



## HISTORIC PRESERVATION COMMISSION

Mark Elrich  
*County Executive*

Sandra Heiler  
*Chairman*

Date: December 8, 2020

### MEMORANDUM

TO: Diane Schwartz Jones  
Department of Permitting Services

FROM: Dan Bruechert  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit: 846182: Building Additions

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the October 24, 2018 Historic Preservation Commission meeting with revised plans approved at the September 11, 2019 HPC meeting, the February 12, 2020 HPC meeting, and the October 28, 2020 HPC Meeting.

The HPC staff has reviewed and stamped the attached revised construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: David O'Neil and Laura Billings  
Address: 5904 Cedar Parkway, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3408 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.



**MONTGOMERY COUNTY HISTORIC PRESERVATION COMMISSION**  
**STAFF REPORT**

<b>Address:</b>	5904 Cedar Parkway, Chevy Chase	<b>Meeting Date:</b>	10/28/2020
<b>Resource:</b>	Outstanding Resource Chevy Chase Village Historic District	<b>Report Date:</b>	10/14/2020
<b>Applicant:</b>	David O’Neil & Laura Billings (David Jones, Architect)	<b>Public Notice:</b>	10/7/2020
<b>Review:</b>	HAWP	<b>Tax Credit:</b>	Partial
<b>Case Number:</b>	35/13-18Z (REVISION)	<b>Staff:</b>	Dan Bruechert
<b>Proposal:</b>	Front Terrace Alteration		

**STAFF RECOMMENDATION**

Staff recommends that the HPC **approve** the HAWP application.

**ARCHITECTURAL DESCRIPTION**

SIGNIFICANCE: Outstanding Resource within the Chevy Chase Village Historic District  
 STYLE: Eclectic  
 DATE: c. 1918

The house is placed on the right side of a double-width lot. The stucco-clad house is set on a stone foundation and is two stories tall with a slate roof. The house form is complex and is best described as a variant of an L-shaped plan. The left side of the house has a two-story sun porch with a hipped slate roof. To the right of the sun porch is the front facing gable of the L, with a two-story hipped projection to the right. The house has metal casement windows throughout in a variety of configurations, with large timber lintels over the larger window openings. There are non-historic additions to the rear of the house. To the left of the house is a stone and wood arbor/ pergola that terminates in a large stone folly. There are formal terraced grounds to the rear of the arbor. To the right of the house is a very narrow asphalt driveway that leads to a detached, 3-bay garage.

The Chevy Chase Village Historic District Master Plan Amendment identifies the subject property as an ‘Outstanding’ resource as a “A. Morrill, H. Hathaway. Early Reinfor[ced] Concrete” construction.

APPROVED  
 Montgomery County  
 Historic Preservation Commission

*Sandra L. Heiler*

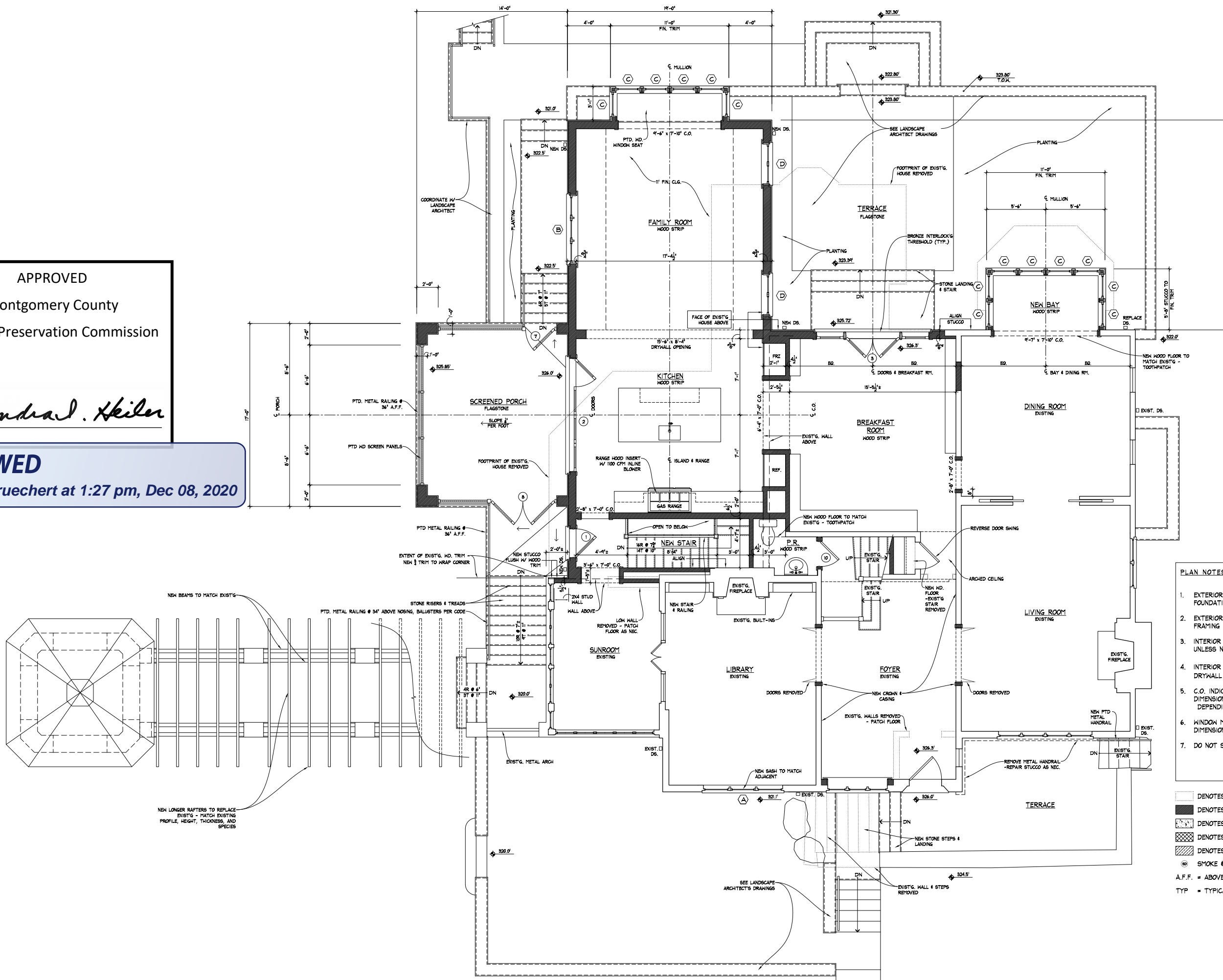
**REVIEWED**  
 By Dan.Bruechert at 1:26 pm, Dec 08, 2020



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Montgomery County  
Historic Preservation Commission

*Sandra L. Heiler*

**REVIEWED**  
By Dan.Bruechert at 1:27 pm, Dec 08, 2020



- PLAN NOTES:**
1. EXTERIOR DIMENSIONS TO FACE OF STUCCO AND/OR FOUNDATION WALL
  2. EXTERIOR FRAME WALLS ARE BEARING 2x8 STUD FRAMING U.N.O.
  3. INTERIOR DIMENSIONS TO FINISHED DRYWALL UNLESS NOTED OTHERWISE
  4. INTERIOR WALLS 2x6 STUD FRAMING 6 1/2" TO FIN. DRYWALL UNLESS NOTED OTHERWISE
  5. C.O. INDICATES A CASSED OPENING, FINISHED DIMENSIONS, SEE DETAILS FOR C.O. TYPE DEPENDING ON WALL FINISHES & LOCATION.
  6. WINDOW MULL DIMENSIONS SHOWN ARE FINISHED DIMENSIONS.
  7. DO NOT SCALE PLANS

