



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Sandra I. Heiler  
*Chairman*

Date: November 2, 2020

### MEMORANDUM

TO: Mitra Pedoeem  
Department of Permitting Services

FROM: Dan Bruechert  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #927723: New fence and new shed construction

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the October 28, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Justin Rood  
Address: 38 Hickory Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3408 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.





DEPARTMENT OF PERMITTING SERVICES

Marc Elrich  
County Executive

Mitra Pedoeem  
Director

# HISTORIC AREA WORK PERMIT APPLICATION

Application Date: 9/23/2020

Application No: 927723  
AP Type: HISTORIC  
Customer No: 1386292

## Affidavit Acknowledgement

The Homeowner is the Primary applicant  
This application does not violate any covenants and deed restrictions

## Primary Applicant Information

Address 38 HICKORY AVE  
TAKOMA PARK, MD 20912

Homeowner Rood (Primary)

## Historic Area Work Permit Details

Work Type CONST

Scope of Work Replace existing rear fence and build a small shed in the rear of the property.

**REVIEWED**

*By Michael Kyne at 3:03 pm, Nov 02, 2020*

APPROVED

Montgomery County  
Historic Preservation Commission

*Sandra D. Heiler*

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By Michael Kyne at 3:03 pm, Nov 02, 2020

APPROVED

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### Revised Written Description - 38 Hickory Ave. Rear Shed & Fence

Like many families, we are struggling to work, live, and raise a child on our smaller-sized property. To accommodate these demands, we would like to construct a small, simple accessory shed in our backyard, approximately 12' wide by 16' long, and under 200 square feet.

We also need to replace the property's pre-existing decrepit 5' backyard fence, as it is not functional or safe. We would like to replace the fence, following the legacy fenceline, with a more appealing and suitable wood lateral-board fence. It would have two gates -- a single gate on the south side and a double-gate on the north side. (The legacy fence features a single gate on the south side and a single gate on the north side.) The fence will be 6' in height behind the rear wall of the house, and 4' in height past the rear wall of the house. Additionally, the 4' fencing will have increased spacing/visibility between boards, per historic guidelines.

## Shed

### *Location & Visibility*

The proposed shed would be virtually out of sight from the street. We propose building it in the far rear interior corner of the yard. Our property is on a downslope from the street. The shed itself is small, with a sloped roofline whose highest point is still under 9.5' high. And it will be behind the backyard fence.

### *Design, Materials & Build*

The proposed shed has a simple, award-winning design that complements our home and property. It is professionally assembled before shipment using quality, durable, energy-efficient materials, many environmentally friendly. It will be assembled onsite by a licensed contractor.

### *Impact on Neighborhood*

Because it will be virtually out of sight, we expect the shed will have no impact on the appearance of the neighborhood. The structure's modest height and size are of benefit.

### *Impact on Trees*

Zero. No trees will be removed for this project, and construction will be in accordance with the City of Takoma Park's binding guidance regarding tree protection, under the observation of the city's arborist.

## Fence

### *Location & Visibility*

The proposed fence would be installed along the same fenceline as the existing, failing fence. It encloses the rear yard. Please note that the legacy fence traverses the rear wall plane.

The fence will be 6' in height behind the rear wall plane of the house, and 4' in height forward of that line. The 4' portion will also have increased spacing between boards per historic guidelines.

*Design, Materials & Build*

The proposed fence is a wood, lateral-board style fence that's not uncommon to the neighborhood, to be professionally installed by Long Fence. (please see Fence - Photos - 1 for an example of the 6' height.)

*Impact on Neighborhood*

For the visible portion along the south side of the property, it should be positive, as the existing fence is no longer attractive or functional. (Please see Photos - Fence - 2.) The east and north sides are not visible from the street. The west (front) side of the fence is appreciably set back and graded up from street level and at least partially obscured at all times, but even in those glimpses the new fence should be a quiet enhancement to the neighborhood and our property. (Please see Fence - Photos - 3.)

*Impact on Trees*

We do not anticipate any impact on trees on our property. Proposed fence would replace existing fence. No trees will be removed for this project.

