

HISTORIC PRESERVATION COMMISSION

Marc Elrich County Executive Robert Sutton Chairman

Date: January 9, 2023

MEMORANDUM

TO:	Rabbiah Sabbakhan
	Department of Permitting Services
FROM:	Dan Bruechert
	Historic Preservation Section
	Maryland-National Capital Park & Planning Commission
SUBJECT:	Historic Area Work Permit # 1048008 - Building Addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the November 15, 2023 HPC meeting. Fencing was removed from the scope of work to satisfy an HPC condition for approval.

The HPC staff has reviewed and stamped the attached construction drawings.

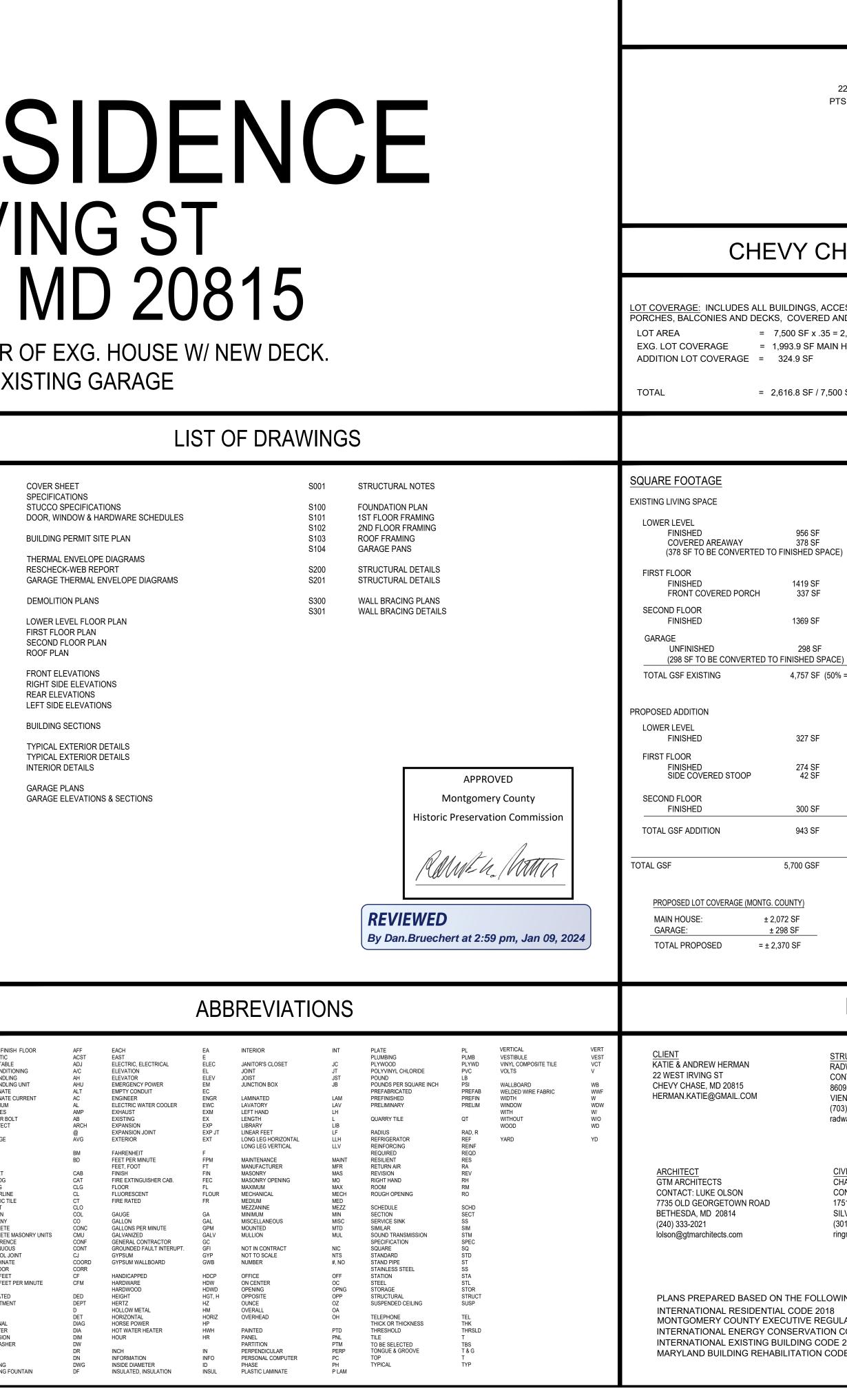
THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant:Andrew & Katie HermanAddress:22 W. Irving St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.

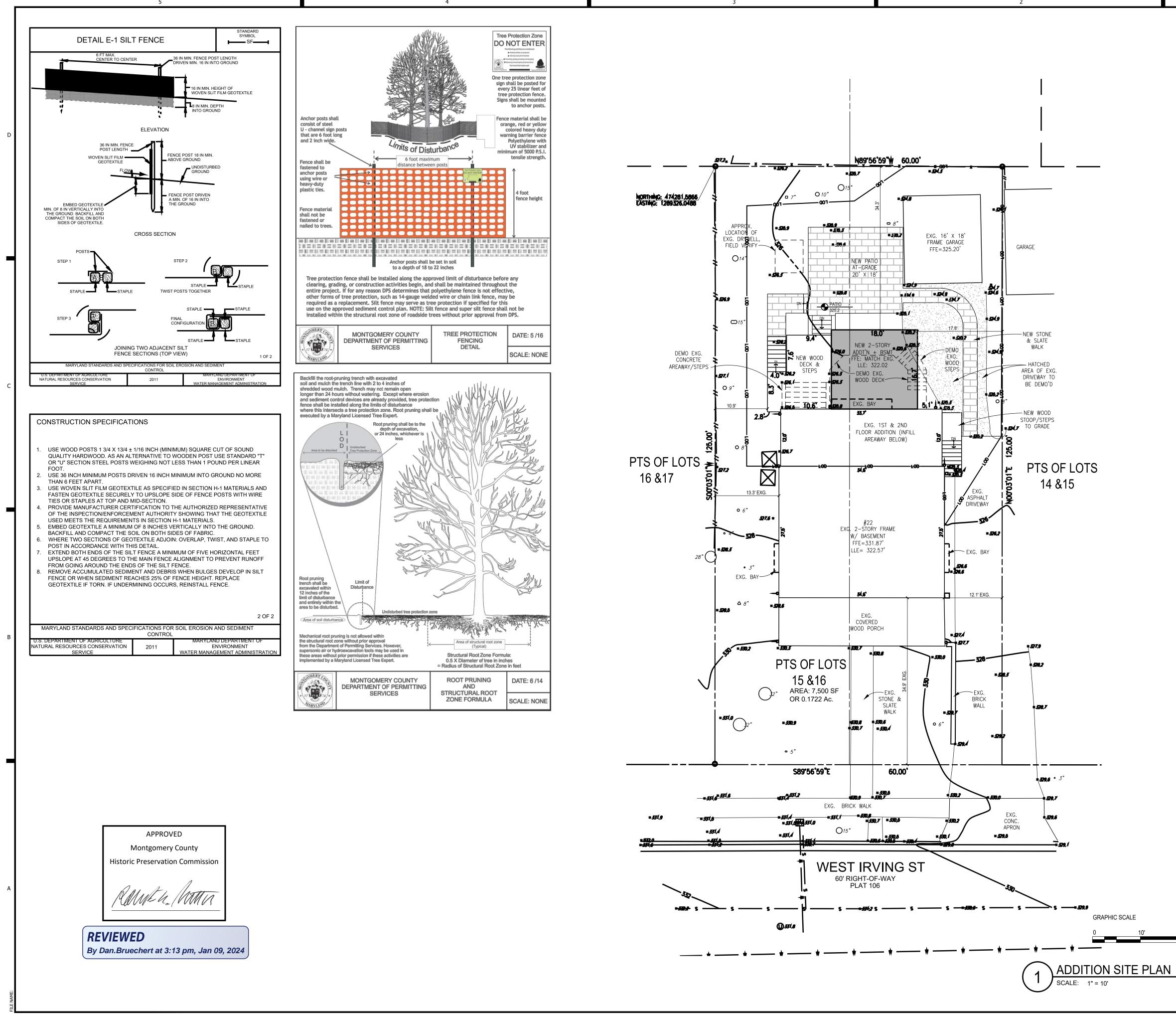


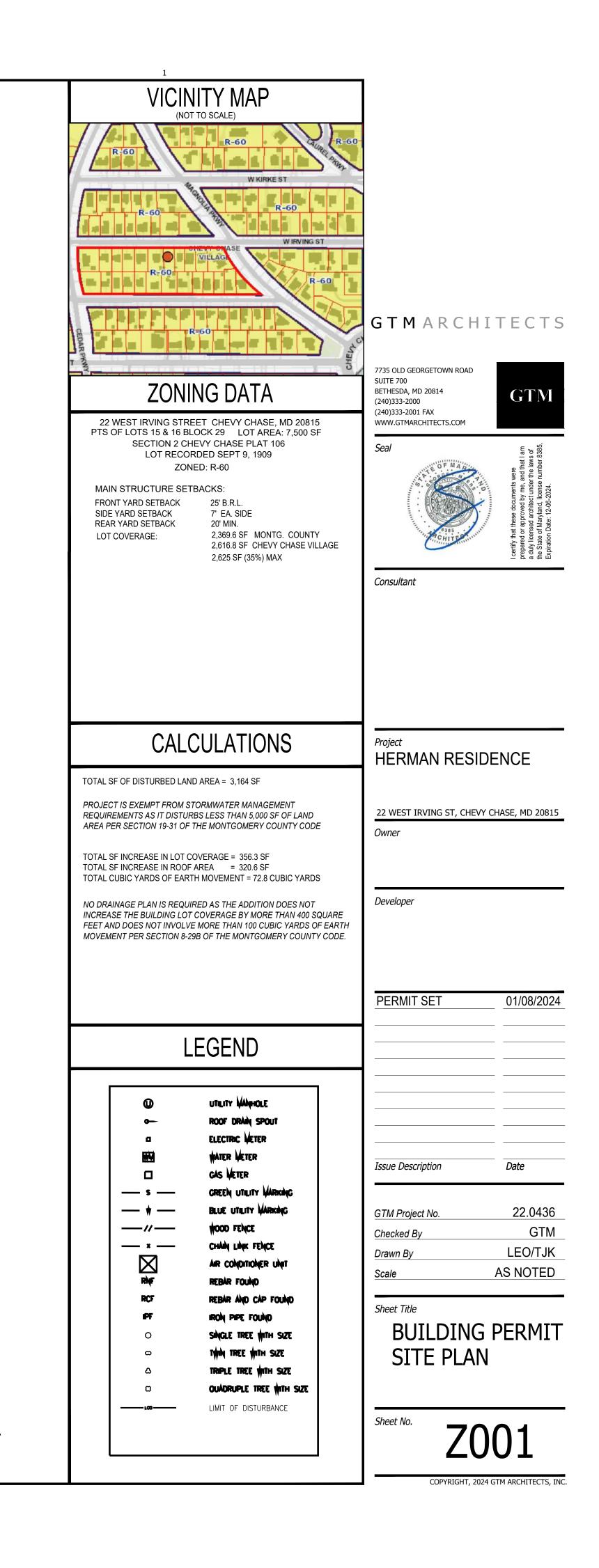
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PLAT DATA	
(SEE SITE PLAN) 22 WEST IRVING STREET CHEVY CHASE, MD 20815 TS OF LOTS 15 & 16 BLOCK 29 LOT AREA: 7,500 SF SECTION 2 CHEVY CHASE PLAT 106 LOT RECORDED SEPT 9, 1909 ZONED: R-60	
HASE VILLAGE CALCULATIONS	GTM ARCHITECTS
CESSORY BUILDINGS & RAISED STRUCTURES SUCH AS COVERED AND UNCOVERED AND UNCOVERES STEPS, STAIRWAYS AND STOOPS, AND BAY AND BOW WINDOWS. = 2,625 SF MAX LOT COVERAGE N HOUSE + 298 SF GARAGE	7735 OLD GEORGETOWN ROAD SUITE 700 BETHESDA, MD 20814 (240)333-2000 (240)333-2001 FAX WWW.GTMARCHITECTS.COM
00 SF = 34.89% (MAX ALLOWABLE=35%)	y that these documents were ed or approved by me, and the licensed architect under the la tate of Maryland, license numb
ZONED: R-90 ZONING DATA PROVIDED REQUIRED LOT AREA 7,500 S.F. 6,000 S.F. MIN. LOT COVERAGE 2,369.6 SF 2,625 S.F. (35%) MAX FRONT YARD SETBACK 25' SIDE YARD SETBACK SEE SITE PLAN 5' MIN (BEFORE 1928) 7' MIN. PER CHEVY CHASE VILLAGE REGS REAR YARD SETBACK SEE SITE PLAN 20' MIN. BUILDING HEIGHT 28.4' EXG. ADDITION DOES NOT INCREASE BLDG HT. 30' TO MEAN HEIGHT OF ROOF OR 35' TO HIGHEST POINT OF ANY ROOF	Consultant
PROPOSED WORK IS NOT INFILL 943 SF ADDITION > 2,378.5 SFSF OF INTERIO DEMO IS LESS THAN 50% OF EXISTING FLOOR AREA (SEE SPRINKLER DEMO CALCS, SHEET D100)HOUSE DOES NOT NEED TO BE SPRINKLERED PER ER 31-19 SUBSECTION R313.4	Project HERMAN RESIDENCE 22 WEST IRVING ST, CHEVY CHASE, MD 20815 Owner
	Developer
	PERMIT SET 01/08/2024
PROJECT INFORMATION	
TRUCTURAL ENGINEERGENERAL CONTRACTORADWAN ASSOCIATES INCCABIN JOHN BUILDERSONTACT: GUS RADWAN, P.E.CONTACT: JOSH ROSENTHAL609 WESTWOOD CENTER DR.,SUITE 1106410 82ND PLACEIENNA, VA 22182CABIN JOHN, MD 20818'03) 709-8435301-637-3566adwaninc@aol.comSILVER SP. JOHNSON & ASSOCIATESCIVIL ENGINEERCONTACT: RICH INGRAMI751 ELTON ROADSILVER SPRING, MD 20903S01) 434-7000ingram@cpja.com	Issue Description Date GTM Project No. 22.0436 Checked By GTM Drawn By LEO/TJK Scale AS NOTED Sheet Title COVER SHEET
WING CODES: JLATION 8-12 I CODE 2018 E 2018 DDE COMAR 05.16.01	Sheet No. OOVER SHEET





SPECIFICATIONS FOR RESIDENTIAL CONSTRUCTION

The purpose of the following specifications is to establish the level of quality required for both materials and workmanship. These notes are intended as a general outline; specific and additional requirements are indicated on the drawings. Unless noted otherwise in the contract documents, all Products and Materials shall be installed in strict compliance with the manufacturer's recommendations. The contractor should also note that not all of the items

GENERAL REQUIREMENTS

mentioned below may apply to the project.

- 1. All work shall conform to the International Residential Code (IRC), 2018 edition and all applicable sections of the Montgomery County code for single family construction and applicable building codes including (but not limited to) IECC 2018.
- 2. The General Contractor shall stake off area of new construction and designate trees and shrubs for removal as required. Protect all landscaping beyond the areas of construction. **TERMITE CONTROL SOIL TREATMENT**
- the Owner, so as to establish an acceptable payment schedule related to the status of the project. 4. Any permits required for the project shall be obtained by the General Contractor, unless
- informed otherwise by the Architect that the permit has been obtained. The General Contractor shall store materials and equipment in a safe and suitable place during the construction process. The Owner is not responsible for any losses of material. The contractor shall be responsible for damage to installed and (or) stored materials until
- substantial completion or as otherwise noted in the contract document. All debris shall be periodically removed from the site so as to not create a physical or visual B. hazard to the Owner.
- The General Contractor shall be licensed in Montgomery County, Maryland, and shall guarantee the project labor and materials for a period of one year after the Architect determines the work to be substantially complete, as per county laws.
- The General Contractor shall provide competent daily supervision of the project.
- The General Contractor shall notify the related authorities for inspection of the work as related to the specific areas required by the county.
- 10. The General Contractor shall Carry Workmen's Compensation Insurance for every person employed by him on the premises and shall maintain such insurance in full force during the entire time of this contract. The General Contractor shall carry Comprehensive General and Automotive Liability Insurance of \$25,000 to \$50,000 minimum. These requirements can be amended by the Owner if specified by the contract.
- 11. All drawings, specifications, and copies furnished by the Architect are the documents for the G. construction of this project only and shall not be used in any other circumstance.
- 12. The General Contractor shall carefully study the contract documents and report to the Architect any error, omission, or inconsistency they may discover.
- 13. The General Contractor shall provide and pay for all labor, materials, equipment, tools, that termite control work, consisting of applied termiticide treatment, will prevent infestation of 14. The Contract Sum is stated in the agreement and is the total amount payable by the Owner, caused by termite infestation.
- which designates the addition, deletion, or revision to the contract. The Change Order must also designate the change in the original contract sum. 15. At least seven days before the date of each progress payment established by the
- agreement, the General Contractor shall submit to the Architect and Owner an itemized application designating which portion of the work has been completed. 16. The Contractor shall verify dimensions prior to construction, and all discrepancies shall be 2.
- brought to the attention of the Architect so that clarifications can be made. The Contractor shall field verify all dimensions related to existing conditions. Written dimensions take precedence over scaled sizes. Do not scale drawings to determine missing dimensions. 17. The Contractor shall be responsible to have new utility line services (gas, electric, telephone) installed to the house connection/meter location.

DEMOLITION NOTES

- supports and braces as necessary to prevent any structural failure during removal and replacement of existing structural members.
- Temporary walls and dust barriers shall be installed as necessary to prevent circulation of 4. dirt and dust into portions of the house that are not part of the work.
- All dashed walls, fixtures, windows, etc., are to be removed. See Demolition Sheets for additional information
- Conduct all demolition operations in compliance with applicable codes and ordinances. 5. Coordinate demolition with work of subcontractors.
- Maintain the existing structure in a watertight condition at all times.
- 7. Provide the necessary enclosures to allow the owner to maintain comfortable temperatures 6. within the occupied portions of the home during construction.

GENERAL STRUCTURAL NOTES

- Work shall be done in accordance with the International Residential Code (IRC), 2018
- The design gravity live loads are as follows:
 - Roof load (snow): 30 LL + 15 DL = 45 PSF
 - Living Spaces: (1st Floor) 40 LL + 15 DL = 55 PSF Sleeping Spaces: (2nd Floor) 30 LL + 15 DL = 45 PSF
 - Exterior Decks: 60 LL + 15 DL = 75 PSF
 - Live Load Deflection Limitation for floors and stairs shall be L/360 Live Load Deflection Limitation for roofs shall be L/240

FOUNDATIONS

- . The foundation for the structure has been designed for the assumed bearing pressure of 1,500 PSF. This is to be verified by the contractor prior to the footings being poured. It is 11. also assumed that there is no water condition present.
- Basement walls have been designed for an assumed equivalent fluid pressure of 55 PSF. Excavations for spread footings and continuous footings shall be cleaned and hand tamped
- to a uniform surface. Slabs on grade shall be underlaid by a minimum of 4" of granular material having a maximum aggregate size of 1.5 inches and no more than 2% fines. Prior to placing the granular material, the floor subgrade shall be properly compacted, proofrolled, free of 12. standing water, mud, and frozen soil. Before placement of concrete, a (min. 6 mil poly) vapor barrier shall be placed on top of the granular fill and sealed to vertical foundation
- Bottoms of all exterior footings shall be 2'-6" minimum below finished grade. Footings shall MASONRY project a minimum of 12" into undisturbed existing natural ground having allowable bearing 1. capacity stated. Depths of footings subject to change if soil conditions are other than assumed.

ENERGY CONSERVATION

- The following provisions for thermal resistance meet or exceed the requirements stipulated by the 2018 International Energy Conservation Code (IECC), climate zone 4A. These values are the minimum acceptable. See drawings for specific values required for the project 2. Insulation
- Ceiling (of uppermost story) Vaulted Ceiling R-49 w/lesser of 500 indicated sf or 20% of total insulated ceiling area R-30 allowance Brick Veneer: R-20 or 13+5 (exterior) Frame walls (with storm window or double glazing) Rim Joists Equal to wall below R-38 Floors over unheated spaces (including floor overhangs) R-13 or R-10 continuous Masonry walls (enclosed heated

R-10

U-0.32 SHGC-0.40

- living areas) Slab on grade (heated space) 24" Perimeter Insulation
- Windows Doors
- See section R402.3.47. Air Infiltration Provide $\frac{1}{4}$ " x 5.5" compressible sill sealer between foundation wall and all sill

Building thermal envelopes shall be tested per IECC R402.4.1.2 and verified as 10. Unless noted otherwise, tool all joints concave. having air leakage not to exceed 3 air changes per hour. Recessed lighting in the thermal envelope shall comply with IECC R402.4.5 12. All masonry joints shall be fully filled with mortar, including head joints.

plates. Sill sealer shall be set such that no gaps exist at sealer butt joints.

Sliding glass doors: not exceeding three tenths (0.3) CFM per square foot of

Swinging doors: Not exceeding five tenths (0.5) CFM per square foot of door

Windows: Not exceeding three tenths (0.3) CFM of sash crack

Systems duct and piping installation shall comply with IECC R403 including Whole-House Mechanical Ventilation system installation.

door area

D.

The General Contractor shall coordinate phasing and time limits for new construction with 1. Treat soil with Bayer Corporation, Premise 75, in strict accordance with manufacturer's recommendations. Remove all extraneous sources of wood cellulose and other edible materials such as wood

- debris, tree stumps and roots, stakes, formwork, and construction waste wood from soil 2. within and around foundations. Loosen, rake, and level soil to be treated except previously compacted areas under slabs and footings.
- Slabs-on-Grade and Basement Slabs: Under ground-supported slab construction, including footings, building, slabs, and attached slabs as an overall 4, treatment. Treat soil materials before concrete footings and slabs are placed.
- Foundations: Adjacent soil including soil along the entire inside perimeter of foundation walls, along both sides of interior partition walls, around plumbing 5. pipes and electric conduit penetrating the slab, and around interior column
- footers, piers, and chimney bases; also along the entire outside perimeter, from grade to bottom of footing. Avoid soil washout around footings. Crawlspaces: Soil under and adjacent to foundations as previously indicated. STEEL
- Treat adjacent areas including around entrance platform, porches, and 1. Structural steel shall conform to ASTM A36 equipment bases. Apply overall treatment only where attached concrete platform2. Steel beams shall conform to ASTM A572 Grade 50. and porches are on fill or ground. Crawlspaces used as plenum spaces strictly 3.
- follow manufacturer's recommendedations. Along driplines of roof overhangs without gutters.
- Where condensate lines from mechanical equipment drip or drain to soil.
- At plumbing penetrations through ground-supported slabs. Other sites and locations as determined by licensed installer.

WARRANT

Special Warranty: Manufacturer's standard form, signed by Applicator and Contractor certifying machinery and other facilities and services necessary for proper execution and completion subterranean termites. If subterranean termite activity or damage is discovered during warranty of the work, and shall guarantee no mechanic liens against the project at completion. period of five (5) years from Substantial Completion, re-treat soil and repair or replace damage

CONCRET

- All concrete construction shall conform to the latest A.C.I. code 332 and shall comply with ACI 117, "Specifications for Tolerances for Concrete Construction and Materials" unless WOOD & CARPENTRY modified by requirements in the Contract Documents. Concrete shall have natural sand fine aggregates and normal weight coarse aggregates
- conforming to ASTM C33, Type 1 Portland Cement conforming to ASTM 150, and shall have a minimum 28-day compressive strength (F/C) as follows: • F/C = 2,500 PSI for footings, interior slabs on grade (except garages) and
 - fill in concrete blocks
 - F/C = 3,000 PSI for foundation walls exposed to weather.
 - F/C = 3,500 PSI for drives, porches, walks, steps, and garage slabs.
- F/C = 4,000 PSI for precast concrete units. 1. Every care shall be taken during demolition to protect the house by means of temporary 3. All poured in place concrete exposed to weather conditions, including the garage floor, shall be air entrained by 6% of concrete volume. No calcium chloride or other admixtures shall be 2. Manufactured joists and trusses (if shown on drawings) must be designed and certified by a
 - used except as approved in writing by the Owner. Slabs on grade: except where otherwise noted, shall be min. 4" thick, reinforced with 6x6 3.
 - W1.4xW1.4 WWF Lap mesh 6" in each direction. Slab shall be placed on a layer of 6 mil polyethylene, sealed to fdn. walls, over a 4" layer of washed gravel. Refer to drawings for location of thermal insulation.
 - Concrete finish: Exposed exterior steps, stoops and slabs shall first have a steel trowel 4. finish and then a very light broom finish. Exposed interior and garage shall receive a steel trowel finish
 - Expansion joints: Non-organic, Owner approved, expansion joint material shall be cast in place where slabs abut masonry or concrete walls to prevent bonding between the two
 - 7. Curing: Exposed concrete surfaces shall be sealed with an approved chemical curing compound within one hour of the final troweling. Curing compound label shall state that its
 - use will not interfere with adhesion of subsequent floor finishes. Reinforcing steel: Reinforcing steel for the ties shall be intermediate grade deformed billet steel conforming to ASTM spec. A615-40. All other reinforcing steel shall conform to ASTM spec. A615-60. Welded wire fabric to conform to ASTM A-185. Fabric shall be supplied in flat sheets and lapped to mesh at splices. All reinforcing shall be detailed, fabricated and 7.

installed in accordance with the latest detailing manual A.C.I. 315. 9. Reinforcement designated as "continuous" shall lap 36 bar diameters at splices unless noted otherwise

10. Horizontal footing and walls: reinforcement shall be continuous and shall have 90 degree 9. bends and extensions, or corner bars of equivalent size lapped 36 bar diameters, at corners and intersections. Footings

- Bottom of footings shall extend a minimum of 2'-6" below any surface subject to 10. freezing: footings shall extend at least 12" into undisturbed soil or set on controlled compacted fill. Depth of footing subject to change if soil conditions are 11. other than assumed. Bearing value of soil is assumed to be 1,500 PSF with no water condition present. Minimum bearing value of controlled fill shall be certified 12. Provide 2x4 intermediate blocking at all bearing and non-bearing partitions.
- by a licensed geotechnical engineer. Anchor bolts: set anchor bolts or approved straps as shown. Bolts for wood sill plates shall be ½" in diameter and project 8" into concrete; set straps or bolts 12" max from end of any

plate and 6'-0" max O.C. spacing, unless shown otherwise.

Brick shall conform to ASTM C-62. Mortar shall conform to federal specifications SS-C-18IE-type II. Lay brick only when outside temperature is 45° F and rising. Protect all work from cold and frost and ensure that mortar will cure without freezing. Calcium chloride and antifreeze admixture will not be acceptable. Bearing steel and wood beams shall be supported on solid masonry piers as indicated. 14. MICRO-LAM L.V.L. (laminated veneer lumber) beams shall be manufactured by Trus Joist 15. Other structural members (lintels, etc.) shall be supported on 8" of solid masonry. All beams and lintels shall have minimum horizontal bearing of 4". Anchor bolts: Set anchor bolts or approved anchor straps as required. Bolts for wood sill plates shall be $\frac{1}{2}$ " diameter and project 16" into masonry. Set bolts or straps 12" max. from 15. TJI Floor Joists are to be manufactured by Trus Joist MacMillan or approved equal. Install end of any plate R-49, or R-38 continuous 4. CMU walls shall have horizontal wire joints reinforcement at 16" O.C. vertically, or as Provide 4" solid masonry on all sides of joists or beams entering masonry party walls. Secure brick veneer with 16 GA hot-dipped zinc coated wall ties at 16" O.C. horizontally and vertically. Provide flashing at first course above grade, at lintels, sills and elsewhere as

shown. Provide $\frac{3}{16}$ " diameter tube weeps or cellular plastic head joint-type weeps at 24" O.C. Provide through-wall flashing above all unsheltered openings. Flashing shall be end-dammed at all terminations.

Install high-density polyethylene or polyester cavity drainage material, equal to 18. Exterior Wood Trim: D. "mortar net," above all flashing. Material shall be sized to fill the width of the cavity. Stone Veneer:

Vapor permeable weather-resistive barriers: two-ply asphalt saturated Kraft Grade D breather type sheathing paper.

substrate

Galvanized lath shall be securely fastened to the wall structure with approved fasteners. A 21. Coordinate all floor and wall framing with ductwork. Refer to mechanical notes. mortar scratch coat shall fully encapsulate the lath and have a scored surface. Cladding units shall be set over a fully cured mortar scratch coat. Cladding units shall be adjusted to comply with the cladding unit manufacturers recommendations and ASTM C1780. Doors and windows shall be adjusted to provide proper operation of opening. Joints shall be filled with "thumb-print hard" adhesive mortar with a slightly concave profile, unless noted otherwise. Prior to joint filling a field mock-up shall be provided for color and workmanship approval.

concrete schedule belov

L 3-1/2 X 3-1/2 L 3-1/2 X 3-1/2 L 4 X 3-1/2 X L 4 X 3-1/2 X L 5 X 3-1/2 X L 6 X 4 X 3/8

Note: For ope

intended location.

minimum thick Double 2 x 4 Up to 3'-0"

Double 2 x 8 Up to 5'-0" Double 2 x 10 Up to 7'-0" Double 2 x 12 Up to 8'-0" on center.

be exposed to weather. Interior plywood exposed to weather during construction shall be 12. Flashing Exposure I min. Exterior wall sheathing shall be $\frac{1}{2}$ " plywood unless noted otherwise. Subflooring shall be $\frac{3}{4}$ " tongue and groove plywood, glued and screwed to the

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• Moisture vapor transmission: 35 grams minimum; ASTM E 96 • Water resistance: 150 minutes (Professional), ASTM D 779

area. Provide 1" compressible sill sealer between foundation wall and all sill 8. C.M.U.'s to have water repellent block admixture; 'Dry-Block' by W.R. Grace recommended. Exterior mortar to have water repellent admixture.

11. Fully bed in mortar face shells and webs of first course of CMU.

ADHERED MASONRY VENNER

1. The adhered Masonry Veneer (AMV) system shall be installed in compliance with IRC R703.12 and ASTM C1780 "Standard Practice for Installation Methods for Cement-based Adhered Masonry Veneer" and The Masonry Veneer Manufacturers Associations (MVMA) Installation Guide and Detailing Options for Compliance with ASTM C1780". The cladding unit manufacturers installation recommendations are also to be followed. Two separate layers of Water Resistant Barrier (WRM) shall be provided over the sheating

oxide primer or approved equal. Structural steel at or below grade shall be painted with two coats on an asphaltic base paint and protected with a minimum of 2" solid masonry or

4. For all openings or recesses in brick or brick-faced masonry walls not specifically detailed. provide one steel angle for each 4" of wall thickness. Provide lintels according to the

OW:			•
	Masonry Opening	Min. Bearing	
/2 X 1/4	Up to 3'-0"	4"	
/2 X 5/16	3'-1" to 4'-0"	6"	
(1/4	4'-1" to 5'-0"	6"	
(5/16	5'-1" to 6'-0"	6"	
(5/16	6'-1" to 7'-0"	8"	
}	7'-1" to 8'-0"	8"	;
enings greater than 8'-0	", consult with Architect and Engineer.		

- Unless otherwise noted on drawings, all structural wood members shall be #2 Southern Pine or equal, with the following combination of unit stresses: Extreme fiber stress in bending 1,200 PSI 1,000 PSI Compression parallel to the grain 565 PSI Compression perpendicular to the grain
- Modulus of Elasticity Shear Stress 1,500,000 PSI Installation Tolerance; walls - a maximum out-of-plumb limit of 1/4" in 10' vertically and horizontal in-plane misalignment of 1/8" from adjacent framing shall be achieved. Plates and 2. Provide foundation vents for all crawl spaces. Refer to drawings for locations.

floors shall be installed within a 1/4" maximum tolerance for straightness relative to the 3. Venting for appliances and exhaust fans: licensed engineer and submitted to the Architect and local building department for approval. Roof rafters and/or trusses shall be connected at each bearing point with one prefab-90 PSI

galvanized rafter tie (hurricane clip) by Simpson or approved equal. Similarly, floor joists and trusses shall be connected with one prefabricated joist hanger. Each anchor shall be 18 GA Provide double joists under all parallel partitions, at joists that support headers, and at

headers that support joists. Use joist hangers where applicable.

- All joists and rafters shall be rigidly braced at intervals not exceeding 8'-0". Double studs at header bearing, double joists and rafters at all openings according to schedule below (unless noted otherwise on drawings):
- Double 2 x 6 Up to 4'-0"

All double headers and joists shall be joined with a minimum of two rows of 16 d nails 12" 4. Provide blocking, banding, crush blocks, stiffeners, or rim joists, as required, at joist ends. 6.

Floor joists shall have a minimum bearing of 2" on framed walls. All beams shall have minimum bearing of 4" bearing on all supports. Provide moisture protection to end of beams pocketed into masonry walls

Wood joists, studs, and beams shall not be cut or notched unless authorized by the Architect. Drilled holes shall be centered at mid-depth of the member and the hole diameter shall not exceed $\frac{1}{3}$ the actual depth of the member. No holes shall be drilled within 2' from 7.

the ends or within the middle $\frac{1}{3}$ of the span. Provide 4" clear between holes. Existing conditions shall be verified by the Contractor. Any existing damaged wood members shall be identified and replaced by the Contractor.

Contractor shall be responsible for providing necessary bracing and shoring of existing

members and walls while altering the structure. 13. All plywood shall be APA span rated. Use exterior grade plywood wherever edge of face will felt applied in accordance with with the International Residential Code.

floor joists as per APA recommendations. Where spacing of roof structure members is 16" O.C., roof sheathing shall be $\frac{1}{2}$ " plywood ($\frac{3}{4}$ " where roofing is slate or tile). Where spacing of roof structure members is 24" O.C., roof sheathing shall be $\frac{5}{8}$ " plywood ($\frac{3}{4}$ " where roofing is

slate or tile). Provide "H" clips at butt joints of roof sheathing. MacMillan or approved equal. Beams shall be installed according to manufacturer's

recommendations. When fastening two or more beams together, provide a minimum of two 16. rows of 16 d nails 12" on center.

turer's recommendations. wood elements are to be pressure treated with preservative, bearing the FINISHES ard use category label UC3B or UC4B (for ground contact): Gypsum Wallboard: ill plates resting on concrete or masonry walls. ill plates resting on concrete slabs on grade. oists which enter concrete or masonry walls and have less than $\frac{1}{2}$ " clearance n tops, sides, and ends

leepers resting directly on concrete slabs. Exterior porch and deck framing, decking, and stairs.

17. Fasteners, hangers, and metal accessories used in pressure treated wood construction 3. shall be type 304 or 316 stainless steel. Treated lumber shall not be placed in contact with

aluminum flashing or other aluminum components.

All exterior wood trim shall be clear pine or redwood.

All trim shall be primed on 6 sides (including cut ends) prior to installation. All outside corners shall be mitered and no end grain shall be exposed to view. No butt joints will be accepted

cement, and installation procedures shall be in accordance with manufacturer's recommendations 20. Siding: Refer to drawings for type specified.

- Cement board shall be non-asbestos fiber-cement material complying with 3. ASTM Standard Specification C1186 Grade II, Type A. Materials shall be equal
- to those manufactured by James Hardie Building Products. Wood siding and sidewall Shingles shall be kiln dried Western Red Cedar, "Clear V.G. Heart" grade for clear and transparent stain finishes, and "A Clear" grade for semi-transparent stain or opaque finishes. Semi-transparent stain or Ceramic Tile: opaque finish shall be applied in strict accordance to manufacturer's recommendations; including, but not limited to, substrate preparation and primer/sealer application to all wood surfaces (6-sides). Fasteners shall generally be type 304 stainless steel, but shall be type 316 for coastal applications. Install wood siding and shingle products over "Cedar Breather" by 3. Benjamin Obdyke Inc. and 30# felts in accordance with manufacturer's instructions. Siding installation and finishing shall be as recommended by the Western Red Cedar Lumber Association. Siding shall be sealed prior to
- installation, fasteners shall be concealed where possible or arranged in a uniform pattern. 22. Folding Attic Access Ladder shall be $22 \frac{1}{2}$ " x 44" with self-trimming flange, pre-finished door
- panel, and gas-piston counterbalance. The door panel shall have continuous integral weatherstripping, R-10 insulation, and two key operated locking pins to draw the door tight. 4. Ladder steps shall be pine, doweled to pine stringers. Contact Resource Conservation Technology at 410-366-1146. Additional insulation hood shall be provided to meet required Carpet insulation value per IECC R402.2.4.

DOORS AND WINDOWS

- 1. AWI "Custom Standard" shall apply to the workmanship, installation and finishing of wood doors and windows components. 2. The tops, bottoms, and edges of all doors shall be finished.
- All steel angles, lintels, beams, columns, etc. are to be shop primed with red lead or red 3. Any defects that prevent the door or window from serving its intented purpose satisfactorily
 - shall be rejected, such as material that is crooked, warped, bowed, chatter marked, plane or 2. Replacement reserve: Contractor shall furnish Owner with one unopene tool marked, chipped, or otherwise defective.

Doors and windows shall be adjusted to provide proper operation of opening.

RADON DETECTION AND TREATMENT

- 1. The Contractor shall provide a venting system consisting of a minimum of 3" diameter ABS, 2. All surfaces to be painted shall receive one primer coat and two finish co PVC or equivalent gas-tight plumbing pipe inserted into the sub-slab gravel base (at all new 3. All paint shall be applied according to manufacturer's recommendations concrete slabs). A 'T' fitting or equivalent method shall be used to ensure that the pipe Architectural Woodwork and Trim. opening remains with the sub-slab permeable material. The pipe shall terminate at least 12"1. All millwork trim and molding shall be installed accordingly to the quality above the high side of the roof penetration. Contractor shall coordinate location of pipe with Architect prior to installing the pipe. Install, per IRC, 2018 edition, Appendix F 'Radon Control Methods.'
- 3. The Contractor shall provide any other measures as required by local codes.

VENTILATION

1. Where attics are indicated to be ventilated, they are to be vented in one of the following

- ways (refer to drawings for specifics): Continuous ridge venting and continuous soffit venting. Ridge vent shall be by **FIRE AND LIFE SAFETY** Cor-A-Vent or approved equal. Continuous screen soffit vents shall be a 1. Stairs: minimum of 2" wide. Circular louver vents between each rafter may be used at the soffit if shown on the drawings. Screen louvers or vents with an open area equal to one square foot for every 300 square feet of attic space.
- Provide venting to the exterior as per manufacturer's recommendations for all 2. Provide a clear window opening of 5.7 square feet with no less than 20" clear wide and 24" appliances. Location of ductwork and vent on exterior shall be approved by Architect prior to installation. Provide exhaust fans for bathrooms, etc., as shown on drawings. Location of 3.
 - ductwork and vent on exterior shall be approved by Architect prior to installation. Ducts within unconditioned spaces shall be insulated to prevent condensation.
- Provide Whole-House ventilation system to comply with IECC R403.4

MOISTURE PROTECTION

- 1. Appropriate sealants shall be selected for each substrate depending upon location (interior 6. or exterior), humidity, moisture conditions, and traffic conditions. Use primers as required. 2. Color of caulking shall be coordinated with adjacent materials and must be approved by Architect prior to application
- 3. Joint fillers shall be used:
 - To control the depth of sealants in joints.
 - To meet the requirements for resilient separations in horizontal joints in floor, 8.
- pavements, patios, sidewalks, and other light traffic areas. Bond breakers shall be used to prevent adhesion to more than two surfaces.

Masonry foundations shall be parged to a thickness of $\frac{3}{4}$ " minimum.

Waterproof all below grade foundation walls with a polymer-modified asphalt emulsion similar to TREMCO "TUFF-N-DRI Classic". Dry/ cured membrane thickness shall be minimum 40 mil. Installation and substrate preparation shall be per manufacturer's recommendations. Install subsurface drainage composite similar to CETCO "Aquadrain 10X" over the cured membrane with asphalt emulsion adhesive similar to Henry 111 Insulbond

Footing drains shall be min. 4" in diameter and installed on the exterior of all foundations. All flashing shall be installed according to the building code. An eave flashing strip of 40 mil. 2. self-adhering rubberized asphalt sheet membrane shall be applied to extend from the edge 3. of the roof to a point 24" min. inside the interior wall line of the structure, and at all valleys. 4. All membrane roofing to be approved by Architect prior to installation.