- DENOTES EXISTING WALL REMOVED
- DENOTES NEW FRAME WALL
- ▣ DENOTES NEW CONCRETE WALL
- ▤ DENOTES CMU
- ▥ DENOTES NEW STONE VENEER
- ⊙ SMOKE & CARBON MONOXIDE DETECTOR
- A.F.F. = ABOVE FINISHED FLOOR
- TYP = TYPICAL

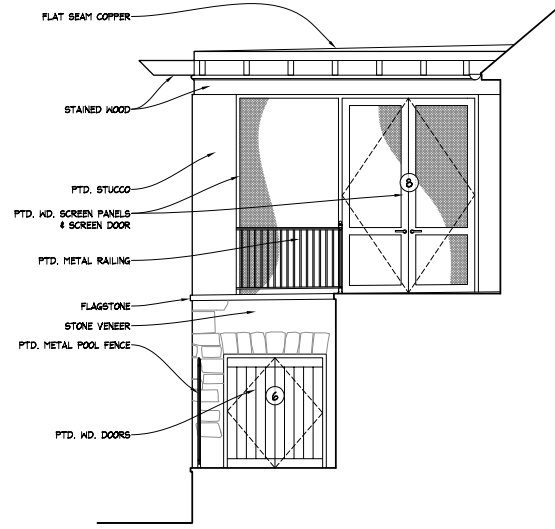
FIRST FLOOR PLAN  
1/4" = 1'-0"

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CHEVY CHASE, MD 20815

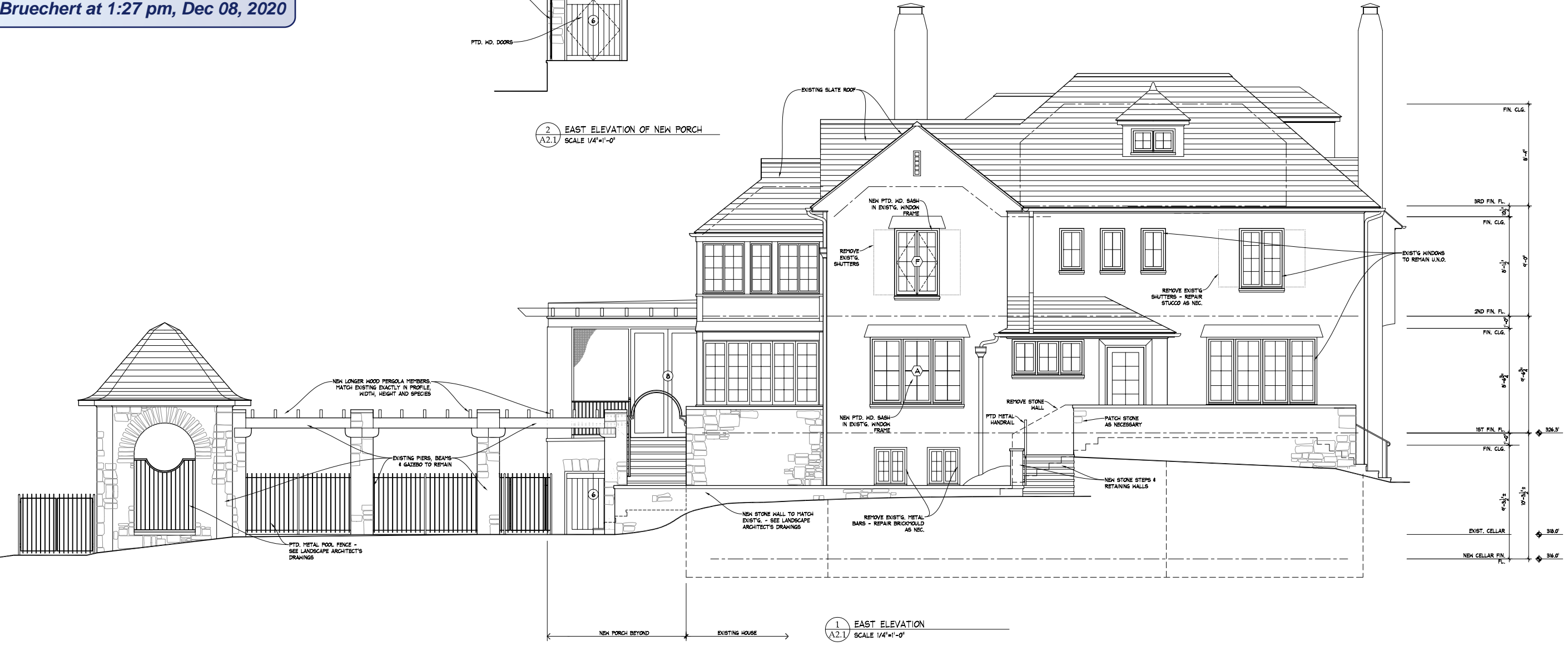
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 By Dan.Bruechert at 1:27 pm, Dec 08, 2020



2 EAST ELEVATION OF NEW PORCH  
 A2.1 SCALE 1/4"=1'-0"



1 EAST ELEVATION  
 A2.1 SCALE 1/4"=1'-0"

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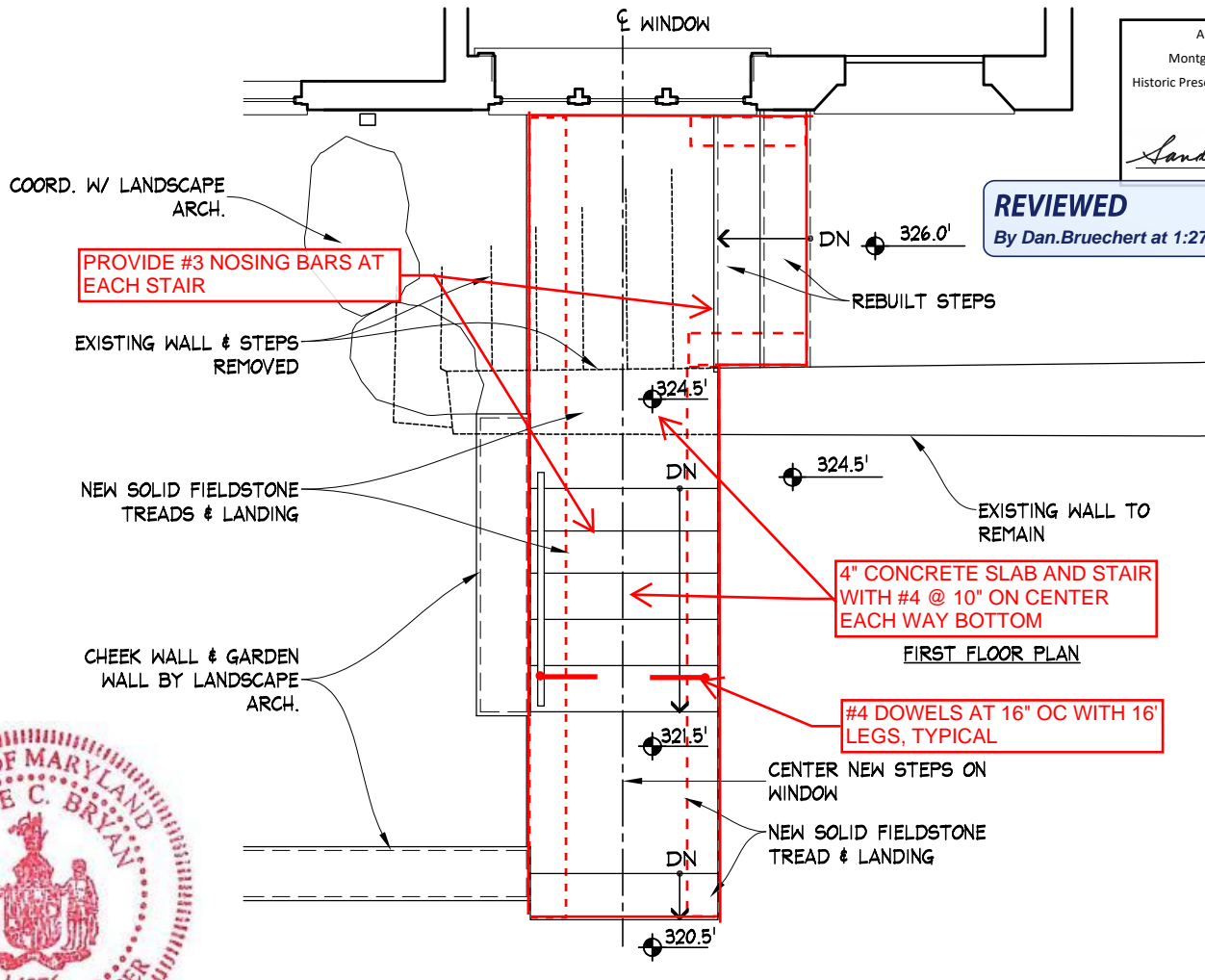
DATE:  
 25 JULY 2018  
 HPC SET

