



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert Sutton
Chairman

Date: December 21, 2023

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 1045815 - Partial Demolition and Building Addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was Approved at the October 25, 2023 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

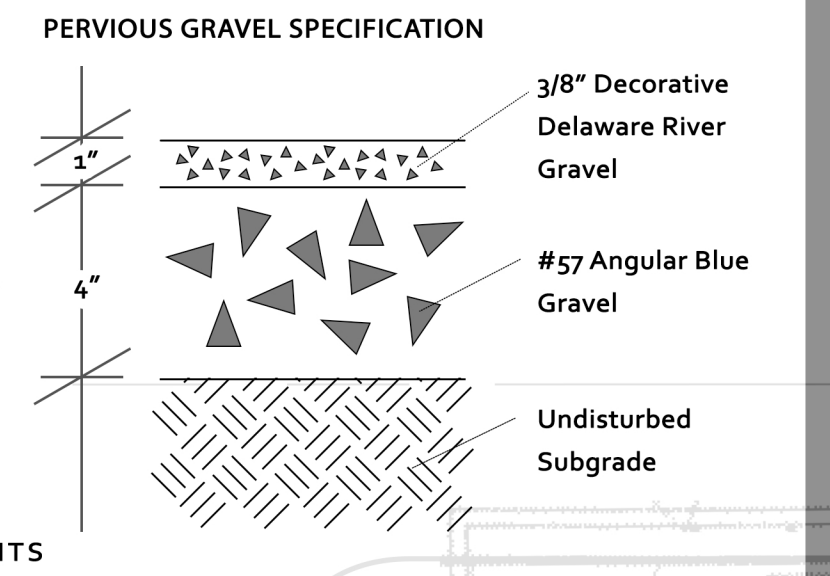
Applicant: Conor McCarthy
Address: 7324 Baltimore Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



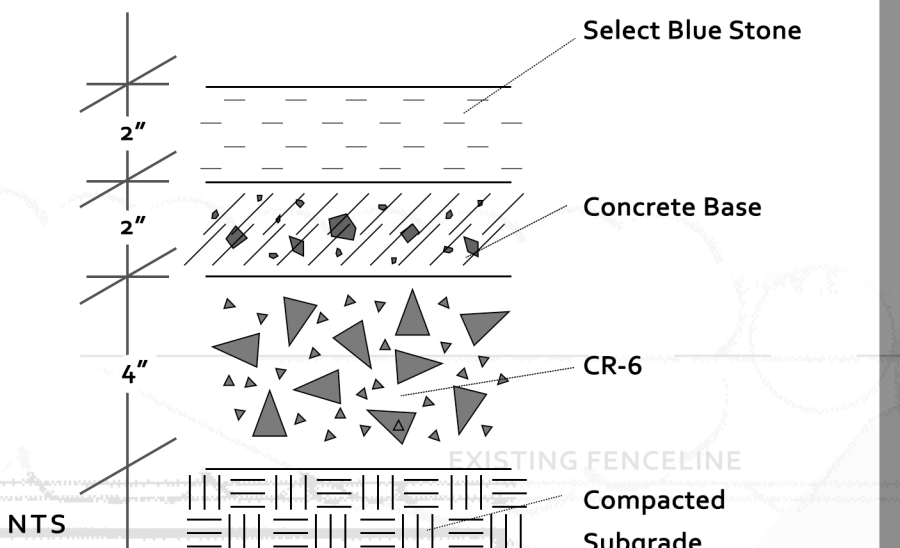
NOTES: BACK YARD

REMOVE ASPHALT DRIVEWAY SECTION BEHIND DRIVEWAY GATE TO EXISTING GARAGE (600 SF)
GRAVEL AREAS TO REMOVE 5" EXISTING COMPACTED SOIL
GRAVEL AREAS TO BE INSTALLED WITH PERVIOUS GRAVEL SPECIFICATION FOR IMPROVED PERCOLATION
ALL 3 x 3' BLUESTONE STEPPERS TO BE SET IN GRAVEL OR MULCH ON GRADE (SEE PLAN)



NOTES: PATIO

BLUESTONE PATIO 15' X 21'
SELECT BLUE 1" X 2" PAVERS HERRINGBONE PATTERN
2' X 3' BORDER WITH 3' X 3' SQUARE CUT CORNERS
SET ON CONCRETE BASE
1% POSITIVE GRADE