10. All roof shingles to be approved by Architect prior to installation. 11. Asphalt shingle roofs with slopes from 2 in 12 to 4 in 12 shall have two layers of #15 roofing 6. Provide hardwired smoke detectors on all floors, located as per Montgomery County Code.

- Through-wall and other concealed flashing shall be a composite of fiberglass fabric, 5 oz. copper and asphalt, equal to York Copper Fabric.
- Exposed flashing shall be 16 oz. copper. 13. Painted aluminum drip strips shall be installed at the eave and rake edges of the roof sheathing for shingle roofs, and above window and door trim where indicated.

14. Exterior Insulation and Finish Systems (EIFS) shall be equal to Dryvit, Residential MD System, with Dryvit drainage mat installed between the secondary weather barrier and the 10. nsulation board.

Cedar roof shingles shall be No. 1, Blue Label, red cedar. Install over "Cedar Breather" by Benjamin Obdyke Inc. and 30# felts in accordance with manufacturer's instructions. Standing seam roofing shall be 16 ounce copper with water-tight standing seams. For slopes greater than 3 in 12 provide #30 roofing felt underlayment on solid sheathing. For slopes 3 in 12 or less provide self-adhering 40 mil ice and water guard membrane over the entire area to receive standing seam roofing.

- Gypsum wallboard shall be ASTM C-36 as follows: Regular $(\frac{1}{2})$: except where noted.
- Water resistant ($\frac{1}{2}$): at bathroom ceilings and walls that are not tiled.
- Durock interior tile backer board $\binom{1}{2}$: at all surfaces that have tile. Gypsum boards shall have tapered edges to accommodate joint reinforcement.
- Provide edge corner beads, trim, taping, and joint compounds as required for the proper completion of the job. Materials shall be by U.S. Gypsum or approved equal.
- 4. Finishing requirements: For typical walls and ceilings provide a Level 4 Finish as defined by the Gypsum
 - Association For surfaces noted to receive semi-gloss or gloss paint provide a Level 5 Finish 5.
 - as defined by the Gypsum Association.
- Hardwood Flooring: 19. Exterior Synthetic Trim shall be "AZEK," with traditional smooth surface. Fasteners, joint 1. Unless noted otherwise, provide wood strip flooring where shown on the drawings.

- Wood strip flooring to be oak. Where abutting existing floor, new floor sl in size and grain. Elsewhere, oak shall be "clear" grade, in accordance Oak Flooring Manufacturer's Association.
- Install flooring in strict accordance with the recommendation of the Natio Manufacturer's Association. 4. After the floors have been sanded, the flooring contractor shall apply a r
- stain and urethane samples in two foot by two foot areas on the floor for review. The owner shall have a minimum of two days to make a selection Provide ceramic tile and accessories in accordance with the Tile Council

Specifications 137.1, in colors and patterns to be specified by the owner 2 Setting materials: comply with pertinent recommendations contained in t America "Handbook for Ceramic Tile Installation."

- Installation: comply with ANSI A108.1, ANSI A108.2, and the "Handbool Installation" of the Tile Council of America.
- A. Extend tile into recesses and under equipment and fixtures t covering without interruptions. Terminate tile neatly at obstruction, edges, and corners, with
- pattern or joint alignment. Align joints when adjoining tiles on floor, base, trim, and walls
- Layout tile work and center the tile fields in both directions in each wall area. Replacement reserve: Contractor shall furnish to the Owner one unopen
- tiles for future repairs and maintenance work. Provide carpeting as indicated on the drawings. Refer to allowances on
- Vinyl Tile: 1. Installation of all vinyl composition tile (VCT) shall be done in a manner with:

ASTM E 648

inished floo

specifications.

Ground metal siding.

required per local jurisdiction

ELECTRICAL AND LIGHTING NOTES

Carpeting shall meet federal regulation DOC FF-1.

18" to the floor and exceeds 9 square feet in area.

battery back up carbon monoxide alarm or detector must be installed outside all sleeping

Flues shall be class B except solid fuel flues, which shall be class A.

12. Provide outside air for combustion in all prefab and masonry fireplaces.

purpose of which is to allow for possible relocation prior to wiring.

calculation/ design in accordance with ACCA recommendations.

All exterior unit locations to be coordinated with Owner and Architect.

any combination) at no additional charge to the owner.

of all required upgrades in their Contract Amount.

with Owner prior to purchasing

framing due to ductwork.

Equipment will be Carrier or approved equal.

Ductwork will be galvanized sheet metal and flex.

Registers and return grilles are Hart & Cooley or equal.

rating of 90%

MECHANICAL NOTES

Top of flue shall be 2'-0" above any part of structure within 10'-0" of flue.

- ASTM E 84. AND
- ASTM E 662.
- tile for future repairs and maintenance.
- 1. All paint and primers to be Benjamin Moore or approved equal. Refer to and types
- Architectural Woodwork Institute (AWI).
- All interior trim and millwork shall conform to AWI "custom standards." Flat trim shall be clear pine or approved equal. 4. All corners of trim and siding are to be mitered, except inside corners of

in s Oal Instal Manu After stain review ramic Ti Provio Speci Settir Amer Instal Instal A. B. C. D. Repla tiles f rpet: Instal with: Repla tile fo int: All pa tile fo int: All pa chitectur All m All m All m All m	 ize and grain. Elsewhere, oak shall be "clear" grade, in accordance with the national k Flooring Manufacturer's Association. If fooring in strict accordance with the recommendation of the National Oak Flooring fracturer's Association. the floors have been sanded, the flooring contractor shall apply a minimum of four and urethane samples in two foot by two foot areas on the floor for the owner to w. The owner shall have a minimum of two days to make a selection. the floors have been sanded, the flooring contractor shall apply a minimum of four and urethane samples in two foot by two foot areas on the floor for the owner to w. The owner shall have a minimum of two days to make a selection. the caramic tile and accessories in accordance with the Tile Council of American ifications 137.1, in colors and patterns to be specified by the owner. the mathematical council of America. Extend tile into recesses and under equipment and fixtures to form a complete covering without interruptions. Terminate tile neatly at obstruction, edges, and corners, without disruption of pattern or joint alignment. Align joints when adjoining tiles on floor, base, trim, and walls are the same size. Layout tile work and center the tile fields in both directions in each space or on each wall area. accement reserve: Contractor shall furnish to the Owner one unopened box of additional for future repairs and maintenance work. de carpeting as indicated on the drawings. Refer to allowances on schedule sheet. llation of all vinyl composition tile (VCT) shall be done in a manner which conforms ASTM E 648, ASTM E	1. 2. 3. 4. 5. 5. STE 1. 2. 3. 4. 5. ROC 1. STA 1.	 JMBING NOTES All work shall be done in accordance with the International Residential Code (IRC), 2018 Edition, as well as IECC 2018 and other local codes. Contractor shall provide riser diagrams as required for permit, and shall submit to the Architect proposed locations of all waste and supply lines prior to the commencement of framing. No extras will be given for any modification required to the framing due to plumbing lines. Provide cast iron at vertical waste lines. Unless otherwise indicated in Contract Documents. Contractor shall be delegated to design a fully functional and performing water supply and waste system in accordance with applicable plumbing codes and standards. Install water heater and reserve tank per requirements of the house with recirculate system. Provide drain pans under all water heaters and washing machines, and pipe the pan to the sanitary drain upstream of a trap. Contractor shall make a count of existing fixtures to determine whether a water or sever upgrade will be required, and shall include the costs of all required upgrades in his Contract Amount. The count of existing fixtures shall be based on an on-site inspection. Provide cast iron at vertical waste lines. Locate plumbing clean out plugs in bottom ½" of wall, typical. EMINOPPINE Wall construction: Provide ceramic tile over dryset or latex Portland cement mortar bond cocat over tile backer board over Dow insulation board over 2x4 studs. Celling construction: Same as walls, provide continuous sloped celling (½" per foot), and provide rounded inside corner tile at joint between wall and celling. Insulate all walls, celling, and floor adjacent to steam shower. Steam shower to be watertight, including a watertight shower door. Steam unit: "Mr. Steam model #MS-150, 6kw or approved equal. Provide the following connections: water inlet ¾" NPT, steam outlet NPT, drain ¾". NPT. Follow all manufacturer's specificat
В. С.	10 [°] min tread 6'-8" min head room		
D.	Height of handrails shall be continuous, 34" (min) to 38" (max) above finished stair treads. Handrails required at stairs with 3 or more risers.		

APPROVED

Montgomery County

Historic Preservation Commission

By Dan.Bruechert at 2:59 pm, Jan 09, 2024

REVIEWED

Guardrails shall be 36" (min) to 42" (max) above finished floor. clear high for sleeping area. The sill of this windows shall be no more than 44" above the Provide safety glass in all exterior doors, storm doors, sliding glass doors, shower doors,

and tub enclosures above and adjacent to spas and tubs and where the glass is closer than

Smoke detectors shall be provided on every floor, in each bedroom and in each hall outside of bedrooms, and integrated with the electrical system with battery backup. If a fuel-burning appliance, fireplace, or attached garage is present, an interconnected

areas and on all floors. If fuel-buring appliance or fireplace is present in any sleeping area, an interconnected carbon monoxide alarm or detector must also be installed in that room as

Interior finish of walls and ceiling shall have a flame spread rating not greater than Class III.

11. Prefab fireplaces shall be (U.L.) rated and installed according to manufacturer's

Electrical contractor shall size and arrange all circuits in accordance with the National Electric Code as well as all local codes. Service to be upgraded as required. Wall outlets are to be mounted 1'-6" above finished floor unless noted otherwise. Switches are to be mounted 4'-0" above finished floor unless noted otherwise.

Mounting heights are to the vertical center of the equipment to the finished elevation of the All new switch and outlet styles are to be approved by Owner prior to installation.

Electrician shall locate all fixtures, switches, outlets, etc. prior to running wiring. Owner, Architect, and Electrician to meet at a mutually agreed upon time to review locations. The Owner is allowed to add an additional ten (10) items (switches, cable, phone, outlet, etc., or

Contractor shall determine, based on an on-site review of existing and proposed electrical systems, whether an electrical service heavy-up will be required, and shall include the costs

Provide door bell, transformer, and chime for front door and where indicated. In lieu of Owner's selection otherwise, price shall be based on the following: Illuminated Button -Destination Lighting product number 15921; Transformer - 16V; Chimes - Teiber Model CTSB-or STPW-, in Owner's choice of finish. Verify all selections and mounting locations

Per IECC R404.1 90% of installed lighting fixtures must contain high efficacy lamps.

1. All work shall be done in accordance with the International Residential Code (IRC), 2018 Edition, as well as IECC 2018 and other local codes including a compliant Manual J load 2. Unless otherwise indicated in Contract Documents, Contractor shall be delegated to design

a fully functional and performing mechanical system in accordance with applicable mechanical codes and standards. Contractor shall submit all duct layouts and air handler locations (and thermostat locations) to the Owner and the Architect for approval prior to the commencement of framing. No extras will be given for any modification required to the

Air conditioners shall be Energy Star rated and shall have a minimum 13 SEER rating with two zones each. Gas furnaces shall have a minimum Annual Fuel Utilization Efficiency

GTMARCHITECTS

-	
7735 OLD GEORGETOWN ROAD SUITE 700 BETHESDA, MD 20814 (240)333-2000 (240)333-2001 FAX WWW.GTMARCHITECTS.COM	GTM
Seal	I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 8385, Expiration Date: 12-06-2024.
Consultant	
Project HERMAN RESIDE	NCE
22 WEST IRVING ST, CHEVY CH	IASE, MD 20815
22 WEST IRVING ST, CHEVY CH Owner	IASE, MD 20815
	IASE, MD 20815
	IASE, MD 20815
Owner	IASE, MD 20815
Owner	IASE, MD 20815
Owner	
Owner Developer	
Owner Developer	
Owner Developer	ASE, MD 20815

Issue Description

22.0436 GTM Project No GTM Checked By LEO/TJK Drawn By AS NOTED Scale

Date

Sheet Title

SPECIFICATIONS

Sheet No.

APPROVED Montgomery County Historic Preservation Commission REVIEWED

By Dan.Bruechert at 2:59 pm, Jan 09, 2024

STUCCO FINISH Part 1 - General
1.1 Summary A. This Section includes th • Exterior Portland
B. See Sections "Wood ar requirements for wood
1.2 Quality Assurance A. Samples: For each type approval prior to actual
B. Mockups: Before plaste standards for materials
Install mockups forApproved mockup
1.3 Project Conditions A. Comply with ASTM C 9
B. Exterior Plasterwork: Ap C. Apply stucco on south- Part 2 - Products
2.1 Metal Lath A. Expanded-Metal Lath
Diamond-Mesh La 2.2 Accessories
A. General: Comply with A required.
B. Zinc and Zinc-coated (Foundation Weep Cornerite: Fabrica
External-Corner F Cornerbeads: Fat
a. Small-nos • Casing Beads: Fa
Control Joints: Fa configuration; with
Expansion Joints: with expanded fla Two piece Expan
 Two-piece Expan that is adjustable 2.3 Miscellaneous Materials
A. Water for Mixing: Potal B. Fiber for Base Coat: all
Portland cement plaste C. Bonding Compound: AS
D. Fasteners for attaching E. isolation Barrier at Exte
2.4 Plaster Materials A. Portland Cement: ASTN
Color for Finish C B. Colorants for Job-Mixed
C. Lime: ASTM C 206, Ty D. Sand Aggregate: ASTM • Color for Job-Mix
E. Ready-Mixed Finish-Co • Products:
a. California b. ChemRex
c. Florida Str d. Highland S
e. United Sta Color: To match e
2.5 Plaster Mixes A. General: Comply with A • Fiber Content: Ad
manufacturer's wi Reduce aggregati
B. Portland Cement Base • Over Metal Lath:
a. Scratch C aggregate
b. Brown Co part of cer
Over Brick and M a. For cemen of compati
of cement Over Brick and Co a. For cemen
C. Portland Cement Job-M
$1-\frac{1}{2}$ to 3 parts aggregat D. Factory-Prepared Finisl
manufacturer's written i PART 3 - EXECUTION
3.1 Preparation A. Verify that all sheathing A. Protect adjacent work fi
B. Prepare solid-plaster ba ASTM C 926.
3.2 Installing Metal Lath A. Expanded-Metal lath: Ir
3.3 Installing Accessories A. Install according to AST
B. Reinforcement for Exte Install lath-type in
 Install cornerbeac C. Control Joints: Install co As required to de
As required to de a. Vertical S b. Horizontal
At distances betwAs required to detail
Where control joinWhere plasterwork
occurs at the corr Above and below As indicated on d
• As indicated on d 3.4 Plaster Application A. General: Comply with A
A. General: Comply with A B. Bonding Compound: Ap C. Plaster Finish Coats: Ap
trowel sweep, combed, D. Acrylic-Based Finish Coals. A
manufacturer's written i 3.5 Cutting and Patching
A. Cut, patch, replace, and
replace work to elimina where bond to substrat

es the following: nd cement plasterwork (stucco) on metal lath.

and Carpentry" on Specifications Sheet (SP) and section 3.1.A this sheet for additional structural od framing and wood sheathing.

type of finish coat indicated; 12 by 12 inches, and prepared on rigid backing. Obtain Architect and Owner tual installation.

astering, install mockups of at least 100 sq ft in surface area to demonstrate aesthetic effects and set quality ials and execution.

os for each type of finish indicated. kups may become part of the completed work if undisturbed at time of Substantial Completion.

C 926 requirements.

: Apply plaster when ambient temperature is between 50° and 80° F. h-facing walls only on overcast days.

n: ASTM C 847 with ASTM A 653/A 653M, g60 (z180), hot-dip galvanized zinc coating.

h Lath: Self-furring, 3.4 lb/sq yd h ASTM C 1063 and coordinate depth of trim and accessories with thicknesses and number of plaster coats

(Galvanized) Accessories: eep Screed: Fabricated from hot-dip galvanized steel sheet, ASTM A 653/A 653M, G60 zinc coating. icated from metal lath with ASTM A 653/ A 653M, g60, hot-dip galvanized zinc coating. er Reinforcement: Fabricated from metal lath with ASTM A 653/A 653M, G60, hot-dip galvanized zinc coating. Fabricated from zinc or galvanized steel.

nose style; use unless otherwise indicated. Fabricated from zinc or galvanized steel; square-edged style, with expanded flanges.

Fabricated from zinc or galvanized steel; one-piece type, folded pair of unperforated screeds in M-shaped with perforated flanges and removable protective tape on plaster face of control joint. nts: fabricated with zinc or galvanized steel; folded pair of unperforated screeds in M-shaped configuration; flanges.

bansion Joints: Fabricated from zinc or galvanized steel; formed to produce slip-joint and square-edged reveal ble from $\frac{1}{4}$ "-to- $\frac{5}{8}$ " wide; with perforated flanges.

otable and free of substances capable of affecting plaster set or of damaging plaster, lath, or accessories. : alkaline-resistant glass or polypropylene fibers, $\frac{1}{2}$ " long, free of contaminants, manufactured for use in

I: ASTM C 932. ing Metal lath to Substrates: Complying with ASTM C 1063.

xterior Walls: Tyvek StuccoWrap, as manufactured by Dupont. STM C 150, Type I or II

h Coats: White or Gray as required to match color sample.

ixed Finish Coats: Colorfast mineral pigments that produce finish plaster color to match Architect's sample. Type S; or ASTM C 207, Type S.

STM C 897.

Iixed Finish Coats: Color to produce sample to match Architect's sample. Coat Plaster: Mill-mixed Portland cement, aggregates, coloring agents, and proprietary ingredients.

nia Stucco Products Corp., Conventional Portland Cement Stucco.

Rex; Thoro Stucco.

Stucco Corp.

Stucco and Lime Products, Inc. States Gypsum Co.; Oriental Exterior Finish Stucco.

existing stucco.

n ASTM C 926 for applications indicated.

Add fiber to base-coat mixes after ingredients have mixed at least two minutes. Comply with fiber written instructions for fiber quantities in mixes, but do not exceed 1 lb of fiber/cu ft of cementitious materials. gate quantities accordingly to maintain workability.

se Coat Mixes: : Scratch and brown coats for three-coat plasterwork as follows:

h Coat: For cementitious material, mix 1 part Portland cement and $\frac{3}{4}$ parts lime. Use 2- $\frac{1}{2}$ to 4 parts

gate per part of cementitious material (sum of separate volumes of each component material). Coat: For cementitious material, mix 1 part Portland cement and ³/₄ parts lime. Use 3 to 5 parts aggregate per cementitious material (sum of separate volumes of each component material).

Monolithic Concrete: nentitious material, mix 1 part Portland cement and 0 to $\frac{3}{4}$ parts lime. Use 2- $\frac{1}{2}$ to 4 parts aggregate per part entitious material (sum of separate volumes of each component material).

I Concrete Masonry Unit: Single base coats for two-coat plasterwork as follows: nentitious material, mix 1 part Portland cement $\frac{3}{4}$ to 1- $\frac{1}{2}$ parts lime. Use 2- $\frac{1}{2}$ to 4 parts aggregate per part of

titious material (sum of separate volumes of each component material). b-Mixed Finish-Coat Mixes: For cementitious materials, mix 1 part Portland cement and 1-1/2 parts lime. use gate per part of cementitious material (sum of separate volumes of each component material). inish-Coat Mixes: For ready-mixed finish-coat plasters acrylic-based finish coatings, comply with n instructions.

ing is plywood or OSB, and that all joints are backed by blocking and nailed or screwed to the blocking. k from soiling, spattering, moisture deterioration, and other harmful effects caused by plastering. r bases that are smooth or that do not have the suction capability required to bond with plaster according to

Install according to ASTM C 1063.

ASTM C 1063 and at locations indicated on drawings.

xternal Corners: e inside corner reinforcement at exterior locations.

ead at outside corner locations.

control joints in specific locations approved by Architect for visual effect as follows: delineate plasterwork into areas (panels) of the following maximum sizes:

al Surfaces: 144 sq ft

ntal and other Non-Vertical Surfaces: 100 sq ft

etween control joints of not greater than 18 feet O.C.

delineate plasterwork into areas (panels) with length-to-width ratios of not greater than 2-1/2:1. joints occur in surface of construction directly behind plaster.

work areas change dimensions, to delineate rectnagular-shaped areas (panels) and to relieve the stress that corner formed by the dimension change. low band board in multi-floor buildings.

n drawings.

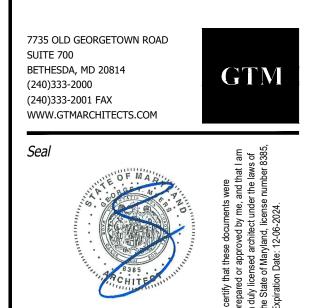
n ASTM C 926.

Apply on unit masonry and concrete plaster bases.

: Apply to provide float, dash, scraped trowel-textured, skip trowel-textured, brocade (knock-down dash), bed, sacked (California mission), or other finish selected by the Architect. Coatings: Apply coating system, including primers, finish coats, and sealing topcoats, according to n instructions.

and repair as necessary to accomodate other work and to restore cracks, dents, and imperfections. Repair or inate blistes, buckles, crazing (check cracking), dry outs, efflorescence, sweat outs, and similar defects and trate has failed.

GTMARCHITECTS



Consultant

Project HERMAN RESIDENCE

22 WEST IRVING ST, CHEVY CHASE, MD 20815 Owner

Developer

PERMIT SET	01/08/2024
Issue Description	Date

GTM Project No.	22.0436
Checked By	GTM
Drawn By	LEO/TJK
Scale	AS NOTED

Sheet Title

STUCCO **SPECIFICATIONS**

Sheet No.

NO. LOWE 4 FIRST 8A SC SECO 10 2 11 | 2 12 13 | 2

14 2

APPROVED Montgomery County Historic Preservation Commission

OME h. MATTA

REVIEWED By Dan.Bruechert at 2:59 pm, Jan 09, 2024

DOOR SCHEDULE

* INTERIOR DOOR HEIGHTS ARE NOMINAL. UNDERSIDE OF DOOR FRAME SHOULD ALIGN WITH UNDERSIDE OF TYPICAL CASED OPENING ON THAT FLOOR * BASED ON JELDWEN SERIES ALUMINUM CLAD WOOD PATIO DOORS & TRUSTILE INTERIOR DOORS; CONFIRM MANUFAC. & STYLE W/ OWNER

DOOR		FRAME							
SIZE	MATERIAL	MANUF.	MAT:	FIN:	HEAD	JAMB	SILL	-HARDWARE	REMARKS
/ER LEVEL									
3 ^{<u>0</u>} x 6 ^{<u>10</u>} 1 3/4"	SOLID CORE	TBD						H-4	
2 ⁴ x 7 ⁰ x1 3/4"	SOLID CORE	TBD						H-4	
^{1-PAIR} 3 ⁰ x 7 ⁰ x1 3/4"	CLAD-WOOD & GLASS	JELDWEN						H-2	INSWING PATIO
^{1-PAIR} 3 ⁰ x 7 ⁰ x1 3/4"	CLAD-WOOD & GLASS	JELDWEN						H-2	
ST FLOOR									
3 ⁰ x 8 ⁰ x1 3/4"	CLAD-WOOD & GLASS	JELDWEN						H-1	INSWING PATIO
^{1-PAIR} 2 ⁶ x 8 ⁰ x1 3/4"	SOLID CORE	TBD						H -5	
3 ^{<u>0</u>} x 8 ^{<u>0</u>} x1 3/4"	CLAD-WOOD & GLASS	JELDWEN						H-2	OUTSWING PATIO
3 ^{<u>0</u>} x 8 ^{<u>0</u>} x1 3/4"	CLAD-WOOD & GLASS	JELDWEN						H-2	OUTSWING PATIO
SCREEN DOOR /.I.F.	WOOD/SCREEN	TW. PERRY OR EQ						-	
OND FLOOR									
3 ⁰ x 7 ⁰ x1 3/4"	SOLID CORE	TBD						H-6	POCKET DOOR
2 ⁴ x 7 ⁰ x1 3/4"	SOLID CORE	TBD						H-6	POCKET DOOR
2 ⁶ x 7 ⁰ x1 3/4"	SOLID CORE	TBD						H-6	POCKET DOOR
2 ⁰ x 7 ⁰ x1 3/4"	TEMPERED GLASS	TBD						-	TEMPERED, SHOWER DOOR
2 ⁴ x 7 ⁰ x1 3/4"	SOLID CORE	TBD						H-3	
^{1-PAIR} 2 ⁶ x 7 ⁰ x1 3/4"	SOLID CORE	TBD						H-6	

-SEE A500 FOR DOORS @ DETACHED GARAGE

WINDOW SCHEDULE NO. MANUFACTURER # TYPE 001 DOUBLE HUNG JELDWEN 002 DOUBLE HUNG JELDWEN 003 OOUBLE HUNG JELDWEN 004 CASEMENT JELDWEN 100 CASEMENT JELDWEN 101 DOUBLE HUNG JELDWEN 200 OOUBLE HUNG 4 JELDWEN 201 DOUBLE HUNG JELDWEN JELDWEN 202 DOUBLE HUNG

GENERAL WINDOW NOTES:

THE GUARDIAN ANGEL CO.

1. ALL WINDOWS TO HAVE SCREENS (CONFIRM SCREEN FRAME COLOR W/ OWNER). 2. ALL WINDOWS TO BE ALUMINUM CLAD WOOD EXTERIOR, PRE-PRIMED WOOD INTERIOR.

3. CONFIRM HARDWARE FINISH W/ OWNER PRIOR TO ORDER.

4. ALL GLAZING TO BE DOUBLE PANED, LOW E, CLEAR INSULATED. 5. CONFIRM OVERALL WINDOW SCHEDULE W/ ARCHITECT PRIOR TO ORDER.

6. ALL WINDOWS & GLASS DOORS TO BE SIMULATED DIVIDED LITE, 7/8" MUNTIN. SEE ELEVATIONS FOR MUNTIN CONFIGURATIONS.

7. CONFIRM JAMB LINER COLOR W/ OWNER.

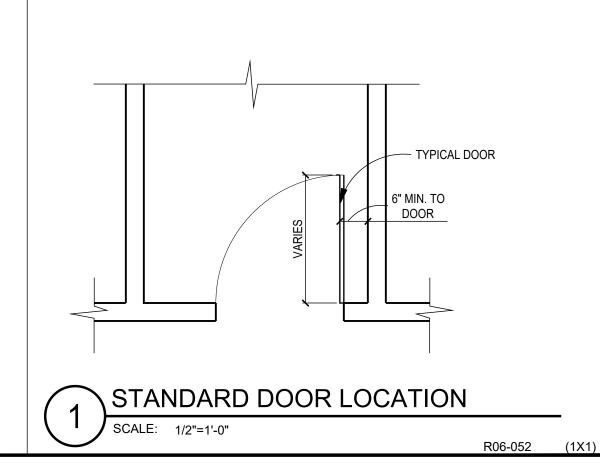
9. PROVIDE EGRESS HARDWARE IN EGRESS WINDOWS AS REQUIRED. 10. SEE ELEVATIONS FOR TYPICAL HEAD HEIGHTS ABOVE SUBFLOOR.

11. PROVIDE SAFETY GLASS AT ENTRIES, STAIRS, OVER BATHTUBS & ELSEWHERE AS REQUIRED BY CODE. 12. IN ACCORDANCE WITH IRC 2018, ALL WINDOWS HAVING AN OPENING LESS THAN 24" ABOVE THE FLOOR AND THAT ARE LOCATED SUCH THAT THE DIMENSION FROM THE BOTTOM OF THE OPENING TO THE EXTERIOR SURFACE BELOW EXCEEDS 72", SHALL EITHER HAVE A STOP TO LIMIT THE OPENING TO LESS THAN 4" OR SHALL HAVE GUARDS INSTALLED THAT WOULD PREVENT THE PASSAGE OF A 4" SPHERE. IN THE CASE OF AN EGRESS WINDOW, THE GUARD MUST BE REMOVABLE WITHOUT SPECIAL KNOWLEDGE OR TOOLS. GUARD SHALL BE EQUAL TO THOSE MANUFACTURED BY

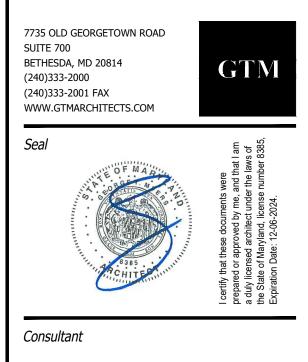
13. CONTRACTOR TO CONFIRM ALL ROUGH OPENING DIMENSIONS W/ WINDOW MANUFAC. PRIOR TO FRAMING. 14. GANGED WINDOWS SHALL HAVE (2) 2x SPACERS BETWEEN, UNLESS SHOWN OTHERWISE.

H	ARDWARE SCHEDULE (CONFIRM W/ OWNER PRIOR TO ORDERING)	
	T <u>E:</u> ALL HARDWARE TO BE SCHLAGE F-SERIES OR APPROVED EQUAL. (EXCEPT PATIO DOORS, WHICH ARE TO HAVE ANDARD HARDWARE BY DOOR MANUF.)	
H-1	SINGLE CYLINDER ENTRANCE LOCK, DEADBOLT, KEYED ONE SIDE & THUMBLATCH ON OTHER- BY BALDWIN OR EQ.	
H-2	STANDARD LOCKSET BY DOOR MANUF.; FINISH PER OWNER	
H-3	BATH/BEDROOM PRIVACY LOCK	
H-4	PASSAGE SET	
H-5	BALL CATCHES \$ DUMMY KNOBS	
H-6	POCKET DOOR HARDWARE	

* BASED ON JELDWEN SITELINE CLAD-WOOD WINDOWS; CONFIRM W/ OWNER * CONTACT WINDOW INSTALLER FOR ROUGH OPENING DIMENSIONS				
	CAT. NO.	FRAME SIZE	GLASS	REMARKS
	SCD3552	35 3/8" X 52"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN, EGRESS
	SCD3352	33 3/8" X 52"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN, EGRESS
	SCD4552	45 3/8" X 52"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN
	SCC2828-2	56" X 28"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN
	SCC2442	24" X 42"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN
	SCC3572	35 3/8" X 72"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN
	SCD3160	31 3/8" X 60"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN
	SCD3360	33 3/8" X 60"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN
	SCD4560	45 3/8" X 60"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN EGRESS



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Project HERMAN RESIDENCE

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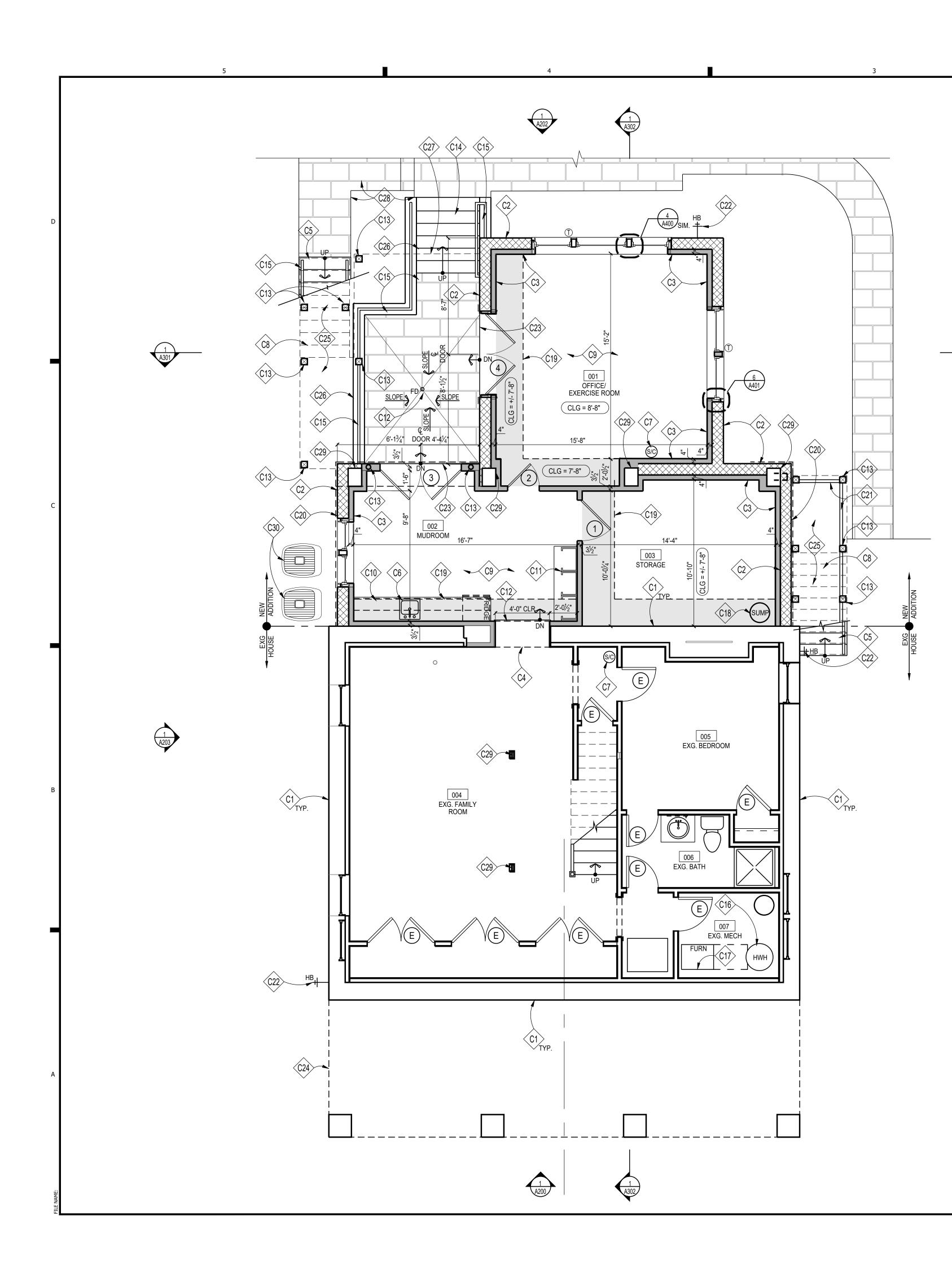
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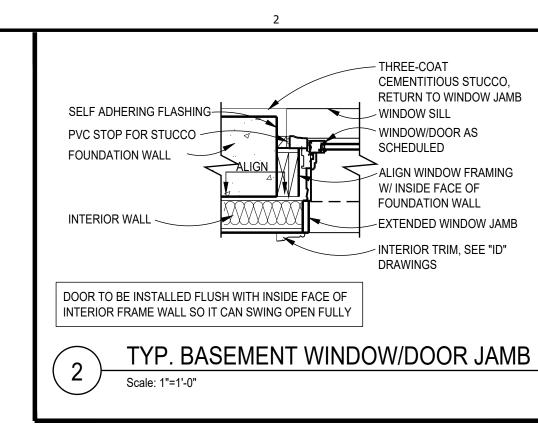
GTM Project No.	22.0436
Checked By	GTM
Drawn By	LEO/TJK
Scale	AS NOTED

Sheet Title



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1 A301

1 A201



REVIEWED By Dan.Bruechert at 2:59 pm, Jan 09, 2024



NOTE: FOR FOUNDATION WALL DIMENSIONS, PLEASE REFER TO FOUNDATION PLAN S100

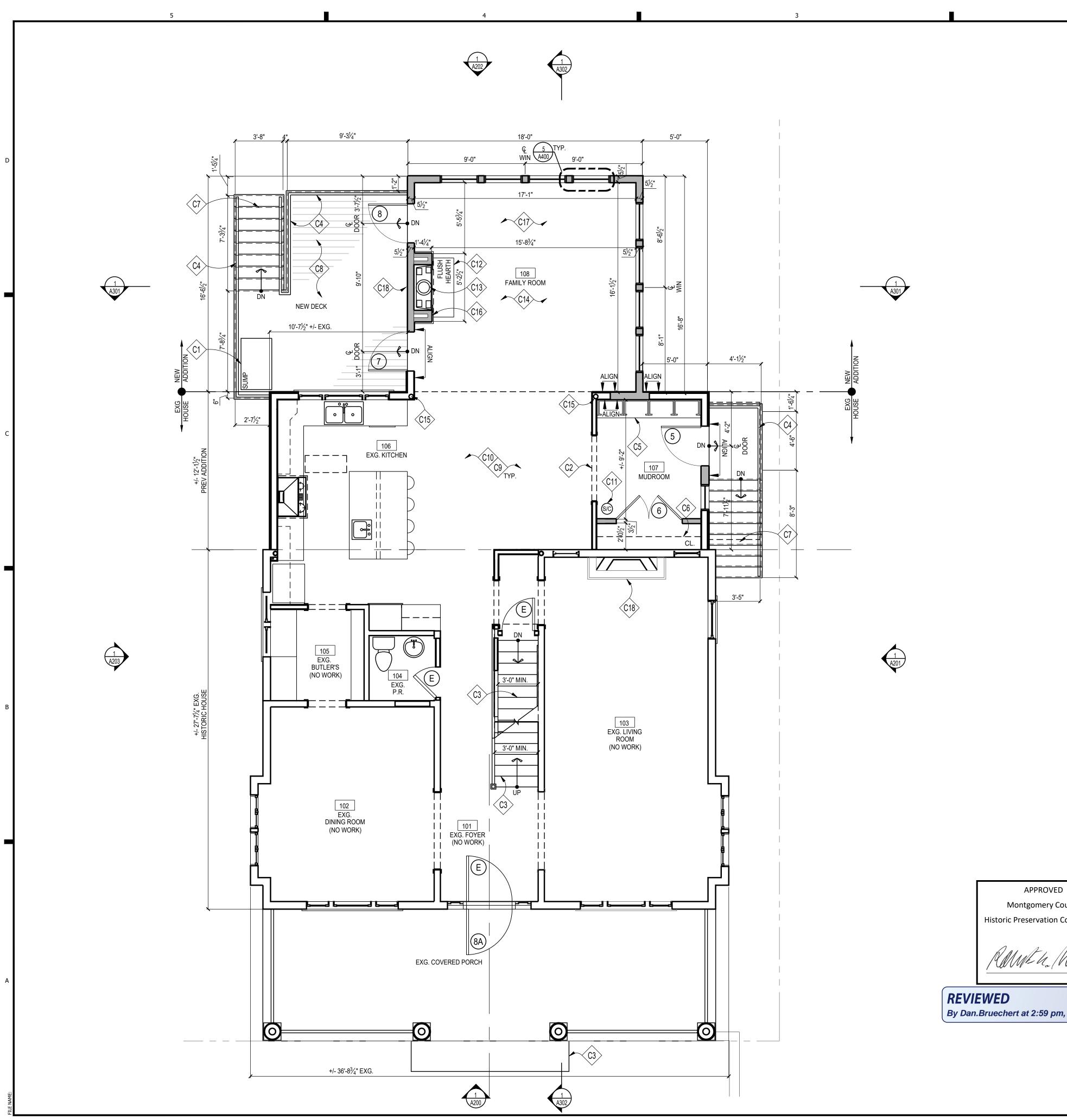
1 LOWER LEVEL FLOOR PLAN SCALE: 1/4"=1'=0