EAST ELEVATION  
 1/4" = 1'-0"

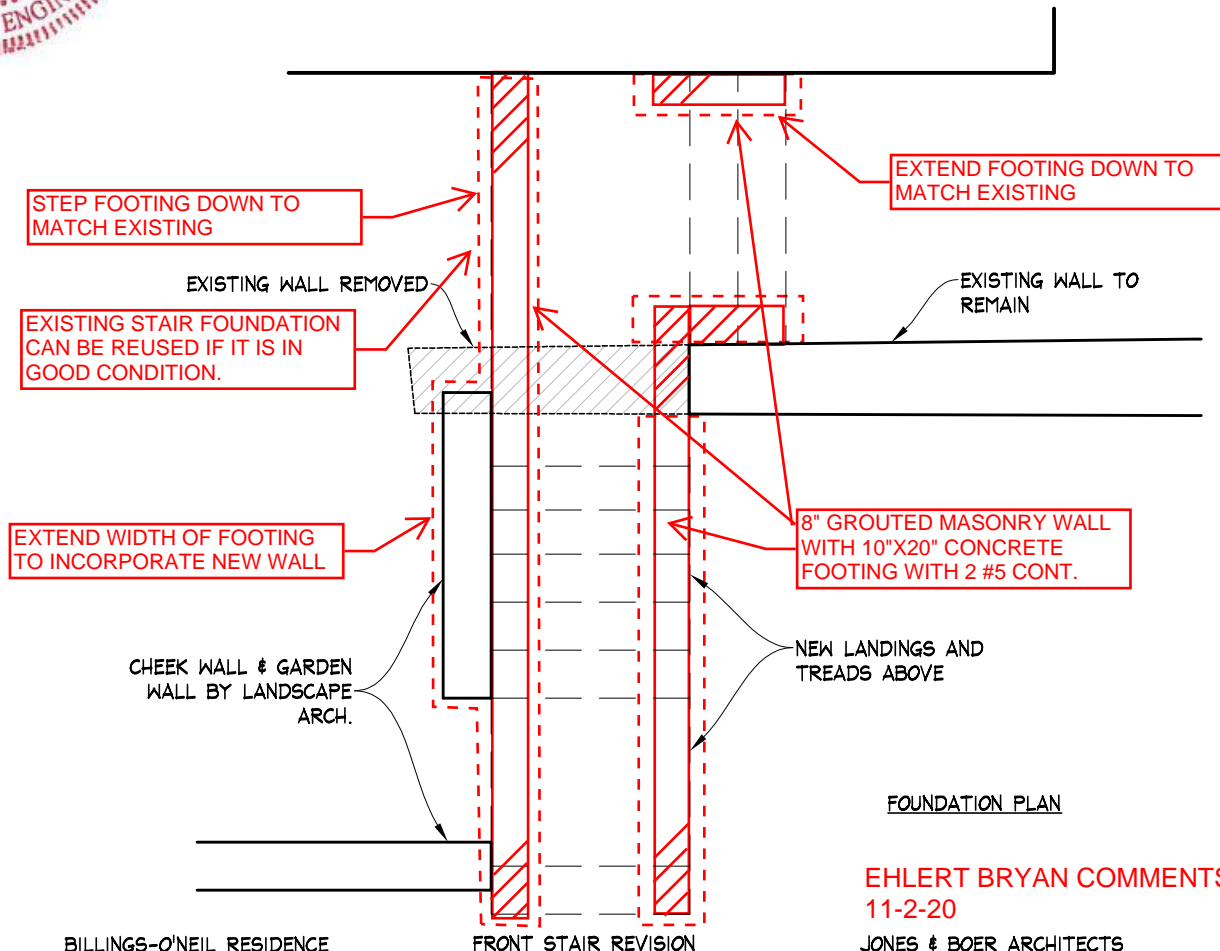
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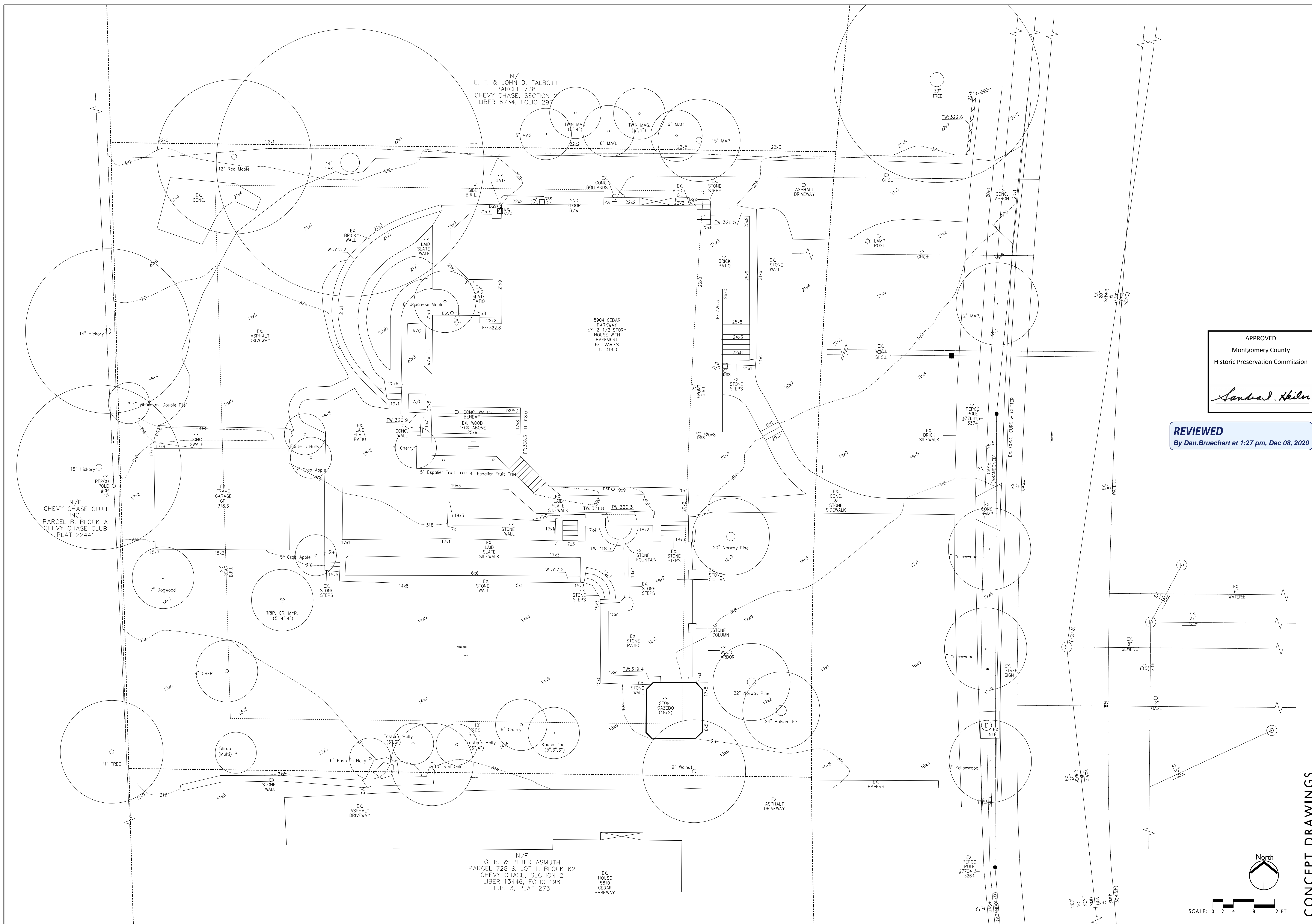
**REVIEWED**  
 By Dan.Bruechert at 1:27 pm, Dec 08, 2020