NOTES: GATE/FENCE & ENCLOSURES

REBUILD GATE/FENCE IN NEW LOCATION, CENTERED ON NEW WALK, MODELED ON EXISTING (ABOVE)
GATE TO BE LOCATED 7' SOUTH OF EXISTING, BEHIND EXISTING CORNER DOWNSPOUT
GATE TO BE 6' WIDE (TWO 3' WIDE DOORS) OPEN FACING STREET, AT CENTER
ALL SECTIONS AND GATES TO HAVE LEVEL TOP FRAMING (NOT ROUNDED), 4" TALL
STYLE TO BE CONSISTENT WITH EXISTING OPAQUE PANELS AT BOTTOM, FRAMED 2" PICKETS AT TOP
CEDAR, PAINTED WHITE
TRASH ENCLOSURE TO BE 10' X 3' - 08" X 4' TALL WITH OPEN TOP SET ON EXISTING WALK, FOUR 2' - 06" WIDE DOORS

APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 3:41 pm, Oct 30, 2023

NOTES: DRY STREAM BED &

DRY STREAM BED TO BE RENOVATED FOR INCREASED PERCOLATION, INCREASED DEPTH (-04" IN CENTER), WIDTH (+12" FOR MIN FOR 25 LF), AND INCREASED RIVERJACK AND GRAVEL, SET WITH NATURALISTIC CURVES TO SLOW FLOW
RENOVATED DRY STREAM BED TO MAINTAIN EXISTING PATH E > W
EXISTING "DRYWELL 1" AND "DRYWELL 2" AS PER PREVIOUS CHEVY CHASE VILLAGE 2016 "LAVROV DRYWELL CALCULATIONS" TO BE RETAINED, AS IS
EXISTING "RAIN GARDEN" AS PER 2016 "LAVROV DRYWELL CALCULATIONS" TO BE RENOVATED WITH INCREASED (MOSTLY) NATIVE PLANTINGS FOR WATER ABSORPTION INCLUDE TWO TREES, MANY SHRUBS, PERENNIALS AND GROUNDCOVER (SEE PLAN)
NEW 12' X 15' SUN PERENNIAL BED TO INCLUDE ALL NATIVE PLANTINGS

EXISTING CONDITIONS (BELOW):

STORMWATER SWALE PATH AT LAWN AND BACK BORDER BED EDGE WITH MINIMAL GRAVEL. PATH EXISTING WIDTH APPROX 18" WIDE X 6" DEEP. WATER FLOWS FROM EAST TO WEST ALONG BED EDGE, EXITING YARD AT EXISTING WEST GATE.
EXISTING RAIN GARDEN PLANTINGS ARE MINIMAL, DEPRESSION HAS FILLED IN, INTENDED ABSORPTION DOES NOT OCCUR, CURRENTLY (VIBURNUM AND JUNIPER HEDGES WERE ADDED AS PER THIS PLAN PHASE 1, FALL 2022).



NOTES: WOOD STEPS & LANDING

WOOD LANDING & STEPS TO BE RENOVATED ON EXISTING FRAMING AND FOOTERS
BOTTOM LANDING SHAPE TO BE MODIFIED TO REMOVE CURVE, MADE SQUARE
BOTTOM LANDING TO BE 8" ABOVE GRADE
NEW SURFACE DECKING BOARDS TO BE CEDAR, STAINED
BOARDS SPACED WITH 1/8" GAPS FOR WATER DRAINAGE
NO SOIL OR ROOT DISTURBANCE OF EXISTING LARGE CANOPY TREE FOR RENOVATION OF DECK

SUN PERENNIAL BED

12' X 15'
with METAL EDGE

PATIO

BLUESTONE
15' X 21'
SET IN CONCRETE WITH POSITIVE 1% GRADE

NORTH and WEST SIDE YARD INCREASED PLANTINGS, SHRUBS and TREES
DRY STREAM BED TO BE RENOVATED FOR INCREASED PERCOLATION and TO MAINTAIN EXISTING STORMWATER PATH

[05] Juniperus 'Skyrocket'
[06] Ilex Soft Touch
[08] Fothergilla
[03] Ilex glabra
[01] V. dentatum 'Blue Muffin'
[03] Ilex glabra

[01] Cryptomeria japonica
[06] Ilex 'Soft Touch'
[05] Itea 'Little Henry'
[06] Viburnum espatlier

