



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Robert K. Sutton  
*Chairman*

Date: October 13, 2021

### MEMORANDUM

TO: Mitra Pedoeem  
Department of Permitting Services

FROM: Dan Bruechert  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission Historic

SUBJECT: Area Work Permit #968242 - Deck Construction

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** by historic preservation staff.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Renata & Mathew Gorman  
Address: 7208 Spruce Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.





HISTORIC PRESERVATION COMMISSION

HAWP #: \_\_\_\_\_ at: \_\_\_\_\_
submitted on: \_\_\_\_\_
has been reviewed and determined that the proposal fits into the following category/categories:

- Repair or replacement of a masonry foundation with new masonry materials that closely match the original in appearance;
Installation of vents or venting pipes in locations not visible from the public right-of-way;
New gutters and downspouts;
Removal of vinyl, aluminum, asbestos, or other artificial siding when the original siding is to be repaired and/or replaced in kind;
Removal of accessory buildings that are not original to the site or non-historic construction;
Repair or replacement of missing or deteriorated architectural details such as trim or other millwork, stairs or stoops, porch decking or ceilings, columns, railings, balusters, brackets shutters, etc., with new materials that match the old in design, texture, visual characteristics, and, where possible materials, so long as the applicant is able to provide one extant example, photographic evidence, or physical evidence that serves as the basis for the work proposed;
Construction of wooden decks that are at the rear of a structure and are not visible from a public right-of-way;
Roof replacement with -compatible roofing materials, or with architectural shingles replacing 3-Tab asphalt shingles;
Installation of storm windows or doors that are compatible with the historic resource or district;
Repair, replacement or installation of foundation-level doors, windows, window wells, and areaways, or foundation vents, venting pipes, or exterior grills that do not alter the character-defining features and/or the historic character of the resource;
Construction of fences that are compatible with the historic site or district in material, height, location, and design;
Fence is lower than 48" in front of rear wall plane;

- Construction of walkways, parking pads, patios, driveways, or other paved areas that are not visible from a public right-of-way and measure no more than 150 square feet in size;
Replacement of existing walkways, parking pads, patios, driveways, or other paved areas with materials that are compatible with the visual character of the historic site and district and that are no greater than the dimensions of the existing hardscape;
Construction of small accessory buildings no larger than 250 square feet in size that are not visible from the public right-of-way;
Installations of skylights on the rear of a structure that will not be visible from the public right-of-way, and would not remove or alter character-defining roof materials;
Installation of solar panels and arrays in locations that are not readily visible from the public right-of-way or that are designed so as to have a minimal impact on the historic resource or the historic district (e.g., systems that are ground-mounted in areas other than the front or side yard of a corner lot, located on accessory or outbuildings, on non-historic additions, or on rear facing roof planes);
Installation of car charging stations in any location on a property or in the right-of-way;
Installation of satellite dishes;
Removal of trees greater than 6" in diameter (d.b.h.) that are dead, dying, or present an immediate hazard.
Removal of trees greater than 6" in diameter (d.b.h.) in the rear of the property that will not impact the overall tree canopy of the surrounding district or historic site;
Replacement tree required as a condition; and,
Other minor alterations that may be required by the Department of Permitting Services post-Commission approval that would have no material effect on the historic character of the property.

Staff finds the proposal complies with Chapter 24A, the Secretary of the Interior's Standards for Rehabilitation, and any additional requisite guidance. Under the authority of COMCOR No. 24A.04.01, this HAWP is approved by [Signature] on \_\_\_\_\_. The approval memo and stamped drawings follow.



APPROVED  
 Montgomery County  
 Historic Preservation Commission



**REVIEWED**  
 By Dan.Bruechert at 5:30 pm, Oct 13, 2021

# RESIDENCE

7208 SPRUCE AVE  
 TAKOMA PARK, MD 20912

**SYMETRIX**  
 ARCHITECTURE by DESIGN

2601 RANDOLPH ROAD  
 SILVER SPRING MD 20902  
 202 257 7278  
 edvania@msn.com

**GENERAL NOTES (FOR MONTGOMERY COUNTY):**

- THIS BUILDING HAS BEEN DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE 2018 WITH LOCAL AMENDMENTS AS APPROVED BY MONTGOMERY COUNTY.
- DESIGN LOADS (PSF):**

LOCATION	LIVE	DEAD*	TOTAL
FLOOR:	40	10	50
FLOOR (SLEEPING ROOM):	30	10	40
ROOF:	25	15	40
DECKS:	40	10	50
BALCONIES:	60	10	70
STAIRS:	40	10	50
ATTICS:	20	10	30