Professional Certification: I, Wayne C. Bryan, hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of State of Maryland, License no. 14376, Expiration Date: 04/06/21.

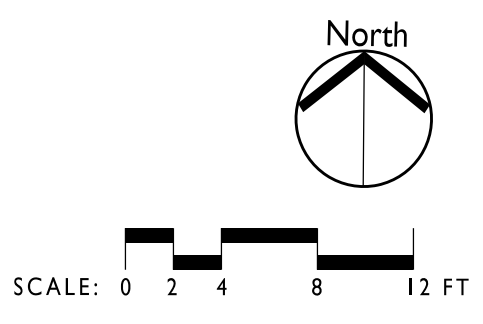


**EHLERT BRYAN COMMENTS**  
 11-2-20



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 Montgomery County  
 Historic Preservation Commission  
*Sandra L. Heiler*

REVIEWED  
 By Dan.Bruechert at 1:27 pm, Dec 08, 2020



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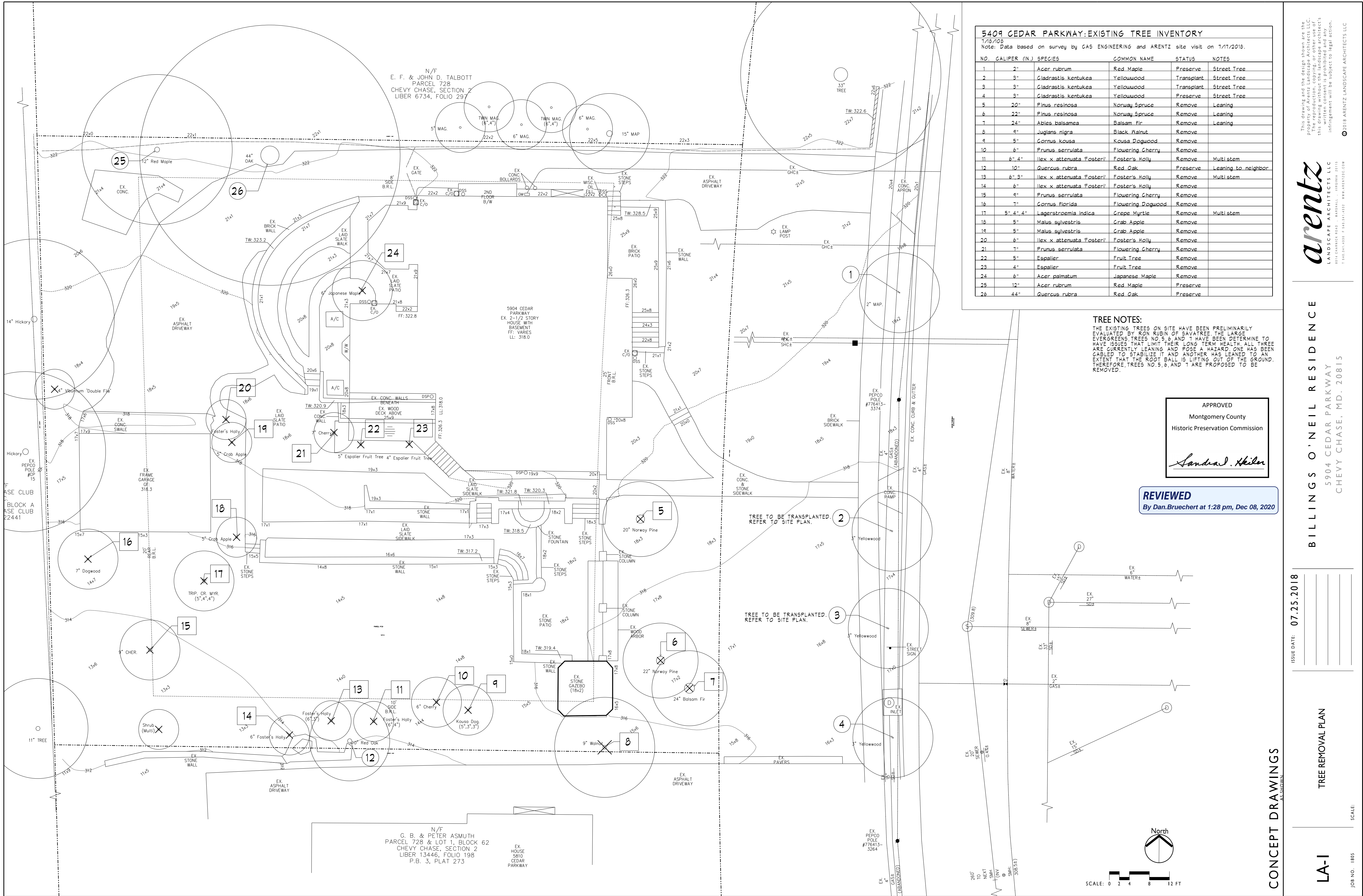
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 LANDSCAPE ARCHITECTS, LLC  
 8114 CHARLES ROAD - HARBALL, VIRGINIA 22131  
 T 703.341.1310 F 703.341.1312 WWW.ARENTZ.COM

BILLINGS O'NEIL RESIDENCE  
 5904 CEDAR PARKWAY  
 CHEVY CHASE, MD. 20815

ISSUE DATE: 07.25.2018

EXISTING CONDITIONS  
 SCALE: AS SHOWN

EX-1  
 JOB NO. 1885



**5409 CEDAR PARKWAY: EXISTING TREE INVENTORY**

7/18/108  
 Note: Data based on survey by CAS ENGINEERING and ARENTZ site visit on 7/17/2018.