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By Michael Kyne at 3:03 pm, Nov 02, 2020

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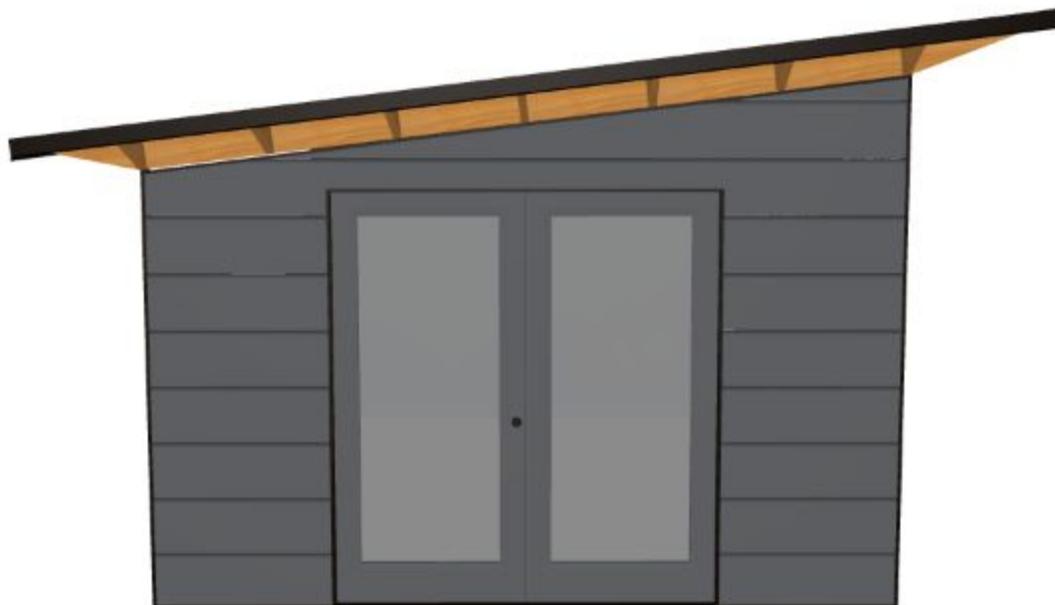


Plans and Elevations, 38 Hickory Rear Shed



Front of shed (south face)

**REVIEWED**  
*By Michael Kyne at 3:03 pm, Nov 02, 2020*



Left side of shed (west face)

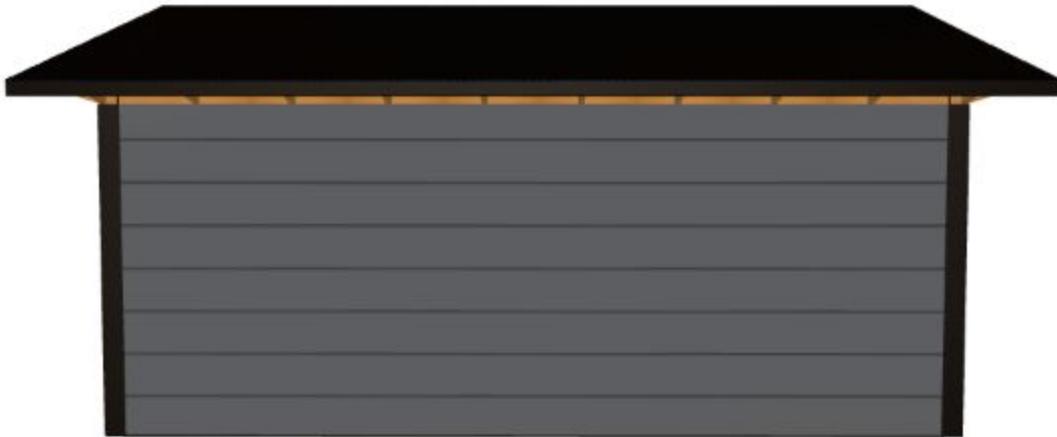
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Left side of shed