CONSTRUCTION NOTES

C1 EXISTING FOUNDATION WALLS TO REMAIN, SEE FOUNDATION PLAN	
C2 CMU FOUNDATION WALL, SEE FOUNDATION PLAN	
C3 FURR OUT WALLS W/ FULL 2x4's W/ R-13 BATT INSULATION, TYP.; PROVIDE P/T SILL; HOLD 1/2" OFF OF CONC. / MASONRY WALL	
C4 CASED OPENING; 7'-0" A.F.F., SEE DETAIL 13/A402	
C5 STAIRCASE & RAILING; PTD. PVC RISERS & PTD. COMPOSITE TREADS TO MATCH DECKING T.B.S., SEE DETAIL 5/A401, FOLLOW IRC 2018 R311.7; PTD. COMPOSITE	
RAILING SYSTEM T.B.S. C6 PLUMBING FIXTURES, T.B.S. BY OWNER	
C7 CONFIRM EXISTING/PROVIDE NEW HARDWIRED SMOKE/CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP PER IRC 2018	
C8 DASHED LINE OF STEPS ABOVE	(
C9 REINF. CONC. SLAB ON GRADE; SEE FOUNDATION PLANS; FLOOR FINISH T.B.S. BY OWNER	
CABINETS & COUNTERTOPS, T.B.S. FINAL LAYOUT TO BE DETERMINED BY KITCHEN DESIGNER & APPROVED BY OWNER. INCLUDE PANTRY AREA	
C11 BUILT-INS T.B.S.	
C12 AREAWAY DRAIN, CONNECT TO FOUNDATION DRAINAGE SYSTEM	
C13 AZEK TRIM OVER STRUCTURAL POSTS; SEE FRAMING PLANS	
C14 FLAGSTONE STEPS/STUCCO RISERS TO GRADE, VERIFY RISE & RUN IN FIELD, SEE DETAIL 11/A401, TYP. & FOLLOW IRC 2018 R311.7	
C15 PTD. 36" HANDRAIL/GUARDRAIL PER IRC 2018, T.B.S.; SEE ELEVATIONS & DETAIL 12/A40)1
C16 EXG. HOT WATER HEATER TO REMAIN	
C17 EXG. HVAC TO REMAIN	
C18 SUMP PUMP WITH BATTERY POWERED BACKUP, PROVIDE RADON MITIGATION PIPE VEM PER IRC 2018, RUN TO ROOF LOCATION T.B.D., SEE SPECIFICATION SHEET FOR DETAILS SHADED AREA INDICATES BULKHEAD FOR MECH. DUCTWORK ABOVE, EXG. TO REMAIN TO EVALUATE AND PROVIDE NEW DUCTWORK FOR ADDITION AS ABLE	6
ALIGN NEW FOUNDATION WALLS WITH OUTSIDE FACE OF EXG. FRAME WALL ABOVE, FIELD VERIFY	
C21 PVC LATTICE SCREEN PANEL, PTD. SEE 5/A401	
C22 FROST-PROOF HOSE BIB, CONFIRM FINAL LOCATION(S) WITH OWNERS	
C23 SLOPED STONE THRESHOLD	
C24 OUTLINE OF PORCH ABOVE	
C25 4" WASH GRAVEL OVER LANDSCAPE FABRIC	
C26 SLOPED STONE CAP T.B.S. ON PARTIAL HT. WALL	
C27 OUTLINE OF DECK ABOVE	,
C28 STONE WALKWAY BY OTHERS, SEE LANDSCAPE PLAN	
C29 EXISTING STRUCTURAL POST, F.V.	
C30 EXG. CONDENSER UNIT TO REMAIN	
 <u>NOTE:</u> 1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING 2. VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD 3. FILL CAVITIES W/ MINERAL WOOL SOUND INSULATION IN WALLS, CEILING, + FLOOR OF THE FOLLOWING ROOMS (U.N.O.): 001 OFFICE/EXERCISE ROOM 4. SEE DETAILS 9 & 10/A400 FOR EFFICIENT FRAMING DETAILS. 5. T = TEMPERED GLASS 	
KEY	
EXISTING WALL	
NEW FOUNDATION WALL	
WALL TYPES	
TYPICAL NEW EXTERIOR WALL; 10" CMU. WALL (W/ WATERPROOFING, DRAINAGE BD & 3-COAT CEMENTITIOUS STUCCO; SEE FOUNDATION PLAN, SHEET S100; FUR WHERE SHOWN WITH 2x4 STUDS @ 16" O.C., (SEE TENERGY CONSERVATION (TE001), SHEET "EC001" FOR INSULATION INFORMATION)	
TYPICAL NON-BEARING INTERIOR PARTITION; U.N.O. 2x4 WOOD STUDS 16" O.C. W/ $\frac{1}{2}$ " GYP. BD. EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN	

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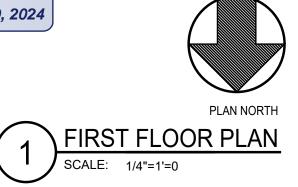
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	^{Project} HERMAN RESIDE	ENCE
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Montgomery County Historic Preservation Commission

Rame ha MATTA

By Dan.Bruechert at 2:59 pm, Jan 09, 2024



CONSTRUCTION NOTES

C1 PROVIDE GAS LINE FOR OUTDOOR GRILL, LOCATION TO BE FIELD VERIFIED.	
C2 CASED OPENING @ 8'-0" A.F.F. TO MATCH WINDOW/DOOR HEAD HT, SEE DETAIL 13/A402	
C3 EXISTING STAIRS, F.V.	
C4 PTD. 36" GUARD/HAND RAIL PER IRC 2018, T.B.S.; SEE ELEVATIONS & DETAIL 3 & 5/A401	
C5 CUSTOM BUILT-IN MUDROOM BENCH WITH HOOKS, T.B.D. SEE DETAIL '10/A402'	
 C6 1/2" DIA ROD & PAINTED WD. SHELF STAIRCASE & RAILING; PTD. PVC RISERS & PTD. COMPOSITE TREADS TO MATCH DECKING T.B.S., SEE DETAIL 5/A401, FOLLOW IRC 2018 R311.7; PTD. COMPOSITE RAILING SYSTEM T.B.S. C8 PTD. COMPOSITE DECKING, T.B.S. 	
C9 EXISTING FLOORING TO BE PATCHED/REPAIRED, SANDED & REFINISHED AS REQ'D	GΤ
C10 GC TO PATCH & REPAIR EXISTING DRYWALL AS REQUIRED BY DEMO & PROVIDE NEW FINISHES, TRIM, ETC. TO MATCH NEW CONSTRUCTION, TYP. C11 RELOCATE EXISTING HARDWIRED SMOKE/CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP PER IRC 2018, CONFIRM LOCATION W/ OWNER	7735 O SUITE 3 BETHES (240)33
C12 FLUSH HEARTH, COORDINATE WITH STRUCT'L	(240)33 (240)33 WWW.(
C13 HEAT & GLO 'SLIMLINE 7X' GAS FIREPLACE, INSTALL PER. MANUF. OR EQ.	Seal
C14 NEW HARDWOOD FLOORING TO MATCH EXG. TOOTH-IN AS REQ'D	
C15 STRUCTURAL COLUMN; SEE STRUCTURAL DRAWINGS PROVIDE RECESS & BLOCKING IN FRAMING ABOVE FIREPLACE FOR WALL-MOUNTED TV; MAINTAIN MIN. CLEAR DIMENSION FOR FIREPLACE FLUE	
C17 DECORATIVE CEILING ABOVE; CONFIRM W/ OWNER	
C18 FIRE PLACE VENT PROVIDE CLEARANCES PER CODE & MANUF. SPECS	Consu
	Projec HE
	22 W Owne
	Devel
 NOTE: 1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING 2. VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD 3. ENTIRE ADD'N TO HAVE NEW TRIM, BASE, ETC. PAINT EXISTING INTERIOR 4. FILL CAVITIES W/ MINERAL WOOL SOUND INSULATION IN WALLS, CEILING, + FLOOR OF THE FOLLOWING ROOMS (U.N.O.): 5. PROVIDE HARDWIRED SMOKE/CO DETECTORS PER IRC SECTION R.313 & LOCAL JURISDICTION 6. SEE DETAILS 9 & 10/A400 FOR EFFICIENT FRAMING DETAILS. 7. ① = TEMPERED GLASS E = TEMPERED GLASS	
KEY	Issue
EXISTING WALL	GTM Chech Drawn Scale
WALL TYPES	Sheet
<u>TYPICAL NEW EXTERIOR WALL;</u> 2x6 WOOD STUDS 16" O.C., W/ INSULATION (SEE THERMAL ENVELOPE, SHEET "EC001" FOR INSULATION LOCATION & INFORMATION) W/, $\frac{1}{2}$ " EXTERIOR SHEATHING, AIR & WATER RESISTIVE BUILDING WRAP, CEDAR BREATHER VENTILATED UNDERLAYMENT & STAINED CEDAR SHINGLE SIDING TO MATCH EXG. ; SEE ELEVATIONS. INTERIOR FINISH TO BE $\frac{1}{2}$ " GYP. BD.	Sheet
TYPICAL NON-BEARING INTERIOR PARTITION: 2x4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. BD. EACH SIDE; INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN.	

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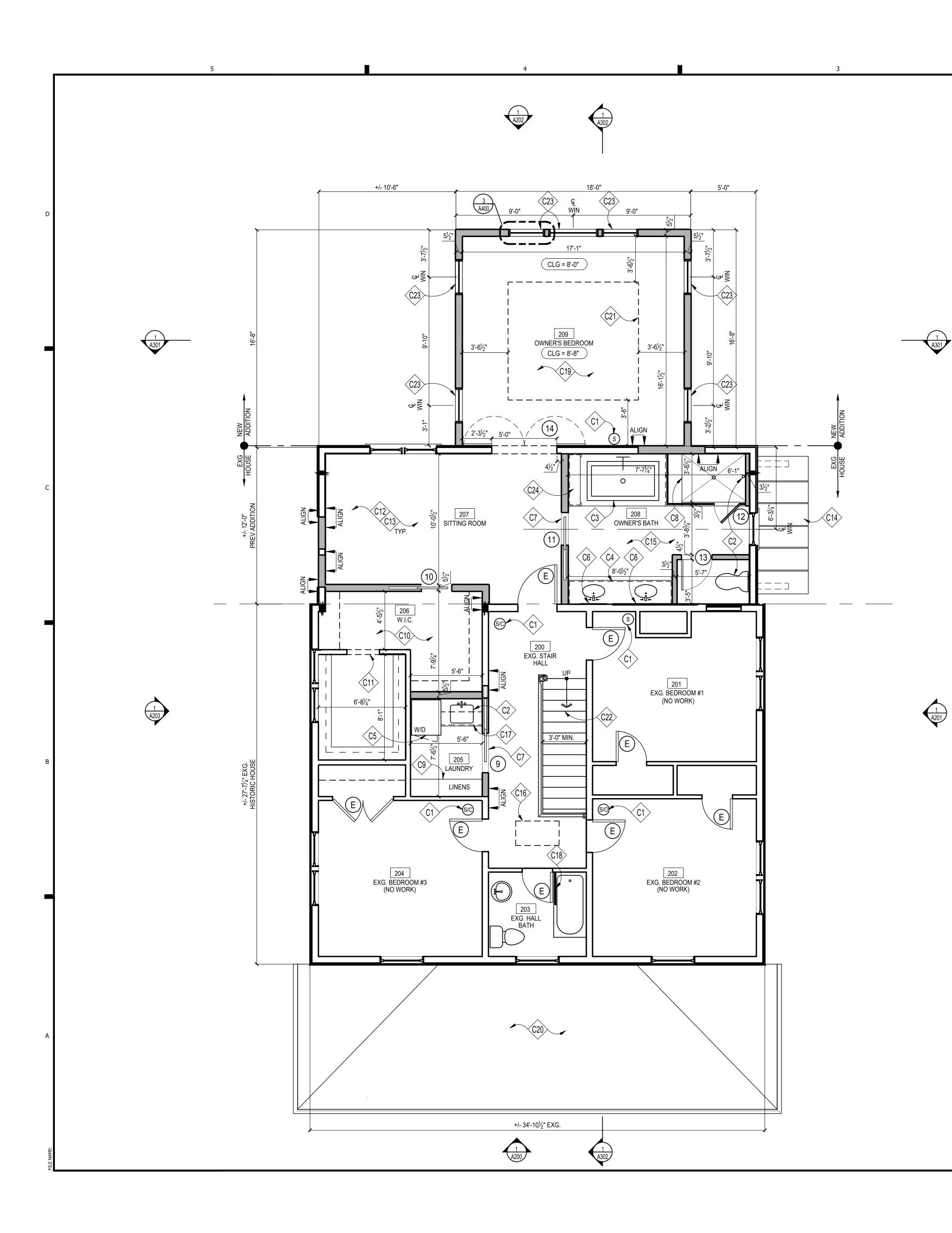
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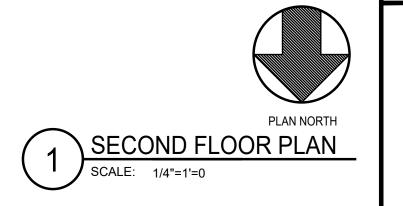
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Scale	AS NOTED

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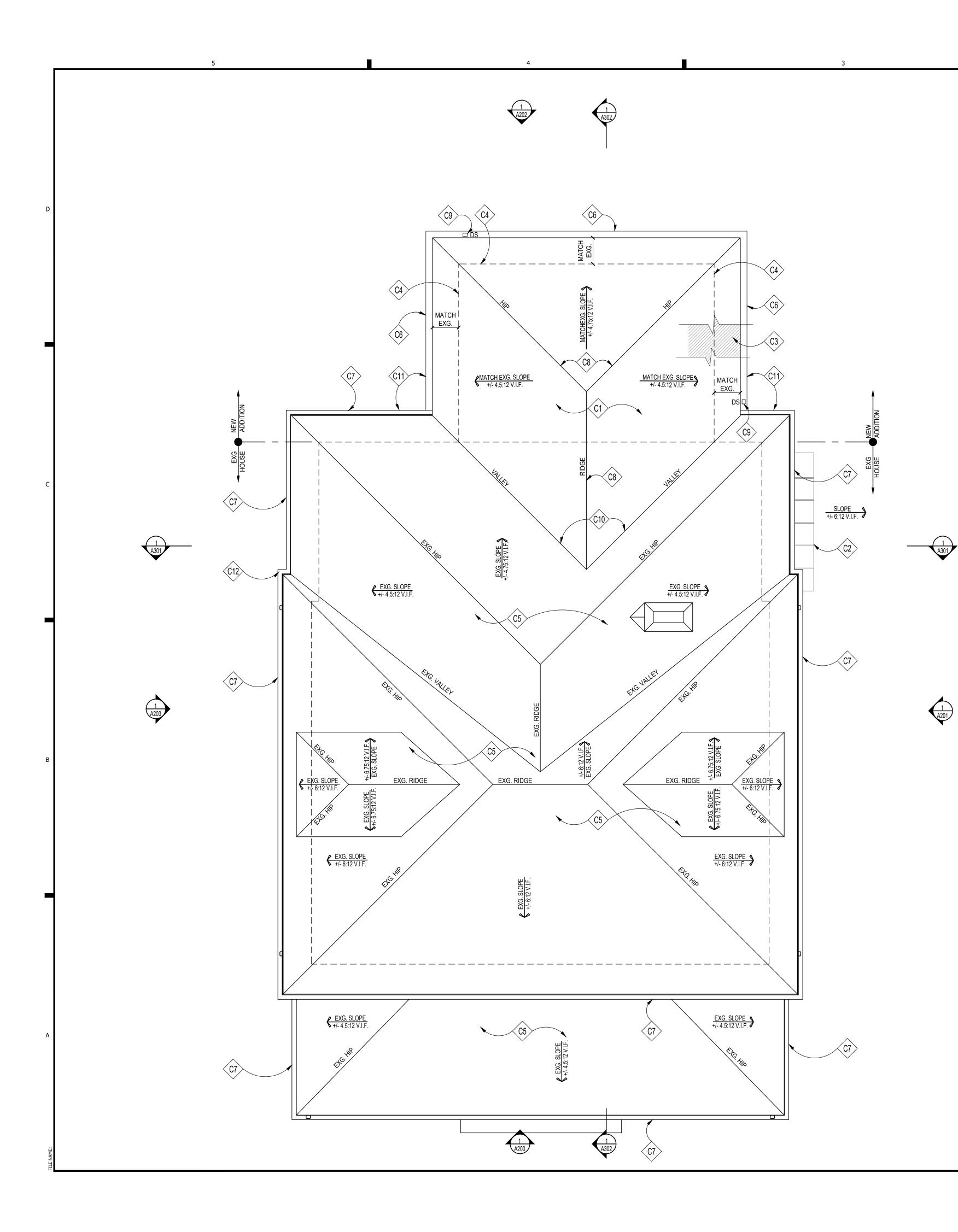


CONSTRUCTION NOTES

C1	CONFIRM EXISTING/PROVIDE NEW HARDWIRED SMOKE/CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP PER IRC 2018	
C2	PLUMBING FIXTURES, T.B.S. SEE ALLOWANCES	
C 3	DROP- IN TUB, CONFIRM TUB FILLER/DRAIN LOCATION WITH OWNER	
C4	VANITY W/ SINK, FAUCET & COUNTERTOP; T.B.S.	
C 5	WASHER& DRYER BY OWNERS. PROVIDE OVERFLOW FLOOR PAN & FLOOR DRAIN UNDER WASHING MACHINE, CONTRACTOR TO COORDINATE MEP CONNECTIONS WITH MANUFACTURERS'S SPECS	
C6	$\frac{1}{4}$ " PLATE GLASS VANITY MIRROR.	
C 7	MARBLE THRESHOLD/TRANSITION STRIP T.B.S. SEE DETAIL 19/A402	
C8	CUSTOM PAN FORMED TILE SHOWER W/ 4" CURB, PROVIDE MEMBRANE LINER & 1/2" DUROCK AROUND ALL SIDES. EXTEND TILE TO CEILING, TYP. SEE A404 FOR DETAIL	G
C 9	(5) EQUALLY SPACED SHELVES, PTD.	
C10	CUSTOM CLOSET SYSTEM, T.B.S. COORD. WITH OWNER CASED OPENING; +/- 6'-8" A.F.F., MATCH EXISTING DOOR/WINDOW HEAD HTS,	77 SU
< <u>C11</u> C12	SEE DETAIL 13/A402 EXISTING FLOORING TO BE PATCHED/REPAIRED & REFINISHED AS REQ'D	BE (2- (2-
C12	GC TO PATCH & REPAIR EXISTING DRYWALL AS REQUIRED BY DEMO &	Ŵ
C13 C14	PROVIDE NEW FINISHES, TRIM, ETC. TO MATCH NEW CONSTRUCTION, TYP. NEW STANDING SEAM MTL ROOF BELOW; SEE ROOF PLAN, SHEET A104	Se
C14	PROVIDE RADIANT ELECTRIC FLOOR HEATING IN OWNERS BATH FOLDING ATTIC ACCESS LADDER; ACCESS LADDER SHALL BE 22 1/2" X 44" WITH	
C16	SELF-TRIMMING FLANGE, PER IRC 2018, SEE SPEC SHEET FOR MORE INFO	
C17>	CABINETS & COUNTERTOPS, T.B.S. FINAL LAYOUT TO BE DETERMINED BY CABINETRY DESIGNER & APPROVED BY OWNER.	
C18	ADD GLASS PARTITION @ TUB, TBS, VIF	C
C19	NEW HARDWOOD FLOOR TO MATCH EXG. TOOTH-IN AS REQ'D	
C20	EXG. ROOF BELOW; SEE ROOF PLAN, SHEET A103	
C21	TRAY CLG. ABV.	
C22	EXISTING STAIR TO REMAIN	
C23	EGRESS WINDOW MAX SILL HT = 44" AND MIN 5.7 CLEAR OPENING	
C24	CUSTOM BUILT-IN SHELVING T.B.S., FINAL LAYOUT TO BE DETERMINED BY CABINETRY DESIGNER & APPROVED BY OWNER	-
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	SS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING Y ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD	_
	RE ADD'N TO HAVE NEW TRIM, BASE, ETC. PAINT EXISTING INTERIOR CAVITIES W/ MINERAL WOOL SOUND INSULATION IN WALLS, CEILING, + FLOOR	-
OF TH	IE FOLLOWING ROOMS (U.N.O.):	_
	OWNER'S BEDROOM 208 OWNER'S BATH 205 LAUNDRY	-
	IDE HARDWIRED SMOKE DETECTORS PER IRC SECTION R.313 & LOCAL JURISDICTION DETAILS 9 & 10/A400 FOR EFFICIENT FRAMING DETAILS.	_
7. 🗍 =	E TEMPERED GLASS	_
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	WALL TYPES	Si
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	PICAL EXTERIOR WALL: 2x6 WOOD STUDS @ 16" O.C. W/ R-21 ULATION, 1/2" ZIP SHEATHING, SELF-FURRING	
DIA	MOND-MESH LATH, & 3-COAT CEMENTITIOUS STUCCO; SEE	
	EVATIONS. INTERIOR FINISH TO BE GYP. BD. (1/2").	SI
	PICAL NON-BEARING INTERIOR PARTITION: 2x4 WD. STUDS	
<u> </u>	16" O.C. W/ 1/2" GYP. BD. EACH SIDE; INCREASE WALL ICKNESS AS SHOWN TO ALIGN FINISHES WHERE	

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APPROVED	
Montgomery County	
Historic Preservation Commission	
Rame h. Matta	

REVIEWED By Dan.Bruechert at 3:00 pm, Jan 09, 2024



CONSTRUCTION NOTES

C1	NEW ROOFING TO MATCH EXISTING
C2	STANDING SEAM MTL ROOFING, COLOR T.B.S.
C3	ICE AND WATER GUARD AT ALL EAVES AND VALLEYS & LOW SLOPE ROOFS, SEE GENERAL NOTE #1 BELOW
C4	DASHED LINE INDICATES LINE OF WALL/COLUMN BELOW, SEE FLOOR PLANS
C 5	EXISTING ROOF TO REMAIN, PATCH & REPAIR AS REQ'D
<u>C6</u>	NEW PTD. ALUMINUM GUTTER TO MATCH EXG. PROVIDE LEAF GUARD, SEE SPECIFICATIONS SHEET FOR ADDITIONAL INFO.
C 7	EXISTING GUTTERS/ DOWNSPOUTS REMAIN
C8	RIDGE/HIP VENT BY "COR-A-VENT" OR APPROVED EQUAL, HOLD 12" FROM EDGE, OMIT IF USING FOAM INSULATION, TYP. SEE DETAIL 13/A500
C 9	ALUMINUM DOWNSPOUT, MATCH EXISTING
C10	TOOTH IN NEW ROOFING WITH EXISTING/ REPLACE EXISTING DAMAGED SHINGLES DUE TO NEW ADDITION
(C11)	ALIGN NEW EAVES W/ EXISTING, TYP.
C12>	GC TO EVALUATE AND REPAIR LEAK IN EXG. GUTTER SYSTEM, REVIEW WITH OWNER

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Consultant

Project HERMAN RESIDENCE

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Developer

Date

GTM Project No.22.0436Checked ByGTMDrawn ByLEO/TJKScaleAS NOTED

Sheet Title

Issue Description

ROOF PLAN

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Sheet No.



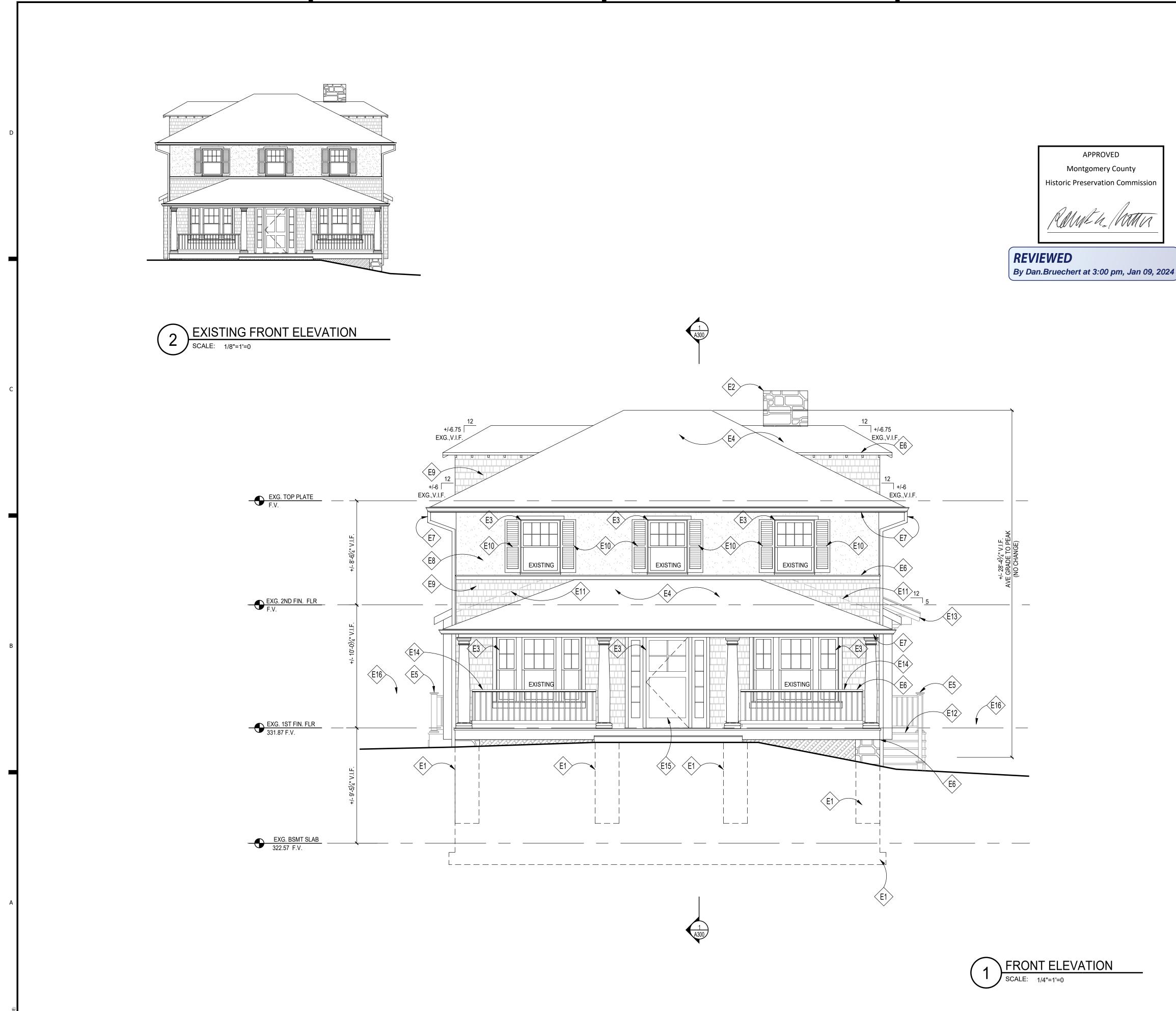
LOW SLOPE ROOF, PROVIDE ICE & WEATHER GUARD

GENERAL ROOFING NOTES

1. PROVIDE SELF-ADHERING, 40 MIL ICE AND WATER GUARD UNDERLAYMENT UNDER SHINGLES AT ALL VALLEYS AND FROM LOWEST EDGE OF ROOF SURFACES TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE, AND ON ALL AREAS WITH A SLOPE LESS THAN 4:12.

2. SEE FRAMING PLAN FOR OVERBUILD AREAS

3. DOTTED LINE INDICATES LINE OF BUILDING BELOW



ELEVATION NOTES

E1 APPROX. LINE OF EXISTING FOUNDATION & FOOTINGS BELOW, VERIFY IN FIELD E2 EXISTING MASONRY CHIMNEY TO REMAIN E3 EXG. WINDOW/DOOR TO REMAIN; GC TO EVALUATE & REPAIR AS REQ'D., TYP. E4 EXISTING ROOFING TO REMAIN, PATCH AND REPAIR AS NECESSARY E5 36" H. PTD. COMPOSITE HANDRAIL/GUARDRAIL, PER IRC 2018 E6 EXG. WOOD TRIM TO REMAIN SCRAPE/PAINT/ REPAIR TYP. EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN, G.C. TO EVALUATE CONDITION OF ROOF DRAINAGE AND REPAIR AS REQ'D E8 EXISTING STUCCO SIDING TO REMAIN, PATCH/REPAIR AS REQ'D, TYP. Eg EXISTING CEDAR SHINGLE SIDING TO REMAIN, PATCH/REPAIR AS REQ'D, TYP. EXISTING WINDOW SHUTTERS TO REMAIN, SCRAPE/PAINT/REPAIR AS REQ'D CONFIRM EXISTENCE OF CONCEALED ALUMINUM FLASHING @ ALL EXG. VERT. TRANSITIONS; PROVIDE IF MISSING & EXTEND VERT. TRANSITIONS, EXTEND 8" MIN. BEHIND STUCCO OR SIDING, TYP. E12 PTD. COMPOSITE DECKING, T.B.S. (E13) STANDING SEAM MTL ROOFING @ CANOPY W/ PTD. BORAL TRIM (E14) EXISTING GUARDRAIL TO REMAIN, SCRAPE & PAINT AS REQ'D, TYP.

E15 NEW SCREEN DOOR, FINAL DESIGN, T.B.D

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LEO/TJK AS NOTED

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VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD
 EXISTING HOUSE TO BE PAINTED
 TEMPERED GLASS

FOR ENTIRE HOUSE:

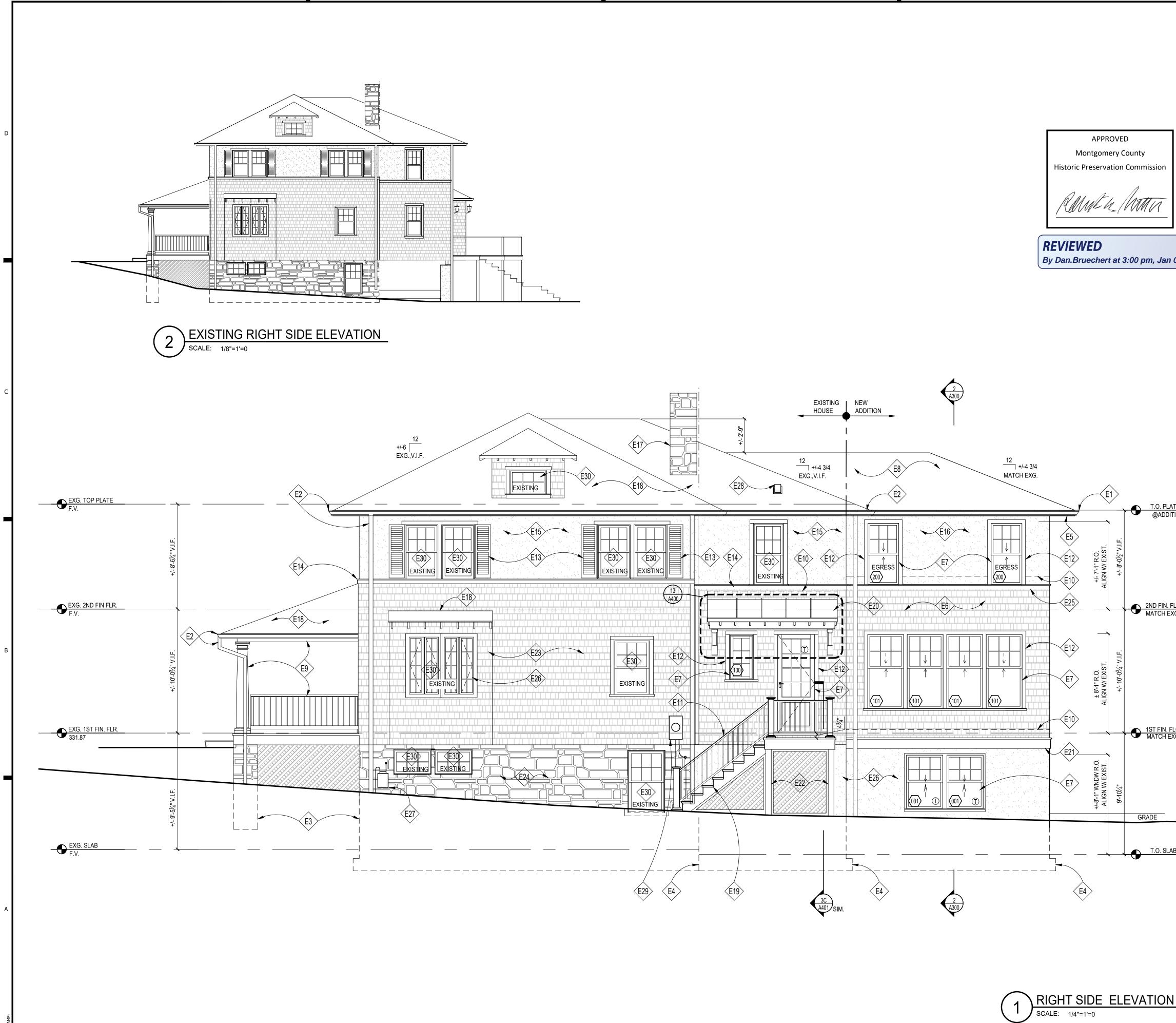
NOTE:

- INVESTIGATE/EVALUATE CONDITION OF EXISTING STUCCO/CEDAR SHINGLE CLADDING & EXTERIOR TRIM AND REPAIR AS REQ'D. IF TRIM CANNOT BE REPAIRED, REPLICATE/REPLACE IN-KIND AFTER CONFERRING WITH HPC STAFF. NEW WOOD/ FIBERCEMENT TRIM DETAILS TO MATCH EXISTING DETAILS ON ADDITION.
- . ALL NEW WOOD TRIM (CORNERBOARDS, FRIEZE BOARDS, SOFFITS, WINDOW CASING, SKIRTBOARDS, APRONS, ETC.) TO BE WINDSOR-ONE+ OR APPROVED EQ. PRIME ALL END CUTS & INSTALL PER MANUFACTURERS INSTRUCTIONS.

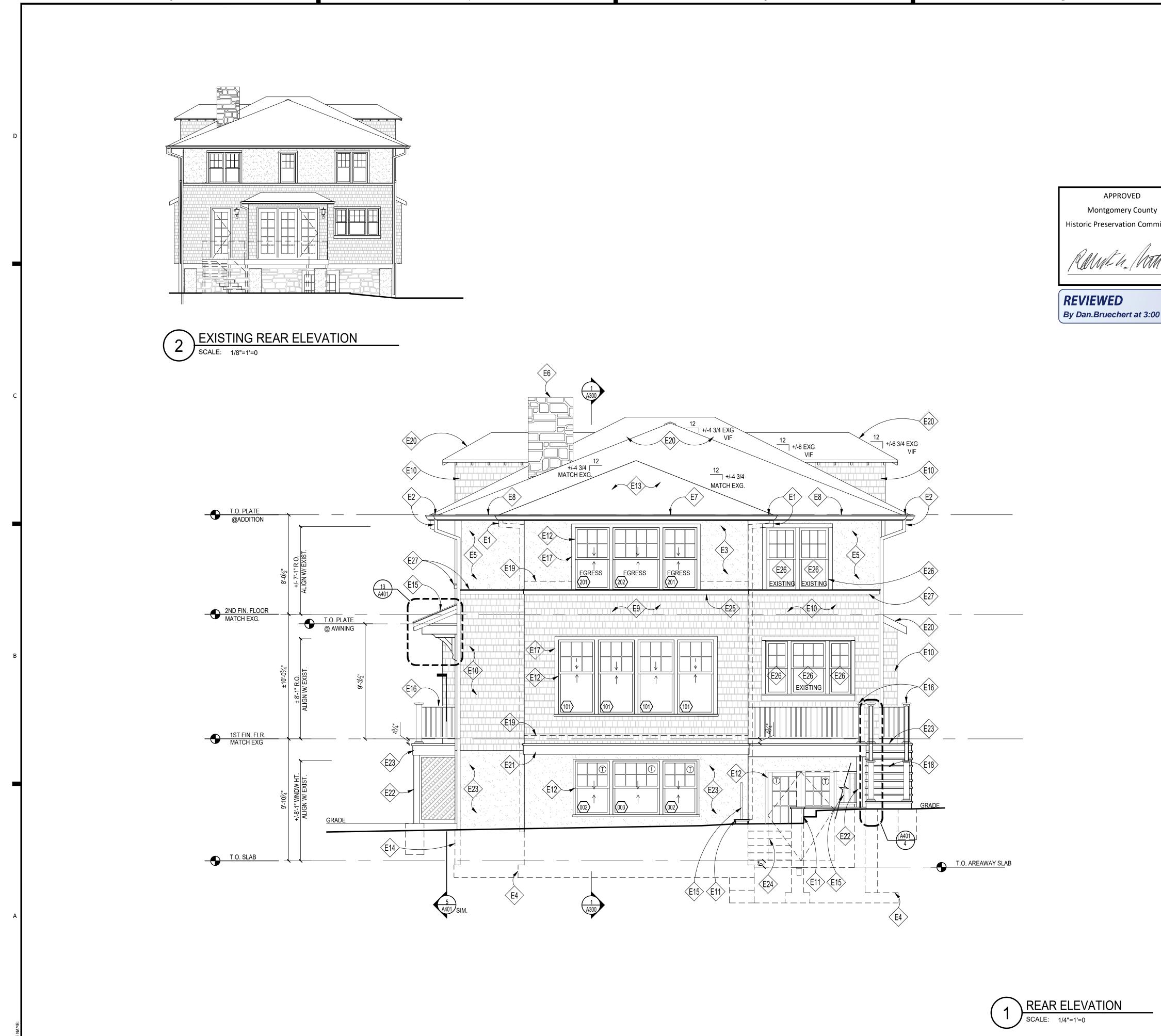
Drawn By

FRONT ELEVATION





	 INVESTIGATE/EVALUATE CONDITION OF EXISTING STUCCO/CEDAR SHINGLE CLADDING & EXTERIOR TRIM AND REPAIR AS REQ'D. IF TRIM CANNOT BE REPAIRED, REPLICATE/REPLACE IN-KIND AFTER CONFERRING WITH HPC STAFF. NEW WOOD/ FIBERCEMENT TRIM DETAILS TO MATCH EXISTING DETAILS ON ADDITION. ALL NEW WOOD TRIM (CORNERBOARDS, FRIEZE BOARDS, SOFFITS, WINDOW CASING, SKIRTBOARDS, APRONS, ETC.) TO BE WINDSOR-ONE+ OR APPROVED 	Sheet No. A2	
	GENERAL NOTES	RIGHT ELEVA	
	 VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD EXISTING HOUSE TO BE PAINTED T = TEMPERED GLASS 	Scale Sheet Title	AS NOTED
_	NOTE:	GTM Project No. Checked By Drawn By	22.0436 GTM LEO/TJK
		Issue Description	Date
_			
		PERMIT SET	01/05/202
	EXG. WINDOW/DOOR TO REMAIN; GC TO EVALUATE & REPAIR AS REQ'D., TYP.	Developer	
	E29 EXG. ELECTRIC METER LOCATION TO REMAIN, GC TO FIELD VERIFY		
	E28 BATH FAN EXHAUST ROOF VENT CAP	Owner	
	E26 STUCCO/PARGING OVER CMU FOUNDATION WALL TO MATCH EXG. E27 EXG. GAS METER TO REMAIN, GC TO FIELD VERIFY	22 WEST IRVING ST, CHE	
	E25 PTD. BORAL TRIM TO MATCH EXG HISTORIC TRIM	HERMAN RES	DENCE
	E24 EXISTING STONE TO REMAIN, REPAIR/REPOINT AS REQ'D	Project	
	EXISTING SIDING TO REMAIN; PATCH/REPAIR, SCRAPE, SAND AND REPAINT AS REQUIRED		
	E22 PTD. BORAL TRIM OVER STRUCTURAL POST; SEE STRUCT, PTD.		
	E21 PTD. BORAL SKIRT BOARD, SEE 2/A400		
	E20 STANDING SEAM MTL ROOFING @ CANOPY W/ PTD. BORAL TRIM		
	E18 EXISTING ROOFING TO REMAIN, PATCH AND REPAIR AS NECESSARY PTD. COMPOSITE WOOD STEPS/RISERS TO GRADE, SEE SITE PLAN, FIELD VERIFY	Consultant	
	E17 EXISTING MASONRY CHIMNEY TO REMAIN, PATCH/REPAIR AS REQ'D E18 EXISTING ROOFING TO REMAIN PATCH AND REPAIR AS NECESSARY	Consultant	E the c
	E16 PTD. 3-COAT CEMENTITIOUS STUCCO; MATCH EXG. TEXTURE/FINISH	A CHITEMINI	I certify that these prepared or appro a duly licensed any the State of Maryl Expiration Date: 1
	E15 EXG. STUCCO SIDING TO REMAIN, REPAIR AS REQUIRED		these docurr approved by sed architect Maryland, lic
	E14 EXG. WOOD TRIM TO REMAIN, SCRAPE/PAINT/ REPAIR AS NEEDED	So of the second s	nents were nents were under the li sense numb 024.
	EXISTING WINDOW SHUTTERS TO BE EVALUATED AND SCRAPED/REPAIRED & PAINTED AS NEEDED	Seal	nat I am aws of ber 8385,
2024	E11 IRC, 2018 SEE 3& 5/A401 PTD. 5/4X BORAL WINDOW/DOOR TRIM, TO MATCH EXG. HISTORIC TRIM TYP., SEE DETAILS, 15/A400	(240)333-2001 FAX WWW.GTMARCHITECTS.COM	
	 E 10 PROVIDE IF MISSING & EXTEND VERT. TRANSITIONS 8" MIN. BEHIND SIDING, TYP. 36" H. PTD COMPOSITE HANDRAIL/GUARDRAIL SYSTEM, T.B.S. FOLLOW 	SUITE 700 BETHESDA, MD 20814 (240)333-2000	GTM
	 E9 SCRAPE, SAND AND REPAINT AS REQUIRED PROVIDE NEW CONCEALED ALUMINUM FLASHING @ ALL EXG. VERT. TRANSITIONS; 	7735 OLD GEORGETOWN ROAD	
	E8 ROOFING TO MATCH EXISTING; COLOR TO MATCH EXG. ROOFING EXISTING PORCH, RAILING, DECKING & TRIM TO REMAIN; PATCH/REPAIR,	GIMAKUF	IIIEUI
	E7 NEW DOORS & WINDOWS AS SCHEDULED	GTMARCH	ITTECT
	E6 STAINED CEDAR SHINGLE TO MATCH EXG. OVER BENJAMIN OBDYKE SLICKER HP W/ INSECT SCREEN CEDAR BREATHER, OR EQUAL, INSTALL PER MFR. SPEC.		
	E5 PTD. BORAL EAVE/CORNICE TRIM TO MATCH EXISTING, SEE DETAILS		
	E4 APPROX. LINE OF PROPOSED FOUNDATION/FOOTINGS BELOW, SEE FOUNDATION PLAN FOR ADDITIONAL INFO.		
	E2 CONDITION OF ROOF DRAINAGE AND REPAIR AS REQ'D E3 APPROX. LINE OF EXISTING FOUNDATION & FOOTINGS BELOW, VERIFY IN FIELD		
	EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN, G.C. TO EVALUATE		
	$\langle E1 \rangle$ GUTTER & DOWNSPOUT, TO MATCH EXISTING SEE ROOF PLAN, TYPICAL		