\* UNLESS OTHERWISE NOTED ON STRUCTURAL DETAILS\*

**DESIGN CRITERIA:**

WIND SPEED:	115 MPH
SEISMIC CATEGORY:	B (NO SEISMIC DATA REQUIRED)
WEATHERING:	SEVERE
FROST DEPTH:	30"
TERMITE:	MODERATE TO HEAVY
DECAY:	SLIGHT TO MODERATE
WINTER DESIGN TEMP:	13° F
FLOOD HAZARDS:	AS INDICATED ON SITE PLANS
SITE CLASS:	D
LATERAL EARTH PRESSURE AT REST:	60 PSF MIN PER FOOT OF HEIGHT OF RETAINED EARTH
ALLOWABLE DESIGN SOIL BEARING CAPACITY OF:	1500 PSF IN ABSENCE OF A STAMPED GEOTECH REPORT
- THE PLUMBING DESIGN IS TO BE IN CONFORMANCE WITH 2015 INTERNATIONAL PLUMBING CODE, 2015 INTERNATIONAL FUEL GAS CODE, AND PER LOCAL AMENDMENTS AS APPROVED BY MONTGOMERY COUNTY CONSTRUCTION CODES.
- THE WORK SHALL BE IN CONFORMANCE WITH NFPA-1410/2013 AND PER LOCAL AMENDMENTS AS APPROVED BY MONTGOMERY COUNTY FOR LIFE SAFETY CODE IN THE 2008 D.C. CONSTRUCTION CODES.
- FIRE & SMOKE ALARMS, AND INTERIOR SPRINKLERS SHALL BE IN ACCORDANCE WITH THE NFPA 13D, 2015 AND PER LOCAL AMENDMENTS AS APPROVED BY MONTGOMERY COUNTY. IN AREAS WHERE ACCESSIBLE (NEW CONSTRUCTION INCLUDED) SMOKE DETECTORS ARE TO BE INTERCONNECTED AND HARD WIRED, IN AREAS WHERE WIRING IS NOT ACCESSIBLE BATTERY OPERATED SMOKE DETECTORS ARE ACCEPTABLE. REFER TO SECTION 316 OF 2015 IRC.
- NEW DWELLINGS SHALL BE IN ACCORDANCE WITH NFPA-13D/2013 SPRINKLER CODE AND PER LOCAL AMENDMENTS AS APPROVED BY MONTGOMERY COUNTY.
- ACCESSIBILITY CODES SHALL BE DETERMINED PER COMAR 05.02.02, ADAAG, & FFHAG.
- ENERGY CONSERVATION SHALL BE GOVERNED BY THE ICC INTERNATIONAL ENERGY CONSERVATION CODE/2015 AND PER LOCAL AMENDMENTS AS APPROVED BY MONTGOMERY COUNTY.
- THIS PROJECT HAS BEEN DESIGNED FOR THE WEIGHTS OF THE MATERIALS INDICATED ON THE DRAWINGS AND FOR THE SUPERIMPOSED LOADS SHOWN ABOVE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO DETERMINE ALLOWABLE CONSTRUCTION LOADS AND TO PROVIDE PROPER DESIGN AND CONSTRUCTION OF FALSEWORK, FORMWORK, STAGINGS, BRACING, SHEETING AND SHORING, AND OTHER TEMPORARY COMPONENTS.
- LOADS GREATER THAN THE APPLICABLE DESIGN LOADS NOTED ABOVE SHALL NOT BE PLACED ON THE STRUCTURE. PROVISIONS SHALL BE MADE FOR ADEQUATE BRACING AND SUPPORT OF ADJACENT CONSTRUCTION, UTILITIES, AND EXCAVATIONS.
- DO NOT BACKFILL AGAINST WALLS UNTIL SUPPORTING FLOORS ARE SECURELY IN PLACE. BRACE ALL WALLS UNTIL ADEQUATELY SUPPORTED BY STRUCTURE. BACKFILL OF WALLS SHOULD BE PERFORMED WITH LIGHTWEIGHT EQUIPMENT, WITH A MAXIMUM OF ONE TON TOTAL WEIGHT ALLOWED WITHIN THE CRITICAL ZONE (DEFINED AS BEGINNING AT THE BASE OF THE WALL AND WIDENING OUT FROM THE WALL ON A 1:1 SLOPE).
- GUARDRAILS AND HANDRAILS SHALL BE DESIGNED AND CONSTRUCTED TO THE STRUCTURAL LOADS AND CONDITIONS SPECIFIED IN SECTION 4.4 OF THE ASCE STANDARD 7-02 "MINIMUM DESIGN LOADS FOR BUILDINGS AND OTHER STRUCTURES".
- THE GENERAL CONTRACTOR AND/OR APPLICABLE FABRICATOR SHALL VERIFY ALL EXISTING STRUCTURAL CONDITIONS PRIOR TO FABRICATION. EXISTING STRUCTURAL CONDITIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO, ALL ASSUMED DIRECTIONS AND SIZES ON FRAMING, BEARING WALL SIZES, DIMENSIONS, AND LOCATIONS WHERE NEW STRUCTURAL ELEMENTS CONNECT TO, BEAR UPON, OR SUPPORT EXISTING CONSTRUCTION. ANY DISCREPANCIES BETWEEN THE OBSERVED CONDITION AND THE CONDITION SHOWN ON THE STRUCTURAL DRAWINGS SHALL BE CONVEYED TO STEARNS ENGINEERING BY MEANS OF DIMENSIONED SKETCHES. PROMPT NOTIFICATION OF DISCREPANCIES IS VERY IMPORTANT IN ORDER TO ALLOW RESOLUTION WITHOUT DELAYING THE PROJECT. THE CONTRACTOR SHALL EXPOSE ALL FRAMING TO WHICH ANY NEW STRUCTURE IS TO BE CONNECTED BY REMOVING NON-STRUCTURAL INTERFERENCES SO THAT A REVIEW OF THESE EXISTING STRUCTURAL ELEMENTS MAY BE PERFORMED BY STEARNS ENGINEERING PRIOR TO THE APPLICATION OF ADDITIONAL LOADS.
- \*VIF\* ON ANY DRAWINGS SHALL MEAN THAT ALL TRADES AND APPLICABLE FABRICATORS SHALL VERIFY THE SPECIFIC DIMENSION OR CONDITION IN THE FIELD. IT REMAINS THE GENERAL CONTRACTOR'S, TRADESPERSON'S, AND/OR APPLICABLE FABRICATOR'S RESPONSIBILITY TO VERIFY OTHER DIMENSIONS AND CONDITIONS AS SHOWN ON THE DRAWINGS.