[01] Chionanthus virginicus
[05] Clethra 'Ruby Spice'

[05] Hydrangea 'Annabelle'
[01] Acer 'Emperor'

[05] Ilex 'Soft Touch'
[03] Clethra 'Ruby Spice'

SHADE PERENNIALS
Ageratina altissima
Athyrum filix-femina 'Lady in Red'
Astilbe 'Peach Blossom'
Echinacea 'Pow Wow White'
Fragaria virginiana
Mertensia virginica
Nepeta 'Walker's Low'
Phlox Stolonifera 'Emerald Blue'
Geranium maculatum
Viola walteri 'Silver Gem'

SUN PERENNIALS
Achillea millefolium 'Apricot Delight'
Achillea millefolium 'Paprika'
Agastache 'Black Adder'
Asclepias tuberosa
Aster laevis var. laevis 'Bluebird'
Baptisia tinctoria
Coreopsis 'Moonbeam'
Echinacea purpurea
Eupatorium purpureum 'Baby Joe'
Peony 'Shirley Temple'

[01] Cercis canadensis
[05] Vaccinium corumbosa
[20] Ilex 'Soft Touch'
[01] Cladrasis kentukea
[05] Ilex glabra

[05] Ilex glabra
[06] Fothergilla
[12] Hydrangea 'Annabelle'
[05] Ilex glabra



Pruning by Design
4702 DeRussey Parkway
Chevy Chase MD 20815

Adele Medina O'Dowd, principal
Annika Haksar, principal
202.255.0728
pruningbydesign@gmail.com

www.pruningbydesign.com

GRIFFIN GLOGER RESIDENCE
11 HESKETH ST CHEVY CHASE, MD 20815
CKUBLER@KLN.B.COM



MASTER PLAN
1/4" = 1'-0"