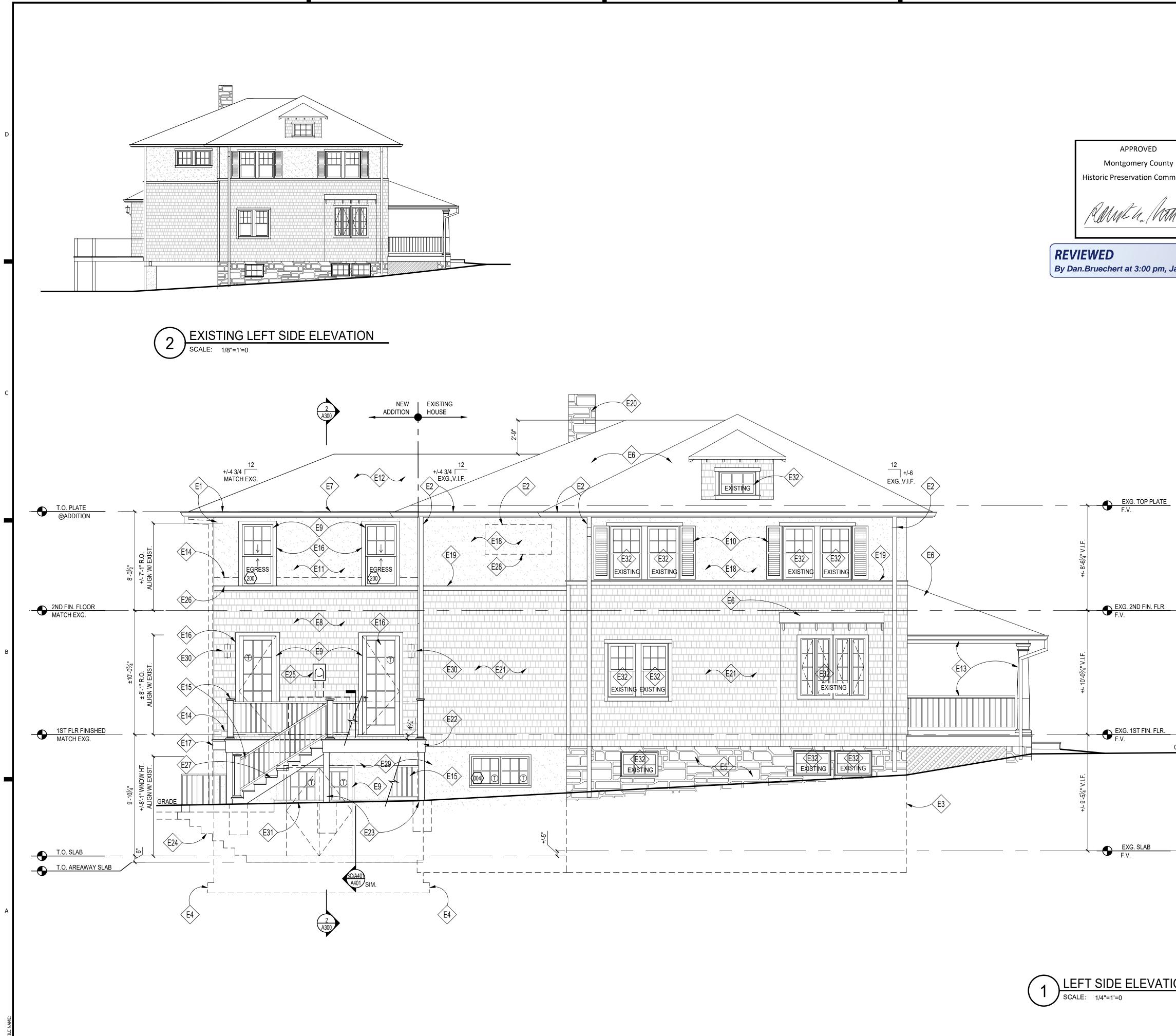


Historic Preservation Commission

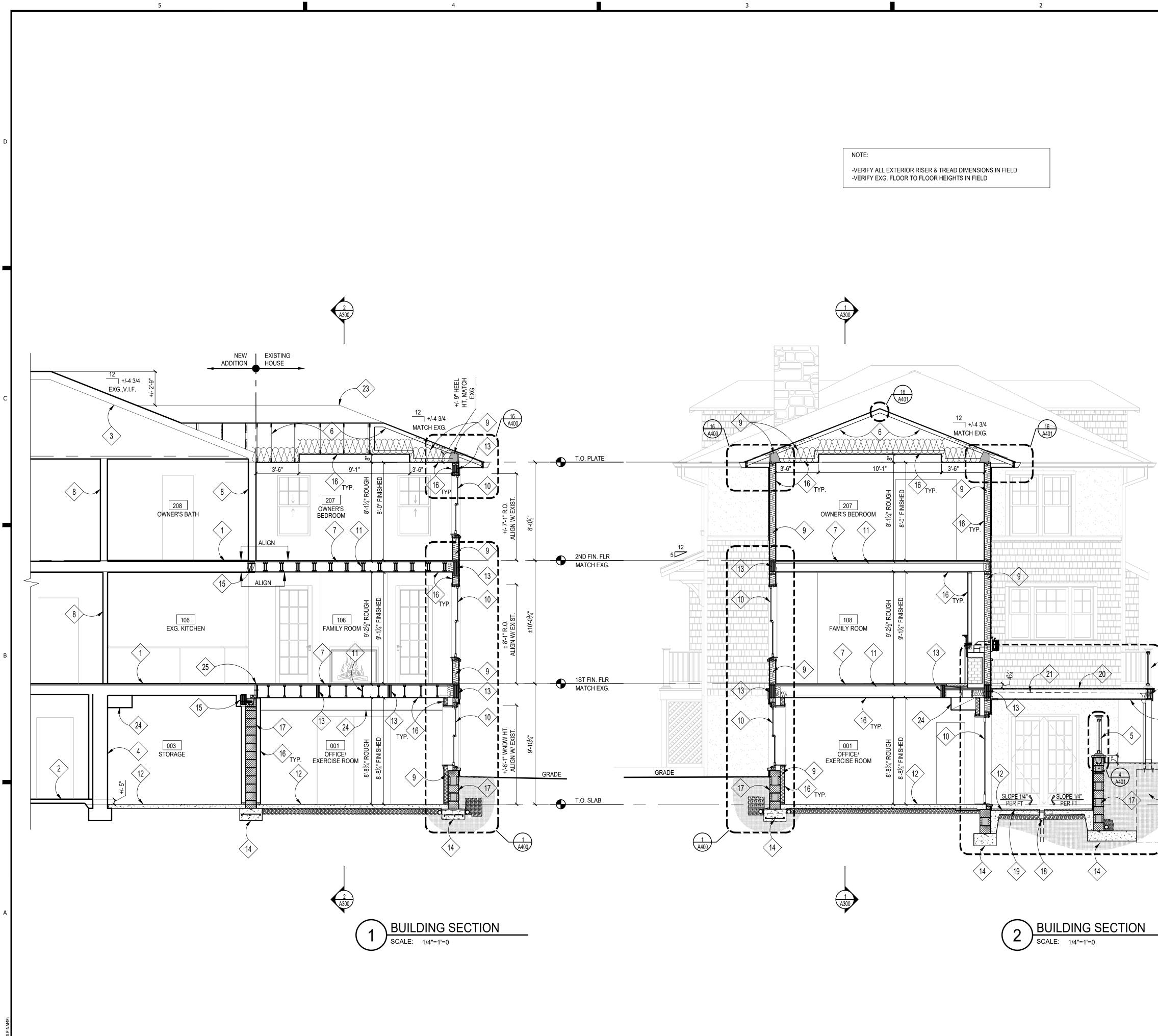
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REVIEWED By Dan.Bruechert at 3:00 pm, Jan 09, 2024

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NOTE: 1. VERITY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD 1. VERITY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD	 VERIFY RISE & RUN CONCEALED ALUM. FLASHING & COUNTER FLASHING @ ALL VERTICAL TRANSITIONS, TYP. EXTEND MIN. 8" BEHIND SIDING E20 EXISTING ROOFING TO REMAIN, PATCH AND REPAIR AS NECESSARY E21 PTD. BORAL SKIRT BOARD, SEE 2/A400 E22 PTD. BORAL TRIM OVER STRUCTURAL POST; SEE STRUCT, PTD. E23 STUCCO/PARGING OVER CMU FOUNDATION WALL TO MATCH EXG. FLAGSTONE STEPS/STUCCO RISERS TO GRADE, BEYOND SEE SITE PLAN, FIELD VERIFY RISE & RUN E25 PTD. BORAL TRIM TO MATCH EXG HISTORIC TRIM E26 EXG. WINDOW/DOOR TO REMAIN; GC TO EVALUATE & REPAIR AS REQ'D., TYP. 	Project HERMAN RESIDENCE 22 WEST IRVING ST, CHEVY CHASE, MD 20815
NOTE: 1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD 2. EXISTING HOUSE TO BE PAINTED 3. ① = TEMPERED GLASS GENERAL NOTES DOTE: INVESTIGATE/EVALUATE CONDITION OF EXISTING STUCCO/CEDAR SHINGLE CLADDING & EXTERIOR TRIM AND REPAIR AS REQD. IF TRIM CANNOT BE REPAIRED, FIBERCEMENT TRIM DETAILS TO MATCH EXISTING DETAILS ON ADDITION. 2. ALL NEW WOOD TRIM (CORNERBOARDS, FRIEZE BOARDS, SOFFITS, WINDOW CASING, SKIRTBOARDS, APRONS, ETC.) TO BE WINDSOR-ONE+ OR APPROVED		
 1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD 2. EXISTING HOUSE TO BE PAINTED 3. T = TEMPERED GLASS Scale AS NOTED Scale AS NOTED Sheet Title REAR ELEVATION FOR ENTIRE HOUSE: 1. INVESTIGATE/EVALUATE CONDITION OF EXISTING STUCCO/CEDAR SHINGLE CLADDING & EXTERIOR TRIM AND REPAIR AS REQD. IF TRIM CANNOT BE REPAIRED, REPLICATE/REPLACE IN-KIND AFTER CONFERRING WITH HPC STAFF. NEW WOOD/ FIBERCEMENT TRIM DETAILS TO MATCH EXISTING DETAILS ON ADDITION. 2. ALL NEW WOOD TRIM (CORNERBOARDS, FRIEZE BOARDS, SOFFITS, WINDOW CASING, SKIRTBOARDS, APRONS, ETC.) TO BE WINDSOR-ONE+ OR APPROVED 	<u>NOTE:</u>	GTM Project No. 22.0436 Checked By GTM
 INVESTIGATE/EVALUATE CONDITION OF EXISTING STUCCO/CEDAR SHINGLE CLADDING & EXTERIOR TRIM AND REPAIR AS REQ'D. IF TRIM CANNOT BE REPAIRED, REPLICATE/REPLACE IN-KIND AFTER CONFERRING WITH HPC STAFF. NEW WOOD/ FIBERCEMENT TRIM DETAILS TO MATCH EXISTING DETAILS ON ADDITION. ALL NEW WOOD TRIM (CORNERBOARDS, FRIEZE BOARDS, SOFFITS, WINDOW CASING, SKIRTBOARDS, APRONS, ETC.) TO BE WINDSOR-ONE+ OR APPROVED 	2. EXISTING HOUSE TO BE PAINTED 3. T = TEMPERED GLASS GENERAL NOTES	Scale AS NOTED
■ EQ. PRIME ALLEND CUTS & INSTALL PER MANUFACTURERS INSTRUCTIONS ■	 INVESTIGATE/EVALUATE CONDITION OF EXISTING STUCCO/CEDAR SHINGLE CLADDING & EXTERIOR TRIM AND REPAIR AS REQ'D. IF TRIM CANNOT BE REPAIRED, REPLICATE/REPLACE IN-KIND AFTER CONFERRING WITH HPC STAFF. NEW WOOD/ FIBERCEMENT TRIM DETAILS TO MATCH EXISTING DETAILS ON ADDITION. ALL NEW WOOD TRIM (CORNERBOARDS, FRIEZE BOARDS, SOFFITS, WINDOW CASING, SKIRTBOARDS, APRONS, ETC.) TO BE WINDSOR-ONE+ OR APPROVED 	Sheet No. A202



	1	l
	ELEVATION NOTES	
ty mission Jan 09, 2024	ELECTION TROUTED E1 GUTTER & DOWNSPOUT, TO MATCH EXISTING SEE ROOF PLAN, TYPICAL E2 EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN, G.C. TO EVALUATE E2 CONDITION OF ROOF DRAINAGE AND REPAIR AS REQD E3 APPROX, LINE OF EXISTING FOUNDATION & FOOTINGS BELOW, VERIFY IN FIELD E4 APPROX, LINE OF EXISTING TO REMAIN, REPAIR/REPOINT AS REQD E5 EXISTING GOOFING TO REMAIN, PATCH AND REPAIR AS NECESSARY, TYP. E7 PTD. BORAL EAVELCORNICE TRIM TO MATCH EXISTING, SEE DETAILS E6 EXISTING ROOFING TO REMAIN, PATCH AND REPAIR AS NECESSARY, TYP. E7 PTD. BORAL EAVELCORNICE TRIM TO MATCH EXISTING, SEE DETAILS E7 PTD. BORAL EAVELCORNICE TRIM TO MATCH EXIS, OVER BENJAMIN ODDYKES SUCKER HP WINSECT SCREEN CEDAR BREATHER, OR EQUAL, INSTALL PER MER, SPEC. E9 NEW DOORS & WINDOWS AS SCHEDULED, TYP. E10 EXISTING WINDOW SHUTTERS TO BE EVALUATED AND SCRAPED/REPAIRED AS PRECED E11 PTD. 3-COAT CEMENTITIOUS STUCCO SIDING, MATCH EXG, TEXTURE/FINISH E12 ROOFING TO MATCH EXISTING, COLOR TO MATCH EXG, VERT, TRANSITIONS FMONDE FMOSING & EXTEND VERT, TRANSITIONS FIND, DEMAIN, DEMAIN SIDING, TYP. E13 SCRAPE, AND AND REPAIRT AS REQUIRED E14 PROVIDE INVINDOW SHAUTH, TRANSITIONS FIND SEMINE CONPOS	<section-header></section-header>
GRADE	NOTE: 1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD 2. EXISTING HOUSE TO BE PAINTED 3. ① = TEMPERED GLASS FOR ENTIRE HOUSE: 1. INVESTIGATE/EVALUATE CONDITION OF EXISTING STUCCO/CEDAR SHINGLE 1. INVESTIGATE/EVALUATE CONDITION OF EXISTING STUCCO/CEDAR SHINGLE	PERMIT SET 01/05/2024
<u> 10N</u>	 INVESTIGATE/EVALUATE CONDITION OF EXISTING STUCCO/CEDAR SHINGLE CLADDING & EXTERIOR TRIM AND REPAIR AS REQ'D. IF TRIM CANNOT BE REPAIRED, REPLICATE/REPLACE IN-KIND AFTER CONFERRING WITH HPC STAFF. NEW WOOD/ FIBERCEMENT TRIM DETAILS TO MATCH EXISTING DETAILS ON ADDITION. ALL NEW WOOD TRIM (CORNERBOARDS, FRIEZE BOARDS, SOFFITS, WINDOW CASING, SKIRTBOARDS, APRONS, ETC.) TO BE WINDSOR-ONE+ OR APPROVED EQ. PRIME ALL END CUTS & INSTALL PER MANUFACTURERS INSTRUCTIONS. 	Sheet No. A203
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SECTION NOTES

- EXISTING FLOOR STRUCTURE TO REMAIN EXISTING CONC. SLAB TO REMAIN (3) EXISTING RAFTERS/ROOF FRAMING TO REMAIN (4) EXISTING FOUNDATION WALL TO REMAIN 36" PTD. COMPOSITE HANDRAIL/GUARDRAIL SYSTEM, T.B.S. FOLLOW IRC, 2018, SEE 3 & 5/A401 FOR DETAIL 6 PRE-ENGINEERED ROOF TRUSS; SEE FRAMING PLANS 7 > 3/4" ADVANTECH SUBFLOOR; GLUED & SCREWED 8 > EXG. FRAME WALL TO REMAIN $\langle 9 \rangle$ INSULATION, SEE EC001 FOR THERMAL ENVELOPE SPECIFICATIONS 10 SCHEDULED WINDOW/DOOR $\langle 11 \rangle$ FLOOR JOISTS, SEE FRAMING PLANS 12 CONCRETE SLAB, SEE FOUNDATION PLAN 13 BEAM / HEADER; SEE FRAMING PLANS $\langle 14 \rangle$ FOOTING; SEE FOUNDATION PLAN 15 EXG. BEAM TO REMAIN (16) 1/2" GYP. BD, PTD. 17 CMU FOUNDATION WALL; SEE FOUNDATION PLAN
- AREAWAY DRAIN, PIPE TO DAYLIGHT OR CONNECT TO FOUNDATION DRAINAGE SYSTEM 19 FLAGSTONE PAVERS T.B.S. ON 1" SETTING BED ON REINF. CONC. SLAB; SEE FOUNDATION PLAN $\langle 20 \rangle$ PTD. COMPOSITE DECKING T.B.S.
- $\langle 21 \rangle$ RAIN ESCAPE SYSTEM BY TREX
- <22> WINSOR ONE V-GROOVE CLG. PTD.
- (23)PROFILE OF RIDGE BEYOND
- PROPOSED HVAC DUCT LOCATION; EXG. DUCTWORK/BULKHEAD TO REMAIN & GC TO EVALUATE OPTIONS TO EXTEND DUCTWORK INTO ADDITION; FIELD VERIFY DUCT LAYOUT WITH ARCHITECT & OWNER PRIOR TO INSTALL
- 25 INSTALL NEW PLYWD SUBFLOOR TO LAP CONTINUOUSLY MIN 2' OVER JUNCTION OF EXISTING & NEW FLOOR SYSTEM

APPROVED Montgomery County Historic Preservation Commission

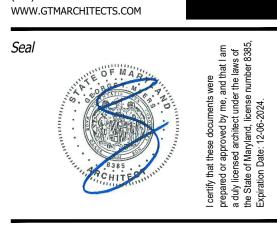
MMEL /NATTO

REVIEWED By Dan.Bruechert at 2:58 pm, Jan 09, 2024

BETHESDA, MD 20814 GTM (240)333-2000 (240)333-2001 FAX

7735 OLD GEORGETOWN ROAD

SUITE 700



GTMARCHITECTS

Consultant

Project HERMAN RESIDENCE

22 WEST IRVING ST, CHEVY CHASE, MD 20815 Owner

Developer

01/05/2024 PERMIT SET Issue Description Date

22.0436 GTM Project No GTM Checked By LEO/TJK Drawn By AS NOTED Scale

Sheet Title

Sheet No.



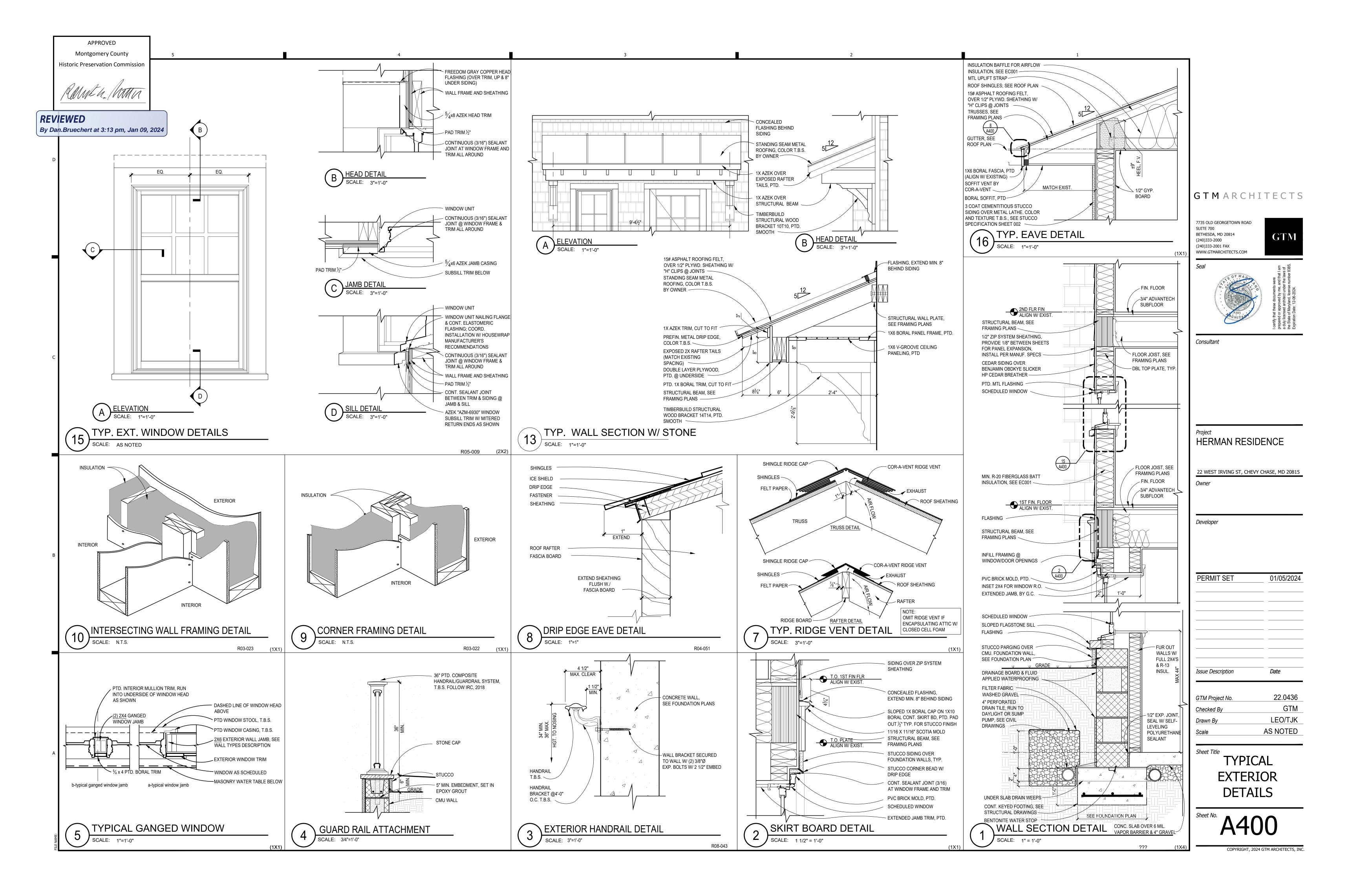
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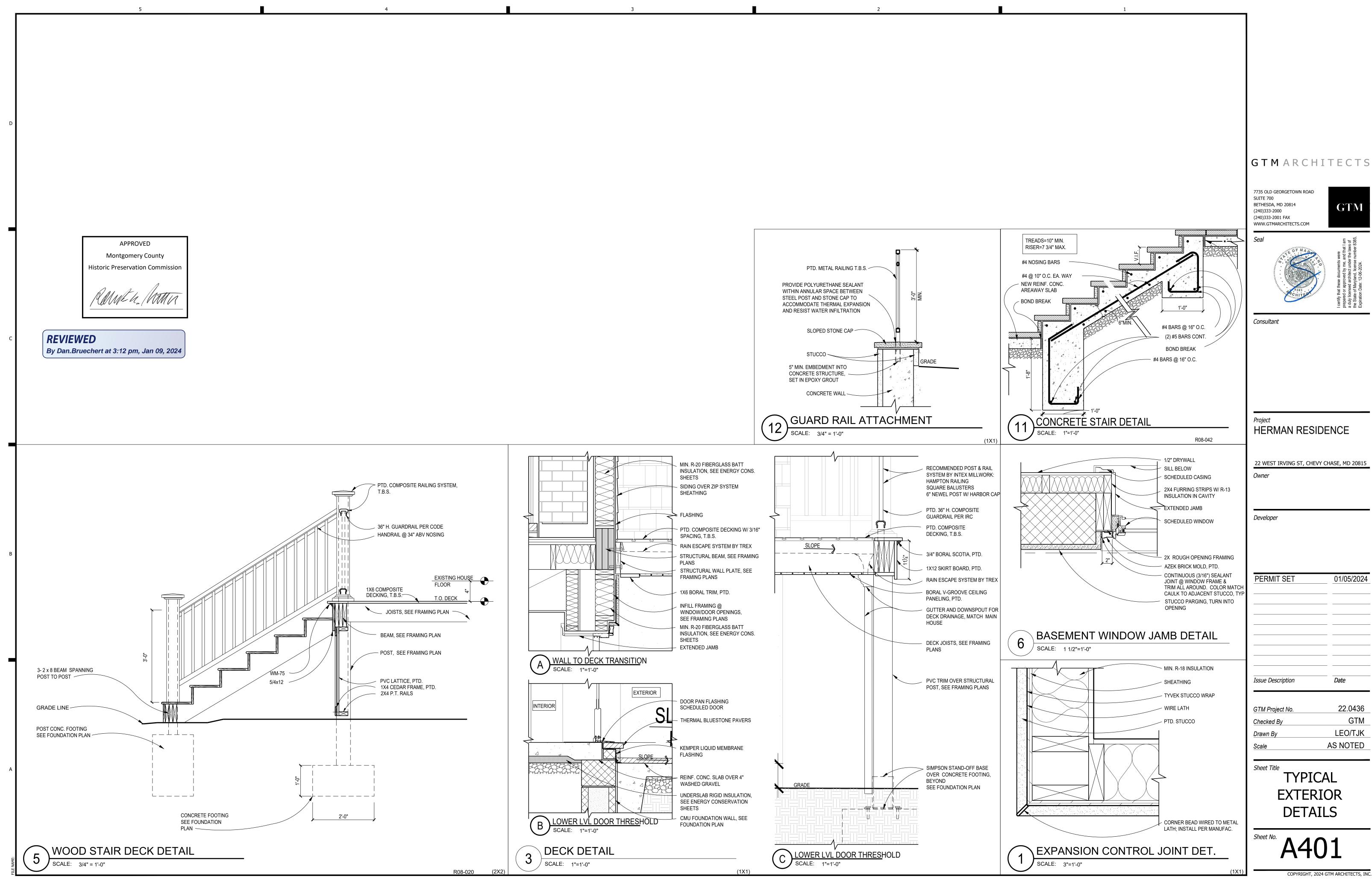
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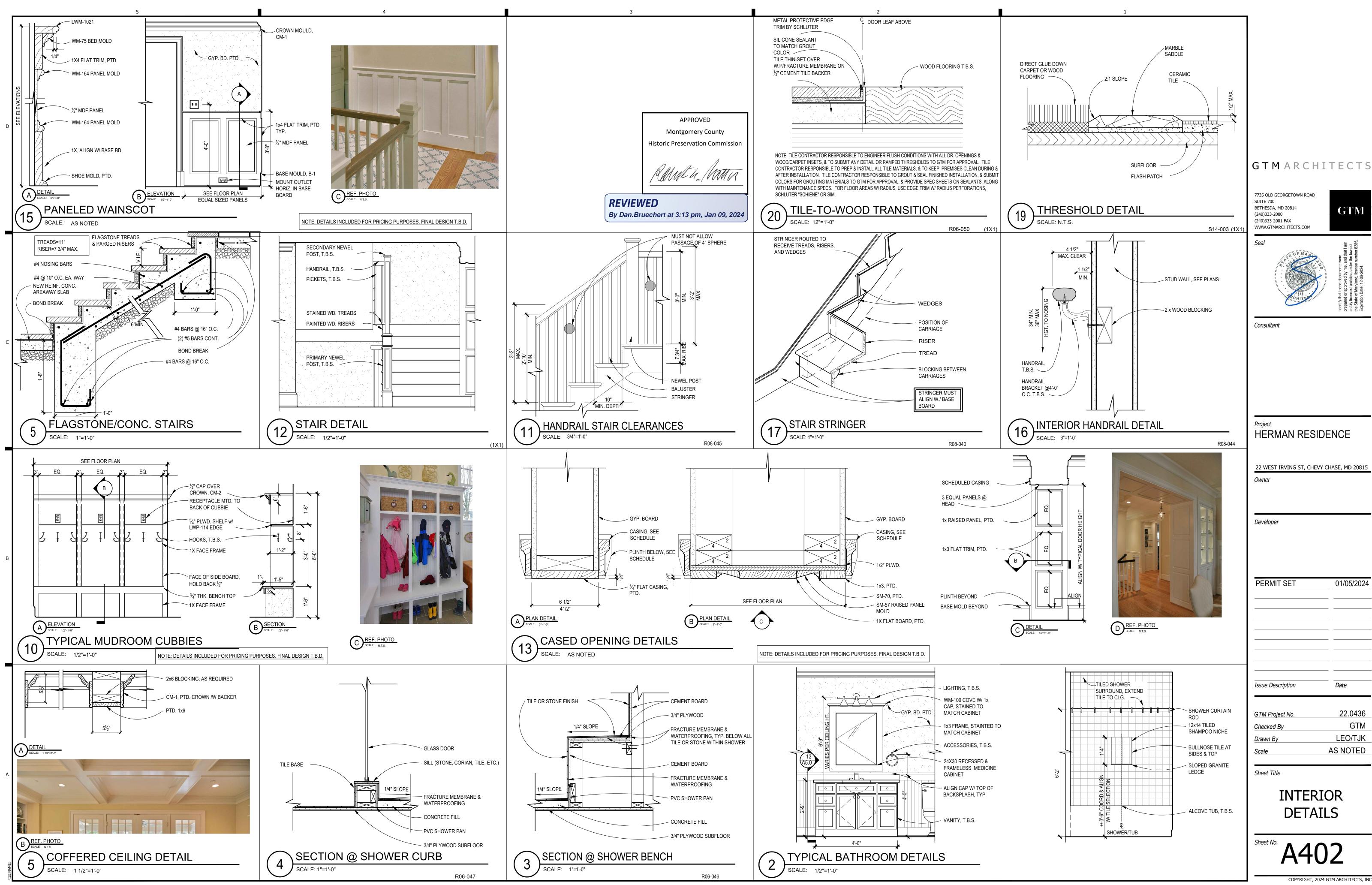
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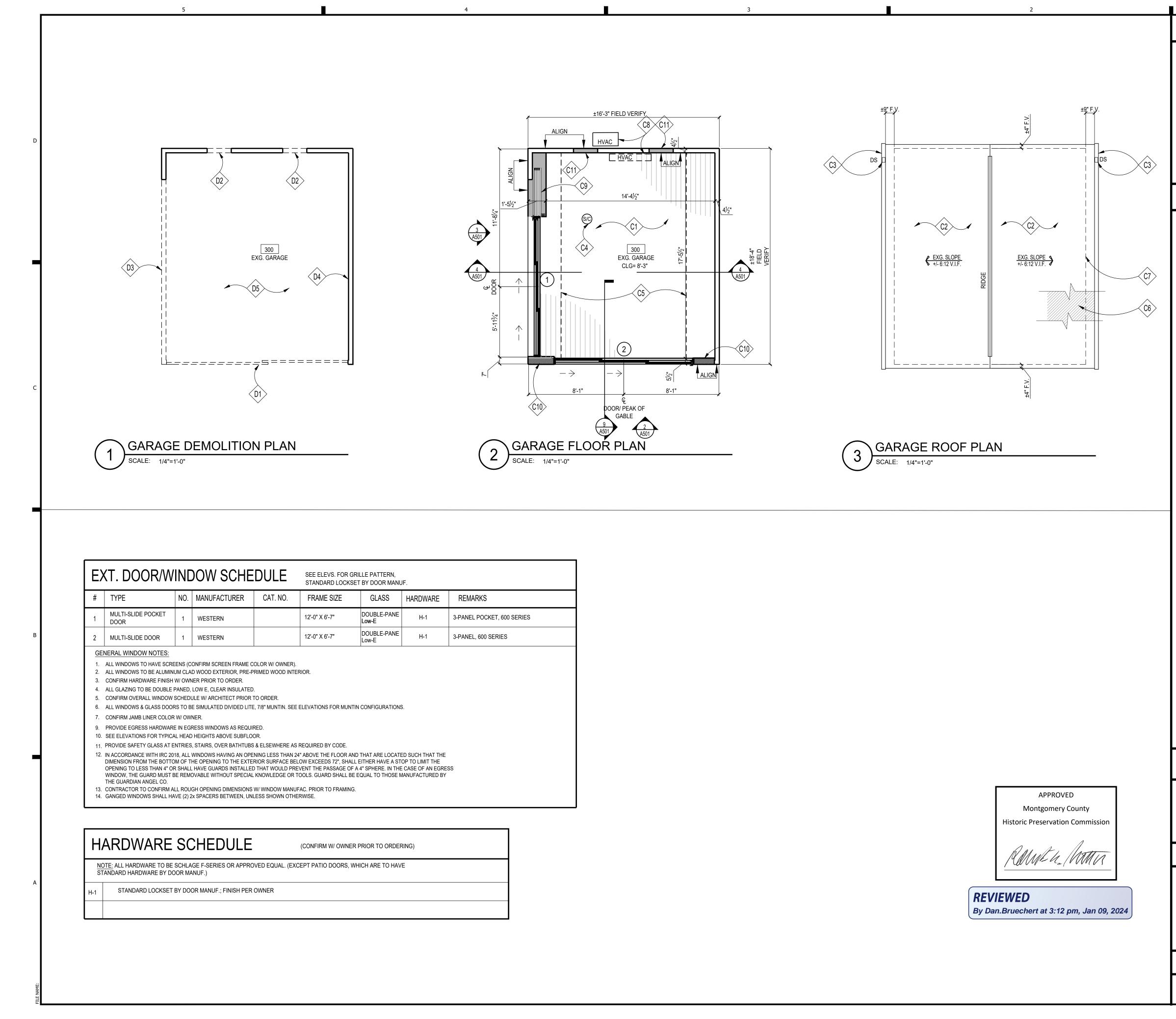
3 A401

1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD









DEMOLITION NOTES

(D1) REMOVE EXG. GARAGE DOORS

- D2> REMOVE EXG. WINDOW
- $\langle D3 \rangle$ REMOVE EXG. WALL AS SHOWN
- $\langle D4 \rangle$ EXG. FRAME WALL TO REMAIN
- $\langle D5 \rangle$ EXG. CONC SLAB TO REMAIN

NOTE:

. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING

CONSTRUCTION NOTES

- NEW FLOORING T.B.S. ON 3/4" T&G PLYWOOD SUBFLOOR (GLUED & SCREWED) ON P/T SLEEPERS OVER EXG. CONC. SLAB ON GRADE $\langle C2 \rangle$ REPLACE EXG. ROOFING WITH NEW ASPHALT SHINGLE ROOFING TO MATCH MAIN HOUSE
- C3 GUTTERS/DOWNSPOUTS, MATCH MAIN HOUSE
- HARDWIRED WITH BATTERY BACK UP SMOKE DETECTOR/ CARBON MONOXIDE COMBO UNIT PER IRC 2018
- TRANSITION TO SLOPED CEILING ABOVE
- ICE AND WATER GUARD AT ALL EAVES, VALLEYS AND LOW SLOPE ROOFS; SEE GENERAL ROOFING NOTE #1 BELOW
- C7 OUTLINE OF FRAME WALL BELOW

C8 CONDITION SPACE WITH DUCTLESS MINI-SPLIT SYSTEM, GC TO COORDINATE FINAL LOCATION WITH OWNER

- C9 CAVITY FOR MULTI-SLIDE POCKET DOOR, COORDINATE WITH
- MANUFACTURER'S SPECIFICATIONS
- $\langle C10 \rangle$ STRUCTURAL PORTAL FRAME FOR WIND BRACING, SEE FRAMING PLANS
- (C11) INFILL EXISTING WINDOW OPENING, ALIGN FINISHED SURFACES

GTM ARCHITECTS

7735 OLD GEORGETOWN ROAD SUITE 700 BETHESDA, MD 20814 (240)333-2000 (240)333-2001 FAX WWW.GTMARCHITECTS.COM	GTM
Seal	I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 8385, Expiration Date: 12-06-2024.
Consultant	

Project HERMAN RESIDENCE

22 WEST IRVING ST, CHEVY CHASE, MD 20815 Owner

01/08/2024

Date

22.0436

Developer

PERMIT SET

Issue Description

GTM Project No.

NOTE:

1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING 2. (T) = TEMPERED GLASS

3. SEE DETAILS 9 & 10/A400 FOR EFFICIENT FRAMING DETAILS.

KEY

EXISTING WALL TO REMAIN

NEW FRAME WALL

WALL TYPES

TYPICAL EXTERIOR WALL; 2x6 WOOD STUDS 16" O.C., W/ INSULATION (SEE THERMAL ENVELOPE, SHEET "EC001" FOR INSULATION LOCATION & INFORMATION), 1/2" ZIP-SYSTEM SHEATHING W/ INTEGRAL AIR & WATER BARRIER, SIDING T.B.S.; SEE ELEVATIONS. INTERIOR FINISH TO BE ½" GYP. BD.

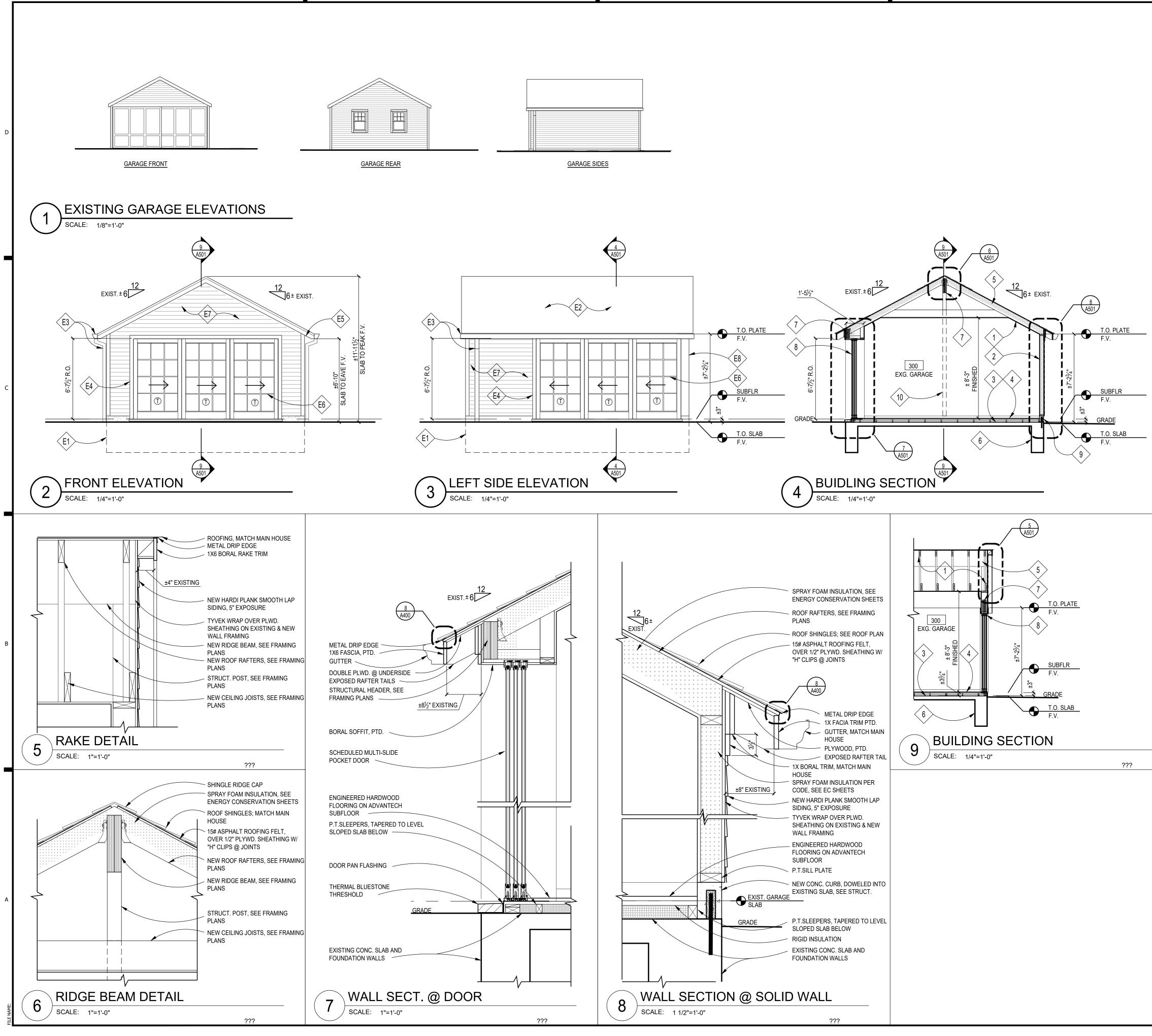
GENERAL NOTES

1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING. 2. VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD.