**SOIL / FOUNDATION NOTES:**

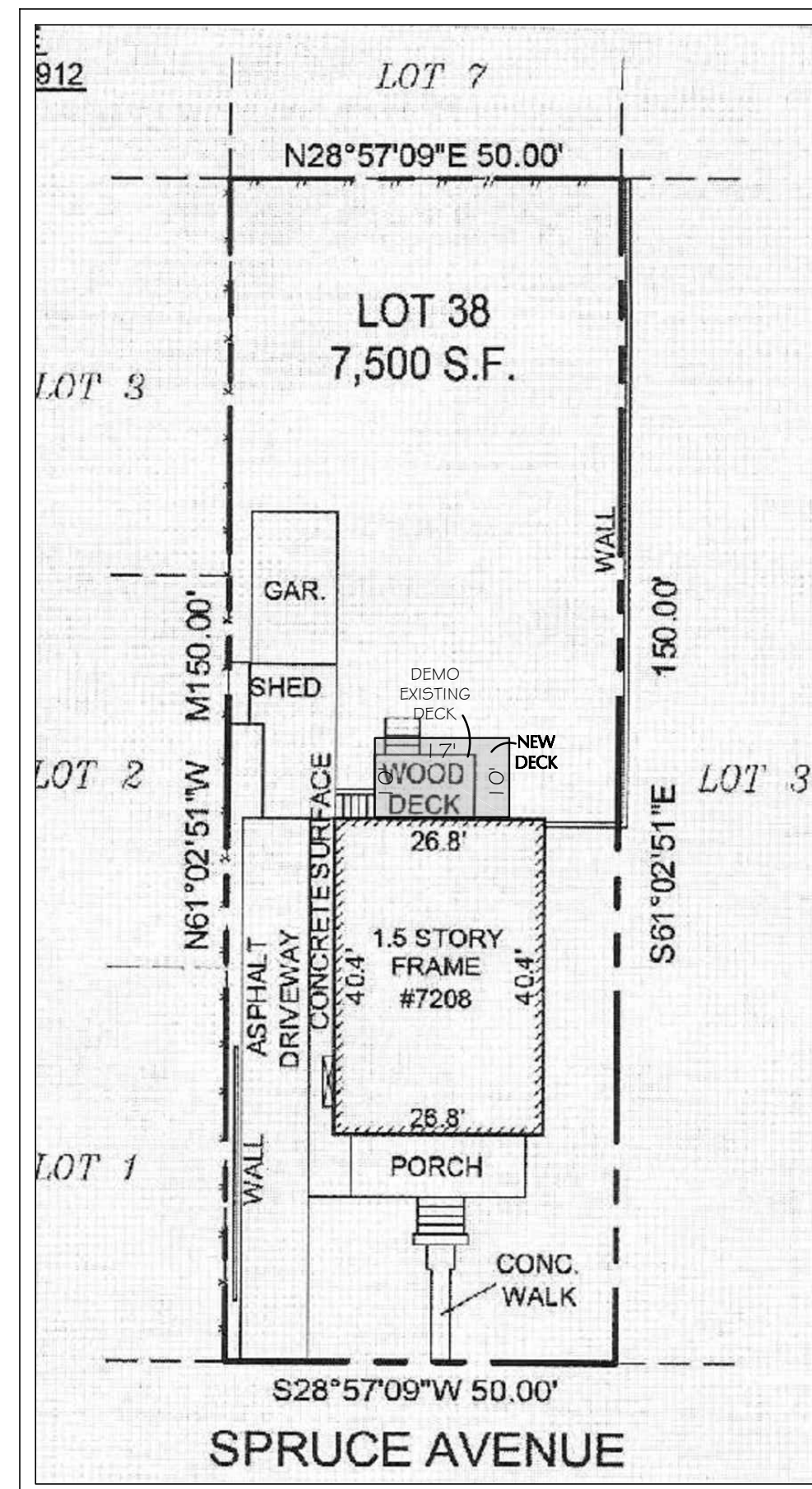
- FOOTINGS ARE DESIGNED FOR AN ASSUMED SOIL BEARING CAPACITY OF 1500 PSF. FOOTINGS SHALL BEAR ON NATURAL UNDISTURBED SOIL 1'-0" BELOW ORIGINAL GRADE OR ON CONTROLLED COMPACTED FILL, AND BOTTOMS OF EXTERIOR FOOTINGS SHALL BE 2'-6" BELOW FINISHED EXTERIOR GRADE. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING SOIL PRESSURE IN THE FIELD. IF FOUND TO BE LESS THAN SHOWN ABOVE, THE FOOTINGS MAY HAVE TO BE REDESIGNED.
- BOTTOM ELEVATION OF NEW FOOTINGS ADJACENT TO EXISTING FOOTINGS SHALL MATCH THE BOTTOM OF EXISTING FOOTINGS.
- THE CONTRACTOR SHALL NOTIFY A STRUCTURAL ENGINEER IF THE REQUIRED DEPTH OF EXCAVATION FOR NEW FOOTINGS IS LOWER THAN THE BOTTOM OF FOOTINGS FOR THE EXISTING STRUCTURE OR ADJACENT BUILDINGS.
- UTILITY LINES SHALL NOT BE PLACED THROUGH OR BELOW THE FOUNDATION UNLESS SPECIFICALLY DETAILED ON THE STRUCTURAL DRAWINGS, OR APPROVED BY AN ENGINEER.
- THE CONTRACTOR SHALL ENSURE THAT EXCAVATIONS FOR FOOTINGS REMAIN DRY DURING CONSTRUCTION.
- BUILDING MAY BE SUPPORTED BY A "FLOATING SLAB" WITH EFFECTIVE SOIL PRESSURE LESS THAN 30 PSF.