NO.	CALIFER (IN.)	SPECIES	COMMON NAME	STATUS	NOTES
1	2"	Acer rubrum	Red Maple	Preserve	Street Tree
2	3"	Cladrastia kentukea	Yellowwood	Transplant	Street Tree
3	3"	Cladrastia kentukea	Yellowwood	Transplant	Street Tree
4	3"	Cladrastia kentukea	Yellowwood	Preserve	Street Tree
5	20"	Pinus resinosa	Norway Spruce	Remove	Leaning
6	22"	Pinus resinosa	Norway Spruce	Remove	Leaning
7	24"	Abies balsamea	Balsam Fir	Remove	Leaning
8	4"	Juglans nigra	Black Walnut	Remove	
9	5"	Cornus kousa	Kousa Dogwood	Remove	
10	6"	Prunus serrulata	Flowering Cherry	Remove	
11	6" 4"	Ilex x attenuata 'Fosteri'	Foster's Holly	Remove	Multistem
12	10"	Quercus rubra	Red Oak	Preserve	Leaning to neighbor
13	6" 3"	Ilex x attenuata 'Fosteri'	Foster's Holly	Remove	Multistem
14	6"	Ilex x attenuata 'Fosteri'	Foster's Holly	Remove	
15	9"	Prunus serrulata	Flowering Cherry	Remove	
16	7"	Cornus florida	Flowering Dogwood	Remove	
17	5" 4" 4"	Lagerstroemia indica	Crape Myrtle	Remove	Multistem
18	5"	Malus sylvestris	Crab Apple	Remove	
19	5"	Malus sylvestris	Crab Apple	Remove	
20	6"	Ilex x attenuata 'Fosteri'	Foster's Holly	Remove	
21	7"	Prunus serrulata	Flowering Cherry	Remove	
22	5"	Espalier	Fruit Tree	Remove	
23	4"	Espalier	Fruit Tree	Remove	
24	6"	Acer palmatum	Japanese Maple	Remove	
25	12"	Acer rubrum	Red Maple	Preserve	
26	44"	Quercus rubra	Red Oak	Preserve	

**TREE NOTES:**  
 THE EXISTING TREES ON SITE HAVE BEEN PRELIMINARILY EVALUATED BY RON RUBIN OF SAVATREE. THE LARGE EVERGREENS TREES NO. 5, 6, AND 7 HAVE BEEN DETERMINE TO HAVE ISSUES THAT LIMIT THEIR LONG TERM HEALTH. ALL THREE ARE CURRENTLY LEANING AND POSE A HAZARD. ONE HAS BEEN CABLED TO STABILIZE IT AND ANOTHER HAS LEANED TO AN EXTENT THAT THE ROOT BALL IS LIFTING OUT OF THE GROUND. THEREFORE, TREES NO. 5, 6, AND 7 ARE PROPOSED TO BE REMOVED.

APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Sandra A. Hilden*

REVIEWED  
 By Dan.Bruechert at 1:28 pm, Dec 08, 2020

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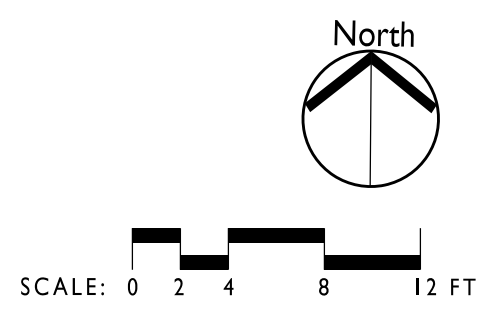
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 T 703.341.1310 F 703.341.3332 WWW.ARENTZ.COM

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TREE REMOVAL PLAN

CONCEPT DRAWINGS  
 AS SHOWN  
 LA-1  
 SCALE: 1" = 8'0"

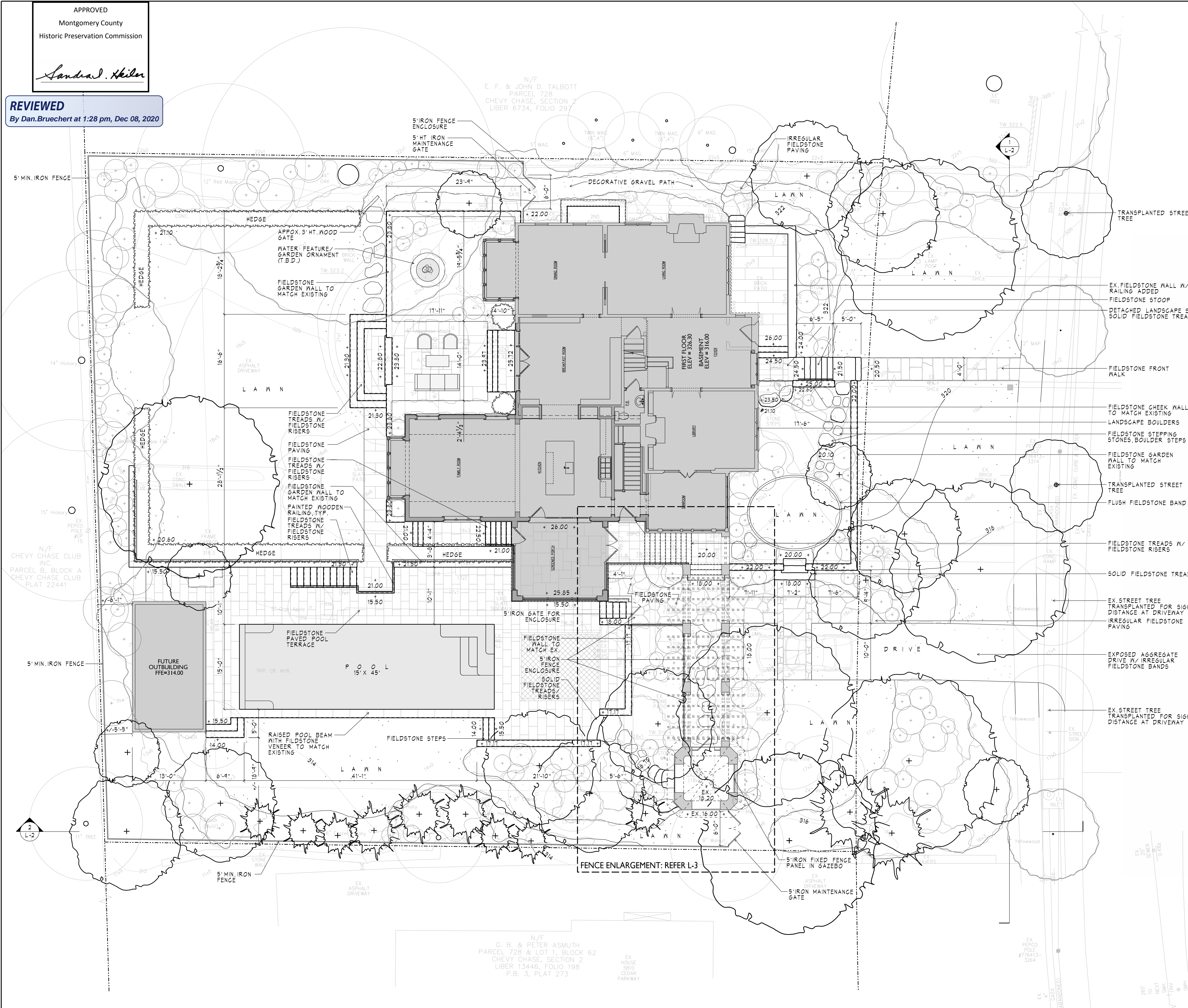




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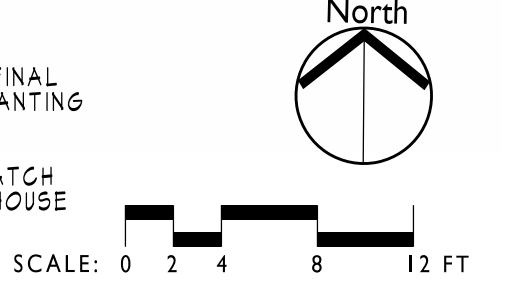
**LEGEND**