GTM Checked By LEO/TJK Drawn By AS NOTED Scale Sheet Title

GARAGE PLANS





ELEVATION NOTES

E1 APPROX. LINE OF EXISTING FOUNDATION & FOOTINGS BELOW, VERIFY IN FIELD (E2) REPLACE EXG. ROOFING WITH NEW ASPHALT SHINGLE ROOFING TO MATCH MAIN HOUSE (E3) GUTTERS/DOWNSPOUTS, MATCH MAIN HOUSE E4 > PTD. 5/4X BORAL WINDOW/DOOR TRIM, TYP. EXG. WD EAVE/CORNICE TRIM TO BE SCRAPED/PAINTED/REPAIRED OR REPLACED IN-KIND W/ PTD. WOOD TRIM TO MATCH EXG NEW SCHEDULED MULTI SLIDE DOORS INSTALL PER MANUF. SPECIFICATIONS NEW HARDI PLANK SMOOTH LAP SIDING, 5" EXPOSURE, W/ 5/4X4 BORAL CORNER BOARDS, PTD. **E8** 1X FLAT BORAL TRIM, CUT TO FIT, PTD. NOTE: 1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD 2. (T) = TEMPERED GLASS SECTION NOTES UPGRADES TO EXISTING ROOF STRUCTURE, SEE FRAMING PLANS NEW/REFURBISHED WALL FRAMING, SEE FRAMING PLANS. REPLACE DAMAGED STUDS, TYP. EXG. CONC SLAB TO REMAIN NEW FLOORING T.B.S. ON 3/4" T&G PLYWOOD SUBFLOOR (GLUED & SCREWED) ON P/T SLEEPERS OVER EXG. CONC. SLAB ON GRADE SPRAY FOAM INSULATION, SEE ENERGY CONSERVATION SHEETS EXG. FOUNDATION, FIELD VERIFY BEAM; SEE FRAMING PLANS NEW DOOR AS SCHEDULED > CONC. CURB, SEE FOUNDATION PLAN (10) STRUCTURAL POST BEYOND, SEE FRAMING PLANS APPROVED Montgomery County Historic Preservation Commission MME K. MMM REVIEWED By Dan.Bruechert at 3:12 pm, Jan 09, 2024

GTMARCHITECTS

35 OLD GEORGETOWN ROAD ITE 700 THESDA, MD 20814 40)333-2000 40)333-2001 FAX WW.GTMARCHITECTS.COM	GTM
eal	I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 8385, Expiration Date: 12-06-2024.

Consultant

Project HERMAN RESIDENCE

22 WEST IRVING ST, CHEVY CHASE, MD 20815 Owner

Developer

01/08/2024 PERMIT SET

Issue Description

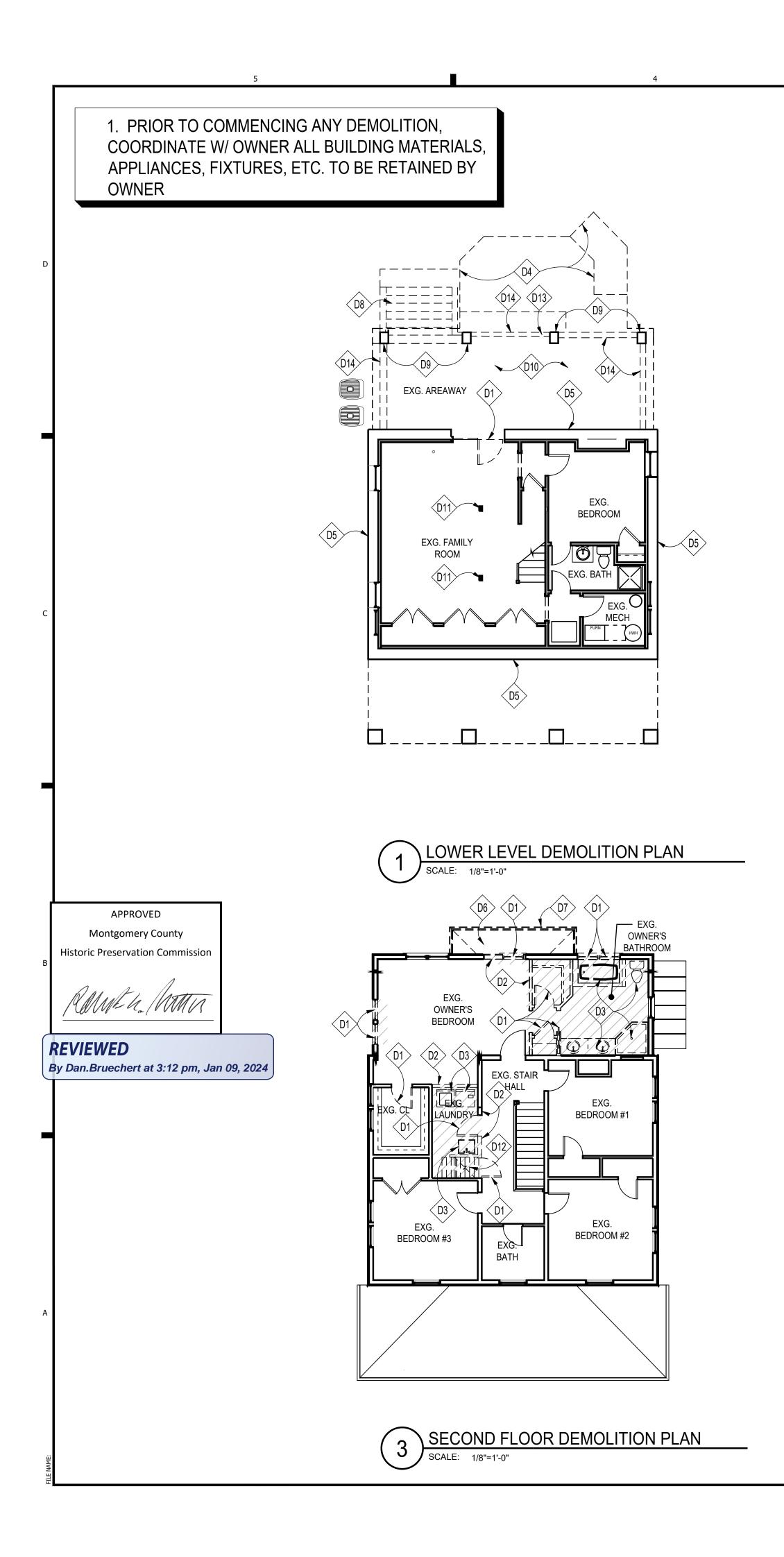
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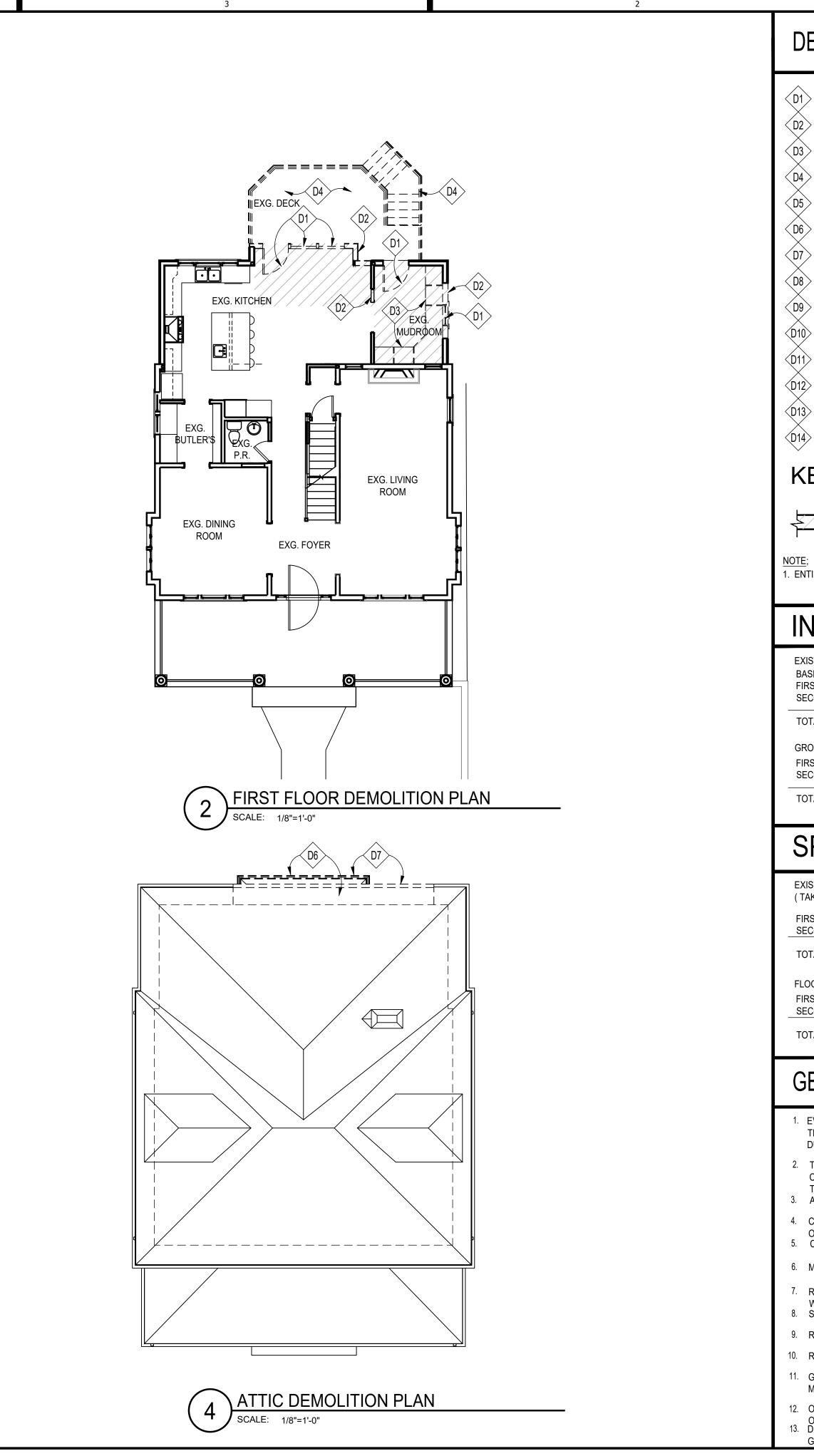
Date

Sheet Title

GARAGE **ELEVATIONS &** SECTIONS Sheet No.

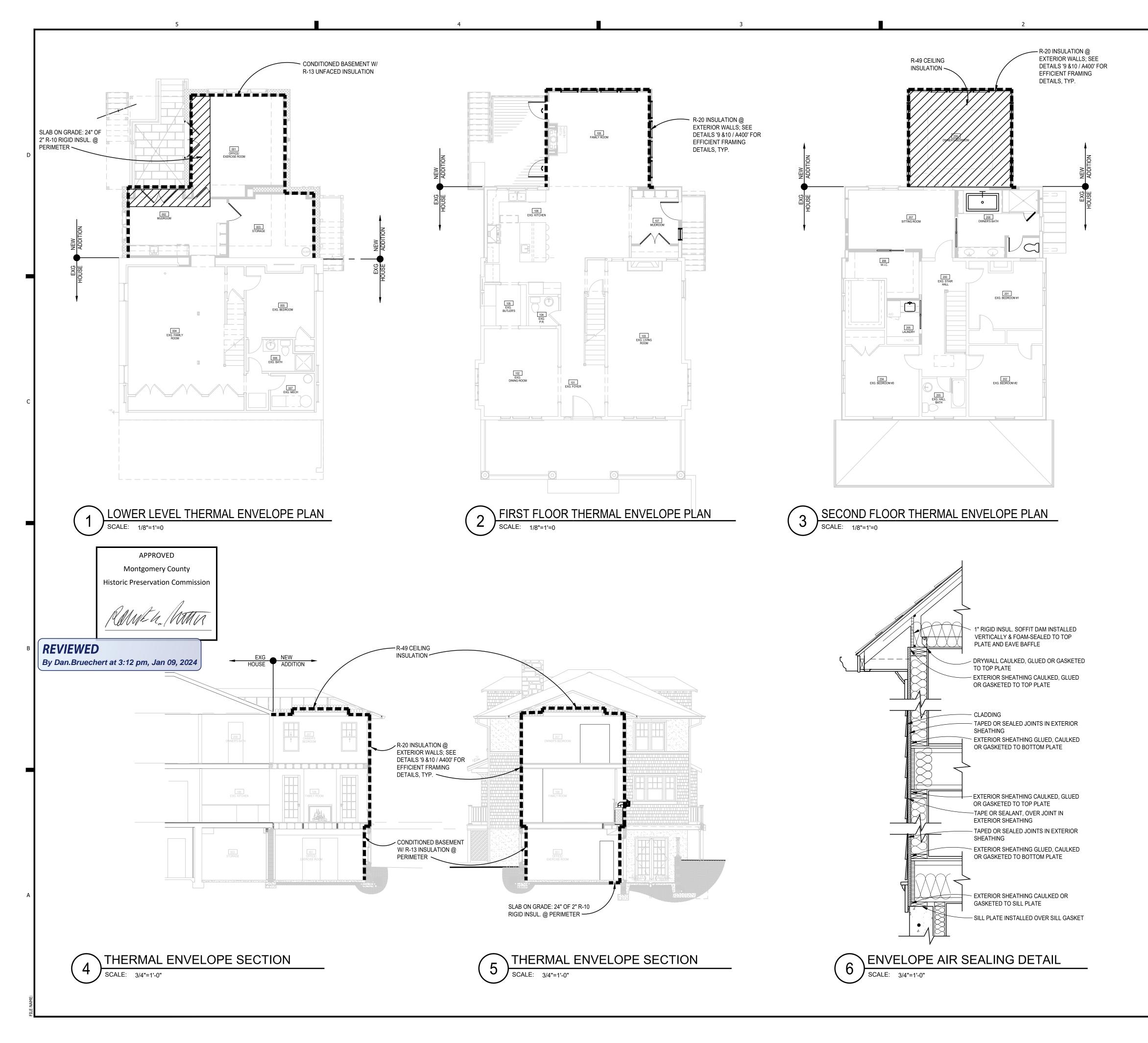
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	1	1	
DEMOLITION NOTE	S		
D1 REMOVE DOORS & WINDOWS AS SHOWN D2 REMOVE WALLS AS SHOWN, PROVIDE T			
D3 REMOVE EXISTING PLUMBING FIXTURES ENTIRETY D4 REMOVE EXISTING DECK/STEPS TO GRA	S, COUNTERTOPS, APPLIANCES, CABINETS IN THEIR		
$D_{\rm D5}$ EXISTING FOUNDATION WALLS TO REM.			
\times	HOWN, STORE EXG. SHINGLES FOR RE-USE ON NEW DORMERS		
D7 REMOVE EXISTING GUTTERS AS SHOWN	Ν	GTMARCHI	TECTS
D8 REMOVE EXG. STAIRS & RAILINGS		GIMARCH.	LIECIS
D9 EXISTING CONCRETE PIER TO REMAIN		7735 OLD GEORGETOWN ROAD	
D10 DEMO EXG. CONCRETE SLAB		SUITE 700 BETHESDA, MD 20814 (240)333-2000	GTM
D11 EXG. STRUCTURAL POST; FIELD VERIFY	, ,	(240)333-2000 (240)333-2001 FAX WWW.GTMARCHITECTS.COM	
D12 DEMO EXG. ATTIC STAIR IN IT'S ENTIRE	ΓΥ	Seal	am Df 885,
D13 EXG. BEAM ABOVE TO REMAIN		OF MADE	were and that I an the laws of number 838
D14 DEMO EXG. AREAWAY PARTIAL HEIGHT	WALLS		certify that these documents v prepared or approved by me, <i>a</i> a duly licensed architect under the State of Maryland, license Expiration Date: 12-06-2024.
		CHITE	I certify the prepared a duly lice the State Expiration
RENOVATED FLOOR	AREA	Consultant	
<u>DTE;</u> ENTIRETY OF EXISTING INTERIOR TO BE F	REPAINTED PREP. AS REQD.		
INFILL DEMO C	CALCS		
EXISTING GROSS FLOOR AREA: BASEMENT 956 SF FIRST FLOOR 1,410.5 SF SECOND FLOOR 1,368.6 SF		Project	
TOTAL 3,735.1 SF (50% = 1,8	67.5 SF)	HERMAN RESID	ENCE
GROSS FLOOR AREA TO BE DEMOLISHED	AND RECONSTRUCTED		
FIRST FLOOR196.3 SFSECOND FLOOR253.3 SFTOTAL449.6 SF	PROPOSED WORK IS NOT INFILL 449.6 SF > 1,867.5 SF	22 WEST IRVING ST, CHEVY Owner	CHASE, MD 20815
SPRINKLER DE	EMO CALCS	Developer	
EXISTING FLOOR AREA: (TAKEN FROM INSIDE FACE OF EXTERIOR	R WALLS AND NOT INCLUDING THE BASEMENT FLOOR AREA)		
FIRST FLOOR1,317.9 SFSECOND FLOOR1,281.1 SF			
TOTAL 2,599 SF (50% = 1,299	9 SF)	PERMIT SET	01/08/2024
FLOOR AREA OF INTERIOR DEMOLITION TO FIRST FLOOR 180.5 SF	O BE CARRIED OUT		
- 1	HOUSE DOES NOT NEED TO BE SPRINKLERED PER ER 31-19 SUBSECTION R313.4		
GENERAL DEMOLIT	ION NOTES		
TEMPORARY SUPPORTS AND BRACES	DEMOLITION TO PROTECT THE HOUSE BY MEANS OF AS NECESSARY TO PREVENT ANY STRUCTURAL FAILURE OF EXISTING STRUCTURAL MEMBERS.	Issue Description	Date
CIRCULATION OF DIRT AND DUST INTO THE WORK.	ERS SHALL BE INSTALLED AS NECESSARY TO PREVENT PORTIONS OF THE HOUSE THAT ARE NOT PART OF	<u>GTM Project No.</u> Checked By	22.0436 GTM
 ALL DASHED WALLS, FIXTURES, WIND CONDUCT ALL DEMOLITION OPERATIO 	OWS, ETC., ARE TO BE REMOVED. NS IN COMPLIANCE WITH APPLICABLE CODES AND	Drawn By	LEO/TJK
ORDINANCES. 5. COORDINATE DEMOLITION WITH WOR		Scale	AS NOTED
6. MAINTAIN THE EXISTING STRUCTURE I	N A WATERTIGHT CONDITION AT ALL TIMES.	Sheet Title	
 RELOCATE/ REMOVE ANY EXISTING GA WITH NEW WORK. SEE STRUCTURAL SHEETS FOR ADDIT 	AS, ELECTRICAL, PLUMBING LINES, ETC. IN CONFLICT	DEMOLITIO	n plans
9. RE-ROUTE VENTS FLUES, EXHAUST, E			
	, RELOCATE VIABLE PLANTS ON SITE FOR REUSE.		
MATERIALS AND EQUIPMENT RELATED 2. OWNER AND CONTRACTOR TO OBTAIN OF WORK.	TO THE DEMOLITION AND CONSTRUCTION.	Sheet No.	00

OF WORK.
13. DEMO OF ADDITIONAL BUILDING COMPONENTS FOR EASE OF CONSTRUCTION IS DONE SO AT GC DISCRETION.



	HERMAL PERFORMACE DAT	A FOR DOORS	& WINDOWS			
0	PENING TYPE	U-VALUE	SHGC			
C	ASEMENT WINDOWS	0.31	0.19			
D	OUBLE HUNG WINDOWS	0.30	0.27			
IN	SWINGING FRENCH PATIO DOORS	0.30	0.21			
SI	LIDING PATIO DOORS	0.33	0.28			
E	XTERIOR SWINGING DOORS	0.30	0.09			
W	VINDOW WALL SYSTEM	0.32	0.24			
PE	HE AREA-WEIGHTED AVERAGE MAXIM ERMITTED USING TRADE-OFFS FROM E .35 FOR VERTICAL FENESTRATION A	SECTION 402.1 IN Z	ONE 4 SHALL		GTMARCH	HITECI
ENER	RGY CONSERVA	TION NC	DTES		7735 OLD GEORGETOWN ROAD SUITE 700 BETHESDA, MD 20814	GTN
	ng provisions for thermal resistance meet	or exceed the requirer	nents stipulated by t	ne	(240)333-2000 (240)333-2001 FAX WWW.GTMARCHITECTS.COM	
2. INSULATIO					Seal	am of 385,
,	OF UPPERMOST STORY)	UNCOMPRESS	R-30 ALLOWANCE, ED	UK R-38	OF MAS.	vere not that I am the laws of number 8385
	R FRAME WALLS	R-38C R-20 OR 13+5 (I	EXTERIOR)			
	VER UNHEATED SPACES	O WALL BELOW				se documents proved by me, architect unde ryland, license
	IG FLOOR OVERHANGS) WALLS (ENCLOSED HEATED	R-30			8385	I certify that these documents prepared or approved by me, a duly licensed architect under the State of Maryland, license
SLAB ON G	EAS) GRADE (HEATED SPACE) ETER INSULATION	R-13 OR R-10 C R-10	6000mmm		Contraction of the second	I certify prepare a duly li
24" PERIME WINDOWS DOORS		R-10 0.32 U FACTOR SEE SECTION F			Consultant	
	S ARE TYPICAL UNLESS NOTED OTHE				Constant	
3. Air Infiltratio A. Windows: r	on: not exceeding five tenths (0.5) CFM of sa	sh crack.				
5. Dro 6. Kne 7. Wal 8. Beh 9. Cor 10. Att 11. Rin	lity penetrations opped ceilings or chases adjacent to the the ee walls and ceilings separating a garage from hind tubs and showers on exterior walls mmon walls between dwelling units tic access openings im joist junction ther sources of inflitration				Project HERMAN RES 22 WEST IRVING ST, CHI Owner	
HVAC	SYSTEMS & W	ATER HE	EATING			
1. HEATING &	COOLING EQUIP. CONTROLS. AT LEAT	AST ONE PRE-PROG	RAMMED PROGRA		Developer	
1. HEATING & THERMOSTAT REQUIRED FC 2. DUCT INSU	COOLING EQUIP. CONTROLS. AT LE T IS REQUIRED WHEN USING A FORCE OR EACH HEATING/COOLING ZONE IN JLATION. SUPPLY DUCTS LOCATED O	AST ONE PRE-PROG ED AIR SYSTEM. SEF THE DWELLING. UTSIDE THE BUILDIN	RAMMED PROGRA PARATE THERMOS IG THERMAL ENVE	TATS ARE	Developer	
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Generated by REScheck-Web Software **Compliance Certificate**

Owner/Agent:

Alabama

Herman Residence Project

Energy Code: 2018 IECC Bethesda, Maryland Location: Construction Type: Project Type: Climate Zone: Permit Date: Permit Number:

Single-family Addition 4 (4470 HDD)

Construction Site: 22 West Irving st, Chevy Chase, MD 20815

mpliance: Passes using UA trade-off

 Compliance:
 0.0% Better Than Code
 Maximum UA:
 216
 Your UA:
 216
 Maximum SHGC:
 0.40
 Your SHGC:
 0.22
 The % Better or Worse Than Code Index reflects how close to compliance the house is based on code trade-off rules. It DOES NOT provide an estimate of energy use or cost relative to a minimum-code home.

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Designer/Contractor:

Alabama



Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Raised or Energy Truss	264	49.0	0.0	0.020	0.026	5	7
Wall: Wood Frame, 16" o.c.	901	20.0	0.0	0.059	0.060	37	37
Door: Glass Door (over 50% glazing) SHGC: 0.09	42			0.300	0.320	13	13
Window: Wood Frame SHGC: 0.27	236			0.300	0.320	71	75
Floor: Slab-On-Grade (Unheated) Insulation depth: 2.0' Insulation position: Horizontal Insulation	88		10.0	0.700	0.700	0	0
Basement Wall: Masonry Block w/ Empty Cells Wall height: 8.7' Depth below grade: 3.5' Insulation depth: 8.7'	705	13.0	0.0	0.075	0.059	41	32
Door: Glass Door (over 50% glazing) SHGC: 0.09	76			0.300	0.320	23	24
Window: Metal Frame SHGC: 0.27	87			0.300	0.320	26	28

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version : REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name - Title	Signature	Date
Project Title: Herman Residence		Report date: 01/06/24
Data filename:		Page 1 of 10

ection # Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
3.1 113] ²	All installed insulation is labeled or the installed R-values provided.			Complies Does Not Not Observable Not Applicable	
2.1.1, 2.2.5, 2.2.6 I3] ¹	Wall insulation R-value. If this is a mass wall with at least ½ of the wall insulation on the wall exterior, the exterior insulation requirement applies (FR10).	R Wood Mass Steel	R Wood Mass Steel	Complies Does Not Not Observable Not Applicable	See the Envelope Assemblies table for values.
3.2 14] ¹	Wall insulation is installed per manufacturer's instructions.			Complies Complies Does Not Not Observable Not Applicable	

is being c	e "Comments/Assumptions" col ent, the user certifies that a cod laimed. Where compliance is ite	le requirer
Section # & Req.ID	Pre-Inspection/Plan Review	Plans Ve Valu
103.1, 103.2 [PR1] ¹ ©	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.	
103.1, 103.2, 403.7 [PR3] ¹ 9	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.	
302.1, 403.7 [PR2] ²	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: Btu/hr Cooling: Btu/hr

Additional Comments/Assumptions:

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3) Project Title: Herman Residence Data filename:

Section #	Final Inspection Provisions	Plans Verified	Field Verified	Complies?	Comments/Assumptions
& Req.ID		Value	Value		
402.1.1, 402.2.1, 402.2.2, 402.2.6	Ceiling insulation R-value.	R Wood Steel	R Wood Steel	Complies Does Not Not Observable	See the Envelope Assemblies table for values.
(FI1) ¹				□Not Applicable	
303.1.1.1, 303.2	Ceiling insulation installed per manufacturer's instructions.			Complies	
[FI2] ¹	Blown insulation marked every 300 ft ² .			□Not Observable □Not Applicable	
402.2.3 [FI22] ²	Vented attics with air permeable insulation include baffle adjacent			Complies	
[1122]	to soffit and eave vents that extends over insulation.			Not Observable	
402.2.4 [FI3] ¹	Attic access hatch and door insulation \geq R-value of the	R	R	Complies Does Not	
	adjacent assembly.			□Not Observable □Not Applicable	
402.4.1.2 [FI17] ¹	Blower door test @ 50 Pa. <=5 ach in Climate Zones 1-2, and	ACH 50 =	ACH 50 =	Complies Does Not	
	<=3 ach in Climate Zones 3-8.			□Not Observable □Not Applicable	
403.3.3 [FI27] ¹	Ducts are pressure tested to determine air leakage with	$\frac{1}{ft^2}$ cfm/100	$\frac{1}{ft^2}$ cfm/100	□Complies □Does Not	
	either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.			□Not Observable □Not Applicable	
403.3.4 [FI4] ¹	Duct tightness test result of <=4 cfm/100 ft2 across the system or <=3 cfm/100 ft2 without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	cfm/100	rfm/100	Complies Does Not Not Observable Not Applicable	
403.3.2.1 [FI24] ¹	Air handler leakage designated by manufacturer at <=2% of design air flow.			Complies Does Not	
	design an now.			□Not Observable □Not Applicable	
403.1.1 [FI9] ²	Programmable thermostats installed for control of primary			Complies Does Not	
	heating and cooling systems and initially set by manufacturer to code specifications.			□Not Observable □Not Applicable	
403.1.2 [FI10] ²	Heat pump thermostat installed on heat pumps.			Complies	
				Not Observable	
403.5.1 [FI11] ²	Circulating service hot water systems have automatic or			Complies Does Not	
	accessible manual controls.			Not Observable	
	1 High Impact (Tier	1) 2 Medium	Impact (Tier 2)	3 Low Impact (T	er 3)

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3) Project Title: Herman Residence Data filename:

Additional Comments/Assumptions:

REScheck Software Version : REScheck-Web

checklist

in the REScheck software

provided by the user in the REScheck Requirements screen. For each rement will be met and how that is documented, or that an exception in a separate table, a reference to that table is provided.

erified Je	Field Verified Value	Complies?	Comments/Assumptions
		Complies Does Not Not Observable Not Applicable	
		Complies Does Not Not Observable Not Applicable	
	Heating: Btu/hr Cooling: Btu/hr	Complies Does Not Not Observable Not Applicable	

Section # & Req.ID	Foundation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.2 [FO1] ¹ ම	Slab edge insulation R-value.	R Unheated Heated	R Unheated Heated	Complies Does Not Not Observable Not Applicable	See the Envelope Assemblies table for values.
402.1.2 [FO3] ¹	Slab edge insulation depth/length.	ft	ft	Complies Does Not Not Observable Not Applicable	See the Envelope Assemblies table for values.
402.1.1 [FO4] ¹ 9	Conditioned basement wall insulation R-value. Where interior insulation is used, verification may need to occur during Insulation Inspection. Not required in warm-humid locations in Climate Zone 3.	R R	R R	Complies Does Not Not Observable Not Applicable	See the Envelope Assemblies table for values.
303.2 [FO5] ¹	Conditioned basement wall insulation installed per manufacturer's instructions.			Complies Does Not Not Observable Not Applicable	
402.2.9 [FO6] ¹ ©	Conditioned basement wall insulation depth of burial or distance from top of wall.	ft	ft	□Complies □Does Not □Not Observable □Not Applicable	See the Envelope Assemblies table for values.
303.2.1 [FO11] ²	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.			Complies Does Not Not Observable Not Applicable	
403.9 [FO12] ²	Snow- and ice-melting system controls installed.			Complies Does Not Not Observable Not Applicable	



Project Title: Herman Residence

Data filename:

Data filename:

Report date: 01/06/24 Page 3 of 10

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 [FI25] ²	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits per Table R403.6.1.			Complies Does Not Not Observable Not Applicable	
403.2 [FI26] ²	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			Complies Does Not Not Observable Not Applicable	
403.5.1.1 [FI28] ²	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermos- syphon circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			Complies Does Not Not Observable Not Applicable	
403.5.1.2 [FI29] ²	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			Complies Does Not Not Observable Not Applicable	
403.5.2 [FI30] ²	Demand recirculation water systems have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to $<= 104^{\circ}F$.			Complies Does Not Not Observable Not Applicable	
403.5.4 [FI31] ²	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units < 3 psi for individual units connected to one or two showers. Potable water- side pressure loss of drain water heat recovery units < 2 psi for individual units connected to three or more showers.			Complies Does Not Not Observable Not Applicable	
404.1 [FI6] ¹	90% or more of permanent fixtures have high efficacy lamps.			Complies Does Not Not Observable Not Applicable	
404.1.1 [FI23] ³	Fuel gas lighting systems have no continuous pilot light.			Complies Does Not Not Observable Not Applicable	
401.3 [FI7] ²	Compliance certificate posted.			Complies Does Not Not Observable Not Applicable	

 1
 High Impact (Tier 1)
 2
 Medium Impact (Tier 2)
 3
 Low Impact (Tier 3)

1 High Impact (Tier 1) 2 Medium Impact (Tier 2) 3 Low Impact (Tier 3) Project Title: Herman Residence

Report date: 01/06/24 Page 9 of 10

Section # & Req.ID 303.3 [FI18]³ Additional Comments/Assumptions:

Report date: 01/06/24

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Section #	Framing / Rough-In Inspection	Plans Verified	Field Verified	Complies?	Comments/Assumptions
& Req.ID		value	Value		
402.1.1, 402.3.1, 402.3.3, 402.5 [FR2] ¹	Glazing U-factor (area-weighted average).	U	U	□Complies □Does Not □Not Observable □Not Applicable	See the Envelope Assemblies table for values.
303.1.3 [FR4] ¹ 9	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			Complies Does Not Not Observable Not Applicable	
402.4.1.1 [FR23] ¹ 9	Air barrier and thermal barrier installed per manufacturer's instructions.			Complies Does Not Not Observable Not Applicable	
402.4.3 [FR20] ¹ ම	Fenestration that is not site built is listed and labeled as meeting AAMA /WDMA/CSA 101/I.S.2/A440 or has infiltration rates per NFRC 400 that do not exceed code limits.			Complies Does Not Not Observable Not Applicable	
402.4.5 [FR16] ²	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate \leq 2.0 cfm leakage at 75 Pa.			Complies Does Not Not Observable Not Applicable	
403.3.1 [FR12] ¹ ⑧	Supply and return ducts in attics insulated $>=$ R-8 where duct is >= 3 inches in diameter and $>=R-6 where < 3 inches. Supply andreturn ducts in other portions ofthe building insulated >= R-6 fordiameter >= 3 inches and R-4.2for < 3 inches in diameter.$			Complies Does Not Not Observable Not Applicable	
403.3.2 [FR13] ¹ ⁽	Ducts, air handlers and filter boxes are sealed with joints/seams compliant with International Mechanical Code or International Residential Code, as applicable.			Complies Does Not Not Observable Not Applicable	
403.3.5 [FR15] ³	Building cavities are not used as ducts or plenums.			Complies Does Not Not Observable Not Applicable	
403.4 [FR17] ²	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to \ge R-3.	R	R	Complies Does Not Not Observable Not Applicable	
403.4.1 [FR24] ¹ 9	Protection of insulation on HVAC piping.			Complies Does Not Not Observable Not Applicable	
403.5.3 [FR18] ² 9	Hot water pipes are insulated to ≥R-3.	R	R	Complies Does Not Not Observable Not Applicable	
403.6 [FR19] ²	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			Complies Does Not Not Observable Not Applicable	

Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
Manufacturer manuals for mechanical and water heating			Complies Does Not	
systems have been provided.			□Not Observable □Not Applicable	

sulation Rating	R-Value	
Above-Grade Wall	20.00	
Below-Grade Wall	13.00	
Floor	10.00	
Ceiling / Roof	49.00	
Ductwork (unconditioned spaces):		
lass & Door Rating	U-Factor	SHGC
Window	0.30	0.27
Door	0.30	0.09
eating & Cooling Equipment	Efficiency	
Heating System:		
Cooling System:		
Water Heater:		
ame:	Date:	
nments		

Report date: 01/06/24

Page 10 of 10

GTMARCHITECTS



Project HERMAN RESIDENCE

22 WEST IRVING ST, CHEVY CHASE, MD 20815 Owner

Developer

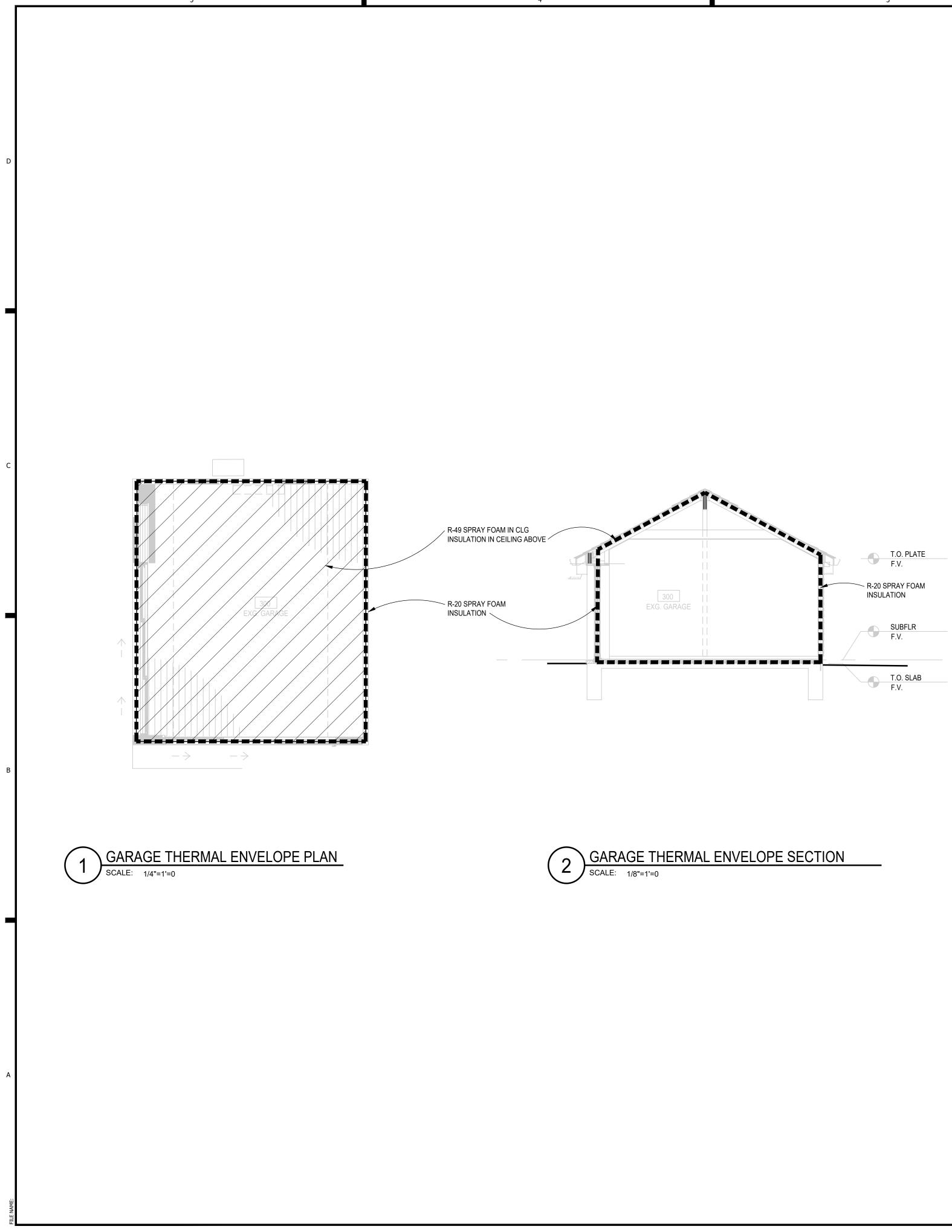
Date

GTM Project No.	22.0436
Checked By	GTM
Drawn By	LEO/TJK
Scale	AS NOTED

Sheet Title

RESCHECK-WEB REPORT

Sheet No. EC002



PRESCRIPTIVE WORKSHEET (R-Values) - POOL CABANA

Applicant Name: KATIE & ANDREW HERMAN Building Address 22 WEST IRVING ST, CHEVY CHASE, MD 20815 Permit (A/P) #

MAX. SHGC

MAX. SHGC

CRITERIA

WALLS (wood framing)

CRAWL SPACE WALLS

WINDOWS/DOORS

FENESTRATION

GLAZED

SKYLIGHTS

CEILINGS

FLOORS

MASS WALLS

R-value, depth

JELDWEN ALUM. CLAD WINDOWS

ASSEMBLY DESCRIPTION

LOW-E, ARGON GAS, WARM EDGE SPACER

Date: 12/29/2023

R-49 R-49 8" CLOSED CELL FOAM INSUL AT ATTIC ROOFLINE

R-21 5 1/2" SPRAYFOAM

N/A

R-20 or 13+5 R-21 **R-8/13 N/A *R-10/13 R-13 BASEMENT WALLS N/A R-19 N/A N/A SLAB PERIMETER R-10, 2ft N/A N/A

*The first R-value applies to continuous insulation, the second to framing cavity insulation. "10/13 means R-10 continuous insulated sheathing on the interior or exterior of the home or R-13 cavity insulation on the interior of the basement wall."