**CONCRETE NOTES:**

- ALL CONCRETE, EXCEPT AS NOTED, SHALL BE FC = 3,000 PSI, STONE-AGGREGATE CONCRETE AT 28 DAYS. HORIZONTAL CONCRETE (FLATWORK) EXPOSED TO THE WEATHER (AND GARAGE SLABS) SHALL BE FC = 3,500 PSI. ALL EXTERIOR 3,500 PSI CONCRETE SHALL BE AIR-ENTRAINED WITH 6% AIR CONTENT +/- 1.5%. ALL OTHER EXTERIOR CONCRETE (AND INTERIOR CONCRETE WHICH MAY BE SUBJECT TO FREEZING DURING CONSTRUCTION) SHALL BE AIR-ENTRAINED WITH 4.5% AIR CONTENT +/- 1.5%. ALL EXPOSED CORNERS OF SLABS, WALLS, AND BEAMS SHALL BE CHAMFERED 1 INCH.
- BEFORE FRESH CONCRETE IS POURED AGAINST CONCRETE IN PLACE, THE CONTACT SURFACES OF CONCRETE IN PLACE SHALL BE THOROUGHLY CLEANED, ALL DEBRIS AND LOOSE MATERIAL SHALL BE REMOVED, AND THE CONTACT SURFACES SHALL BE THOROUGHLY COATED WITH GROUT CONSISTING OF ONE PART SAND TO ONE PART CEMENT WITH A MINIMUM AMOUNT OF WATER.
- ALL CONCRETE FORMWORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE "FORMWORK FOR CONCRETE", SPECIAL PUBLICATION NO. 4, AND ACI STANDARD RECOMMENDED PRACTICE FOR CONCRETE FORMWORK" (ACI 347).
- ALL CONCRETE WORK SHALL CONFORM TO THE LATEST APPROVED (BY LOCAL GOVERNMENT) EDITIONS OF THE FOLLOWING ACI DOCUMENTS: ACI 211 PROPORTIONS OF CONCRETE; ACI 214 COMPRESSION TESTS; ACI 301 SPECIFICATIONS; ACI 304 PLACING CONCRETE; ACI 305 HOT WEATHER; ACI 306 COLD WEATHER; ACI 315 DETAILING; ACI 318 CODE; AND ACI 347 FORMWORK.

**STANDARD ABBREVIATIONS**

@	AT	N	NORTH
AC	AIR CONDITIONER	NC	NOT IN CONTRACT
ADDL	ADDITIONAL	NO	NUMBER
AFF	ABOVE FINISHED FLOOR	NOM	NOMINAL
		NTS	NOT TO SCALE
BD	BOARD	OA	OVERALL
BLDG	BUILDING	OC	ON CENTER
BSMT	BASEMENT	OP	OWNER PROVIDED
BTM	BOTTOM	OPG	OPENING (S)
BTW	BETWEEN	OPT	OPTIONAL
		OSB	ORIENTED STRAND BOARD
		OVHD	OVERHEAD
C	COLD	PL	PROPERTY LINE
CAB	CABINET	PERM	PERMANENT
CER	CERAMIC	PL	PLATE
CFM	CUBIC FEET PER MINUTE	PLAS	PLASTER
CLG	CEILING	PLYWD	PLYWOOD
CL	CENTERLINE	PREFAB	PREFABRICATED
CLO	CLOSET	PREFIN	PREFINISHED
CMU	CONCRETE MASONRY UNIT	PRELIM	PRELIMINARY
COL	COLUMN	PROP	PROPOSED
CONC	CONCRETE	PSL	PARALLEL STRAND LUMBER
CONT	CONTINUOUS	PT	PRESSURE TREATED
CONSTR	CONSTRUCTION	FVMT	PAVEMENT
CTR	CENTER		
CU FT	CUBIC FEET	QTY	QUANTITY
		RA	RETURN AIR
DBL	DOUBLE	R	RADIUS
DEMO	DEMOLITION	REINFORCED	REINFORCED
DH	DOUBLE HUNG	RECEP	RECEPTACLE
DIA or Ø	DIAMETER	REF	REFRIGERATOR
DIM	DIMENSION	RH	RIGHT HAND
DL	DEAD LOAD	RHR	RIGHT HAND REVERSE
D	DIMMER	RO	ROUGH OPENING
DN	DOWN		
DW	DISHWASHER		
DWG	DRAWING		
EA	EACH	SAN	SANITARY
ELEC	ELECTRIC(AL)	SCHED	SCHEDULE
ENGR	ENGINEER	SCRN	SCREEN
EQ	EQUAL	SD	SMOKE DETECTOR
EQUIP	EQUIPMENT	SECT	SECTION
EW	EACH WAY	SF	SQUARE FOOT
EXIST	EXISTING	SHWR	SHOWER
		SHW	SIMILAR
FDN	FOUNDATION	SK	SINK
FIN	FINISHED	SPEC	SPECIFICATION
FH	FULL HEIGHT	SQ	SQUARE
FL	FLOOR	S5	STAINLESS STEEL
FLX	FIXTURE	ST	STREET
FT	FOOT/FEET	STD	STANDARD
FTG	FITTING	STL	STEEL
FURN	FURNITURE	STOR	STORAGE
		STR	STRAIGHT
GALV	GALVANIZED	STRUC	STRUCTURE/STRUCTURAL
GFIC	GROUND FAULT CIRCUIT INTERRUPTER	SURV	SURVEY
GYBDB	GYPSUM WALL BOARD	SUBFL	SUBFLOOR
		SUSP	SUSPENDED
H	HOT	SW	SWITCH
HDR	HEADER		
HT	HEIGHT	T	THERMOSTAT
HW	HOT WATER	T&B	TOP AND BOTTOM
		T&G	TONGUE AND GROOVE
IN	INCH(ES)	TEL	TELEPHONE
INSUL	INSULATION	TEMP	TEMPERATURE
IINT	INTERIOR	TEMPY	TEMPORARY
		TMFD	TEMPERED
LAV	LAVATORY	TV	TELEVISION
LB or #	LOAD	TYP	TYPICAL
LD	LOAD		
LF	LINEAR FOOT/LINEAL FEET	UL	UNDERWRITERS LABORATORIES
LH	LEFT HAND	UNO	UNLESS NOTED OTHERWISE
LHR	LEFT HAND REVERSE	UNT	UTILITY
LL	LIVE LOAD		
LOD	LIMIT OF DISTURBANCE		
LT	LIGHT	V	VOLT
LTG	LIGHTING	VERT	VERTICAL
LV	LOW VOLTAGE	VIF	VERIFY IN FIELD
LVL	LAMINATED VENEER LUMBER	VOL	VOLUME
		VT	VINYL TILE
MAINT	MAINTENANCE	W	WATT
MAS	MASONRY	W	WITH
MATL	MATERIAL	WD	WASHER & DRYER
MAX	MAXIMUM	WO	WITHOUT
MECH	MECHANICAL	WC	WATER CLOSET
MED CAB	MEDICINE CABINET	WD	WOOD
MEMB	MEMBRANE	WH	WATER HEATER
MFG	MANUFACTURING	WIC	WALK IN CLOSET
MFR	MANUFACTURER	WP	WEATHER PROOF/WATERPROOF
MIN	MINIMUM	WR	WATER RESISTANT
MISC	MISCELLANEOUS	WT	WEIGHT
ML	MICROLAM	WWM	WELED WIRE MESH
MNO	MASONRY OPENING		
MULT	MULTIPLE		