- EXISTING TREE TO REMAIN
- PROPOSED TREE - LARGER SYMBOLS INDICATE SHADE TREES, SMALLER FLOWERING/UNDERSTORY TREES
- PROPOSED EVERGREEN TREE
- PROPOSED SHRUB
- EXISTING TOPOGRAPHIC COUNTER LINE
- PROPOSED TOPOGRAPHIC COUNTER LINE
- EX. 18.00 EXISTING SPOT ELEVATION
- + 26.00 PROPOSED SPOT ELEVATION



**NOTES**

- 1) THIS PLAN IS CONCEPTUAL. FINAL HARDSCAPE, GRADING, AND PLANTING TO BE DETERMINED.
- 2) FIELDSTONE VENEER TO MATCH EXISTING STONE VENEER ON HOUSE



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T 800.341.4310 F 540.341.4312 WWW.ARENTZ.COM

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ISSUE DATE: 07.25.2018

ILLUSTRATIVE SITE PLAN

SCALE: AS SHOWN  
JOB NO. 1885

CONCEPT DRAWINGS

L-1



1 EAST ELEVATION

SCALE: 1/8" = 1'-0"



EXISTING EAST ELEVATION: FRONT DOOR IS NOT EASILY RECOGNIZABLE AND WALK DOES NOT PROVIDE A STRONG CONNECTION TO THE STREET. THREE STORY ELEVATION LOOMS OVER CALCULATION TO THE FRONT DOOR AND IS OUT OF SCALE WITH THE PEDESTRIAN EXPERIENCE OF MOVING TO THE FRONT PORCH.

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra Heiler*

REVIEWED  
By Dan.Bruechert at 1:28 pm, Dec 08, 2020



2 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"

CONCEPT DRAWINGS

ISSUE DATE: 07.25.2018

ILLUSTRATIVE ELEVATIONS

L-2.0

JOB NO. 1885

SCALE: AS SHOWN

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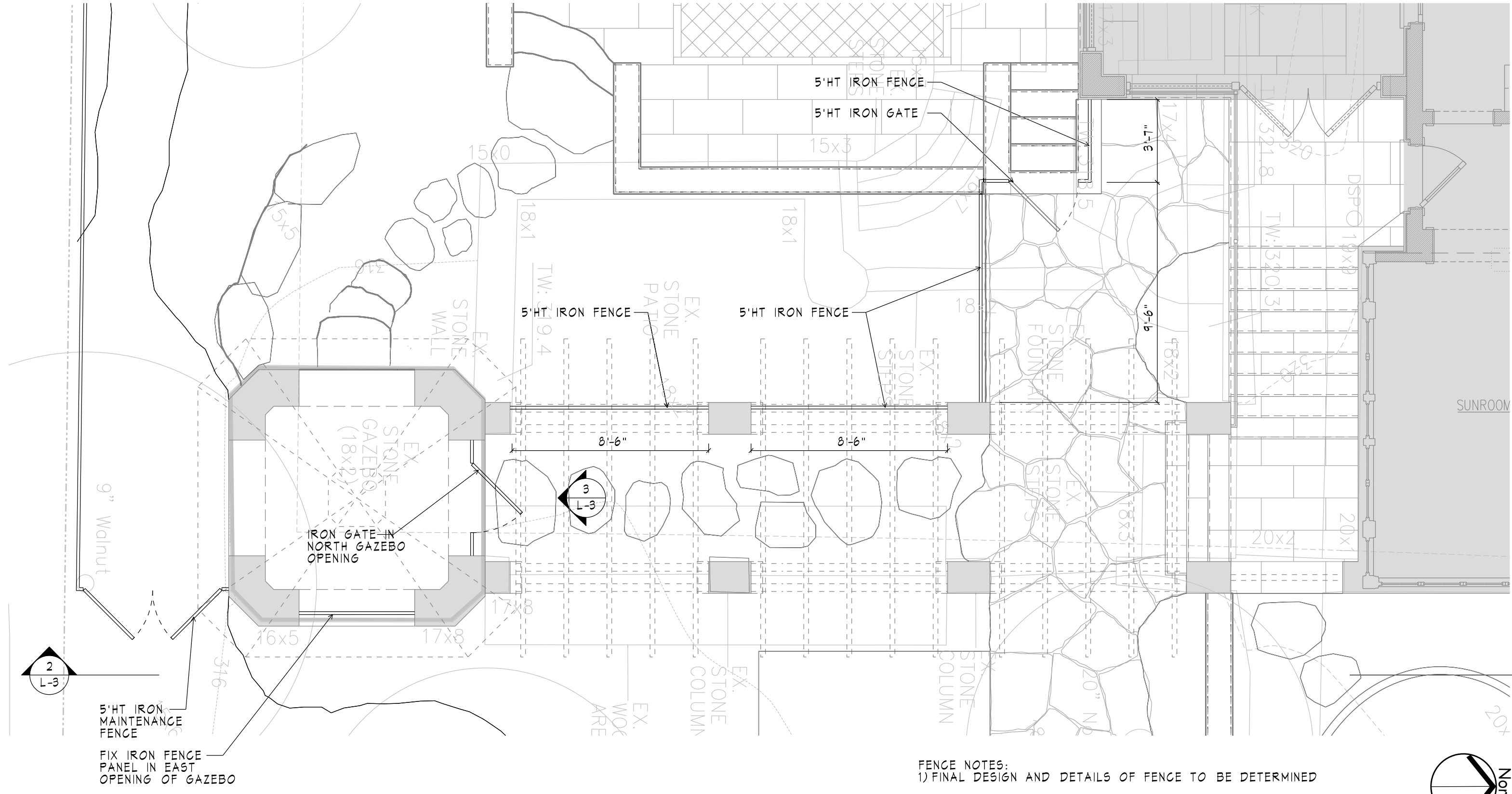
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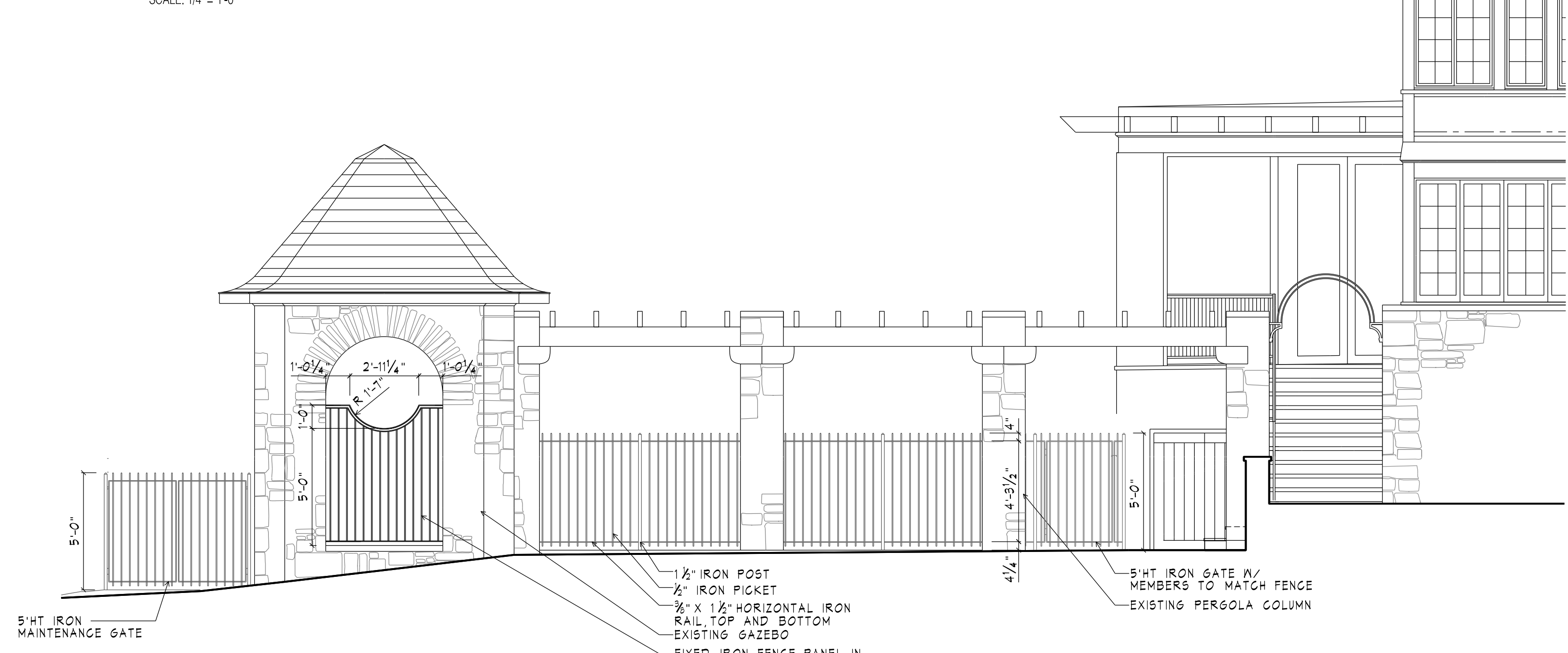
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**1** FENCE ENLARGEMENT - PLAN

