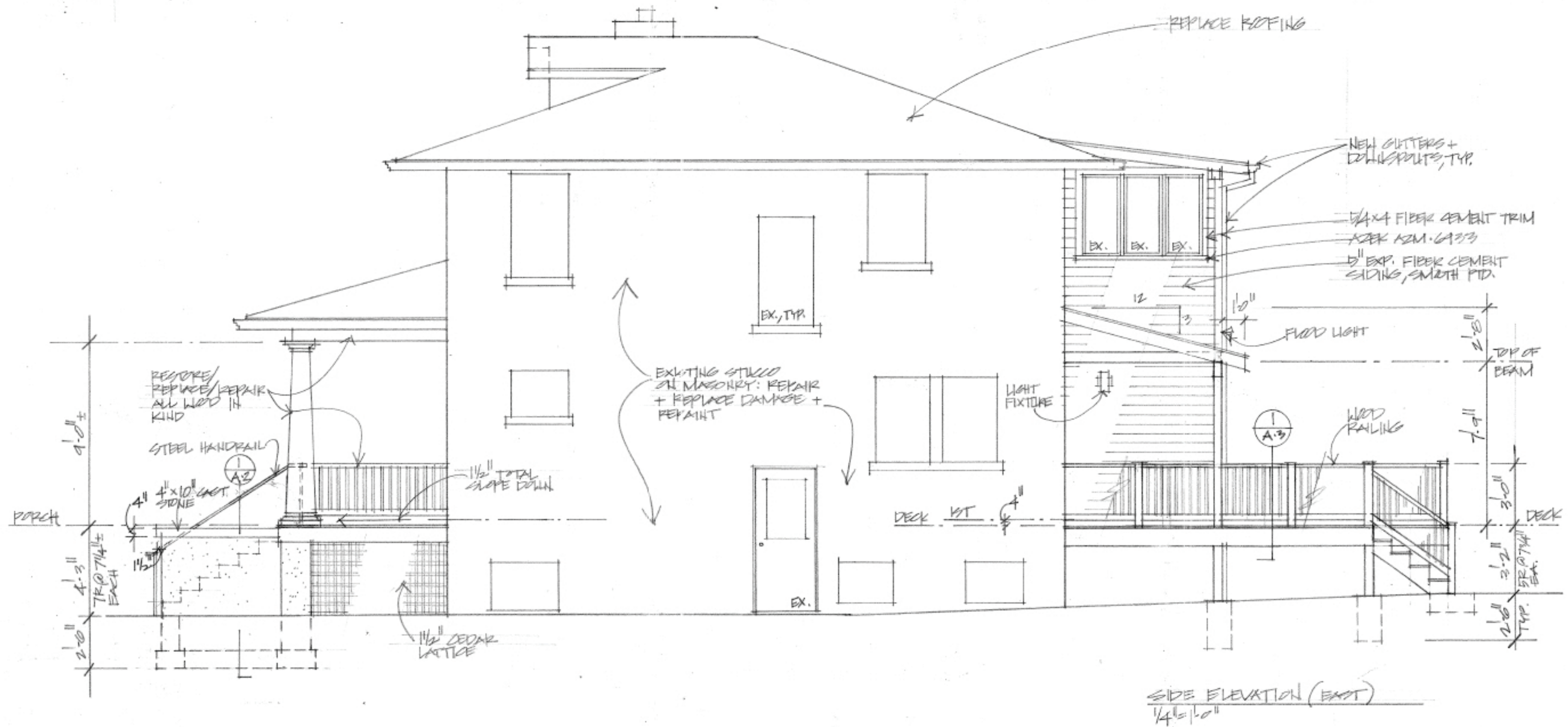
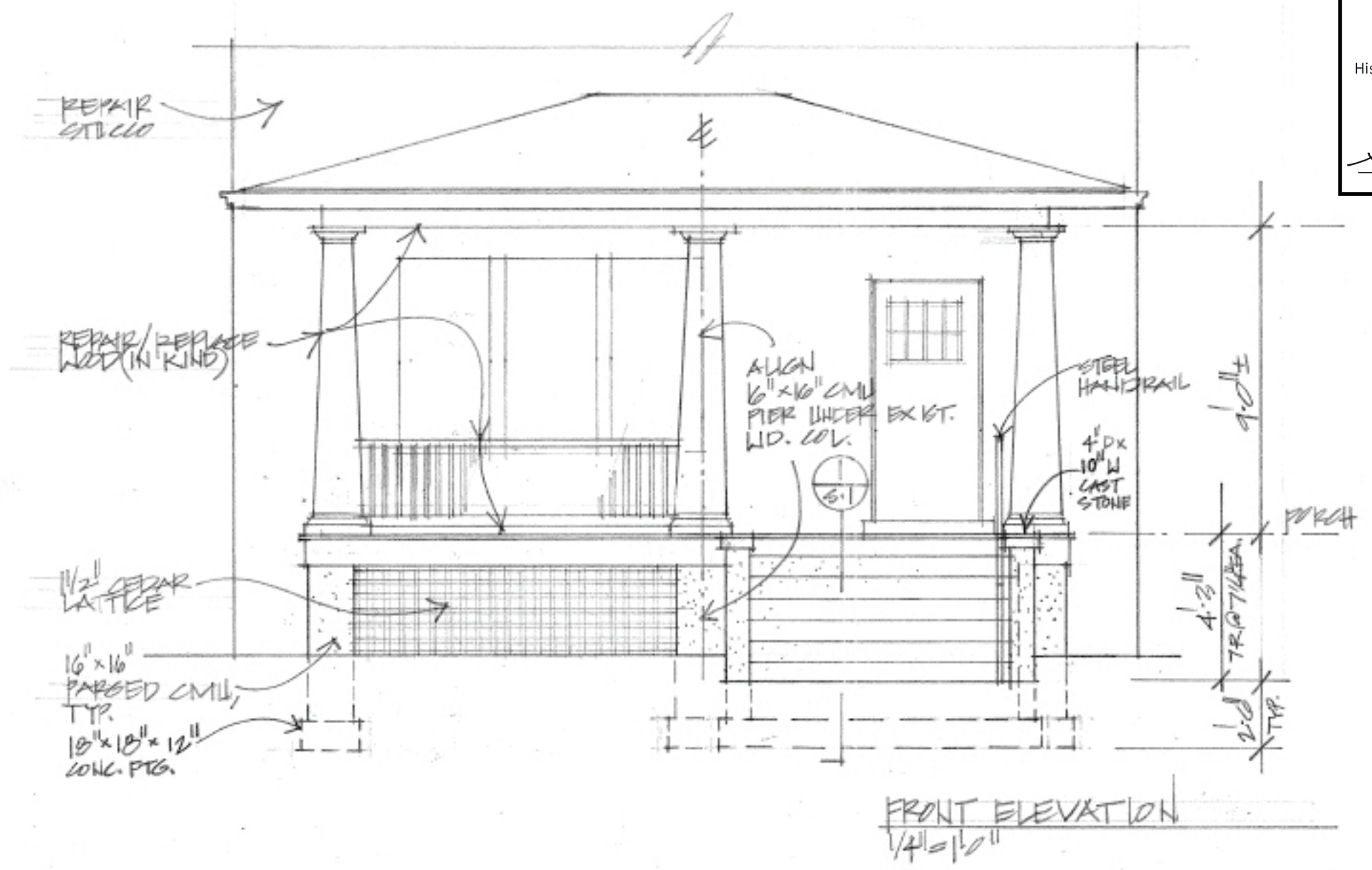