REQUIRED PROVIDED

0.4 .20

0.4 .26

*R-10/13

MAX. U-FACTOR 0.32 .31

MAX. U-FACTOR 0.55 .44

**The second R-value applies when more than half the insulation is on the interior of the mass wall. Insulation material used in layers, such as framing cavity insulation and insulating sheathing, shall be summed to compute the component R-value.

Thermally Isolated Sunroom, Check box if applicable.

- Minimum Ceiling R-Value for Sunroom (R-19)
- Minimum Wall R-Value (R-13)
- New wall(s) separating a sunroom from conditioned space shall meet the building thermal envelope requirements.

I hereby certify that the building design represented in the attached construction documents has been designed to meet or exceed the requirements of: 2 2018 Edition International Energy Conservation Code (IECC)

GTM ARCHITECTS GEORGE MYERS

12/29/2023 Date Builden/Designer/Contractor Company Name ² Section R103.3.1 "Documents shall be endorsed and stamped "*Reviewed for Code Compliance*." Section R103.3.3 provides provision for <u>Phased Approval</u>. "The code official shall have the authority to issue a permit for the construction of part of an energy conservation system before the construction documents for the entire system have been submitted or approved, provided adequate information and detailed statements have been filed complying with all pertinent requirements of this code. The holders of such permit shall proceed at their own risk without assurance that the permit for the entire energy conservation system will be granted."

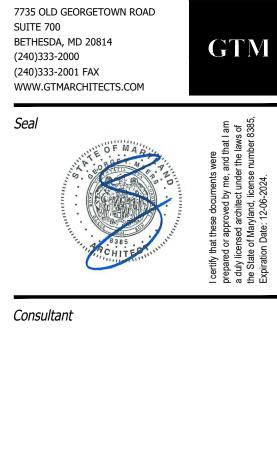
Page 3 of 6 Revised 11/18/2021

APPROVED
Montgomery County
Historic Preservation Commission
Rame h. Matter

REVIEWED By Dan.Bruechert at 3:13 pm, Jan 09, 2024

THERMAL PERFORMACE DATA FOR OPENING TYPE			_
CASEMENT WINDOWS	U-VALUE	SHGC	
	0.31	0.19	
DOUBLE HUNG WINDOWS	0.30	0.27	
SLIDING PATIO DOORS	0.33	0.21	
EXTERIOR SWINGING DOORS	0.30	0.09	
WINDOW WALL SYSTEM	0.32	0.24	
THE AREA-WEIGHTED AVERAGE MAXIMUN PERMITTED USING TRADE-OFFS FROM SE	CTION 402.1 IN ZO	ONE 4 SHALL	GTMARCH
BE .35 FOR VERTICAL FENESTRATION AND ENERGY CONSERVAT			7735 OLD GEORGETOWN ROAD SUITE 700
			BETHESDA, MD 20814 (240)333-2000 (240)333-2001 FAX
1. The following provisions for thermal resistance meet or e International Energy Conservation Code.	exceed the requirem	ents stipulated by the	WWW.GTMARCHITECTS.COM
2. INSULATION: IRC CEILING (OF UPPERMOST STORY)		R-30 ALLOWANCE, OR R-3	8 Seal
VAULTED CEILING	UNCOMPRESSE R-38C		NAP OF MASS
	R-20 OR 13+5 (E VALL BELOW	XIERIOR)	
FLOORS OVER UNHEATED SPACES (INCLUDING FLOOR OVERHANGS)	R-30		
MASONRY WALLS (ENCLOSED HEATED LIVING AREAS)	R-13 OR R-10 C	ONTINUOUS	CHITER INTERNIT
SLAB ON GRADE (HEATED SPACE) 24" PERIMETER INSULATION	R-10	0.40.01/07	
WINDOWS DOORS	0.32 U FACTOR SEE SECTION F		Consultant
*ALL VALUES ARE TYPICAL UNLESS NOTED OTHERW	ISE IN ARCHITEC	TURAL DRAWINGS	
 A. Windows: not exceeding five tenths (0.5) CFM of sash c B. Sliding Glass Doors: not exceeding five tenths (0.5) CFM C. Swinging Doors: not exceeding one and twenty-five hun Provide 1" fiberglass sill sealer between foundation wall an D. In order to seal between dissimilar materials to allow for shall be caulked, gasketed, weatherstripped or otherwise s material: 1. All joints, seams, and penetrations 	<i>I</i> per foot of door at dredths (1.25) CFN d all sill plates. differential expansi	l per square foot of door are on and contraction, the follo	wing
 Site-built windows, doors, and skylites Openings between window and door assemblies Utility penetrations Dropped ceilings or chases adjacent to the therm Knee walls Walls and ceilings separating a garage from conditional 	nal envelope	e jambs & framing	Project HERMAN RESI
8. Behind tubs and showers on exterior walls9. Common walls between dwelling units10. Attic access openings11. Rim joist junction			22 WEST IRVING ST, CHEV
12. Other sources of inflitration			Owner
HVAC SYSTEMS & WA			
		ATING	Developer
			νενεισμεί
1. HEATING & COOLING EQUIP. CONTROLS. AT LEAD THERMOSTAT IS REQUIRED WHEN USING A FORCE REQUIRED FOR EACH HEATING/COOLING ZONE IN T	D AIR SYSTEM. S THE DWELLING.	EPARATE THERMOSTATS	BLE SARE
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ITECTS



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Y CHASE, MD 20815

	04/00/0004
PERMIT SET	01/08/2024
Incure Description	Data
Issue Description	Date

GTM Project No.	22.0436
Checked By	GTM
Drawn By	LEO/TJK
Scale	AS NOTED

HERMAL DIAGRAM



STRUCTURAL NOTES	
A. GENERAL	
1. THE STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE IRC 2018 CODE FOR ONE AND TWO FAMILY DWELLINGS. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE IRC 2018 CODE.	2. GROUT SH TO ASTM C82 STRENGTH AT WILL NOT BE
2. THE DESIGN GRAVITY LIVE LOADS ARE AS FOLLOWS: ROOF SNOW LOAD: 30 PSF RESIDENTIAL FLRS: 40 PSF SLEEPING ROOMS: 30 PSF BALCONIES: 60 PSF GARAGE FLR: 50 PSF	3. DETAILING SHALL CONFO DETAILING OF "DETAILING M/ CONFORM TO ENGINEERING
3. WIND LOADS:	STRUCTURES" 4. MIXING,
BASIC WIND SPEED (3 SEC GUST):115 MPHWIND EXPOSURE FACTOR:"B"WIND PRESSURE MAIN BUILDING:20 PSFWIND PRESSURE COMPONENTS/CLADDING:18 PSF	CONFORM TO 5. MINIMUM SHALL BE AS
NET WIND UPLIFT ON ROOF: 12 PSF 4. EARTHQUAKE DESIGN DATA:	FOOTING SLAB OI
SEISMIC DESIGN CATEGORY: "B"	PROVIDE STAN MAINTAIN CON
TAKE ALL NECESSARY PRECAUTIONS TO MAINTAIN AND INSURE THE INTEGRITY OF THE STRUCTURE AT ALL STAGES OF THE CONSTRUCTION.	WELDED, HE ENGINEER.
6. INDIVIDUAL STRUCTURAL COMPONENTS ARE DESIGNED TO SUPPORT LOADS IN THEIR FINALLY ERECTED POSITION AS PART OF THE TOTAL COMPLETED STRUCTURE. PROVIDE TEMPORARY GUYING AND BRACING AS REQUIRED UNTIL ALL CONSTRUCTION, FLOOR, ROOF AND WALL SHEATHING AFFECTING LATERAL STABILITY IS COMPLETED.	7. WELDED V SHALL BE SU TWO MESH AT 8. WELDING
WORK OF ALL TRADES AND MAKE NECESSARY FIELD MEASUREMENTS.	BAR DIAMETE
1 THE CONTRACTOR SHALL DEPENDING STELEDING EXCAVATIONS	AND SHALL H BARS OF EQU AND INTERSE
INSPECTOR.	11. PROVIDE CORNERS ANI OTHERWISE . TO THE CORN
AN ASSUMED ALLOWABLE SOIL BEARING PRESSURE OF 1500 PSF TO BE FIELD VERIFIED BY THE GEOTECHNICAL FIELD INSPECTOR.	D. STEEL
VERIFIED. RETAINING WALLS HAVE BEEN DESIGNED FOR AN ASSUMED ALLOWABLE EQUIVALENT FLUID PRESSURE OF 60 PCF. A GRAVITY DRAINAGE SYSTEM IS REQUIRED TO PREVENT THE BUILD-UP OF HYDROSTATIC PRESSURE ON THE BASEMENT WALLS. THIS SYSTEM	SHALL CONFO CONFORM TO STRUCTURAL (FY = 46 KS
4. BOTTOM OF ALL FOOTINGS SHALL BE 2'-6" BELOW FROST LINE PER LOCAL REQUIREMENTS. FOOTINGS SHALL BE FURTHER LOWERED TO APPROVED BEARING ELEVATIONS AS REQUIRED BY THE FIELD GEOTECHNICAL ENGINEER. STEP DOWN FOOTINGS AS REQUIRED TO CLEAR UTILITY LINES AND FIED CONDITIONS.	STRENGTH BC A325, TYPE N TYPE BOLTS. "SNUG TIGHT" STRUCTURAL SHALL HAVE
SURFACE. FOOTING EXCAVATIONS SHALL HAVE THE SIDES AND BOTTOMS TEMPORARILY LINED WITH 6 MIL VISQUEEN IF PLACEMENT	TIGHTENED. 3. STRUCTUF SHALL CONFO FABRICATION
FXCAVATION.	4. THE FABR AND DETAILIN CONTRACT DR DETAILED IN / CONSTRUCTIO
INCHES OF GRANULAR MATERIAL HAVING A MAXIMUM AGGREGATE SIZE OF 1.5 INCHES AND NO MORE THAN 2% FINES. PRIOR TO PLACING THE GRANULAR MATERIAL, THE FLOOR SUBGRADE SHALL BE PROPERLY COMPACTED, PROOFROLLED, FREE OF STANDING WATER, MUD AND	STANDARD D1 CONFORM TO HYDROGEN. GALVANIZED S GALVANIZED F
SHALL BE PLACED ON TOP OF THE GRANULAR MATERIAL.	6. PENETRA ⁻ WHERE NOT D WITHOUT THE
C. CONCRETE 1. CONCRETE SHALL HAVE NATURAL SAND FINE AGGREGATES AND NORMAL WEIGHT COARSE AGGREGATES CONFORMING TO ASTM C33,	7. PROVIDE PREVENTIVE S
TYPE I PORTLAND CEMENT CONFORMING TO ASTM C150, AND SHALL HAVE THE FOLLOWING MINIMUM 28 DAY COMPRESSIVE STRENGTH (Fc'): WALLS & FOOTINGS: 3000 PSI	8. ALL WEA ⁻ PRECAST CON WEATHER EXF
ALL EXTERIOR CONCRETE AND CONCRETE EXPOSED TO WEATHER SHALL BE AIR-ENTRAINED 6% OF CONCRETE VOLUME. MAXIMUM CONCRETE	PAINTED WITH OWNER OR AF 9. ALL ARCH TOLERANCES,
	REQUIREMENTS
	A GENERAL O THE STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE RC 2018 COURTON TO THE REQUIREMENTS OF THE IRC 2018 COUL- THE STRUCTURE ACTOR: 20 PSF SLAB ON GRADE: 12 PSF THE IRC COMPONENTS (LADDING: 20 PSF MIND RESSURE COMPONENTS (LADDING: 18 PSF NET WIND DUFFT ON ROCCE: 12 PSF THE IRC COMPONENTS (LADDING: 18 PSF NET WIND DUFFT ON ROCCE: 12 PSF NET WIND DUFFT ON ROCCE: 12 PSF NET WIND STRUCTURE. COMPONENTS ACLODING: 18 PSF NET WIND STRUCTURE. COMPONENTS ACLODING: 19 PSF NET WIND STRUCTURE. COMPONENTS ACLODING: 19 PSF NET WIND STRUCTURE. COMPONENTS ACLODING: 10 PSR C NOTIFIC STRUCTURE. TA ALL STACES OF THE CONSTRUCTION ARE NET WIND STRUCTURE. COMPONENTS ACLO DEDISON AS PART OF THE TOTATION SINGER AND STRUCTURE. TRADUNCY OUTING AND WALL- STRUCTURE. DRAWNOS ARE TO BE USED IN COMUNCTION THE STRUCTURE ALL CONSTRUCTION, FLOOR, AND WALL- STRUCTURE. DRAWNOS ARE TO BE USED IN COMUNCTION SANDED ALL CONSTRUCTION, FLOOR AND WALL- STRUCTURE. TRADUCK EXCELLED AND MINE STRUCTURE. CONTRACTOR ASSUMED ALL CONSTRUCTION, FLOOR AND AVAIL- STRUCTURE. TRADEMENTS OF THE STRUCTURE AS REFERENCE SECOND ACTION OF AN EXPREINCED CONTRACTOR STALL CONSTRUCTION ASSUMED ALL CONSTRUCTION, FLOOR AND ASSUMED STRUCTURE. SAND FLOOR AND ASSUMED STRUCTURE. SAND FLOOR AND ASSUMED STRUCTURE. SAND FLOOR AND ASSUMED STRUCTURE AS AND FLOOR AND ASSUMED STRUCTURE ACCORDINAL SAND FLOOR AN

REVIEWED By Dan.Bruechert at 3:15 pm, Jan 09, 2024 OF CONCRETE REINFORCEMENT BARS AND ACCESSORIES RM TO THE RECOMMENDATIONS OF ACI 315 "DETAILS AND CONCRETE REINFORCEMENT" AND ACI SP-66 NUAL". PLACING OF REINFORCING BARS SHALL THE RECOMMENDATIONS OF ACI 315R "MANUAL OF AND PLACING DRAWINGS FOR REINFORCED CONCRETE AND CRSI "MANUAL OF STANDARD PRACTICE".

RANSPORTING, AND PLACING OF CONCRETE SHALL ACI 301.

CONCRETE COVER PROTECTION FOR REINFORCEMENT BARS FOLLOWS:

GRADE (TOP): 2"

DARD BAR CHAIRS AND SPACERS AS REQUIRED TO CRETE PROTECTION SPECIFIED.

REINFORCEMENT BARS SHALL CONFORM TO ASTM A615, EINFORCEMENT BARS SHALL NOT BE TACK WELDED, TED OR CUT UNLESS REVIEWED BY THE STRUCTURAL

IRE FABRIC SHALL CONFORM TO ASTM A185. FABRIC PLIED IN FLAT SHEETS. FABRIC SHALL BE LAPPED SPLICES.

OF REINFORCEMENT BARS, WHEN ACCEPTED BY THE INGINEER, SHALL CONFORM TO THE AMERICAN WELDING DARD D1.4. ELECTRODES FOR SHOP AND FIELD EINFORCEMENT BARS SHALL CONFORM TO ASTM A233,

MENT DESIGNATED AS "CONTINUOUS" SHALL LAP 36 S AT SPLICES UNLESS NOTED OTHERWISE.

AL WALL & FTG REINFORCEMENT SHALL BE CONTINUOUS VE 90-DEGREE BENDS AND EXTENSION, OR CORNER VALENT SIZE LAPPED 36 BAR DIAMETERS, AT CORNERS FIONS.

1 #4 x 3'-0" DIAGONAL BAR AT ALL RE-ENTRANT AROUND RECTANGULAR HOLES IN SLABS UNLESS NOTED PLACE BAR AT MID DEPTH OF THE SLAB AND DIAGONAL ER WITH 1" CLEARANCE FROM THE CORNER.

AL STEEL WIDE FLANGE SHAPES SHALL CONFORM TO RADE 50 (FY = 50 KSI). STEEL PLATES & ANGLES RM TO ASTM A36. STRUCTURAL STEEL PIPE SHALL ASTM A53, TYPE E OR S GRADE B, OR ASTM A501. STEEL TUBING SHALL CONFORM TO ASTM A500 GRADE B D. ANCHOR BOLTS SHALL CONFORM TO ASTM A307, O OTHERWISE.

ON BOLTS FOR STRUCTURAL STEEL SHALL BE HIGH TS WHICH MEET OR EXCEED THE REQUIREMENTS OF ASTM X, OR F. BOLTS SHALL BE DESIGNED AS BEARING BOLTS SHALL BE INSTALLED IN ACCORDANCE WITH THE CONDITION AS OUTLINED IN THE "SPECIFICATION FOR IOINTS USING ASTM A325 OR A490 BOLTS". BOLTS A HARDENED WASHER PLACED UNDER THE ELEMENT TO BE

AL STEEL DETAILING, FABRICATION AND ERECTION RM TO THE AISC "SPECIFICATION FOR THE DESIGN, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".

CATOR IS RESPONSIBLE FOR THE SELECTION, DESIGN OF ALL CONNECTIONS NOT FULLY DETAILED ON THE AWINGS. CONNECTIONS SHALL BE DESIGNED AND CCORDANCE WITH THE AISC "MANUAL OF STEEL

SHALL CONFORM TO THE AMERICAN WELDING SOCIETY 1. ELECTRODES FOR SHOP AND FIELD WELDS SHALL AWS A5.1 OR AWS A5.5, CLASS E70XX, LOW /ELDING ELECTRODES TO BE USED FOR WELDING TEEL SHALL BE E7014. AFTER WELDING, APPLY AINT TO THE AFFECTED AREAS.

ON, MODIFICATION, & SPLICING OF STRUCTURAL STEEL ETAILED ON THE CONTRACT DOCUMENTS IS PROHIBITED PRIOR APPROVAL OF THE STRUCTURAL ENGINEER.

TRUCTURAL STEEL WITH ONE COAT OF RUST HOP PRIMER. TOUCH UP PAINT WHERE WELDING OR CEDURE DAMAGE PAINT.

HER EXPOSED STEEL SUPPORTING MASONRY, STONE, OR CRETE SHALL BE HOT DIPPED GALVANIZED. ALL DSED STRUCTURAL STEEL SHALL BE BLASTED CLEAN, AND A WEATHER RESISTANT PAINT AS SELECTED BY THE CHITECT.

TECTURALLY EXPOSED STRUCTURAL STEEL SHALL HAVE ALIGNMENT, AND LEVELNESS CONFORMING TO THE AISC FOR ARCHITECTURALLY EXPOSED STRUCTURAL STEEL.

E. MASONRY

1. MASONRY CONSTRUCTION SHALL BE PERFORMED IN ACCORDANCE WITH ACI 530 "BUILDING CODE REQUIREMENTS FOR CONCRETE MASONRY STRUCTURES" AND ACI 530.1 "SPECIFICATIONS FOR MASONRY STRUCTURES".

2. CONCRETE MASONRY CONSTRUCTION SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH (F'm) OF 1500 PSI ON THE NET CROSS SECTIONAL AREA AT 28 DAYS.

3. MASONRY UNITS SHALL BE GRADE N, TYPE I MEDIUM WEIGHT HOLLOW CONCRETE UNITS CONFORMING TO THE REQUIREMENTS OF ASTM C90. MASONRY UNITS SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 1900 PSI ON THE NET AREA AT 28 DAYS.

4. FACING BRICK SHALL CONFORM TO THE REQUIREMENTS OF ASTM C216 GRADE SW. FACING BRICK SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 2000 PSI AS DETERMINED BY ASTM C67.

5. MORTAR SHALL CONFORM TO THE REQUIREMENTS OF ASTM C270, TYPE M OR S. TYPE M MORTAR SHALL BE USED IN BELOW GRADE APPLICATIONS AND SHALL OBTAIN AN AVERAGE COMPRESSIVE STRENGTH OF 2500 PSI AT 28 DAYS. TYPE S MORTAR MAY BE USED IN ABOVE GRADE APPLICATIONS AND SHALL OBTAIN AN AVERAGE COMPRESSIVE STRENGTH OF 1800 PSI AT 28 DAYS.

6. GROUT SHALL CONFORM TO ASTM C476 AND SHALL HAVE A COMPRESSIVE STRENGTH OF 2500 PSI ON THE NET AREA AT 28 DAYS.

7. REINFORCEMENT SHALL CONFORM TO THE STANDARDS SPECIFIED IN THE CONCRETE NOTES. REINFORCEMENT SHALL BE LAP SPLICED A MINIMUM OF 36 BAR DIAMETER UNLESS NOTED OTHERWISE.

8. HORIZONTAL JOINT REINFORCEMENT SHALL BE USED IN THE MASONRY CONSTRUCTION. SUCH JOINT REINFORCEMENT SHALL BE PLACED AT 8 INCHES ON CENTER VERTICALLY IN WALLS BELOW GRADE AND AT 16 INCHES ON CENTER VERTICALLY IN WALLS THAT ARE ABOVE GRADE. MASONRY JOINT REINFORCING SHALL BE TRUSS TYPE ZINC COATED, COLD DRAWN STEEL WIRE CONFORMING TO ASTM A82.

9. UNLESS NOTED OTHERWISE ON PLAN, PROVIDE LOOSE ANGLE LINTELS FOR EACH 4 INCHES OF WALL THICKNESS WITH 6 INCHES MINIMUM BEARING AT EACH END.

UP TO 4'-0" L3 1/2x3 1/2x1/4 UP TO 6'-0" L5x3 1/2x5/16 (LLV) UP TO 8'-0" L6x3 1/2x5/16 (LLV)

F. WOOD

1. ALL LUMBER AND ITS FASTENINGS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION, LATEST EDITION, BY THE NATIONAL FOREST PRODUCTS ASSOCIATION.

2. ALL FRAMING LUMBER EXCEPT SILL PLATES AND TOP & BOT BEARING WALL PLATES SHALL BE HEM-FIR, GRADE #2 OR SPRUCE-PINE-FIR, GRADE #2 OR BETTER, HAVING THE FOLLOWING MIN VALUES:

BENDING STRESS "Fb":	850 PSI (SINGLE MEMB USE)
HORIZONTAL SHEAR "Fy":	135 PSI
COMP PERPENDICULAR TO GRAIN "Fc 1":	
COMP PARALLEL TO GRAIN "FC II":	1100 PSI
MODULUS OF ELASTICITY "E":	1,300,000 PSI
MODOLOS OF ELASTICITY E .	1,000,000 F31

NOTE: SPRUCE-PINE-FIR (SOUTH) IS NOT ACCEPTABLE. SPRUCE-PINE-FIR MUST BE GRADED BY NLGA.

3. ALL STRUCTURAL POSTS, SILL PLATES. TOP & BOT BEARING WALL PLATES, AND EXTERIOR FRAMING LUMBER SHALL BE SOUTHERN YELLOW PINE, GRADE #2 OR BETTER, WITH THE FOLLOWING MINIMUM VALUES (BASED ON 2x12 LUMBER):

HORIZONTAL SHEAR "Fv": COMP PERPENDICULAR TO GRAIN "Fc L": COMP PARALLEL TO GRAIN "Fc II":	1450 PSI
MODULUS OF ELASTICITY "E":	1,600,000 PSI

4. ALL LVL MEMBERS SHALL BE 1.9E MICROLLAM LVL WITH THE FOLLOWING ALLOWABLE DESIGN STRESSES:

BENDING STRESS "Fb":	2600 PSI
HORIZONTAL SHEAR "Fv":	285 PSI
COMP PERPENDICULAR TO GRAIN "Fc⊥":	750 PSI
COMP PARALLEL TO GRAIN "Fc⊥":	2310 PSI
MODULUS OF ELASTICITY "E":	1,900,000 PSI

5. ALL PSL MEMBERS SHALL BE 2.0E PARALLAM PSL WITH THE FOLLOWING ALLOWABLE DESIGN STRESSES:

BENDING STRESS "Fb":	2900 PSI
HORIZONTAL SHEAR "Fv":	290 PSI
COMP PERPENDICULAR TO GRAIN "Fc⊥":	650 PSI
COMP PARALLEL TO GRAIN "Fc11":	2900 PSI
MODULUS OF ELASTICITY "E":	2,000,000 PS

4. ALL WEATHER EXPOSED DIMENSION LUMBER AND SILL PLATES BEARING ON MASONRY OR CONCRETE SHALL BE PRESSURE TREATED. WEATHER EXPOSED ENDS OF MEMBERS SHALL BE TREATED WITH C.C.A.

5. ALL FREESTANDING POSTS SHALL HAVE PREFABRICATED POST CAPS AND BASE. POSTS WITHIN WALL SHALL HAVE PREFABRICATED CAP ATTACHED TO BEAM. POSTS BEARING ON MASONRY OR CONCRETE SHALL HAVE PREFABRICATED BASE. INSTALL CONNECTORS PER MANUF RECOMMENDATIONS. CONNECTORS EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND OR SHALL BE HOT DIP GALVANIZED. 6. PROVIDE SOLID WOOD BLOCKING WITH END GRAIN BEARING BETWEEN FLOOR LEVELS BELOW ALL SOLID WOOD POSTS AND MULTIPLE STUD. COLUMN CONCENTRATED LOADS SHALL BE TRANSFERRED THROUGH FLOOR LEVELS DOWN TO TOP OF CONCRETE OR MASONRY. PROVIDE SOLID WOOD BLOCKING AT SUPPORTS, ENDS OF CANTILEVERS, AND AT 8'-O" O.C. MAXIMUM OF ANY HORIZONTAL SPAN, OR AS PER MANUFACTURED MEMBER INSTALLATION INSTRUCTIONS. PROVIDE INTERMEDIATE HORIZONTAL WOOD BLOCKING AT 4'-O" MAXIMUM VERTICAL SPACING AT ALL LOAD BEARING STUD WALLS.

7. FRAMING CONNECTORS FOR JOISTS, BEAMS, TRUSSES, COLUMNS, ETC., SHALL BE BY SIMPSON STRONG-TIE COMPANY OR APPROVED EQUAL. CONNECTORS SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES, AND INSTALLED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. CONNECTORS EXPOSED TO WEATHER OR IN CONTACT WITH THE GROUND OR SHALL BE HOT DIP GALVANIZED.

8. PROVIDE SIMPSON H2.5A UPLIFT CONNECTORS OR EQUAL AT ALL RAFTERS AND ROOF TRUSSES. REFER TO THE IRC BUILDING CODE FOR MINIMUM NAILING REQUIREMENTS FOR CONNECTING WOOD ELEMENTS. MULTIPLE BEAMS SHALL BE NAILED WITH 2 ROWS OF NAILS AT 12" O.C. MULTIPLE MEMBER STUD POSTS SHALL BE NAILED AT 6" O.C. STAGGERED.

9. DOUBLE FLOOR JOISTS UNDER NON BEARING PARTITION WALLS AND UNDER BATH TUBS PARALLEL TO THE FLOOR JOISTS. UNLESS OTHERWISE SHOWN ON KING STUDS SCHEDULE, PROVIDE DOUBLE FULL HEIGHT STUDS EACH SIDE OF WALL OPENINGS UP TO 4'-0''AND TRIPLE FULL HEIGHT STUDS EACH SIDE OF WALL OPENINGS UP TO 6'-0''. MINIMUM END BEARING OF HEADERS IN BEARING WALLS SHALL BE 3" (TWO STUDS) UNLESS NOTED OTHERWISE ON PLAN.

10. WOOD JOIST AND STUDS SHALL NOT BE CUT OR NOTCHED UNLESS AUTHORIZED BY THE ENGINEER. DRILLED HOLES SHALL BE CENTERED AT MID DEPTH OF MEMBER AND THE HOLE DIA SHALL NOT EXCEED 1/3 ACTUAL DEPTH OF MEMBER. NO HOLES ARE TO BE LOCATED WITHIN 2' FROM THE ENDS OR WITHIN THE MIDDLE 1/3 OF THE SPAN. PROVIDE 4" CLEAR BETWEEN HOLES.

11. PLYWOOD WEB JOISTS (TJI), LAMINATED VENEER LUMBER (LVL), AND PARALLEL STRAND LUMBER (PSL) SHALL BE AS MANUFACTURED BY TRUS JOIST MACMILLAN OR APPROVED EQUAL. REFER TO THE MANUFACTURER RECOMMENDATION FOR INSTALLATION, CONNECTION, AND REINFORCEMENT DETAILS REQUIRED FOR THESE PRODUCTS. PROVIDE 1 3/4" MINIMUM BEARING FOR TJI JOISTS AND 3 1/2" MINIMUM BEARING FOR LVL AND PSL BEAMS. PROVIDE 1 1/4" MINIMUM TIMBERSTRAND RIM BOARD AT ALL PERIMETER WALLS AND SILL PLATES. PROVIDE WEB STIFFENERS 2x SQUASH BLOCKS AS SHOWN ON THE PROJECT DRAWINGS AND AS REQUIRED BY THE MANUFACTURER.

12. FASTEN MULTIPLE LVL MEMBERS TOGETHER AS FOLLOWS:
2 AND 3 MEMBERS 12" OR LESS: PROVIDE 2 ROWS OF 16d COMMON NAILS AT 12" O.C.
2 AND 3 MEMBERS > 12" DEEP: PROVIDE 3 ROWS OF 16d COMMON

NAILS AT 12" O.C. NAIL 3 MEMBER ASSEMBLY FROM BOTH SIDES.

FOR ONE SIDED LOADED ASSEMBLY AND 4 PIECE MEMBERS: PROVIDE 2 ROWS OF 1/2"Ø THROUGH BOLTS @ 12" O.C. PROVIDE HEAVY DUTY FRAMING CONNECTIONS BY SIMPSON STRONG TIE COMPANY OR APPROVED EQUAL WHEN CONNECTING LVL AND PSL MEMBERS.

13. UNLESS OTHERWISE INDICATED, SUBFLOORING SHALL BE 3/4" T & G PLYWOOD, APA RATED STURD-I-FLOOR, ROOF SHEATHING SHALL BE 5/8" CDX PLYWOOD APA RATED, AND WALL SHEATHING SHALL BE 1/2" CDX PLYWOOD APA RATED. PROVIDE "H" CLIPS AT BUTT JOINTS OF ROOF SHEATHING.

14. ROOF TRUSSES SHALL BE DESIGNED BY THE TRUSS MANUFACTURER FOR THE LOADS INDICATED ON THE DRAWINGS. SHOP DRAWINGS AND DESIGN CALCULATIONS SHALL BE SUBMITTED FOR REVIEW AND SHALL BE STAMPED BY A PROFESSIONAL ENGINEER CURRENTLY REGISTERED IN THE STATE OF THE ACTUAL CONSTRUCTION.

15. MULTIPLE TRUSSES MUST BE FASTENED TO EACH OTHER IN A MANNER AS TO SHARE THE SUPERIMPOSED LOADS INCLUDING LOADS FROM HEADERS. CONNECTORS FOR TRUSSES TO BEAMS AND TRUSS GIRDERS SHALL BE DESIGNED BY THE SPECIFIED BY THE TRUSS MANUFACTURER. WOOD TRUSSES SHALL NOT BE CUT OR DRILLED UNLESS AUTHORIZED BY THE TRUSS MANUFACTURER.

G. NOTES

1. REFER TO ARCHITECTURAL, ELECTRICAL, MECHANICAL AND PLUMBING DRAWINGS FOR ADDITIONAL SLEEVES, ANCHORS, VENT OPENINGS, ETC. NOT SHOWN ON STRUCTURAL DRAWINGS THAT MAY BE REQUIRED.

2. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR CONCRETE AND MASONRY REINFORCING, CONCRETE MIX DESIGN, STRUCTURAL STEEL, TJI FLOOR JOIST LAYOUTS, AND ENGINEERED WOOD ROOF TRUSSES TO THE STRUCTURAL ENGINEER FOR REVIEW.

3. GUARD RAILS, HAND RAILS AND STAIRS SHALL BE ENGINEERED BY THE STAIR AND RAILING MANUFACTURER TO MEET THE IRC CODE REQUIRED DESIGN LOAD CRITERIA. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND DESIGN CALCULATIONS FOR THE STAIR AND GUARD RAIL DESIGN SIGNED BY A PROFESSIONAL ENGINEER FOR REVIEW BY THE ARCHITECT AND ENGINEER OF RECORD.

4. ALL WORK SPECIFIED HEREIN SHALL BE INSPECTED BY A QUALIFIED INSPECTION AGENCY IN ACCORDANCE WITH ALL APPLICABLE BUILDING CODES AND LOCAL ORDINANCES. THE OWNER OR CONTRACTOR SHALL HIRE AN EXPERIENCED INSPECTION AGENCY TO PERFORM ALL THE REQUIRED INSPECTION WORK AND PROVIDE ANY REQUIRED CERTIFICATIONS. THE PART OF MARY THE

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17129, Expiration date: 11-06-24

Consultant RADWAN ASSOCIATES, INC STRUCTURAL ENGINEER

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Project

Seal

HERMAN RESIDENCE

22 WEST IRVING STREET CHEVY CHASE, MD 20815

Developer

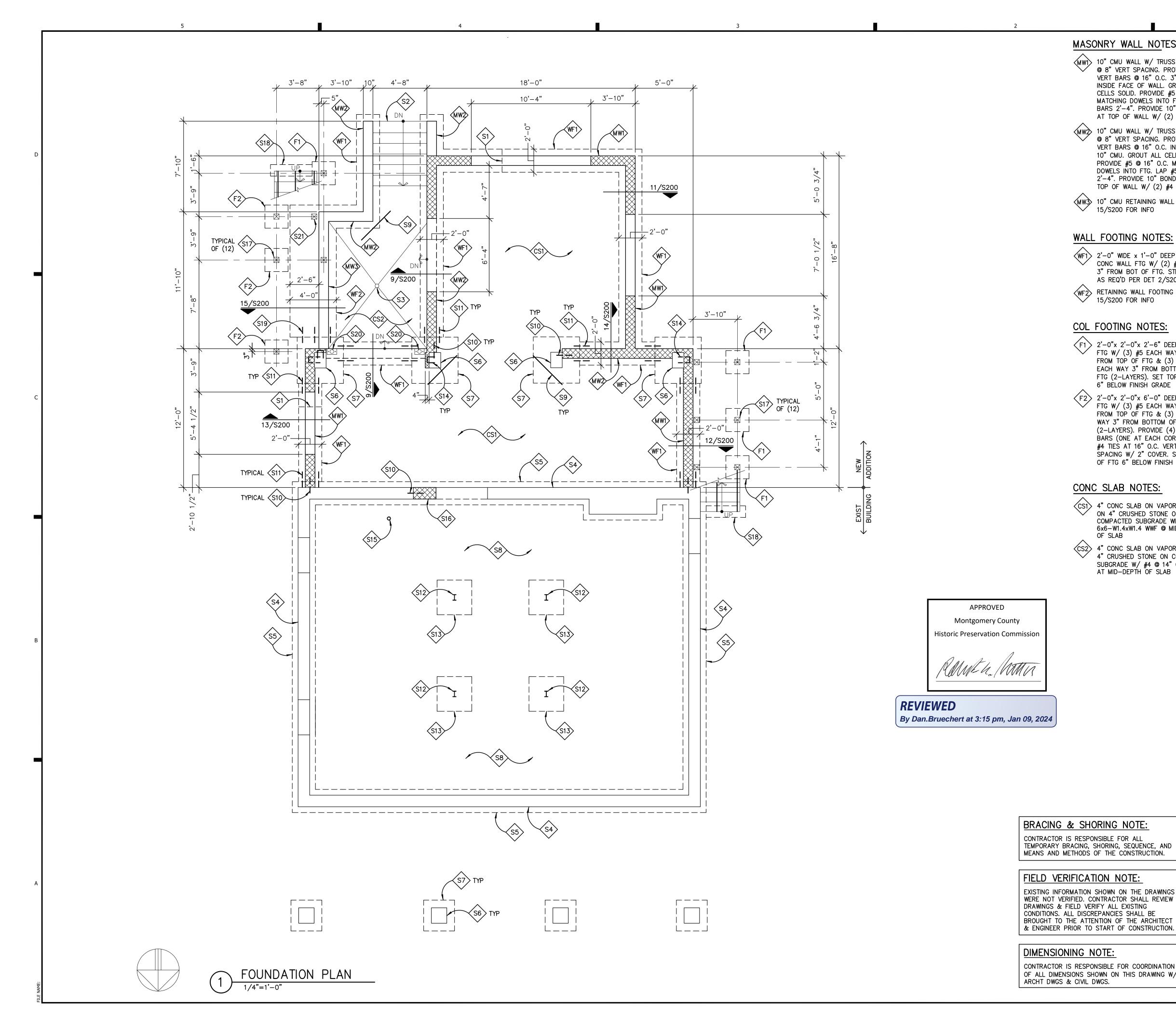
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Issue Description	Date

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STRUCTURAL NOTES





MASONRY WALL NOTES:

- (MWI) 10" CMU WALL W/ TRUSS JOINT REINF @ 8" VERT SPACING. PROVIDE #5 VERT BARS @ 16" O.C. 3" FROM INSIDE FACE OF WALL. GROUT ALL CELLS SOLID. PROVIDE #5 @ 16" O.C. MATCHING DOWELS INTO FTG. LAP #5 BARS 2'-4". PROVIDE 10" BOND BËAM AT TOP OF WALL W/(2) #4 CONT
- (MW2) 10" CMU WALL W/ TRUSS JOINT REINF @ 8" VERT SPACING. PROVIDE #5 VERT BARS @ 16" O.C. IN CENTER OF 10" CMU. GROUT ALL CELLS SOLID. PROVIDE #5 @ 16" O.C. MATCHING DOWELS INTO FTG. LAP #5 BARS 2'-4". PROVIDE 10" BOND BEAM AT TOP OF WALL W/(2) #4 CONT
- (MW3) 10" CMU RETAINING WALL SEE DET 15/S200 FOR INFO

WALL FOOTING NOTES:

- WF1 2'-0" WIDE x 1'-0" DEEP CONT CONC WALL FTG W/ (2) #5 CONT 3" FROM BOT OF FTG. STEP FTG AS REQ'D PER DET 2/S200 WF2 RETAINING WALL FOOTING SEE DET
 - 15/S200 FOR INFO

COL FOOTING NOTES:

- (F1) 2'-0"x 2'-0"x 2'-6" DEEP CONC FTG W/ (3) #5 EACH WAY 3" FROM TOP OF FTG & (3) #5 EACH WAY 3" FROM BOTTOM OF FTG (2-LAYERS). SET TOP OF FTG 6" BELOW FINISH GRADE
- (F2) 2'-0"x 2'-0"x 6'-0" DEEP CONC FTG W/ (3) #5 EACH WAY 3" FROM TOP OF FTG & (3) #5 EACH WAY 3" FROM BOTTOM OF FTG (2-LAYERS). PROVIDE (4) #5 VERT BARS (ONE AT EACH CORNER) W/ #4 TIES AT 16" O.C. VERT SPACING W/ 2" COVER. SET TOP OF FTG 6" BELOW FINISH GRADE

CONC SLAB NOTES:

- CS1 4" CONC SLAB ON VAPOR BARRIER ON 4" CRUSHED STONE OVER COMPACTED SUBGRADE WITH 6x6-W1.4xW1.4 WWF @ MID-DEPTH OF SLAB
- CS2 4" CONC SLAB ON VAPOR BARRIER ON 4" CRUSHED STONE ON COMPACTED 4" CRUSHED STONE ON COMPACTED SUBGRADE W/ #4 @ 14" O.C. EA WAY AT MID-DEPTH OF SLAB

STEP WALL FTG SEE DET 2/S200 \$\$2\$ CONC STAIRS SEE DET 7 & 8/\$200 & ARCHT DWG\$ FOR MORE INFO (S3) DRAIN SEE ARCHT & MEP DWGS (S4) EXIST MASONRY WALL FIELD VERIFY CONDITION S5 EXIST WALL FTG TO REMAIN INTACT (S6) EXIST MASONRY PIER TO REMAIN INTACT FIELD VERIFY (S7) EXIST PIER FTG TO REMAIN INTACT (S8) EXIST CONC SLAB ON GRADE TO REMAIN INTACT $\langle S9 \rangle$ #4 x 3'-0" ADD'L SLAB CORNER BAR S10> DRILL & EPOXY #5 DOWELS x 1'-6" @ 16" O.C. VERT SPACING W/ 6" EMBED INTO EXIST WALL \langle S11 \rangle DRILL & EPOXY (2) #5 DOWELS x 1'-6" W/ 6" EMBED INTO EXIST FTG. BOT OF NEW FTG TO MATCH BOT OF EXIST FTG (S12) EXIST STEEL COL TO REMAIN INTACT (S13) EXIST COL FTG TO REMAIN INTACT ⟨S14⟩ DRILL & EPOXY #4 HAIRPINS @ 16" O.C. VERT SPACING W/ 6" EMBED INTO EXIST WALL (S15) SEE SHEET S101 FOR INFO (S16) MASONRY INFILL TO MATCH EXIST WALL. TOOTH-IN & GROUT SOLID TO RESTORE STRUCTURAL INTEGRITY OF MASONRY WALL. (S17) SIMPSON ABU66Z POST ANCHOR BASE WITH 5/8"

FOUNDATION PLAN NOTES:

- DIA ADHESIVE BOLT W/ 7" EMBED \langle S18 \rangle 12" WIDE x16" DEEP CONC BEAM W/ (2) #5 BARS 3"
- FROM TOP & (2) #5 BARS 3" FROM BOTTOM OF BEAM $\langle S19 \rangle$ DRILL & EPOXY (3) #5 DOWELS x 1'-6" W/ 6" EMBED INTO EXIST FTG. BOT OF NEW FTG TO MATCH BOT OF EXIST FTG
- (S20) STEEL COL ABOVE SEE SHEET S101
- S21 EXTEND POST ANCHOR BASE ABU66Z TO TOP OF WALL FTG

TEMPORARY BRACING, SHORING, SEQUENCE, AND

WERE NOT VERIFIED. CONTRACTOR SHALL REVIEW BROUGHT TO THE ATTENTION OF THE ARCHITECT

CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS SHOWN ON THIS DRAWING W/

FOUNDATION NOTES:

- 1. STEP FOOTINGS PER DETAILS ON S200 FOR UTILITY LINES AND AS REQ'D BY THE GEOTECH ENGINEER FOR APPROVED SOIL BEARING. BOTTOM OF ALL FOOTINGS SHALL BE MIN OF 2'-6" BELOW FINISH GRADE. CONTRACTOR SHALL COORDINATE BOTTOM OF FTGS WITH SITE PLAN, ARCHT DWGS & FIELD CONDITIONS.
- 2. FOUNDATION WALLS SHALL HAVE P.T. 2x6 SILL PL ANCHORED TO WALL W/ 5/8" DIA x 1'-0" BOLTS @ 32" O.C. PROVIDE DRAIN BOARD, WATER PROOFING, & 4" DIA DRAIN PIPE CONNECTED TO SUMP PUMP LOCATED BELOW THE LOWEST BASEMENT SLAB. TERMINATE DRAIN BOARD 1'-6" BELOW FINISH GRADE. TOP 18" OF SOIL SHALL BE IMPERVIOUS. SLOPE GRADE AWAY FROM WALL.