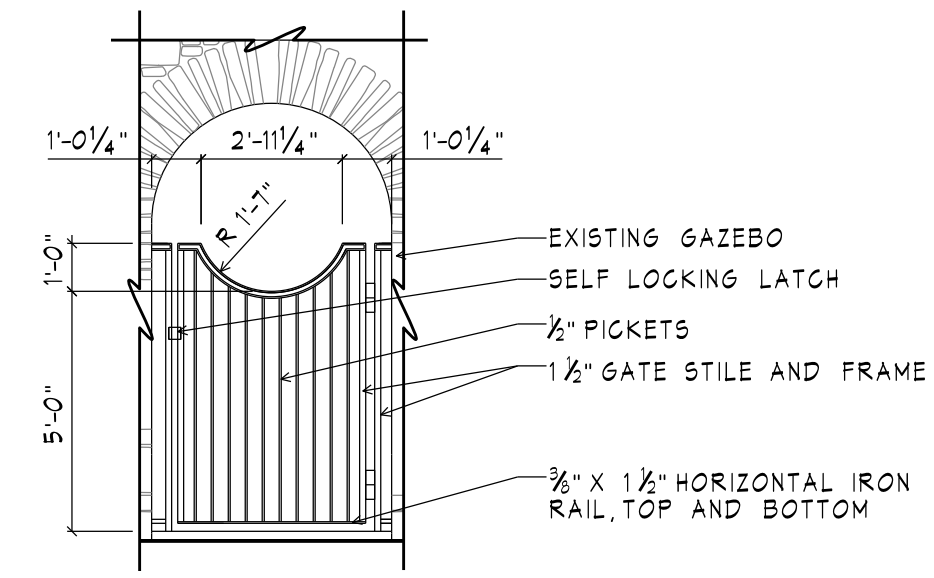
SCALE: 1/4" = 1'-0"

FENCE NOTES:  
 1) FINAL DESIGN AND DETAILS OF FENCE TO BE DETERMINED  
 2) HEIGHT OF FENCE TO BE MINIMUM 5' FOR POOL ENCLOSURE AND SHALL NOT EXCEED 6.5' PER VILLAGE CODE.



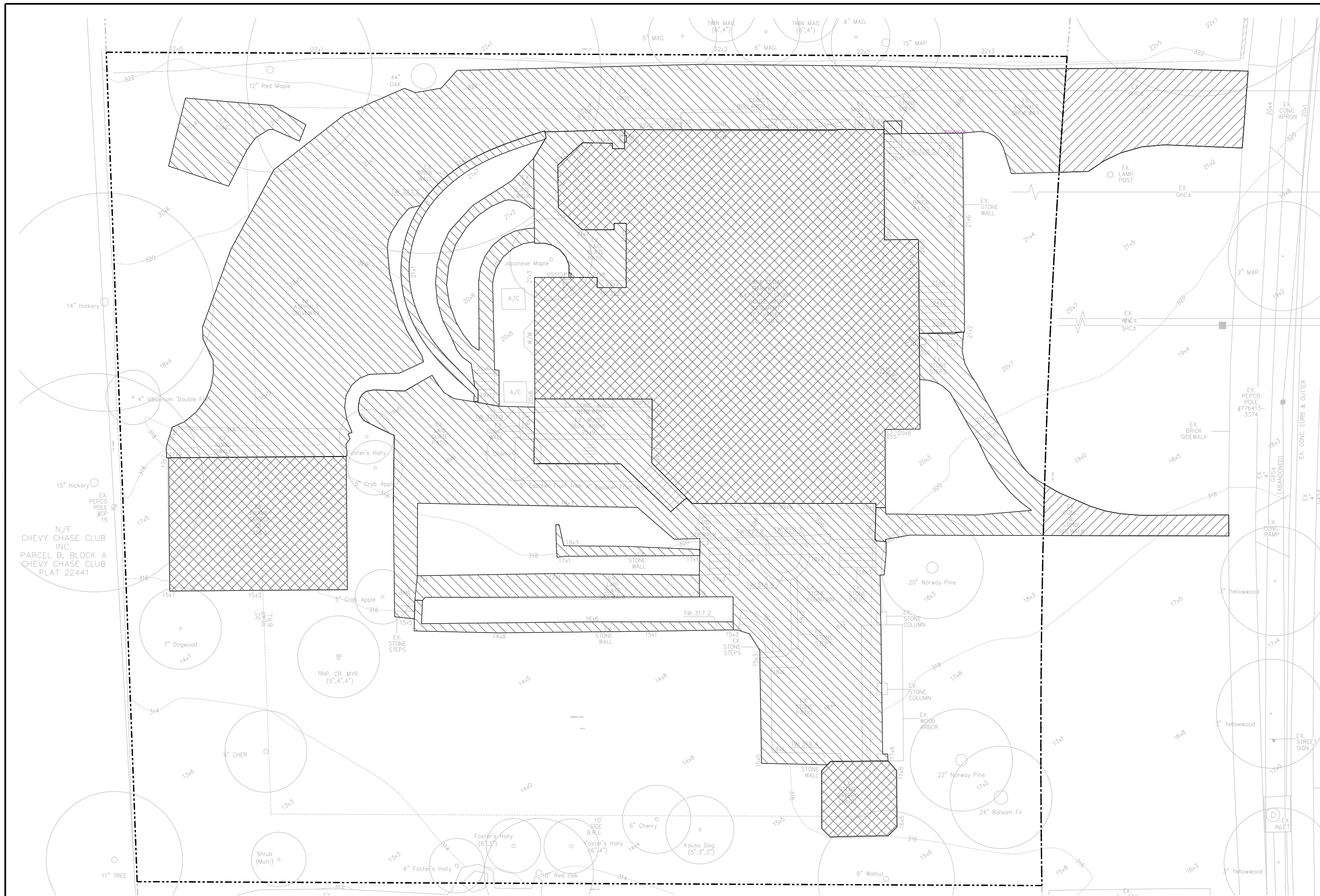
**2** FENCE ENLARGEMENT - EAST ELEVATION