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Rear of shed



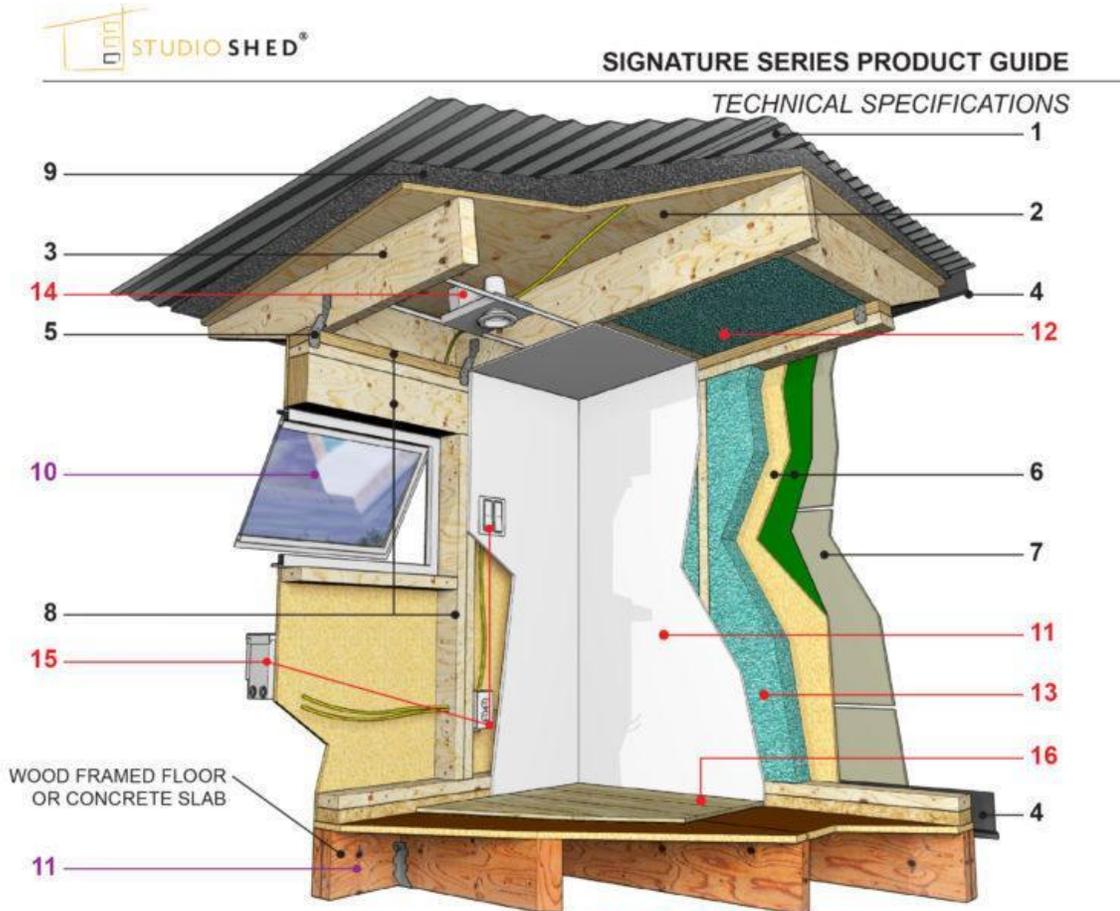
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**Material Specifications - 38 Hickory Rear Shed & Fence**

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**Shed**



**STANDARD FEATURES:**

- 1) GALVALUME OR PAINTED CORRUGATED METAL ROOF
- 2) PLYWOOD ROOF SHEATHING
- 3) 2x RAFTERS AND BLOCKING
- 4) CUSTOM MANUFACTURED ALUMINUM FLASHING AND TRIM
- 5) SIMPSON STRONG-TIE® TIE-DOWNS AT ALL RAFTER CONNECTIONS
- 6) ZIP SYSTEM® WALL SHEATHING WITH INTEGRATED WATER-RESISTIVE BARRIER
- 7) FIBER CEMENT SIDING
- 8) FIR AND ENGINEERED WOOD WALL FRAMING
- 9) ROOFING FELT (BY INSTALLER OR CUSTOMER)

**OPTIONAL ADD-ONS:**

- 10) ENERGY EFFICIENT LOW-E OPERABLE WINDOWS
- 11) PRESSURE TREATED WOOD FRAMED FLOOR ON PIERS (AVAILABLE ON SELECT MODELS)