**GRAPHIC SYMBOLS**

	BUILDING SECTION (DRAWING #/SHEET #)		DIMENSION LINE TO EDGE OF OBJECT
	DETAIL SECTION (DRAWING #/SHEET #)		DIMENSION LINE TO CENTERLINE OF OBJECT
	INTERIOR ELEVATIONS (DRAWING #)		WINDOW KEY TAG
			DOOR KEY TAG
			CABINET TAG

**SCOPE OF WORK**

- REPLACE 10X17' REAR DECK

**DRAWING INDEX**

COO1	GENERAL NOTES - SITE PLAN
AOO1	PLAN - STRUCTURAL PLANS - ELEVATION - BUILDING SECTION - STRUCTURAL DETAILS

**Approvals**

Reviewer	Initial	Date

Not valid until initialed

Project Team

**Version**

Permit Set

Client and Project Location

**RESIDENCE**  
 7208 SPRUCE AVE  
 TAKOMA PARK, MD 20912

Sheet Title

Cover Sheet

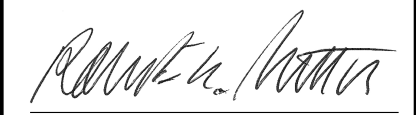
Date

Date 08/18/21

Drawing Number

**C001**

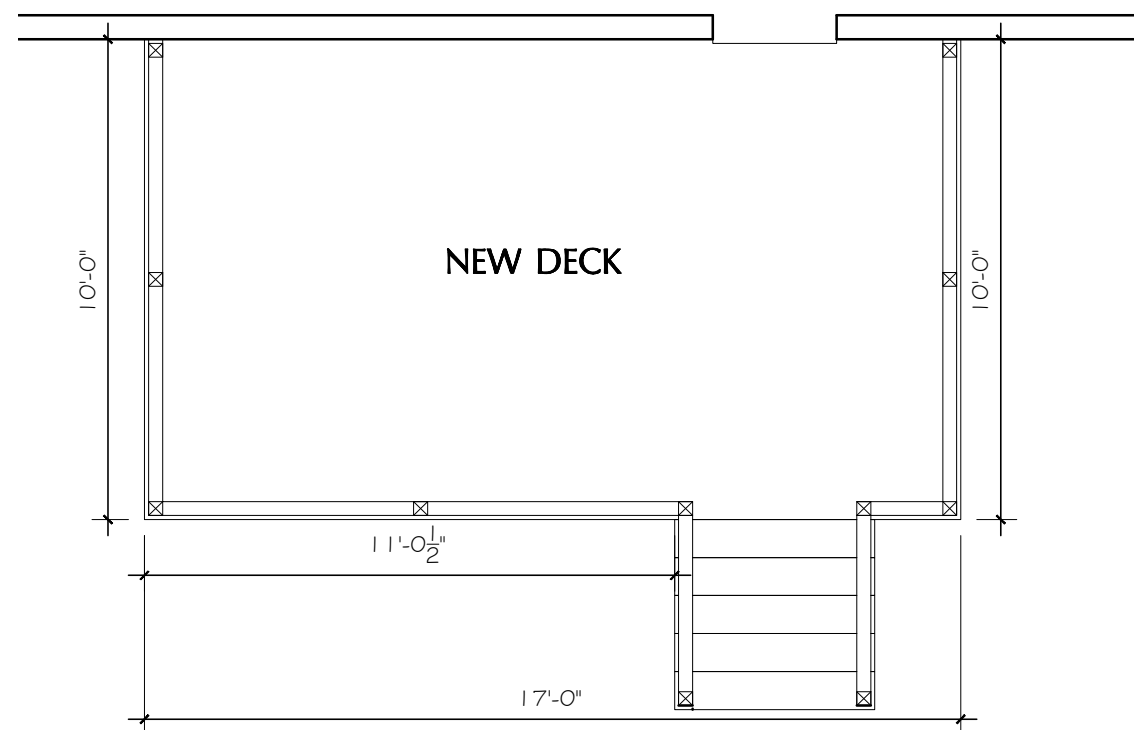




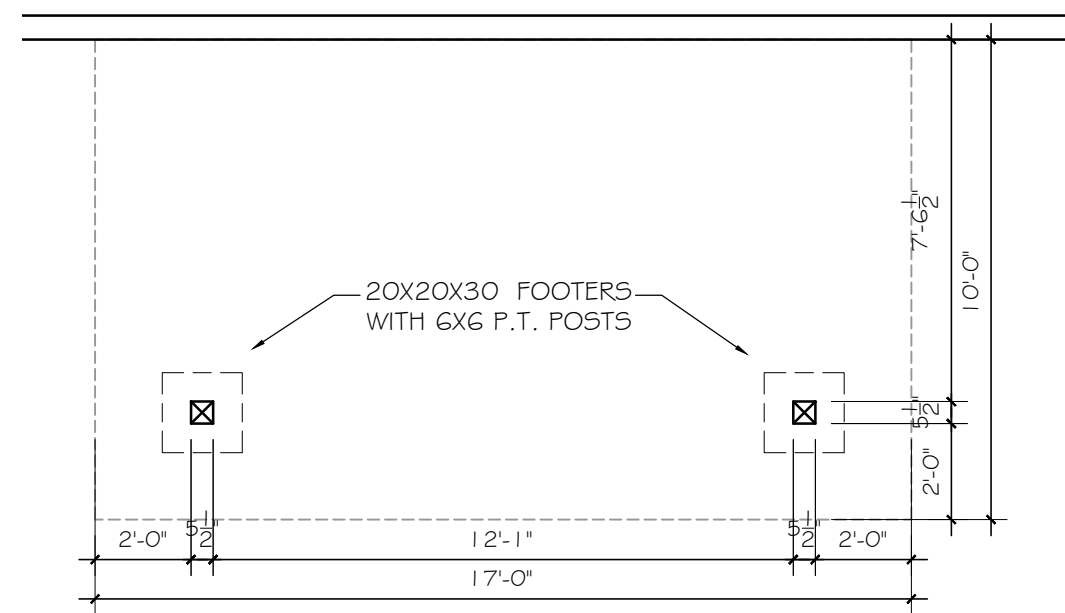
**REVIEWED**  
By Dan.Bruechert at 5:30 pm, Oct 13, 2021

**SYMETRIX**  
ARCHITECTURE by DESIGN  
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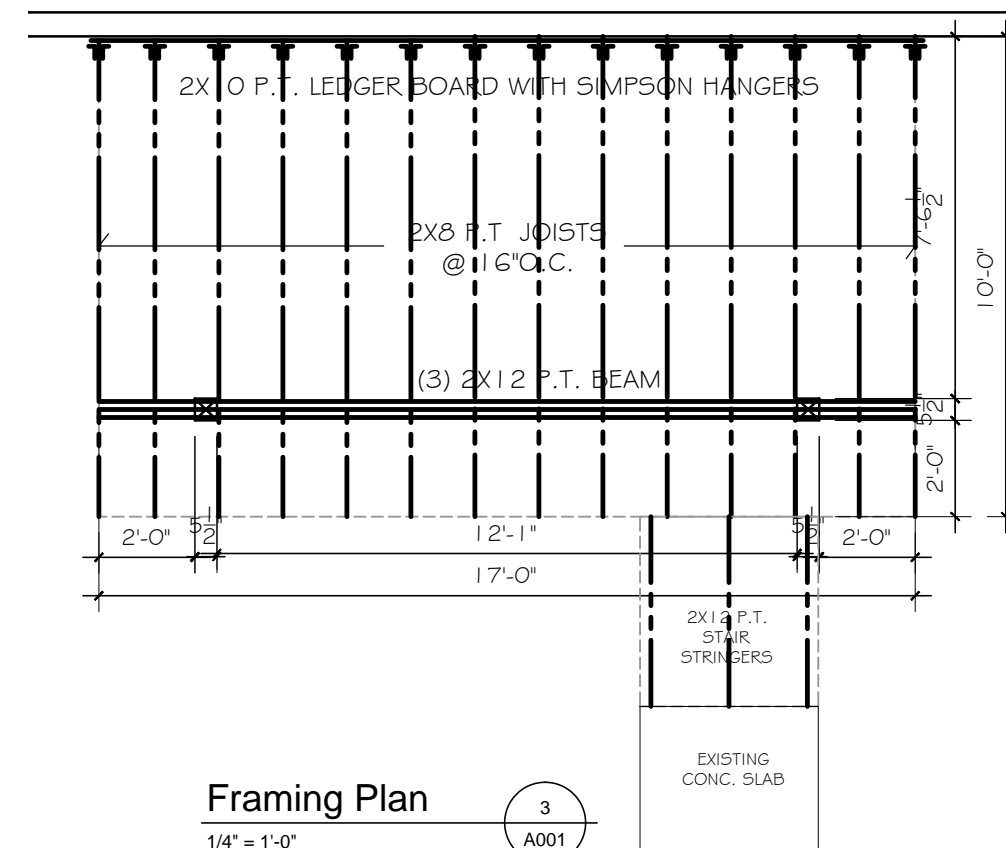
EXISTING FIRST FLOOR