SCALE: 1/4" = 1'-0"



**3** FENCE ENLARGEMENT - GATE AT NORTH SIDE OF GAZEBO

SCALE: 1/4" = 1'-0"



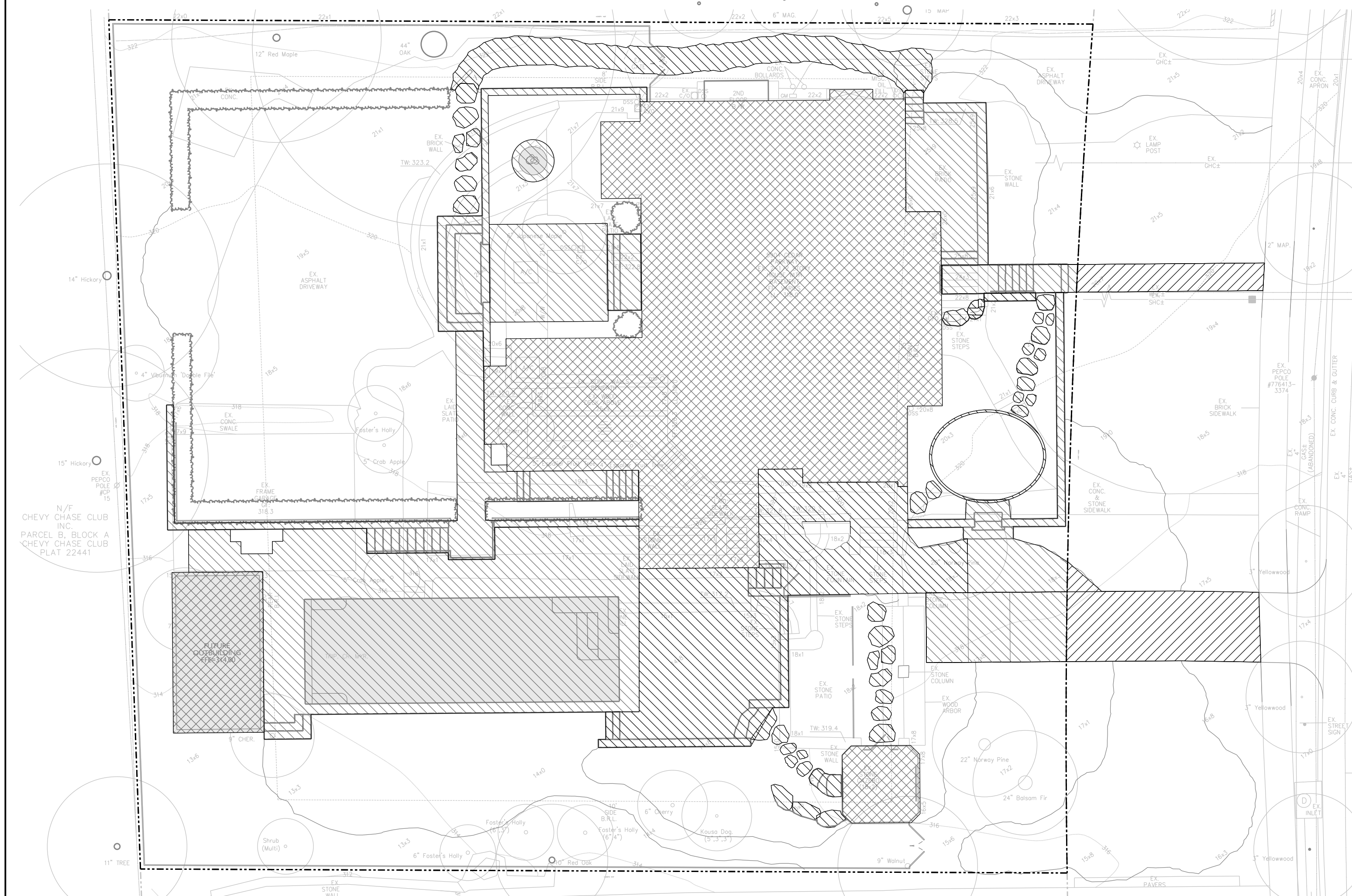
**EXISTING LOT COVERAGE**

KEY	TOTAL
BUILDING/ACCESSORY STRUCTURES IMPERVIOUS AREA	3,120 SQ. FT.
RAISED STRUCTURES PAVED WALKS, TERRACES, POOL, DRIVEWAY	4,405 SQ. FT.
IMPERVIOUS AREA IN R.O.W.	450 SQ. FT.

**5904 Cedar Parkway  
Coverage Calculations  
7/25/2018**

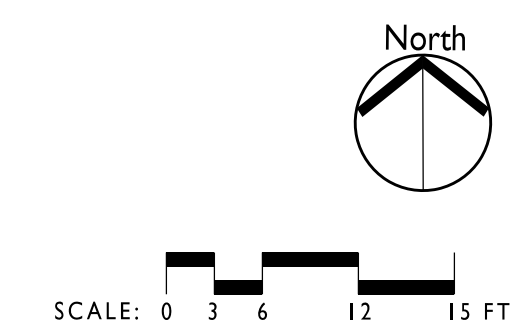
*The lot coverage calculations provided below are for information purposes only as supplement to the plan submission to the Historic Preservation Commission. The calculations do not follow any jurisdictional definition of lot coverage. The areas described below include all structures and at grade paving existing and proposed. Final design and lot coverage to be developed with building permit drawings.*

Lot Area	16,317 SF
Existing Lot Coverage	
House, Gazebo, Outbuilding	3120 SF
Paved Walks, Terraces, Raised Structures	2700 SF
Driveway	2205 SF
<b>Total:</b>	<b>8,025 SF</b>
Proposed Lot Coverage	
House, Gazebo, Outbuilding	3308 SF
Paved Walks, Terraces, Pool, Raised Structures	4024 SF
Driveway	201 SF
<b>Total:</b>	<b>7,533 SF</b>
Existing Right of Way Coverage (to sidewalk)	
Paved Walks	125 SF
Driveway	325 SF
<b>Total:</b>	<b>450 SF</b>
Proposed Right of Way Coverage (to sidewalk)	
Paved Walks	117 SF
Driveway	276 SF
<b>Total:</b>	<b>393 SF</b>



**PROPOSED LOT COVERAGE**

KEY	TOTAL
BUILDING/ACCESSORY STRUCTURES IMPERVIOUS AREA	3,308 SQ. FT.
RAISED STRUCTURES PAVED WALKS, TERRACES, POOL, DRIVEWAY	4,225 SQ. FT.
IMPERVIOUS AREA IN R.O.W.	349 SQ. FT.



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LOT COVERAGE EXHIBIT

L-4

SCALE: AS SHOWN

JOB NO. 1885

CONCEPT DRAWINGS