GENERAL NOTES:

- 1. REFER TO THE ARCHT DWGS FOR DIMENSIONS, ELEVATIONS, & BALANCE OF INFORMATION. REFER TO MEP DWGS FOR ADD'L INFO ON DRAINS, UTILITY LINES, SLEEVES, & OPENINGS REQUIREMENTS.
- 2. REFER TO SO01 FOR STRUCTURAL NOTES. REFER TO S200, S201 & S301 FOR APPLICABLE DETAILS NOT REFERENCED ON PLAN.
- 3. REFER TO THE CIVIL DRAWINGS FOR SITE RETAINING WALL LOCATION, PROPOSED WALL HEIGHT, & FINISH GRADE ELEVATIONS



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17129, Expiration date: 11-06-24

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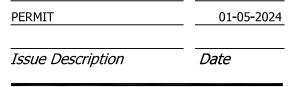
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22 WEST IRVING STREET CHEVY CHASE, MD 20815

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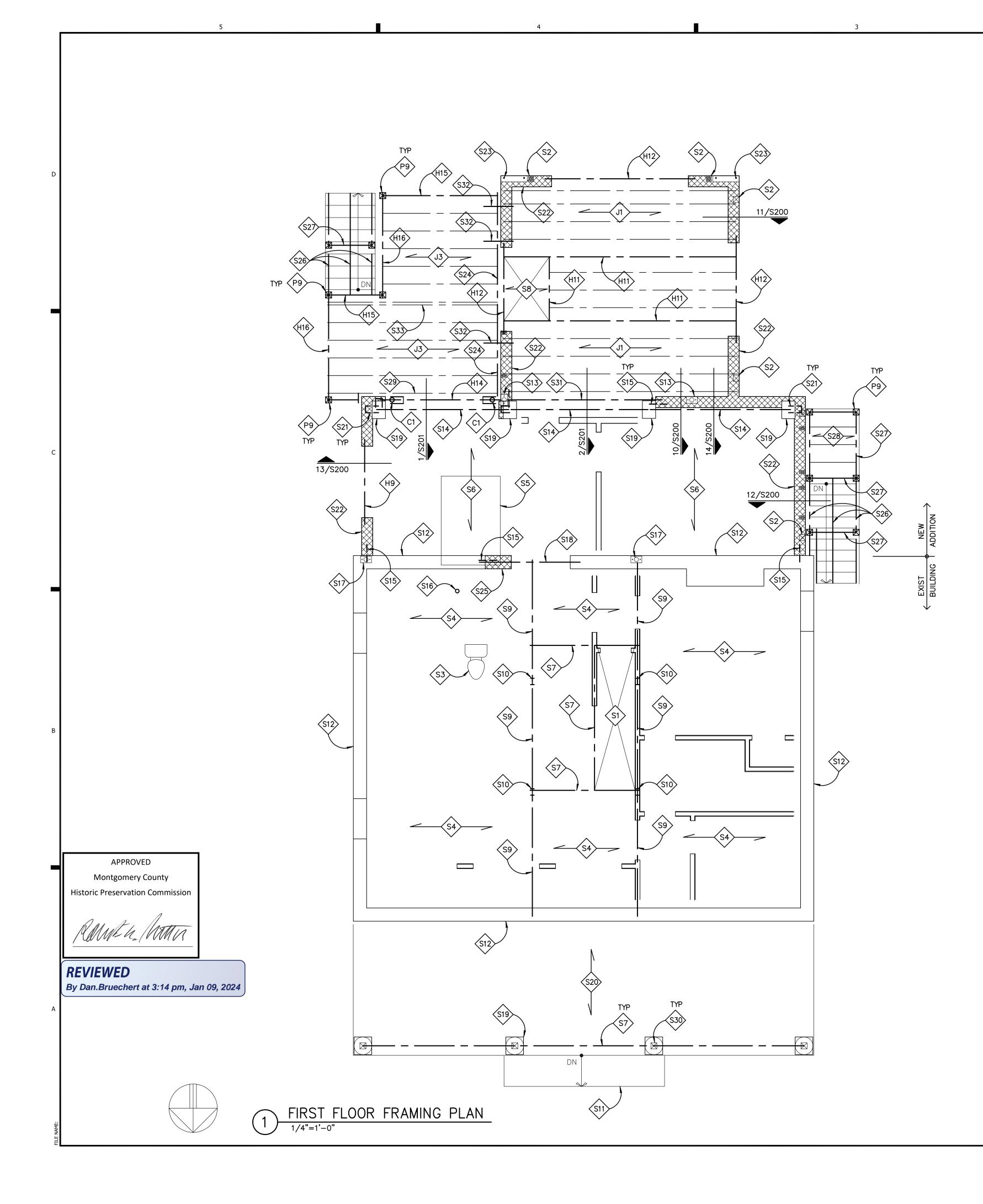


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FOUNDATION PLAN





BRACING & SHORING NOTE: CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, SEQUENCE, AND MEANS AND METHODS OF THE CONSTRUCTION.

FIELD VERIFICATION NOTE: EXISTING INFORMATION SHOWN ON THE DRAWINGS WERE NOT VERIFIED. CONTRACTOR SHALL REVIEW DRAWINGS & FIELD VERIFY ALL EXISTING CONDITIONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT & ENGINEER PRIOR TO START OF CONSTRUCTION.

DIMENSIONING NOTE: CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS SHOWN ON THIS DRAWING W/ ARCHT DWGS & CIVIL DWGS.

	1
WOOD POST NOTES:	FIRST FLOOR FRAMING NOTES:
(PSL USE 2.0E PARALLAM) (P1) (2) 2x4	S1 EXIST STAIR OPNG
P2 (3) 2x4	S2 POST ABOVE, PROVIDE SOLID BLOCKING BELOW POST BEARING LOCATION
P3 (2) 2x6	S3 EXIST PLUMBING DRAIN ABOVE TO REMAIN INTACT
P4 (3) 2x6	S4 EXIST 2x10 FLOOR JOISTS TO REMAIN INTACT
P5 3 1/2"x 3 1/2" PSL	S5 EXIST KITCHEN ISLAND ABOVE
P6 3 1/2"x 5 1/4" PSL	S6 EXIST 9 1/2" DEEP TJI FLOOR JOISTS TO REMAIN
P7 5 1/4"x 5 1/4" PSL	S7 EXIST HEADER TO REMAIN INTACT
P8 P.T. 4x6 SOLID WOOD	S8 2x8 @ 16" O.C. INFILL AT FIRE PLACE. SET BOTTOM FLUSH W/ FLOOR JOISTS
P9 P.T. 6x6 SOLID WOOD	S9 EXIST STEEL BEAM TO REMAIN INTACT
WOOD HEADER NOTES:	S10 EXIST STEEL COL TO REMAIN INTACT
(LVL USE 1.9E MICROLLAM)	S11 EXIST STAIRS TO REMAIN INTACT
H1 (2) 2x8 DROPPED	S12 EXIST MASONRY WALL BELOW FIELD VERIFY CONDITION
H2 (3) 2x8 DROPPED	S13 STEEL COL ABOVE SEE SHEET S102
(2) 2x10 DROPPED	S14 EXIST (3) 1 3/4"x 9 1/2" LVL DROPPED HEADER FIELD VERIFY EXACT LOCATION & CONDITION
(3) 2x10 DROPPED (2) 1 3/4"x 9 1/4" LVL DROPPED	S15 DRILL & EPOXY #5 DOWELS x 1'-4" @ 16" O.C. VERT SPACING W/ 6" EMBED INTO EXIST WALL
(H5) (2) 1 3/4"x 9 1/4" LVL DROPPED (3) 1 3/4"x 9 1/4" LVL DROPPED	S16 FIELD VERIFY CONDITION. SISTER EXIST DAMAGE JOISTS W/ $2x10$ JOISTS FULL SPAN W/ (3) ROWS OF 16d
H7 (2) 1 3/4"x 11 7/8" LVL DROPPED	NAILS @ 8" O.C. REMOVE TEMP POST $\overline{(s_17)}$ EXIST STEEL COL ABOVE TO REMAIN INTACT
H8 (3) 1 3/4"x 11 7/8" LVL DROPPED	S18 EXIST BEAM TO REMAIN INTACT FIELD VERIFY SIZE,
(2) 1 3/4"x 9 1/2" LVL IN SAME PLANE AS JOISTS	LOCATION & CONDITION
H10 (3) 1 3/4"x 9 1/2" LVL IN SAME PLANE AS JOISTS	(S19) EXIST MASONRY PIER BELOW TO REMAIN INTACT FIELD
H11 (2) 1 3/4"x 11 7/8" LVL IN SAME PLANE AS JOISTS	S20 EXIST PORCH FLOOR FRAMING TO REMAIN INTACT
(3) 1 3/4"x 11 7/8" LVL IN SAME	S21 DRILL & EPOXY #4 HAIRPINS @ 16" O.C. VERT SPACING W/ 6" EMBED INTO EXIST WALL
PLANE AS JOISTS (3) 1 $3/4$ "x 7 $1/4$ " LVL DROPPED	S22 MASONRY WALL BELOW SEE SHEET S100
H14 (3) 1 3/4"x 11 7/8" LVL UPSET	S23 PROVIDE ANCHOR BOLTS IN CONC WALL FOR SIMPSON SSW24x8 STEEL SHEAR WALL OVER SHEATHING W/ DBL LVL BLKG BELOW WALL. INSTALL PER MANUF.
H15 P.T. (2) 2x10 UPSET	S24 P.T. 2x10 LEDGER BOARD W/ 5/8" DIA BOLTS @ 10" O.C. STAGGERED
(H16) P.T. (3) 2x10 UPSET	S25 MASONRY INFILL TO MATCH EXIST WALL. TOOTH-IN & GROUT SOLID TO RESTORE STRUCTURAL INTEGRITY OF MASONRY WALL.
WOOD JOIST NOTES:	S26 P.T. 2x12 OPEN STRINGERS
J1 11 7/8" TJI−360 @ 16" O.C.	S27 P.T. (2) 2x8 UPSET
J2 DOUBLE 9 1/2" TJI-230 @ 16" O.C.	S28 P.T. 2x8 @ 16" 0.C.
✓ J3 P.T. 2x10 @ 16" O.C.	S29 P.T. 2x10 BOLT TO NEW HEADER W/ 5/8" DIA THRU BOLTS @ 16" O.C.
STEEL COLUMN NOTES:	S30 EXIST POST ABOVE TO REMAIN INTACT
C1 4" DIA ADJUSTABLE STEEL PIPE COL ALLOW CAP © 9' HT = 17,000 LBS.	S31 1 3/4"x 11 7/8" LVL CONT BOLT TO EXIST RIM BOARD W/ 5/8" DIA THRU BOLTS @ 16" O.C.
INSTALL PER MANUF	S32 PROVIDE SIMPSON DTT2Z TENSION TIE @ (3) LOCATIONS TO ANCHOR DECK JOISTS TO RIM BOARD W/ THRU BOLTS. SEE PLAN FOR LOCATIONS
	S33 PROVIDE DOUBLE JOISTS
<u>GEN</u>	IERAL NOTES:

1. REFER TO THE ARCHT DWGS FOR DIMENSIONS, ELEVATIONS, &

3. PROVIDE SOLID BLOCKING BETWEEN FLOORS UNDER ALL WOOD

SPACING AT ALL LOAD BEARING WALLS.

POSTS ALL THE WAY DOWN TO TOP OF BEAMS & CONC WALLS.

PROVIDE 2x6 SQUASH BLOCKING EACH SIDE OF TJI JOISTS AT

INTERMEDIATE HORIZONTAL BLKG BETWEEN STUDS AT 4'-0" VERT

4. IN ADDITION TO POSTS SHOWN ON PLAN, PROVIDE THE FOLLOWING:

ADD'L (1) KING STUD EACH SIDE OF OPNGS UP TO 4'-0" WIDE.

5. PROVIDE FRAMING CONNECTORS FOR JOISTS, BEAMS & POSTS.

ADD'L (2) KING STUDS EACH SIDE OF OPNGS UP TO 8'-0" WIDE.

CONNECTORS SHALL BE BY SIMPSON STRONG-TIE OR EQUAL AND

SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES, AND

INSTALLED ACCORDING TO MANUFACTURER. PROVIDE SIMPSON H2.5A UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST2215 STRAPS CONNECTING TOP OF SHEARWALLS TO HEADERS.

6. INSTALL CHIMNEY ANCHORAGE STRAPS AT EACH FLOOR AND AT ROOF LEVEL PER IRC BUILDING CODE.

7. REFER TO S300 FOR WALL BRACING PLANS. REFER TO S301 FOR

WALL BRACING PANEL CONSTRUCTION & TYPICAL DETAILS.

Date Issue Description BALANCE OF INFORMATION. REFER TO MEP DWGS FOR ADD'L INFO ON DRAINS, UTILITY LINES, SLEEVES, & OPENINGS REQUIREMENTS. 2. REFER TO S001 FOR STRUCTURAL NOTES. REFER TO S200, S201 & S301 FOR APPLICABLE DETAILS NOT REFERENCED ON PLAN. RA-23-116 RAI Project No. GR Checked By GR Drawn By STACKED LOAD BEARING WALLS, INSTALL PER TJI MANUF. PROVIDE Scale 1=48

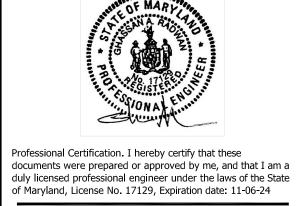
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1ST FLOOR FRAMING





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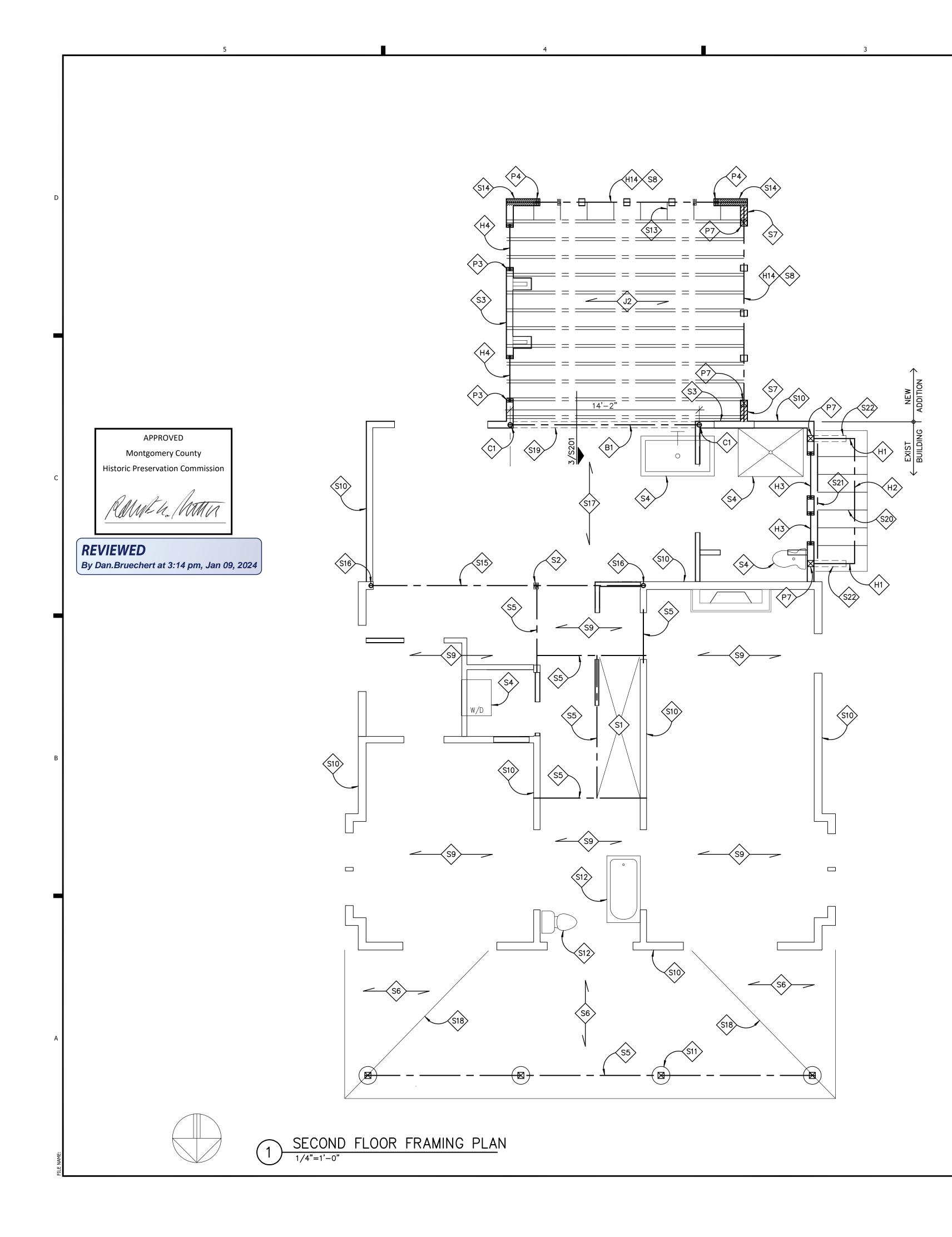
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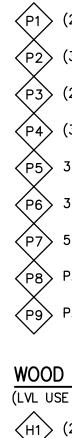


STEEL COLUMN NOTES:

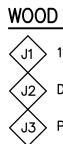
C1 4" DIA ADJUSTABLE STEEL PIPE COL ALLOW CAP @ 9' HT = 17,000 LBS. INSTALL PER MANUF

STEEL BEAM NOTES:

(B1) W8x24 STEEL BEAM UPSET W/ 2x8 PL CUT FLUSH + 1/8" & BOLT TO TOP FLANGE W/ 1/2" DIA BOLTS @ 24" O.C. STAGGERED. PROVIDE (2) 2x8 CONT BLKG EACH SIDE OF BEAM WEB W/ 1/2" THRU BOLTS @ 24" O.C. WELD BEAM TO TOP OF STEEL COLS.







POST NOTE:

P3 PROVIDE P3 POSTS AT H2 & H4 HEADERS TYPICAL WHERE NOT NOTED ON PLAN. P1 PROVIDE P1 POSTS AT H1 & H3 HEADERS TYPICAL WHERE NOT NOTED ON PLAN.

ROOF TRUSSES SHOP DWGS NOTE: CONTRACTOR SHALL SUBMIT ROOF TRUSSES SHOP DWGS FOR REVIEW BY THE ENGINEER PRIOR TO START OF ANY FOUNDATION OR CONSTRUCTION WORK. ANY REVISIONS TO THE COMPLETED IN PLACE STRUCTURE DUE TO LATE SUBMISSION OF THE ROOF TRUSS SHOP DWGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

BRACING & SHORING NOTE: CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, SEQUENCE, AND MEANS AND METHODS OF THE CONSTRUCTION.

FIELD VERIFICATION NOTE: EXISTING INFORMATION SHOWN ON THE DRAWINGS WERE NOT VERIFIED. CONTRACTOR SHALL REVIEW DRAWINGS & FIELD VERIFY ALL EXISTING CONDITIONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT & ENGINEER PRIOR TO START OF CONSTRUCTION.

DIMENSIONING NOTE: CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS SHOWN ON THIS DRAWING W/ ARCHT DWGS & CIVIL DWGS.

	1
WOOD POST NOTES:	SECOND FLOOR FRAMING NOTES:
(PSL USE 2.0E PARALLAM)	S1 EXIST STAIR OPNG
(7) (2) $2x4$	S2 EXIST POST ABOVE TO REMAIN INTACT
(P_2) (3) 2x4	\times 2x6 STUDS @ 16" O.C. BEARING WALL BELOW. PROVIDE INTERMEDIATE HORIZ BLKG @ 4'-0" MAX VERT SPACING
P3 (2) 2x6	$\langle S4 \rangle$ PLUMBING DRAIN ABOVE, COORDINATE WITH FRAMING.
P4 (3) 2x6	DO NOT CUT ANY JOISTS
P5 3 1/2"x 3 1/2" PSL	S5 EXIST HEADER TO REMAIN INTACT
P6 3 1/2"x 5 1/4" PSL	S6 EXIST RAFTERS TO REMAIN INTACT
P7 5 1/4"x 5 1/4" PSL	$\left< \begin{array}{c} S7 \\ S7 \\ SEE \end{array} \right> CS-PF CONT PORTAL FRAME PANEL CONSTRUCTION. SEE DET 5/S301 \\ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ \ $
P8 P.T. 4x6 SOLID WOOD P9 P.T. 6x6 SOLID WOOD	S8 EXTEND HEADER TO BACK END OF CS-PF PORTAL FRAME PANEL. SEE DET 5/S301
Pg P.1. 6x6 SOLID WOOD	S9 EXIST 2x10 FLOOR JOISTS TO REMAIN INTACT
WOOD HEADER NOTES: (LVL USE 1.9E MICROLLAM)	S10 EXIST WOOD STUD BEARING WALL BELOW TO REMAIN
(H1) (2) 2x8 DROPPED	S11 EXIST WOOD POST TO REMAIN INTACT
H2 (3) 2x8 DROPPED	S12 EXIST PLUMBING DRAIN ABOVE TO REMAIN INTACT
H3 (2) 2×10 DROPPED	S13 TJI LADDER FRAMING @ 24" O.C.
H4 (3) 2x10 DROPPED	S14 SIMPSON SSW24x8 STEEL SHEAR WALL OVER SHEATHING W/ DBL LVL BLKG BELOW WALL. INSTALL PER MANUF. SEE DET 10/S201 & 11/S201 ADD'L FOR INFO.
(2) 1 3/4"x 9 1/4" LVL DROPPED	S15 EXIST STEEL BEAM TO REMAIN INTACT
H6 (3) 1 3/4"x 9 1/4" LVL DROPPED	S16 EXIST STEEL COL TO REMAIN INTACT
H7 (2) 1 3/4"x 11 7/8" LVL DROPPED H8 (3) 1 3/4"x 11 7/8" LVL DROPPED	S17 EXIST 9 1/2" DEEP TJI FLOOR JOISTS TO REMAIN
	S18 EXIST HIP BEAM TO REMAIN FIELD VERIFY CONDITION
PLANE AS JOISTS	S19 EXIST WOOD STUD BEARING WALL ABOVE
(3) 1 3/4"x 9 1/2" LVL IN SAME	S20 2x6 RAFTERS @ 16" O.C. W/ 2x6 CEILING JOISTS @
(2) 1 $3/4$ °x 11 $7/8$ ° LVL IN SAME PLANE AS JOISTS	 16" O.C. CONNECT RAFTERS TO CEILING JOISTS W/ (4) FACE NAILS PER CONN. PROVIDE 2x6 LEDGER AT CEILING JOISTS SUPPORT W/ 1/4" SCREWS @ 8" O.C. STAGGERED W/ 2" PENETRATION INTO RIM BOARD
(H12) (3) 1 3/4"x 11 7/8" LVL IN SAME PLANE AS JOISTS	S21 P.T. 2x8 LEDGER AT RAFTER SUPPORT W/ 5/8" DIA
(3) 1 3/4"x 7 1/4" LVL DROPPED	THRU BOLTS @ 16" O.C. INTO (2) 2x8 BLKG BETWEEN STUDS. NAIL ROOF PLYWD TO 2x8 LEDGER @ 3" O.C.
(H14) (3) 1 3/4"x 11 7/8" LVL UPSET (H15) P.T. (2) 2x10 UPSET	S22 STRUCTURAL WOOD BRACKET PER ARCHT DWGS. CONNECT TO WOOD POST IN WALL W/ (2) 5/8" DIA THRU BOLTS
(H16) P.T. (3) 2x10 UPSET	INKO BOLIS
WOOD JOIST NOTES:	
J1 11 7/8" TJI-360 @ 16" O.C.	
J2 DOUBLE 9 1/2" TJI-230 @ 16" O.C.	
J3 P.T. 2x10 @ 16" O.C.	
\checkmark	

Seal

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17129, Expiration date: 11-06-24

Consultant RADWAN ASSOCIATES, INC STRUCTURAL ENGINEER

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Project

HERMAN RESIDENCE

22 WEST IRVING STREET CHEVY CHASE, MD 20815

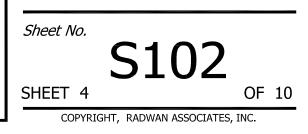
Developer

PERMIT	01-05-2024
Issue Description	Date

RAI Project No.	RA-23-116
Checked By	GR
Drawn By	GR
Scale	1=48

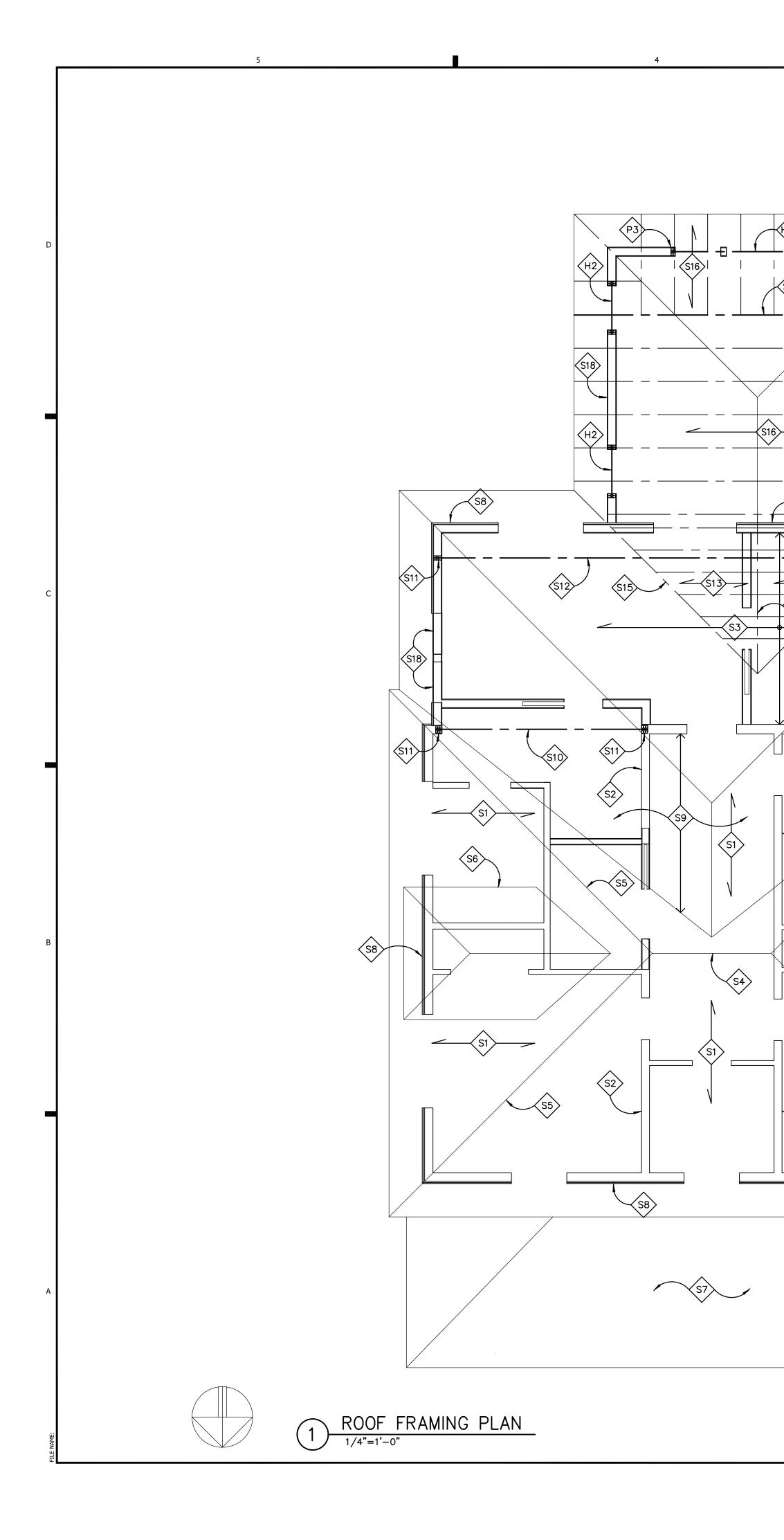
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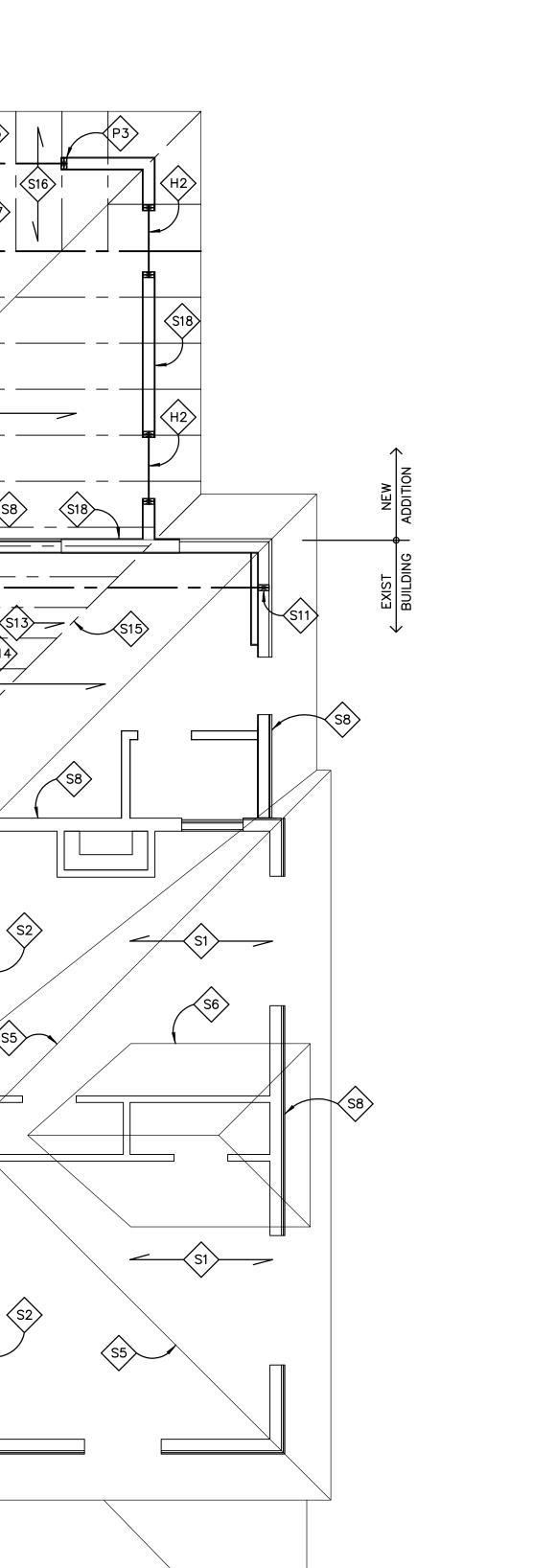
2ND FLOOR FRAMING



GENERAL NOTES:

- 1. REFER TO THE ARCHT DWGS FOR DIMENSIONS, ELEVATIONS, & BALANCE OF INFORMATION. REFER TO MEP DWGS FOR ADD'L INFO ON DRAINS, UTILITY LINES, SLEEVES, & OPENINGS REQUIREMENTS.
- 2. REFER TO SO01 FOR STRUCTURAL NOTES. REFER TO S200, S201 & S301 FOR APPLICABLE DETAILS NOT REFERENCED ON PLAN.
- 3. PROVIDE SOLID BLOCKING BETWEEN FLOORS UNDER ALL WOOD POSTS ALL THE WAY DOWN TO TOP OF BEAMS & CONC WALLS. PROVIDE 2x6 SQUASH BLOCKING EACH SIDE OF TJI JOISTS AT STACKED LOAD BEARING WALLS, INSTALL PER TJI MANUF. PROVIDE INTERMEDIATE HORIZONTAL BLKG BETWEEN STUDS AT 4'-0" VERT SPACING AT ALL LOAD BEARING WALLS.
- 4. IN ADDITION TO POSTS SHOWN ON PLAN, PROVIDE THE FOLLOWING: ADD'L (1) KING STUD EACH SIDE OF OPNGS UP TO 4'-0" WIDE. ADD'L (2) KING STUDS EACH SIDE OF OPNGS UP TO 8'-0" WIDE.
- 5. PROVIDE FRAMING CONNECTORS FOR JOISTS, BEAMS & POSTS. CONNECTORS SHALL BE BY SIMPSON STRONG-TIE OR EQUAL AND SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES, AND INSTALLED ACCORDING TO MANUFACTURER. PROVIDE SIMPSON H2.5A UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST2215 STRAPS CONNECTING TOP OF SHEARWALLS TO HEADERS.
- 6. INSTALL CHIMNEY ANCHORAGE STRAPS AT EACH FLOOR AND AT ROOF LEVEL PER IRC BUILDING CODE.
- 7. REFER TO S300 FOR WALL BRACING PLANS. REFER TO S301 FOR WALL BRACING PANEL CONSTRUCTION & TYPICAL DETAILS.





<s5>

APPROVED Montgomery County **Historic Preservation Commission** MMA REVIEWED

By Dan.Bruechert at 3:14 pm, Jan 09, 2024

POST NOTE:

P3 PROVIDE P3 POSTS AT H2 & H4 HEADERS TYPICAL WHERE NOT NOTED ON PLAN. P1 PROVIDE P1 POSTS AT H1 & H3 HEADERS TYPICAL WHERE NOT NOTED ON PLAN.

ROOF TRUSSES SHOP DWGS NOTE: CONTRACTOR SHALL SUBMIT ROOF TRUSSES SHOP DWGS FOR REVIEW BY THE ENGINEER PRIOR TO START OF ANY FOUNDATION OR CONSTRUCTION WORK. ANY REVISIONS TO THE COMPLETED IN PLACE STRUCTURE DUE TO LATE SUBMISSION OF THE ROOF TRUSS SHOP DWGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

BRACING & SHORING NOTE: CONTRACTOR IS RESPONSIBLE FOR ALL

FIELD VERIFICATION NOTE:

EXISTING INFORMATION SHOWN ON THE DRAWINGS WERE NOT VERIFIED. CONTRACTOR SHALL REVIEW DRAWINGS & FIELD VERIFY ALL EXISTING CONDITIONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT & ENGINEER PRIOR TO START OF CONSTRUCTION.

DIMENSIONING NOTE: CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS SHOWN ON THIS DRAWING W/ ARCHT DWGS & CIVIL DWGS.

	1
WOOD POST NOTES:	ROOF FRAMING NOTES:
(PSL USE 2.0E PARALLAM) P_1 (2) 2x4	S1 EXIST ROOF RAFTERS & CEILING JOISTS TO REMAIN
P2 (3) 2x4	S2 EXIST KNEE WOOD STUD BRG WALL BELOW TO REMAIN
P3 (2) 2x6	S3 EXIST ROOF TRUSSES TO REMAIN INTACT
(3) 2x6	S4 EXIST RIDGE PLATE TO REMAIN INTACT
P5 3 1/2"x 3 1/2" PSL	S5 EXIST HIP BEAM TO REMAIN FIELD VERIFY CONDITION
P6 3 1/2"x 5 1/4" PSL	S6 EXIST DORMER FRAMING TO REMAIN INTACT FIELD
P7 5 1/4"x 5 1/4" PSL	S7 EXIST ROOF BELOW SEE SHEET S102
P8 P.T. 4x6 SOLID WOOD	S8 EXIST WOOD STUD BEARING WALL BELOW FIELD VERIFY CONDITION
P9 P.T. 6x6 SOLID WOOD	S9 EXIST ROOF OVERBUILT FRAMING TO REMAIN INTACT
WOOD HEADER NOTES:	S10 EXIST HEADER TO REMAIN INTACT
(LVL USE 1.9E MICROLLAM)	S11 EXIST POST TO REMAIN INTACT
(1) (2) $2x8$ DROPPED	S12 EXIST GIRDER TRUSS TO REMAIN INTACT
(3) $2x8$ DROPPED	S13 2x8 OVERBUILT RAFTERS @ 16" O.C.
(2) 2×10 DROPPED	S14 2x10 RIDGE PLATE
(3) 2x10 DROPPED	S15 2x8 PLATE LAID FLAT OVER EXIST ROOF SHEATHING
(2) 1 $3/4^{"}x$ 9 $1/4^{"}$ LVL DROPPED	S16 ROOF TRUSSES @ 24" O.C. BY TRUSS MANUF
(3) 1 $3/4^{\circ}x$ 9 $1/4^{\circ}$ LVL DROPPED	S17 GIRDER TRUSS BY TRUSS MANUF
(2) 1 3/4"x 11 7/8" LVL DROPPED (H8) (3) 1 3/4"x 11 7/8" LVL DROPPED	S18 2x6 STUDS @ 16" O.C. BEARING WALL BELOW. PROVIDE INTERMEDIATE HORIZ BLKG @ 4'-0" MAX VERT SPACING
H9) (2) 1 3/4"x 9 1/2" LVL IN SAME	
PLANE AS JOISTS (1) $1 3/4^{*}x 9 1/2^{*}$ LVL IN SAME	
PLANE AS JOISTS (H11) (2) 1 $3/4$ "x 11 $7/8$ " LVL IN SAME	
H12 (3) 1 3/4"x 11 7/8" LVL IN SAME	
PLANE AS JOISTS (3) 1 3/4"x 7 1/4" LVL DROPPED	
(3) 1 3/4"x 11 7/8" LVL UPSET	
H15 P.T. (2) 2x10 UPSET	
H16 P.T. (3) 2x10 UPSET	
\checkmark	

ROOF TRUSSES NOTES:

- 1. ROOF TRUSSES SHALL BE DESIGNED & DETAILED BY THE TRUSS MANUFACTURER TO MEET THE DESIGN CRITERIA INDICATED ON THE DRAWINGS.
- 2. ROOF TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS & DESIGN CALCULATIONS SIGNED BY A PROFESSIONAL ENGINEER FOR REVIEW BY THE ARCHITECT AND ENGINEER OF RECORD.
- 3. ROOF TRUSS MANUFACTURER SHALL PROVIDE ALL CONNECTIONS, HANGERS, BRACING, & OTHER DETAILS REQ'D FOR TRUSS CONNECTION TO SUPPORTS.