Date	SIGN OFF
06/17/2023	
09/18/2023	
09/25/2023	

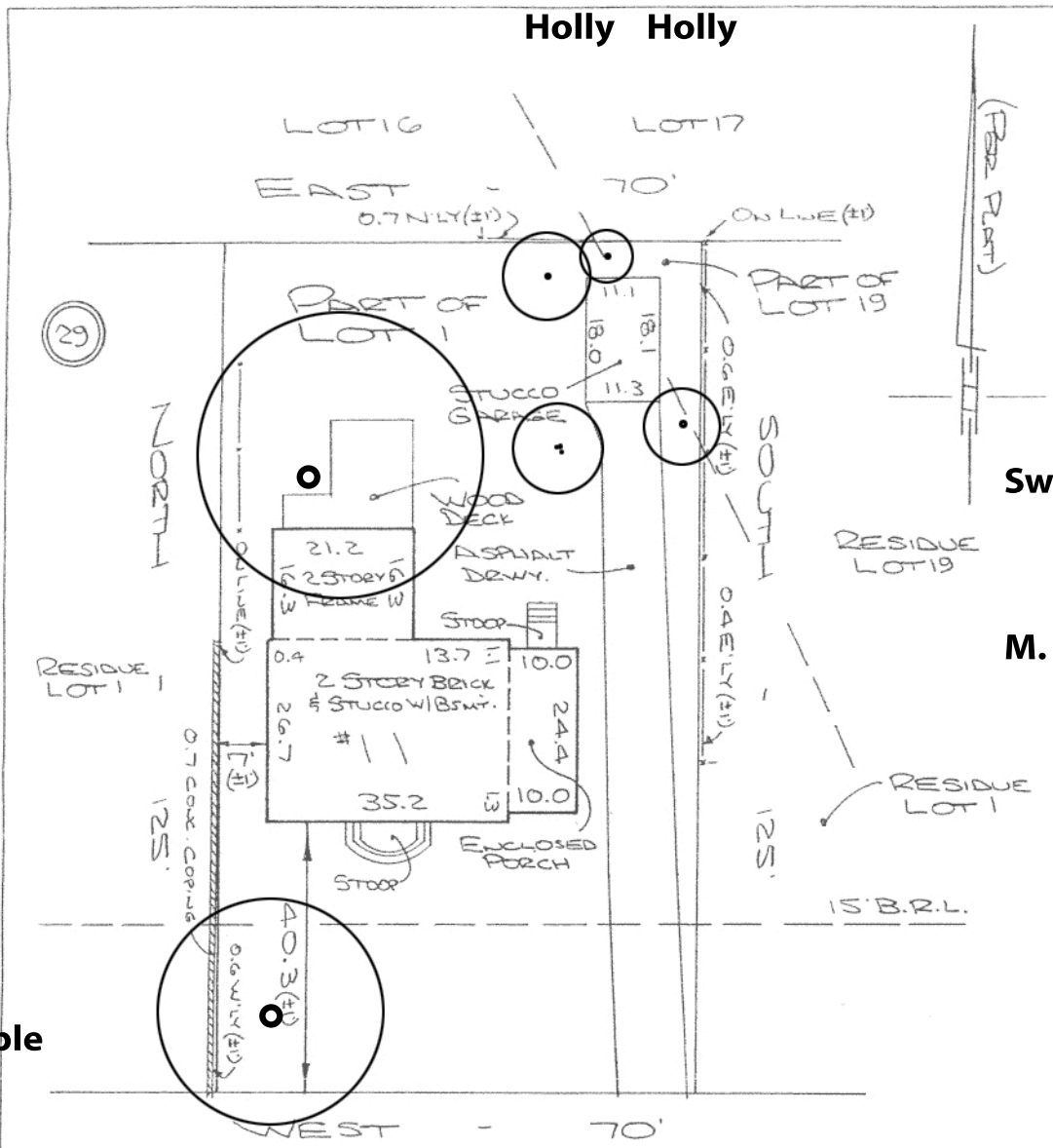
Holly Holly

Oak

Sweetgum

M. virginiana

Red Maple



TOTAL AREA = 8750 sq

Capitol Surveys, Inc.

10762 Rhode Island Avenue
 Beltsville, Maryland 20705
 Phone 301-931-1350
 Fax 301-931-1352

NOTES: Plat is of benefit to a lender or a title insurance company for the establishment or location of existing or future improvements. Accurate identification of property may not be required for the refinancing.

APPROVED
 Montgomery County
 Historic Preservation Commission

Robert H. [Signature]

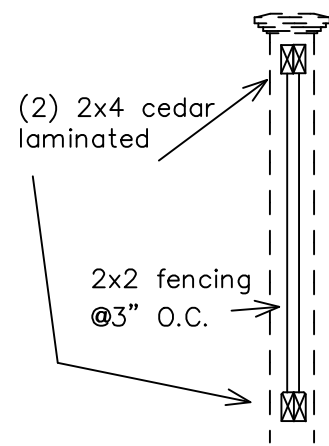
LOCATION DRAWING
 PARTS OF LOTS 1 & 19 BLOCK 29
 SECTION No. 2
CHEVY CHASE
 MONTGOMERY COUNTY, MARYLAND

Recorded in Plat Book 2 Plat 106 Scale 1" = 20'
 CASE: 1967-12 FILE: 96741
 DATE: DECEMBER 14, 2012

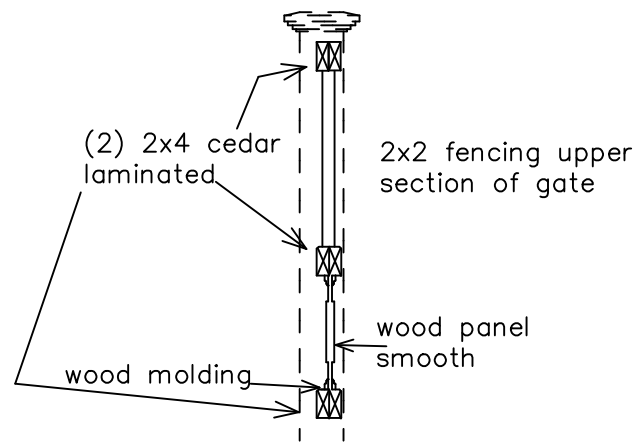
REVIEWED
 By Dan Bruechert at 3:44 pm, Oct 30, 2023

Edward L. Lopez, Jr.
 Edward L. Lopez, Jr.
 Maryland Property Line Surveyor No. 522
 License Current Through February 13, 2013