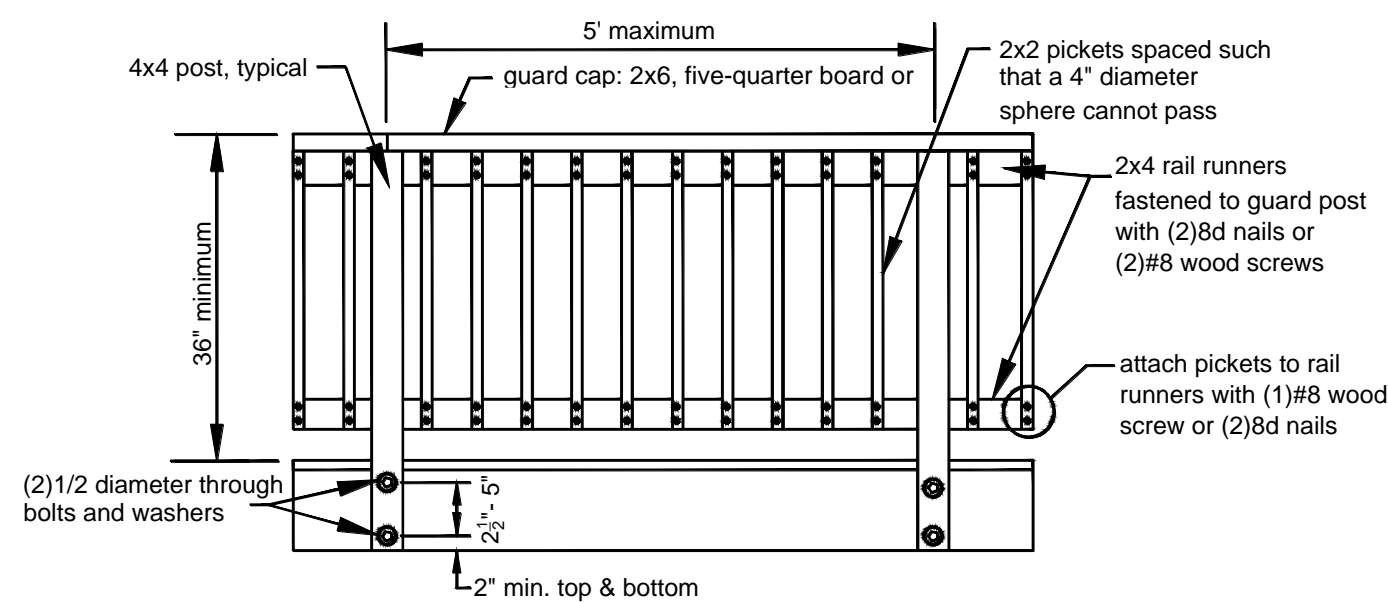
Proposed Plan 1  
1/4" = 1'-0" A001



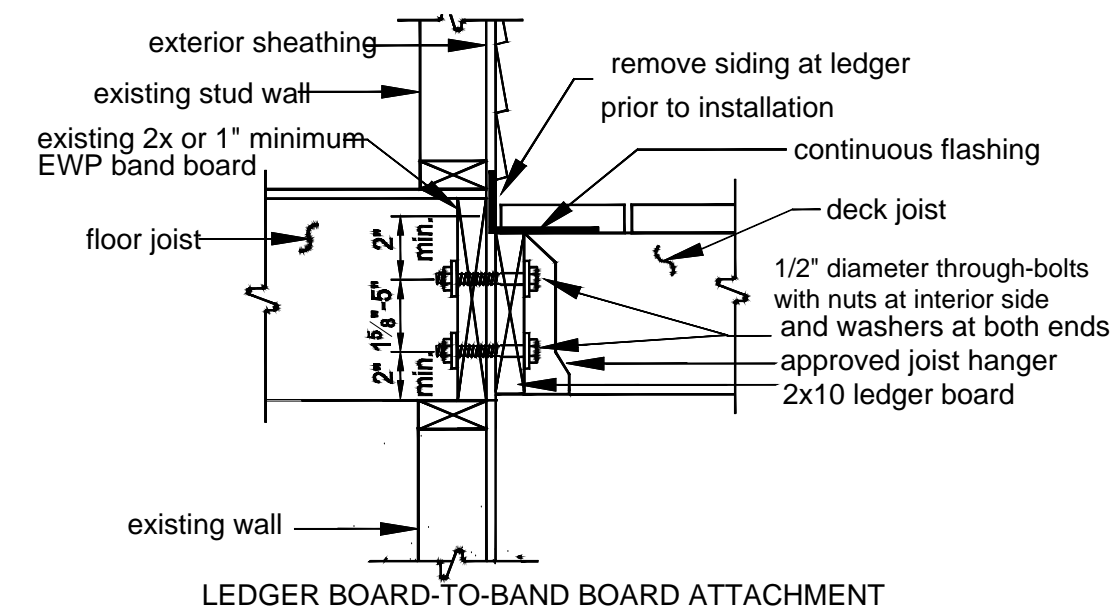
Foundation Plan 2  
1/4" = 1'-0" A001



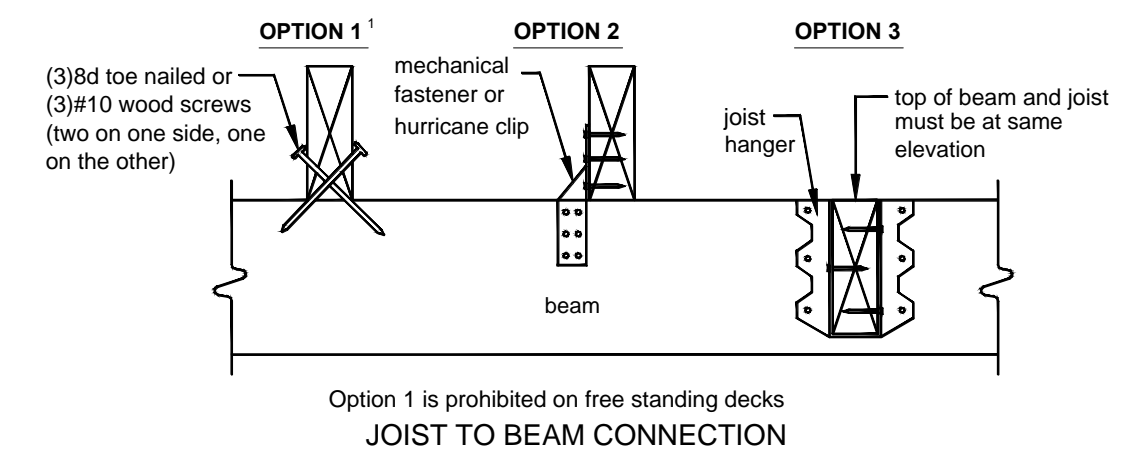
Framing Plan 3  
1/4" = 1'-0" A001



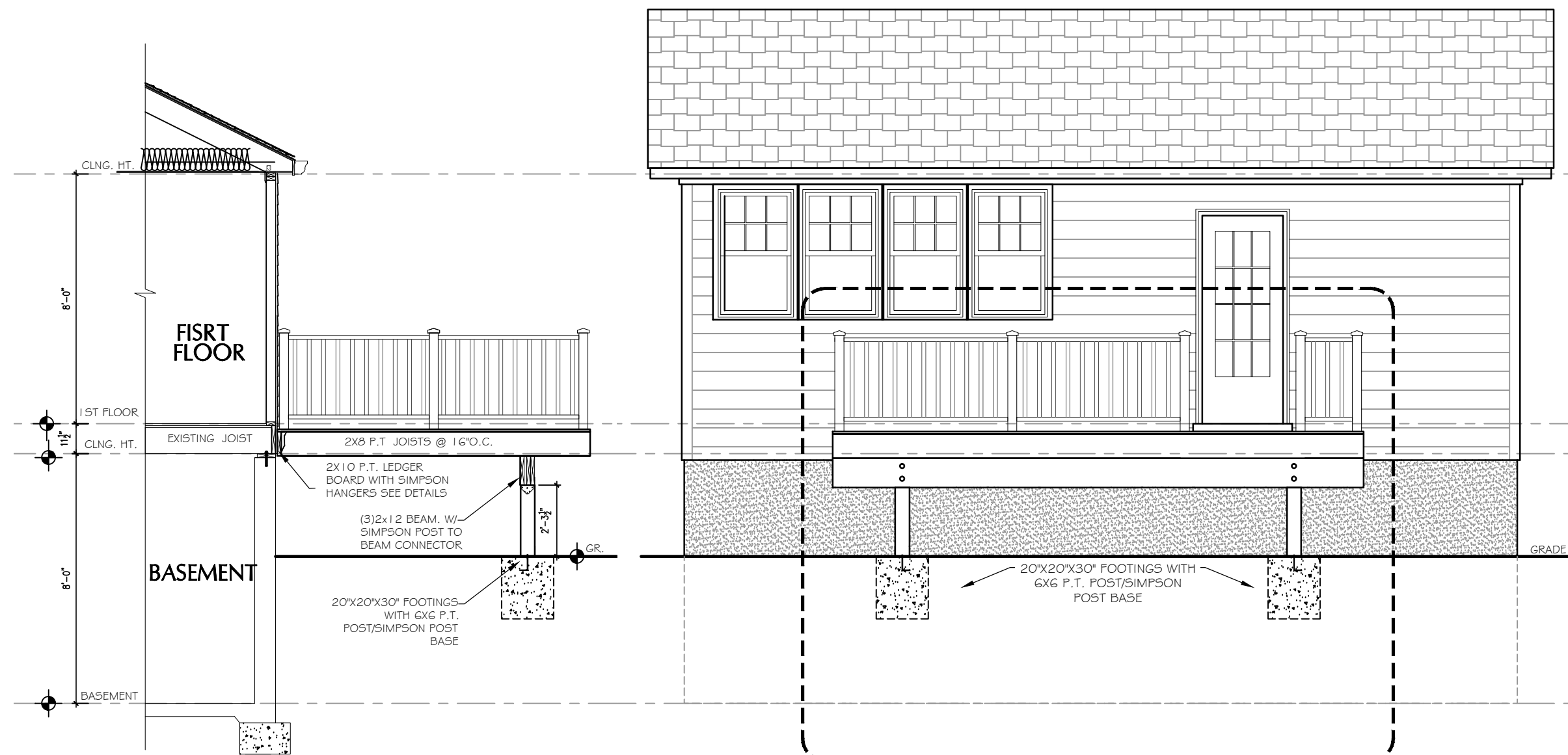
REFER TO  
MONTGOMERY  
COUNTY TYPICAL  
DECK DETAILS



LEDGER BOARD-TO-BAND BOARD ATTACHMENT

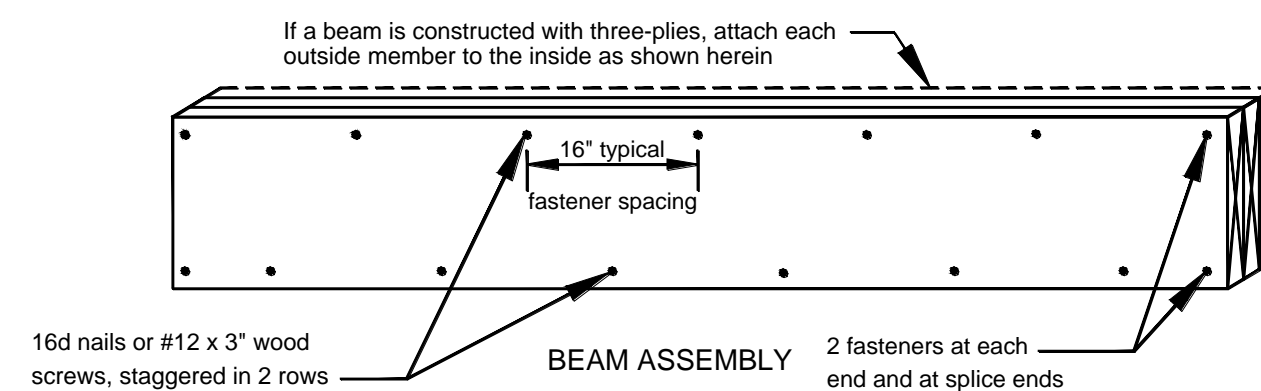


Option 1 is prohibited on free standing decks  
JOIST TO BEAM CONNECTION



Building Section 7  
1/4" = 1'-0" A001

Rear Elevation 8  
1/4" = 1'-0" A001



16d nails or #12 x 3" wood screws, staggered in 2 rows  
BEAM ASSEMBLY  
2 fasteners at each end and at splice ends

Drawing Log  
Version / Date

Reviewer	Initial	Date

Approvals

Reviewer	Initial	Date

Not valid until initiated

Project Team

Version

Permit Set

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RESIDENCE

7208 SPRUCE AVE  
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Sheet Title

Existing Plans  
Proposed Plans

Date

Date 08/18/21

Drawing Number

**A001**