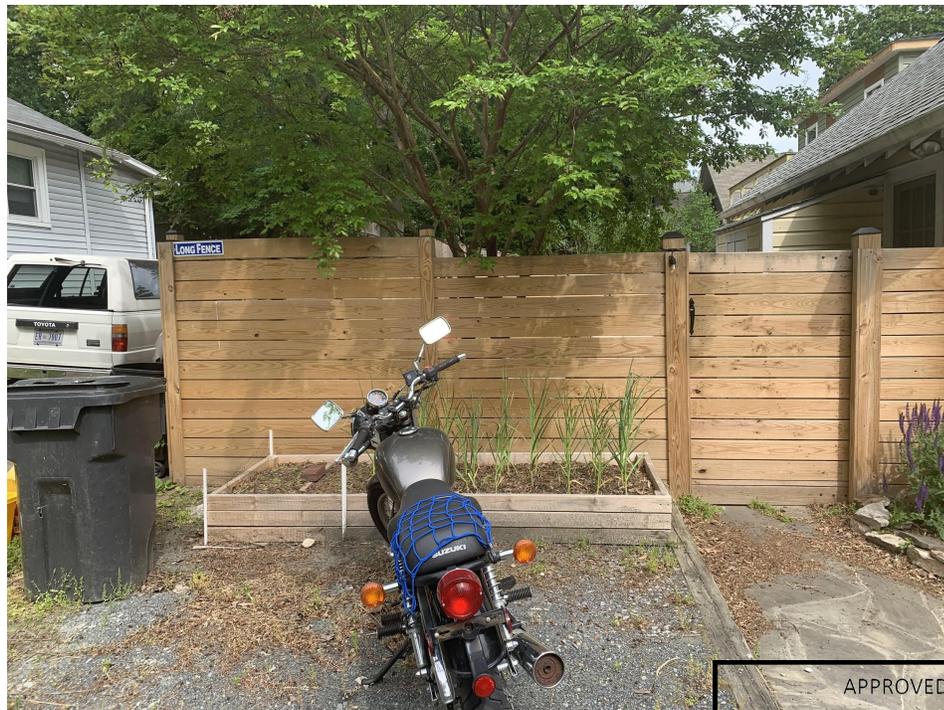
**LIFESTYLE PACKAGE:**

- 11) SEAMLESS DRYWALL INTERIOR
- 12) RECYCLED DENIM ROOF INSULATION
  - R-21 (2x6 RAFTERS)
  - R-30 (2x8 AND 2x10 RAFTERS)
- 13) RECYCLED DENIM WALL INSULATION
  - R-13
- 14) 3" INTERIOR RECESSED LIGHT FIXTURES
  - LED (600 LUMENS)
- 15) ELECTRICAL PACKAGE
  - EXTERIOR MOUNTED JUNCTION BOX WITH 15 AND 20 AMP BREAKERS
  - DUPLEX WALL OUTLET, DUPLEX GFCI OUTLET AND EXTERIOR DUPLEX OUTLET
  - LIGHT SWITCHES
  - EXTERIOR LIGHT FIXTURE(S)
- 16) FINISHED FLOORING OPTIONS
  - ENGINEERED WOOD
  - CORK

<b>Model</b>	Signature
<b>Size</b>	12' x 16'
<b>Siding</b>	Lap
<b>Front</b>	F20-W2L-W2R-D72C-BL Left Justified Full Vistalite (Fixed Vertical Window), Right Justified Full Vistalite (Fixed Vertical Window), Centered 72" Door
<b>Left</b>	L10x-D36CR-BL Centered 36" Door
<b>Right</b>	R10x-BL
<b>Back</b>	B20-BL
<b>Siding</b>	Volcano Gray fiber cement siding
<b>Door</b>	Vistalite, Volcano Gray
<b>Roof</b>	26-gauge corrugated Galvalume roofing with exposed fasteners
<b>Eaves Color</b>	Natural Stain
<b>Accessory:</b>	Dark Bronze Cladding
<b>Accessory:</b>	Full-Lite Glass Door
<b>Shipping</b>	Takoma Park, MD (20912)
<b>Foundation</b>	Wood Frame Floor
<b>Insulation</b>	Insulation – R-15 (wall) and R-30 (roof)

### Fence

1x6 pressure-treated wood boards with 4x4 posts (example below)