TREE SURVEY 11 Hesketh St, Chevy Chase, MD 20815

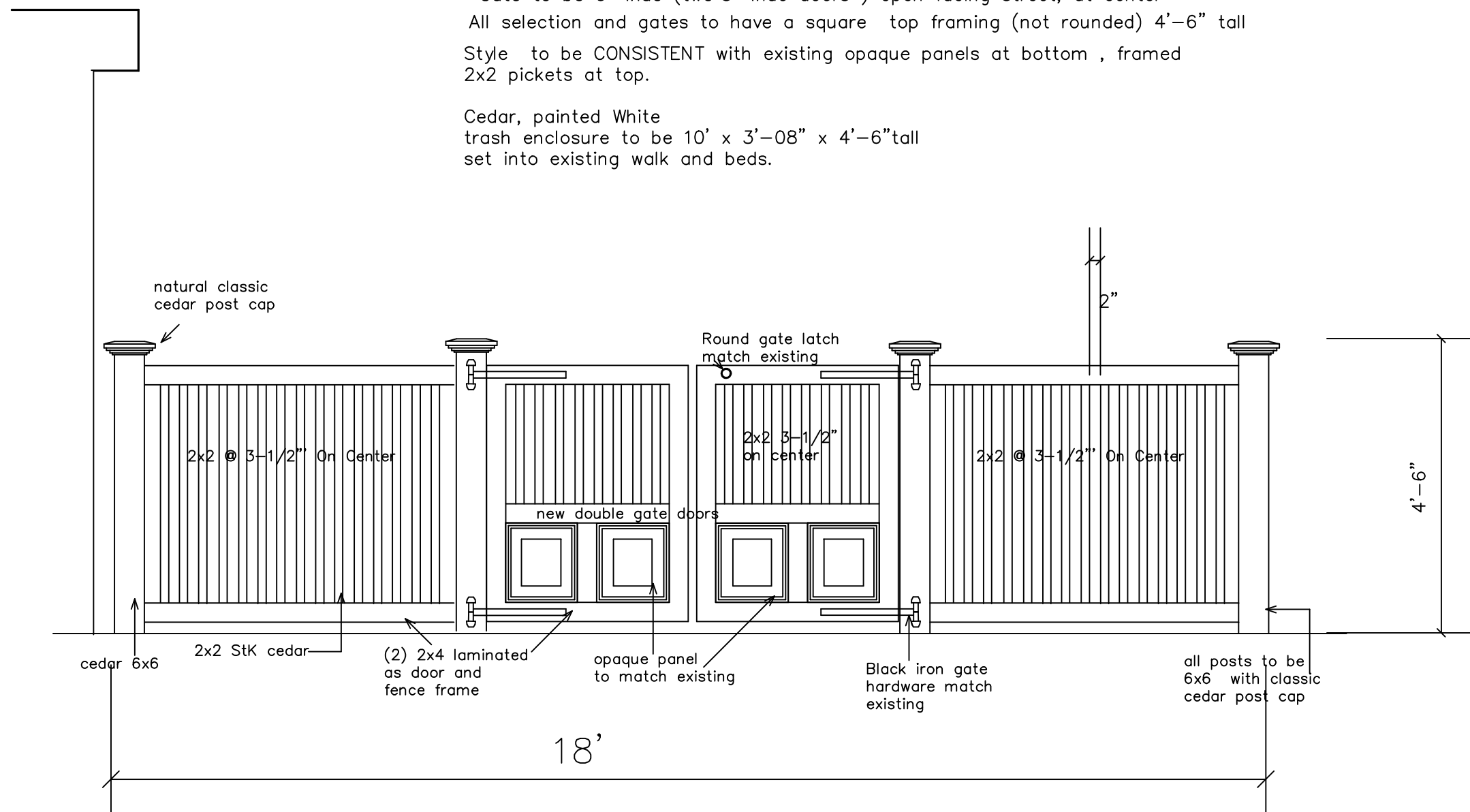


FENCE DETAIL



GATE DETAIL

NEW FRONT FENCE DETAIL




NOTES: Gate/fence & enclosures rebuilt gate/fence in new location,] centered on new walk , modeled on existing above

Gate to be 6' wide (two 3' wide doors) open facing street, at center
 All selection and gates to have a square top framing (not rounded) 4'-6" tall
 Style to be CONSISTENT with existing opaque panels at bottom , framed 2x2 pickets at top.

Cedar, painted White
 trash enclosure to be 10' x 3'-08" x 4'-6" tall
 set into existing walk and beds.

APPROVED
 Montgomery County
 Historic Preservation Commission



REVIEWED
 By Dan.Bruechert at 3:42 pm, Oct 30, 2023