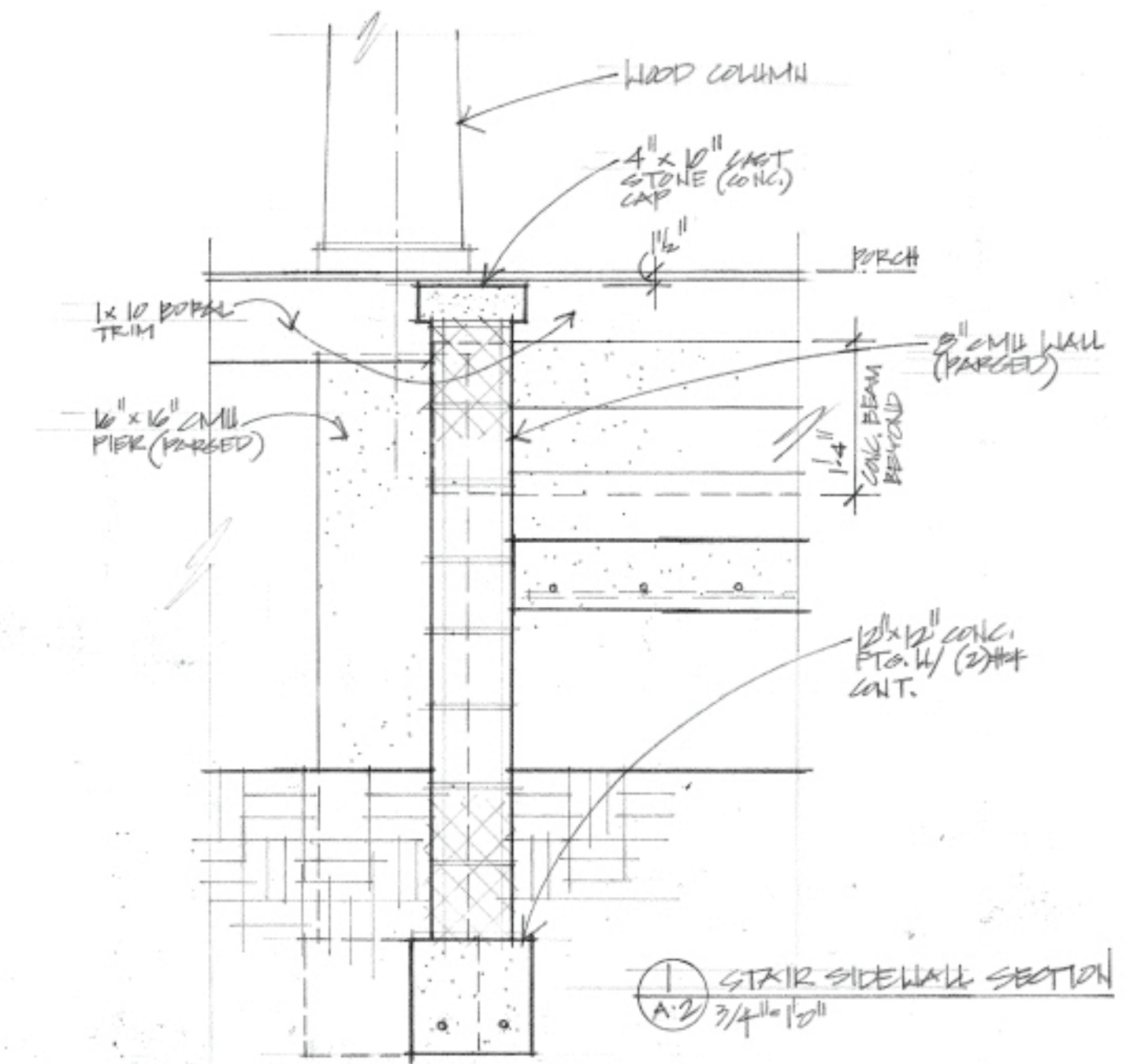
Martin-Rosenthal Residence
7136 Carroll Ave.
Takoma Park, MD 20912