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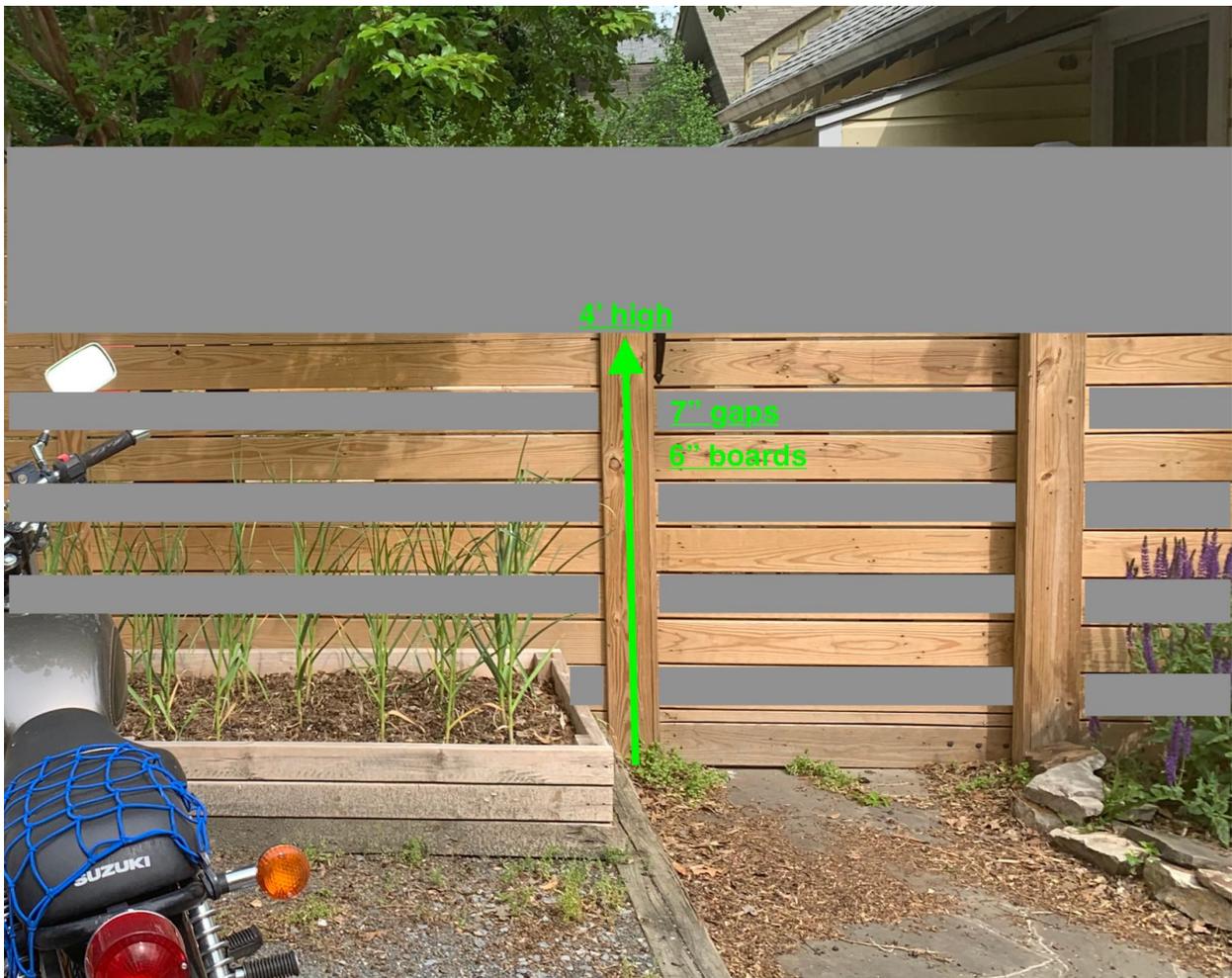
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### 38 Hickory - Fence Project - Elevation Addendum

I regret I am unable to provide a more formal schematic showing the elevation of the proposed sections of 4' fence, to demonstrate its openness. And let me apologize in advance for the quality of my digital illustration below. It is a last resort.

I have used the photograph sample of the 6' rear fence and modified it, to show how the 4' open-style fence would appear. (I hope it looks much better than my photo illustration.) As I hope you can see, the openness is created by alternating lateral 6" boards with approximately 7" gaps, while following the style of the rest of the fence. This will achieve slightly greater than 50% visibility through the fence.



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Photos - Fence



1. Lateral board style (proposed) - example



2. Existing fence - rot, failure, missing boards

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5. Elm Ave. (south) view.

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3. Street views of west side of fence (front facing), to show that fence is not a significant component of property's front appearance.



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4. Full Hickory Ave. (west) view

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**Photos - 38 Hickory Rear Yard, Current**



1. Current rear yard - north side, from deck  
(orange poles showing approximate location of proposed shed)



2. Current rear yard - center, from deck

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3. Current rear yard - south side, from deck

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**Tree Survey**  
**38 Hickory Shed and Fence**

As noted in the written description, no aspect of this project would adversely impact any tree on the property. Work will be carried out under the observation and direction of the Takoma Park arborist, according to a Tree Protection Plan prepared by that office.

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