11-17-20

A-1

REVIEWED
By Michael Kyne at 12:54 pm, Nov 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission
Sandra Skiles



Professional Certification:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
License #: 8221-R, Exp. Date: 7/22/2022

Vitullo Architecture Studio, PC
7016 Woodland Ave.
Takoma Park, MD 20912
(301)806-6447 cell

Martin-Rosenthal Residence
7136 Carroll Ave.
Takoma Park, MD 20912

A-2

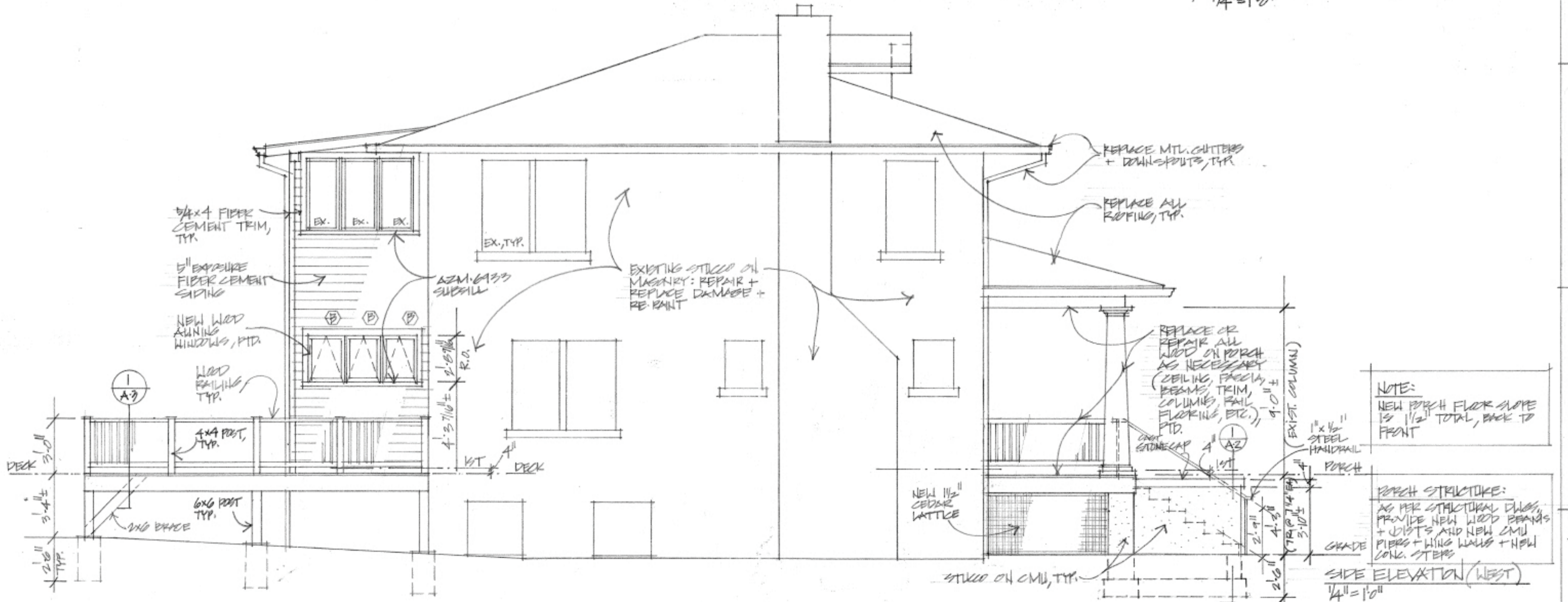
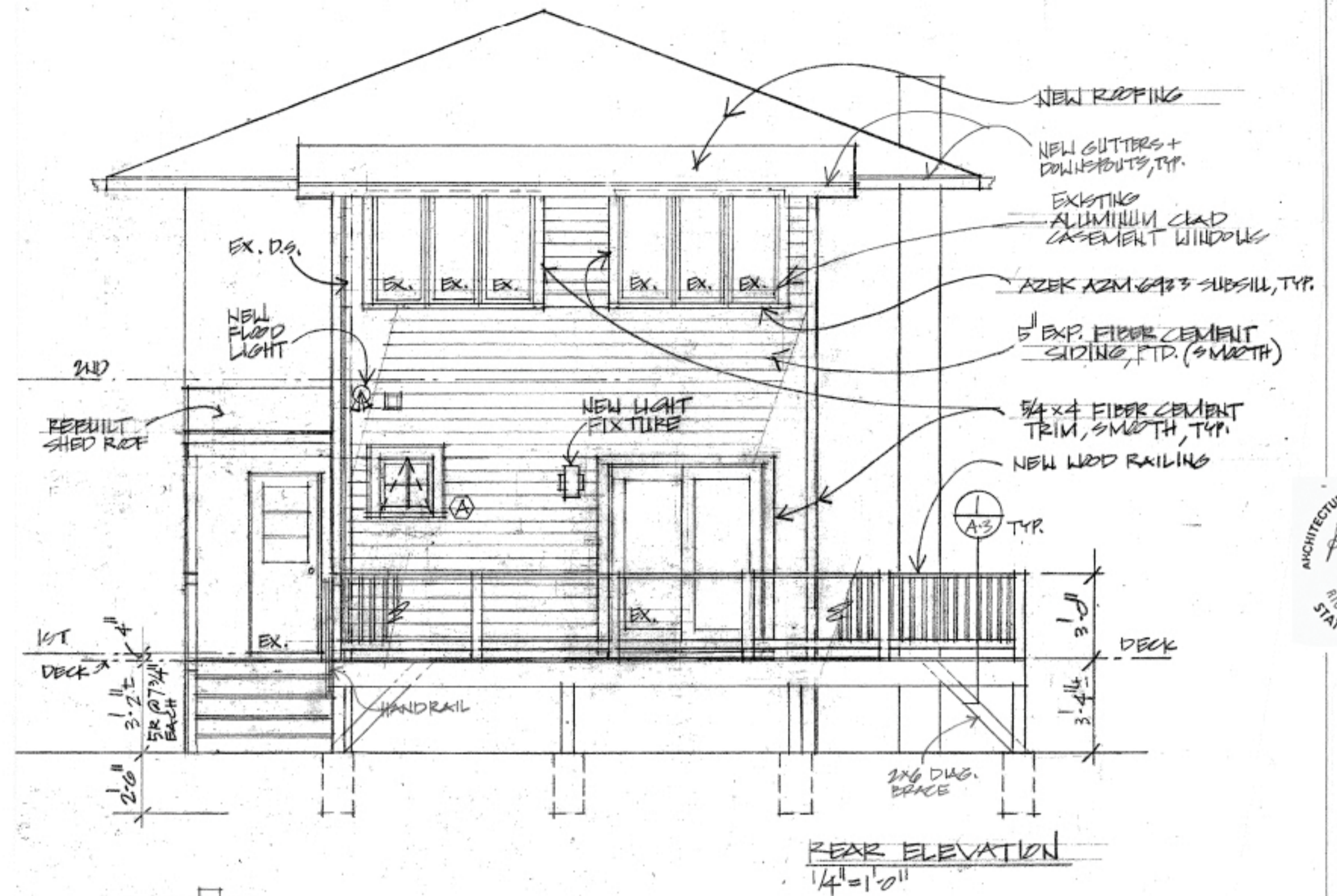
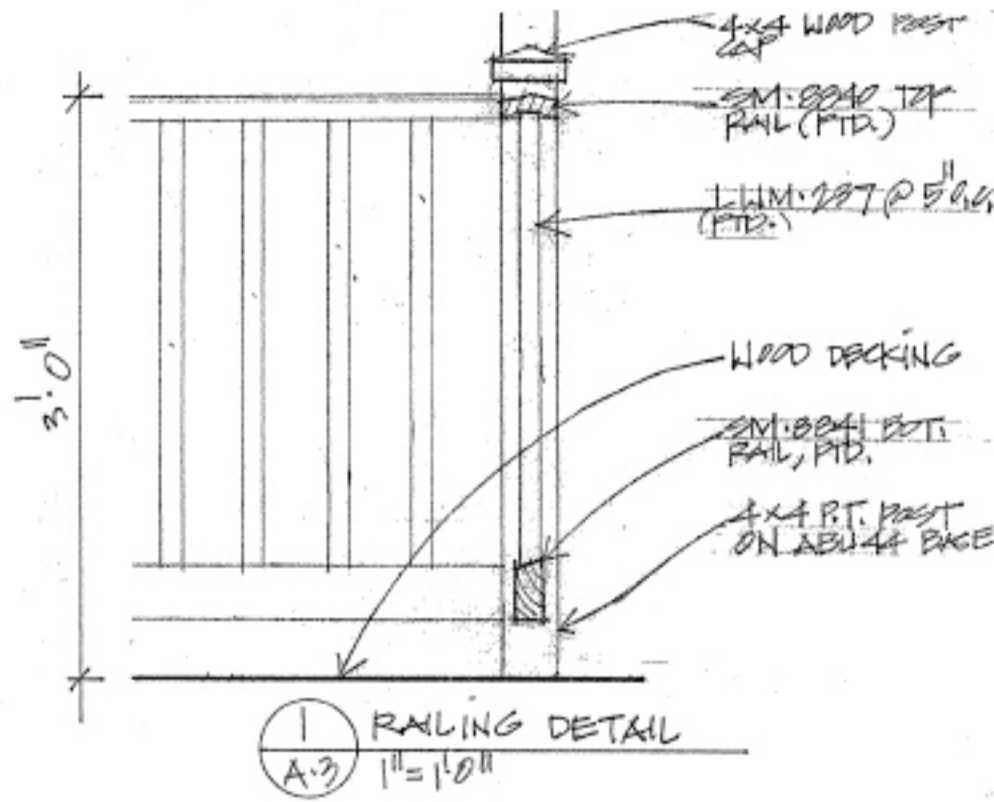
11.17.20

REVIEWED

By Michael Kyne at 12:54 pm, Nov 24, 2020

APPROVED
Montgomery County
Historic Preservation Commission

Sandra Heiler



Professional Certification:
I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland.
License #: 8221-R, Exp. Date: 7/22/2022

Vitullo Architecture Studio, PC
7016 Woodland Ave.
Takoma Park, MD 20912
(301)866-6447 cell

Martin-Rosenthal Residence
7136 Carroll Ave.
Takoma Park, MD 20912

A-3

11-17-20