GENERAL NOTES:

- 1. REFER TO THE ARCHT DWGS FOR DIMENSIONS, ELEVATIONS, & BALANCE OF INFORMATION. REFER TO MEP DWGS FOR ADD'L INFO ON DRAINS, UTILITY LINES, SLEEVES, & OPENINGS REQUIREMENTS.
- 2. REFER TO S001 FOR STRUCTURAL NOTES. REFER TO S200, S201 & S301 FOR APPLICABLE DETAILS NOT REFERENCED ON PLAN.
- 3. PROVIDE SOLID BLOCKING BETWEEN FLOORS UNDER ALL WOOD POSTS ALL THE WAY DOWN TO TOP OF BEAMS & CONC WALLS. PROVIDE 2x6 SQUASH BLOCKING EACH SIDE OF TJI JOISTS AT STACKED LOAD BEARING WALLS, INSTALL PER TJI MANUF. PROVIDE INTERMEDIATE HORIZONTAL BLKG BETWEEN STUDS AT 4'-0" VERT SPACING AT ALL LOAD BEARING WALLS.
- 4. IN ADDITION TO POSTS SHOWN ON PLAN, PROVIDE THE FOLLOWING: ADD'L (1) KING STUD EACH SIDE OF OPNGS UP TO 4'-0" WIDE. ADD'L (2) KING STUDS EACH SIDE OF OPNGS UP TO 8'-0" WIDE.
- 5. PROVIDE FRAMING CONNECTORS FOR JOISTS, BEAMS & POSTS. CONNECTORS SHALL BE BY SIMPSON STRONG-TIE OR EQUAL AND SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES, AND INSTALLED ACCORDING TO MANUFACTURER. PROVIDE SIMPSON H2.5A UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST2215 STRAPS CONNECTING TOP OF SHEARWALLS TO HEADERS.
- 6. INSTALL CHIMNEY ANCHORAGE STRAPS AT EACH FLOOR AND AT ROOF LEVEL PER IRC BUILDING CODE.
- 7. REFER TO S300 FOR WALL BRACING PLANS. REFER TO S301 FOR WALL BRACING PANEL CONSTRUCTION & TYPICAL DETAILS.

Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17129, Expiration date: 11-06-24

Consultant RADWAN ASSOCIATES, INC STRUCTURAL ENGINEER

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Project

Seal

HERMAN RESIDENCE

22 WEST IRVING STREET CHEVY CHASE, MD 20815

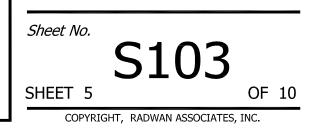
Developer

PERMIT	01-05-2024
Issue Description	Date

RAI Project No.	RA-23-116
Checked By	GR
Drawn By	GR
Scale	1=48

Sheet Title

ROOF FRAMING

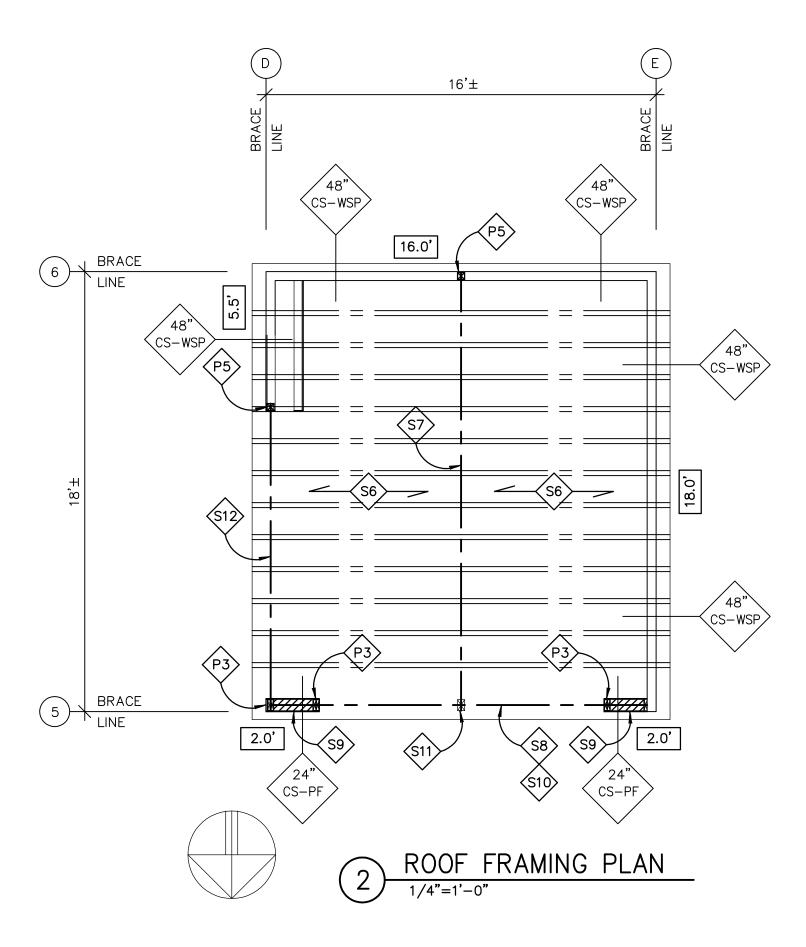


TEMPORARY BRACING, SHORING, SEQUENCE, AND MEANS AND METHODS OF THE CONSTRUCTION.

_____ ____ $\langle s s \rangle$ (s2) <u>\$5</u> ∕s1∕ $\langle s s \rangle$ (S4) _____ FOUNDATION PLAN 1/4"=1'-0" \smile APPROVED Montgomery County Historic Preservation Commission RAMEL. MATTIC REVIEWED By Dan.Bruechert at 3:14 pm, Jan 09, 2024

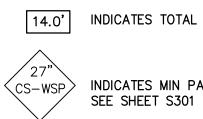
WOC (P1)

<P9



GARAGE TOTAL BRACE WALL LINE LENGTH 115 MPH WIND - EXPOSURE "B"				
BWL	MULT FACTOR	BWL SPACING	LENGTH REQ'D	LENGTH PROVIDED
5	1.0	18'	4'	4'
6	1.0	18'	4'	16'
	1.0	16'	4'	5.5'
E	1.0	16'	4'	18'
REFER TO S301 FOR WALL BRACING ADD'L INFO				

BRACE PANEL LENGTH NOTES:



BRACING & SHORING NOTE: CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, SEQUENCE, AND MEANS AND METHODS OF THE CONSTRUCTION.

FIELD VERIFICATION NOTE: EXISTING INFORMATION SHOWN ON THE DRAWINGS WERE NOT VERIFIED. CONTRACTOR SHALL REVIEW DRAWINGS & FIELD VERIFY ALL EXISTING CONDITIONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT & ENGINEER PRIOR TO START OF CONSTRUCTION.

DIMENSIONING NOTE: CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS SHOWN ON THIS DRAWING W/ ARCHT DWGS & CIVIL DWGS.

	1
OD POST NOTES:	FOUNDATION & ROOF NOTES:
USE 2.0E PARALLAM)	S1 EXIST CONC SLAB ON GRADE TO REMAIN INTACT
> (2) 2x4	S2 EXIST TURN DOWN SLAB FTG TO REMAIN INTACT. FIELD
(3) 2×4	S2 EXIST TURN DOWN SLAB FTG TO REMAIN INTACT. FIELD VERIFY MIN WIDTH IS 12" & MIN DEPTH IS 24" BELOW FINISHED GRADE
3) (2) 2×6	S3 DRILL & EPOXY #4 DOWELS 16" O.C. W/ 6" EMBED
(3) 2x6	INTO EXIST CONC & PROVIDE 4" WIDE x 6" HIGH CONC CURB. PROVIDE #4 CONT BAR 3" FROM TOP
5 3 1/2"x 3 1/2" PSL	S4 DRILL & EPOXY #4 DOWELS 16" O.C. W/ 6" EMBED INTO EXIST CONC & PROVIDE 6" WIDE x 6" HIGH
5) 3 1/2"x 5 1/4" PSL	CONC CURB. PROVIDE #4 CONT BAR 3" FROM TOP
> 5 1/4"x 5 1/4" PSL	S5 POST ABOVE, PROVIDE SOLID BLOCKING BELOW POST BEARING LOCATION
P.T. 4x6 SOLID WOOD	S6 (2) 2x6 RAFTERS @ 16" O.C.
P.T. 6x6 SOLID WOOD	S7 (2) 1 3/4"x 14" LVL RIDGE BEAM
	S8 (2) 1 3/4"x 11 7/8" LVL UPSET
	S9 CS-PF CONT PORTAL FRAME PANEL CONSTRUCTION. SEE DET 5/S301
	S10 EXTEND HEADER TO BACK END OF CS-PF PORTAL FRAME PANEL. SEE DET 5/S301
	S11 3 1/2"x 5 1/4" PSL STUB POST

L CONSTRUCTION. F CS-PF PORTAL Seal

> Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17129, Expiration date: 11-06-24

Consultant RADWAN ASSOCIATES, INC STRUCTURAL ENGINEER

8609 WESTWOOD CENTER DR., SUITE 110 VIENNA, VA 22182 (703) 790-8435 RADWANINC@AOL.COM

Project

HERMAN RESIDENCE

22 WEST IRVING STREET CHEVY CHASE, MD 20815

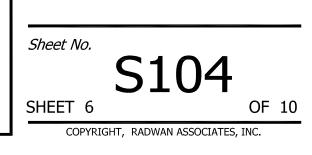
Developer

PERMIT	01-05-2024
Issue Description	Date

RAI Project No.	RA-23-116
Checked By	GR
Drawn By	GR
Scale	1=48

Sheet Title

GARAGE PLANS



WALL BRACING NOTES: 1. REFER TO FRAMING PLANS FOR INFORMATION ON

(2) 1 3/4"x 9 1/4" LVL UPSET

- ADD'L PLYWOOD REQUIRED AT INTERIOR WALLS.
- 2. REFER TO FRAMING PLANS FOR LOCATION OF PORTAL FRAME EXTENDED HEADERS TO BACK
- END OF WALL PANEL 3. REFER TO S301 FOR WALL BRACING INFORMATION, PANEL CONSTRUCTION & TYPICAL DETAILS.
- 4. "HD" INDICATES HOLD DOWN ANCHOR, "ST" INDICATES TENSION STRAP REQUIRED AT THAT LOCATION. REFER TO FRAMING PLANS FOR INFO.
- 5. "SSW" INDICATES SIMPSON STRONG WALL SHEAR WALL PANELS. REFER TO FRAMING PLANS FOR INFORMATION.
- 6. "SMF" INDICATES STEEL MOMENT FRAME. REFER TO FRAMING PLANS FOR INFORMATION.

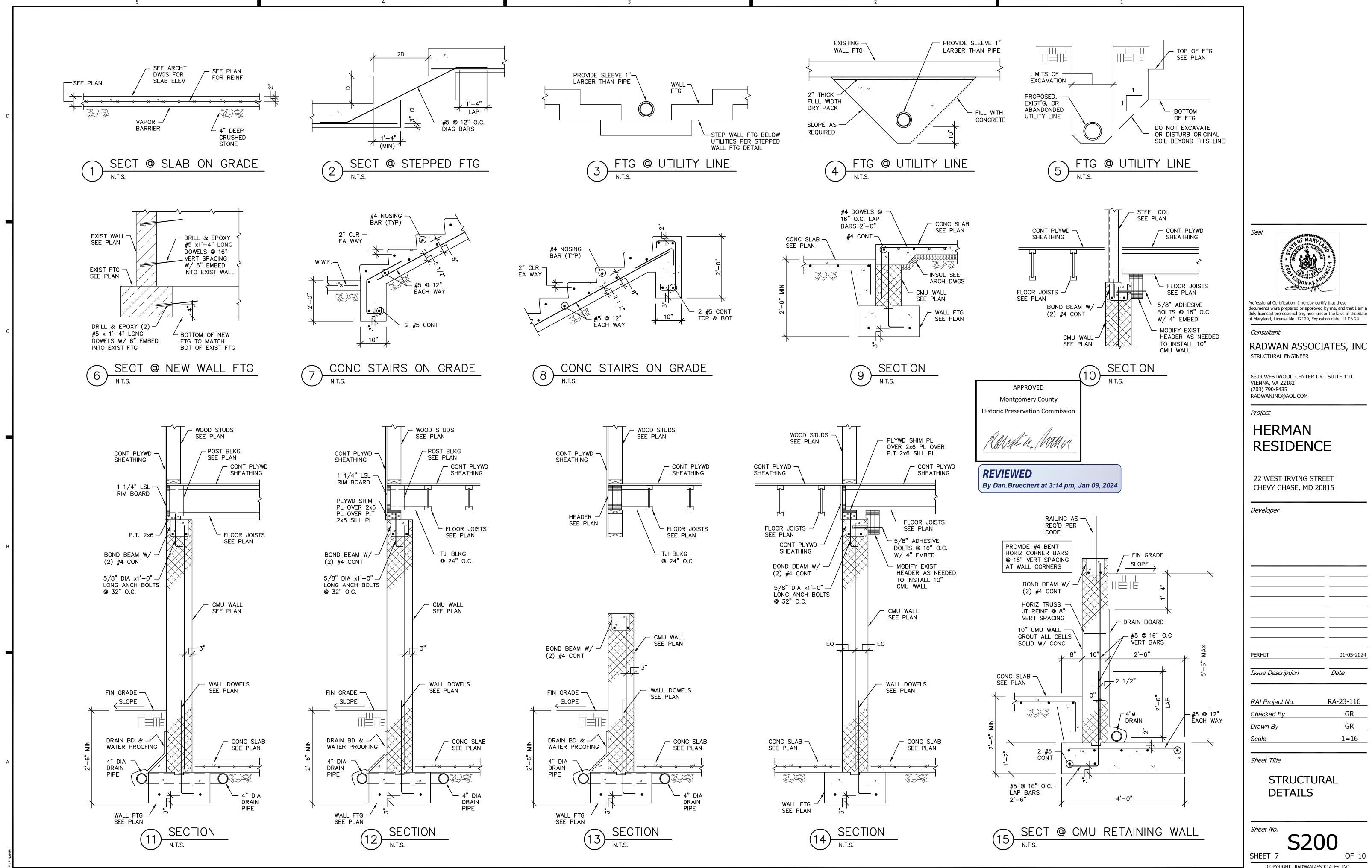
GENERAL NOTES:

- 1. REFER TO THE ARCHT DWGS FOR DIMENSIONS, ELEVATIONS, & BALANCE OF INFORMATION. REFER TO MEP DWGS FOR ADD'L INFO ON DRAINS, UTILITY LINES, SLEEVES, & OPENINGS REQUIREMENTS.
- 2. REFER TO S001 FOR STRUCTURAL NOTES. REFER TO S200, S201 & S301 FOR APPLICABLE DETAILS NOT REFERENCED ON PLAN.
- 3. PROVIDE SOLID BLOCKING BETWEEN FLOORS UNDER ALL WOOD POSTS ALL THE WAY DOWN TO TOP OF BEAMS & CONC WALLS. PROVIDE 2x6 SQUASH BLOCKING EACH SIDE OF TJI JOISTS AT STACKED LOAD BEARING WALLS, INSTALL PER TJI MANUF. PROVIDE INTERMEDIATE HORIZONTAL BLKG BETWEEN STUDS AT 4'-0" VERT SPACING AT ALL LOAD BEARING WALLS.
- 4. IN ADDITION TO POSTS SHOWN ON PLAN, PROVIDE THE FOLLOWING: ADD'L (1) KING STUD EACH SIDE OF OPNGS UP TO 4'-0" WIDE. ADD'L (2) KING STUDS EACH SIDE OF OPNGS UP TO 8'-0" WIDE.
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- 6. REFER TO S300 FOR WALL BRACING PLANS. REFER TO S301 FOR WALL BRACING PANEL CONSTRUCTION & TYPICAL DETAILS.

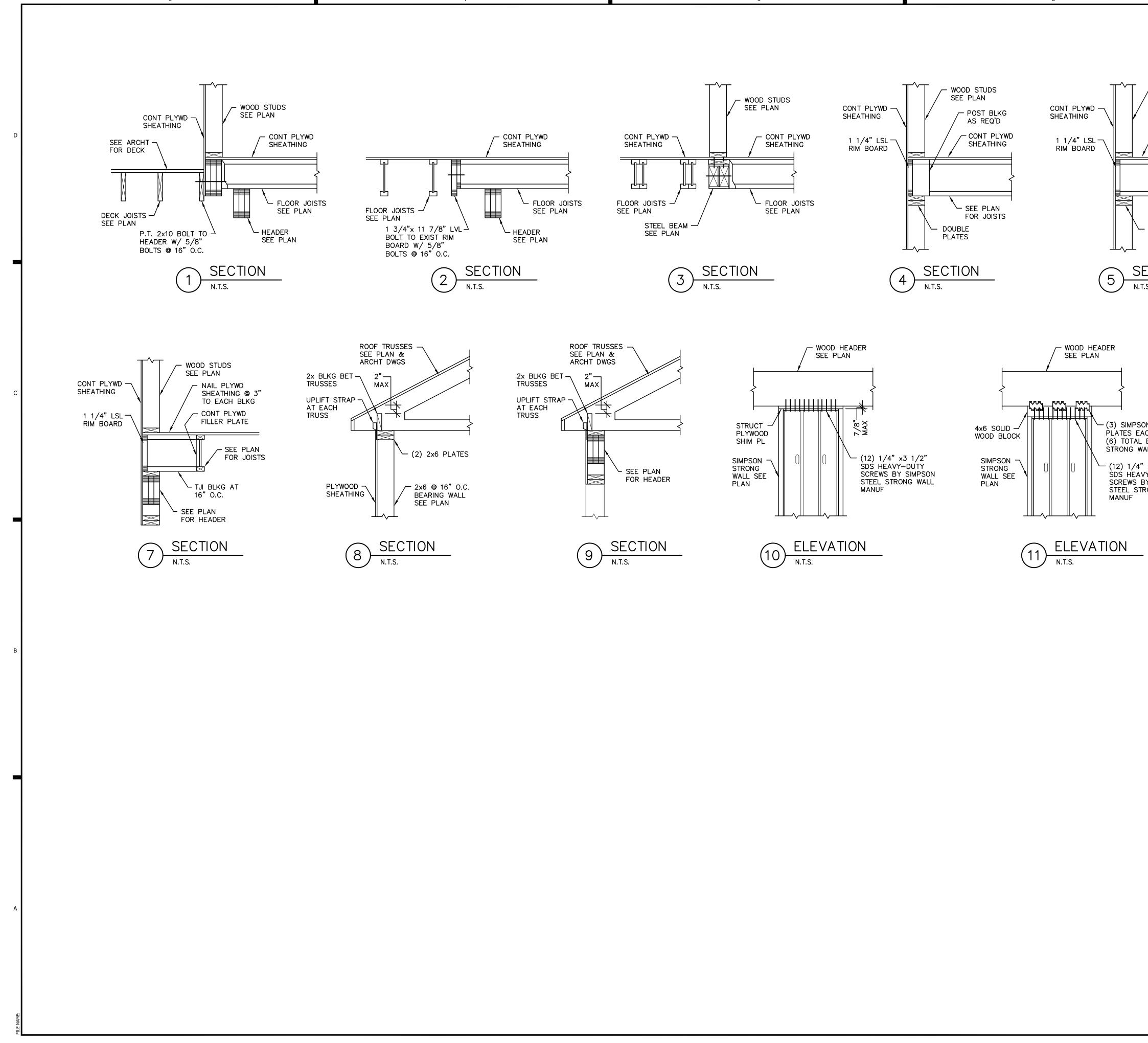
INDICATES TOTAL LENGTH OF PANEL

INDICATES MIN PANEL LENGTH REQ'D

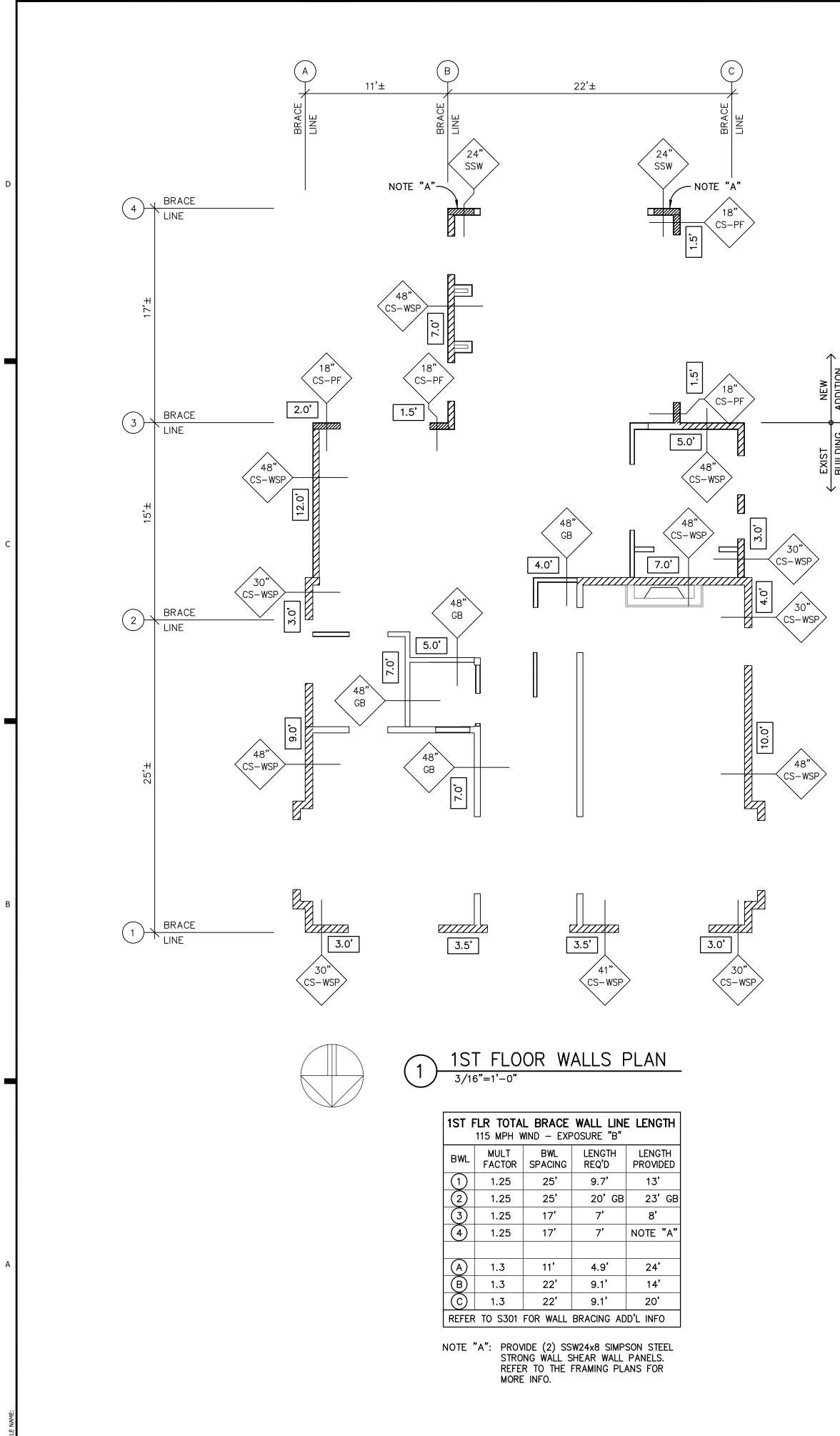
LENGTH WSP LENGTH = 0.5 x (GB) LENGTH **CONVERSION** GB LENGTH = $2 \times (WSP)$ LENGTH

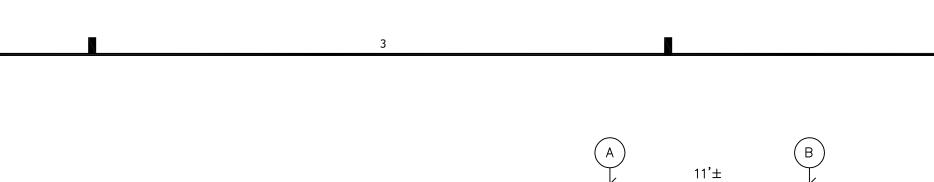


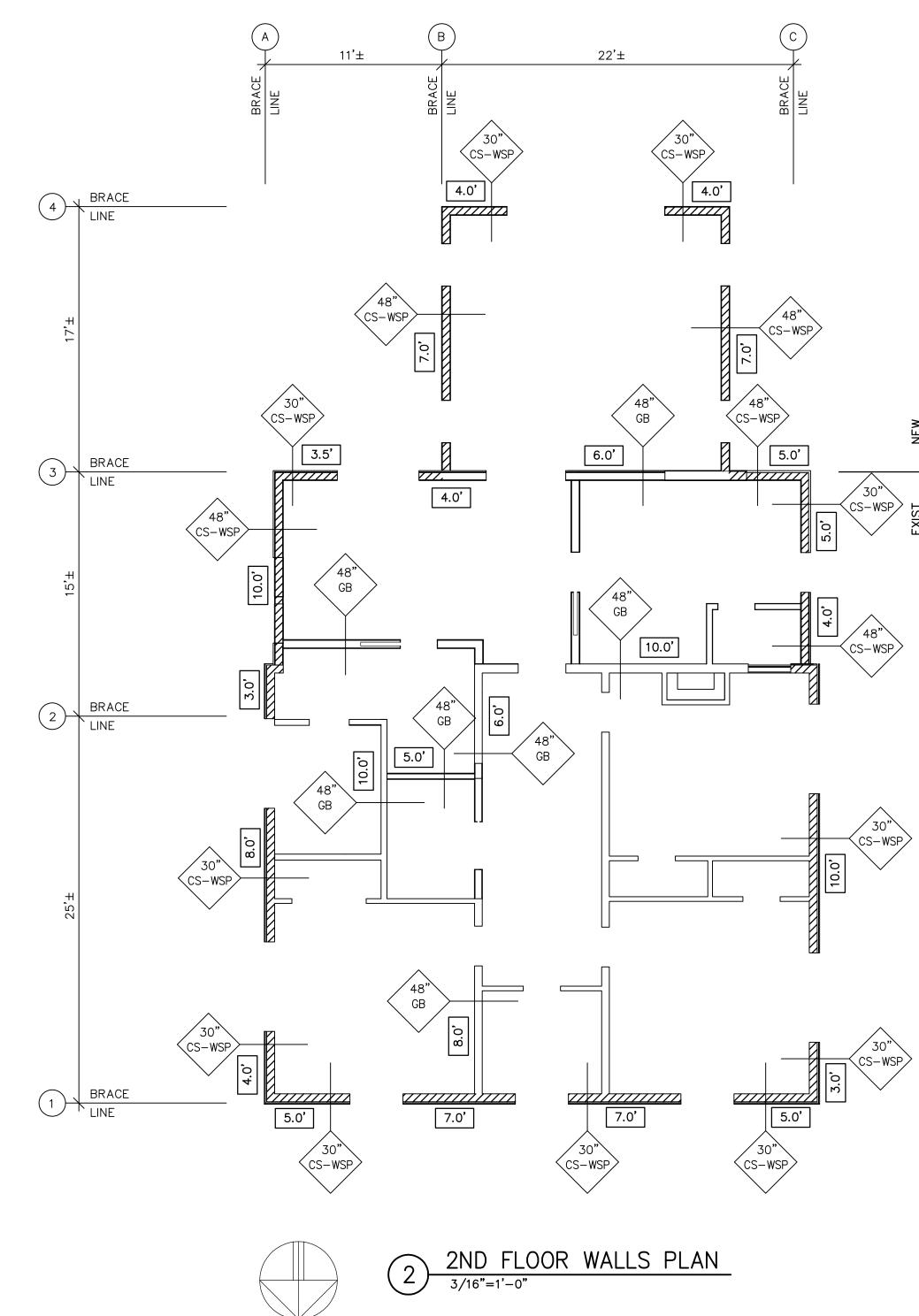
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WOOD STUDS SEE PLAN NAIL PLYWD SHEATHING @ 3" TO EACH BLKG CONT PLYWD FILLER PLATE SEE PLAN FOR JOISTS TJI BLKG AT 16" O.C. DOUBLE PLATES	CONT PLYWD SHEATHING 1 1/4" LSL RIM BOARD SEE PLAN CONT PLYWD SHEATHING	
ECTION T.S.	6 SECTION N.T.S.	Seal Frofessional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17129, Expiration date: 11-06-24
ON LTP4 ACH SIDE EACH /ALL YY-DUTY BY SIMPSON RONG WALL		RADWAN ASSOCIATES, INC STRUCTURAL ENGINEER 8609 WESTWOOD CENTER DR., SUITE 110 VIENNA, VA 22182 (703) 790-8435 RADWANINC@AOL.COM Project HERMAN RESIDENCE
-	APPROVED Montgomery County Historic Preservation Commission	22 WEST IRVING STREET CHEVY CHASE, MD 20815 <i>Developer</i>
	REVIEWED By Dan.Bruechert at 3:14 pm, Jan 09, 2024	
		RAI Project No.RA-23-116Checked ByGRDrawn ByGRScale1=16Sheet TitleSTRUCTURALDETAILS
		Sheet No. Sheet No. SHEET 8 OF 10 COPYRIGHT, RADWAN ASSOCIATES, INC.







APPROVED Montgomery County **Historic Preservation Commission** UME h. MATA

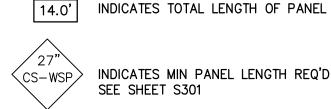
REVIEWED By Dan.Bruechert at 3:14 pm, Jan 09, 2024

2ND FLR TOTAL BRACE WALL LINE LENGTH 115 MPH WIND - EXPOSURE "B" MULTBWLLENGTHLENGTHFACTORSPACINGREQ'DPROVIDED BWL 1.13 25' 4.5' (1)24' 2 1.13 25' 9' GB 30' GB (3)1.13 17' 4' 18' 4 1.13 17' 4' 8' (A)1.01 11' 4' 25' B 1.01 22' 4' 19'

 (\mathbf{C}) 1.01 22' 4' 29' REFER TO S301 FOR WALL BRACING ADD'L INFO



BRACE PANEL LENGTH NOTES:



INDICATES MIN PANEL LENGTH REQ'D SEE SHEET S301

LENGTH WSP LENGTH = 0.5 x (GB) LENGTH **CONVERSION** GB LENGTH = $2 \times (WSP)$ LENGTH

WALL BRACING NOTES:

- 1. REFER TO FRAMING PLANS FOR INFORMATION ON ADD'L PLYWOOD REQUIRED AT INTERIOR WALLS.
- 2. REFER TO FRAMING PLANS FOR LOCATION OF PORTAL FRAME EXTENDED HEADERS TO BACK END OF WALL PANEL
- 3. REFER TO S301 FOR WALL BRACING INFORMATION, PANEL CONSTRUCTION & TYPICAL DETAILS.
- 4. "HD" INDICATES HOLD DOWN ANCHOR, "ST" INDICATES TENSION STRAP REQUIRED AT THAT LOCATION. REFER TO FRAMING PLANS FOR INFORMATION.
- 5. "SSW" INDICATES SIMPSON STRONG WALL SHEAR WALL PANELS. REFER TO FRAMING PLANS FOR INFORMATION.
- 6. "SMF" INDICATES STEEL MOMENT FRAME. REFER TO FRAMING PLANS FOR INFORMATION.

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Project

Seal

HERMAN RESIDENCE

22 WEST IRVING STREET CHEVY CHASE, MD 20815

Developer

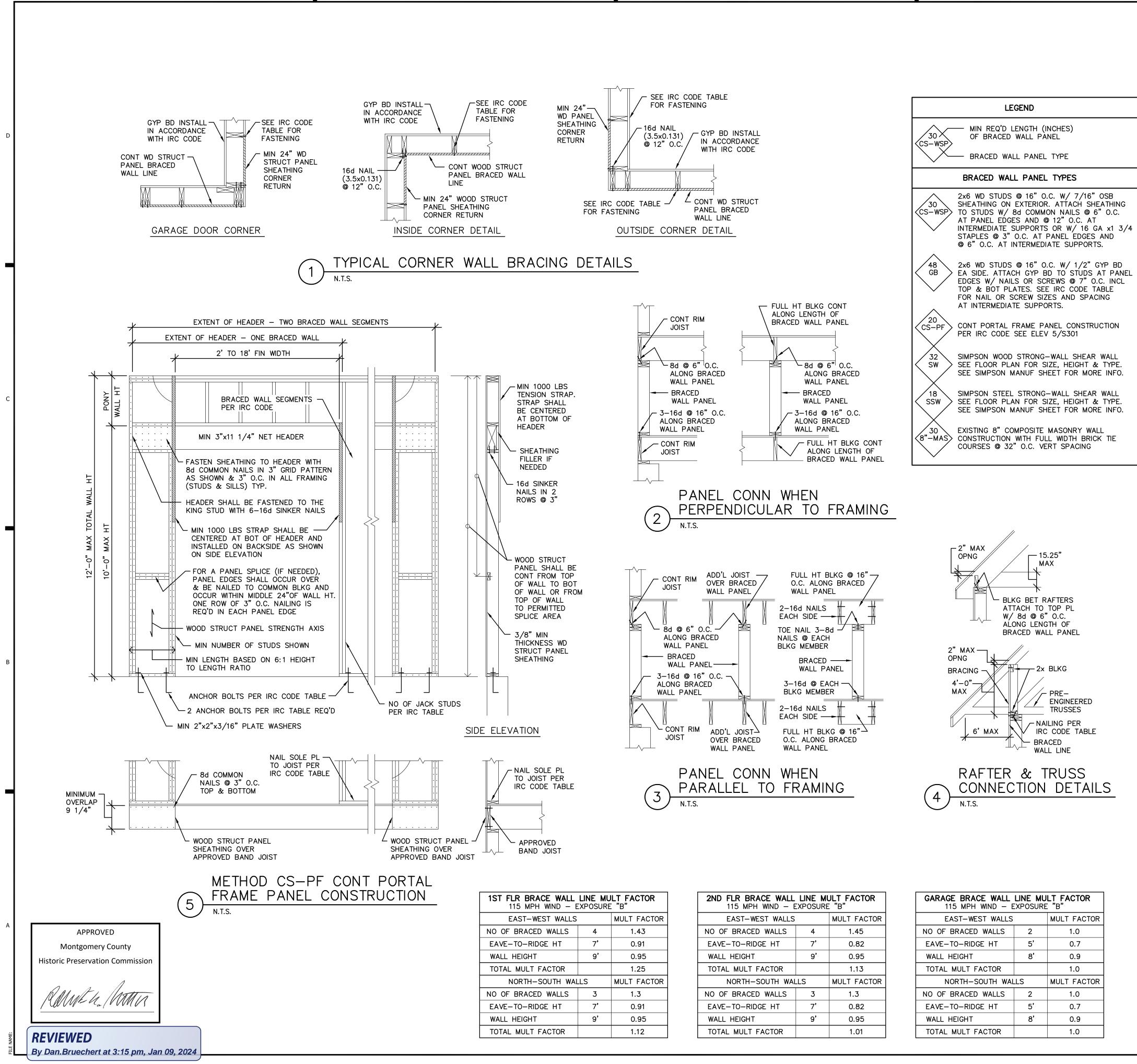
PERMIT	01-05-2024
Issue Description	Date

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Drawn By	GR
Scale	1=48

Sheet Title

WALL BRACING PLANS





BRACE WALL LINE MULT FACTOR MPH WIND - EXPOSURE "B"				
ST-WEST WALLS MULT FACTOR				
RACED WALLS	4	1.43		
-RIDGE HT	7'	0.91		
IGHT	9'	0.95		
ULT FACTOR		1.25		
RTH-SOUTH WALLS		MULT FACTOR		
RACED WALLS	3	1.3		
-RIDGE HT	7'	0.91		
IGHT	9'	0.95		
ULT FACTOR		1 12		

2ND FLR BRACE WALL LINE MULT FACTOR 115 MPH WIND - EXPOSURE "B"					
EAST-WEST WALLS	MULT FACTOR				
NO OF BRACED WALLS	4	1.45			
EAVE-TO-RIDGE HT	7'	0.82			
WALL HEIGHT	9'	0.95			
TOTAL MULT FACTOR		1.13			
NORTH-SOUTH WAL	MULT FACTOR				
NO OF BRACED WALLS	3	1.3			
EAVE-TO-RIDGE HT	7'	0.82			
WALL HEIGHT	9'	0.95			
TOTAL MULT FACTOR		1.01			

GARAGE BRACE WALL LINE MULT FACTOR 115 MPH WIND - EXPOSURE "B"					
EAST-WEST WALLS	MULT FACTOR				
NO OF BRACED WALLS	1.0				
EAVE-TO-RIDGE HT	5'	0.7			
WALL HEIGHT	8'	0.9			
TOTAL MULT FACTOR		1.0			
NORTH-SOUTH WAI	MULT FACTOR				
NO OF BRACED WALLS	2	1.0			
EAVE-TO-RIDGE HT	5'	0.7			
WALL HEIGHT	8'	0.9			
TOTAL MULT FACTOR		1.0			

EXP. C	ATEGOR	RY B, 30'	MEAN	N ROC	I REMEI F HT,	10'	EAVE-	to-ri	DGE HT,
10' WA	LL HT,	2 BRACE	D WA		IES, ≤	115	MPH W	/IND S	PEED
STORY LOCATION BRACED WAL SPACING (FT				CONTINUOUS SHEATHING			METHOD GB (DOUBLE SIDED		
		10			2.0			3.5	
$\sim \widehat{\mathbb{M}}$		20				3.5		6.5 9.5	
		30 40			4.5 6.0			9.5	
		50			7.5			15.0	
		60			9.0			18.0	
		10			3.5				7.0
		20			6.5			12.5 18.0	
		30 40			9.0			23.5	
		40 50			11.5 14.0			23.5	
		60			17.0			34.5	
		10			5	5.0			10.0
		20			9.0			18.5	
		30 40				3.0 7.0		27.0	
		50			21			35.0 43.0	
		60				5.0			51.0
ADJUS	STMENT	FACTOR	rs to) AM(DUNT (OF	BRACIN	G RE	QUIRED
		FXF	POSUR	F /HFI	GHT FA	ACT	ORS		
NO OF STORIES	S S	EXPOSURI			EXPO			E	XPOSURE D
1		1.0			1	.2			1.5
2		1.0				.3			1.6
3		1.0				1.4			1.7
SUPPORT CON		5' OR L			E HEIG	-H I	15'		20'
ROOF ONLY		0.7			1.0	1.3			1.6
ROOF + FLOO	R	0.8				1.15			1.3
R00F + 2 FL	OORS	0.9			1.0		1.1		NP
			WAL	L HEI	GHT				
	8' MAX						0.9		
	9' MAX 0' MAX				0.95				
	1' MAX				1.0				
1	2' MAX						1.1		
		NUMBER	OF E	BRACE	D WALL	L LI	NES		
	2						1.0		
	3				1.3				
	4 <u>></u> 5						1.4 1.6		
		D WALL	PAN		NGTH	RF			
	DIAOL	(IN INC					-		
ADJ CLEAR			١		HEIGHT	Γ (F			
OPNG HT (IN)		8'		9' 27			10' 30		11'
64 68				27				33 33	
72				27				33	
76		30		29		30			33
80		32		30		30			33
84		35		32		32			33
88		38		35		33			33
92 96		43		37 41		35 38			35 36
100		48 —		41 44		38 40			38
104				49		43			40
108		_		54		46			43
112		-		_	- 50			45	
116				-	- 55		48		
120		-	D 4 5 17	-		<u> </u>			52
	вкасе	D WALL (IN INCH	PANE HES)	LL LE METH	NGIH	RE Pl	QUIREM -	ENIS	
ADJ CLEAR				ALL HEIGHT (FEET) 9' 10'					
ADJ CLEAR OPNG HT (IN)		8'		9'		. (.			11'

NOTES:

- 1. PROJECT LOCATED IS SEISMIC CATEGORY B.
- 2. BASIC WIND SPEED \leq 115 MPH.
- 3. ALL EXTERIOR WALLS TO BE CONTINUOUSLY SHEATHED.
- 4. BUILDING IS BRACED IN ACCORDANCE WITH THE IRC CODE

Seal		
	AND S MAD	
	WILL CAN A PAGE AL	
	WILL CO CON AL ENGINE	
	ertification. I hereby certify that these ere prepared or approved by me, and that I an	n a
uly licensed f Maryland, L	professional engineer under the laws of the Sta icense No. 17129, Expiration date: 11-06-24	
Consulta		_
	AN ASSOCIATES, IN RAL ENGINEER	C
8609 WES VIENNA, V	TWOOD CENTER DR., SUITE 110	
(703) 790 -	-8435 NC@AOL.COM	
Project		
HE	RMAN	
KES	SIDENCE	
	ST IRVING STREET	
CHEVY	CHASE, MD 20815	
Develope	or .	
νενεισμ	<i>51</i>	
PERMIT		
		24
Issue De	pscription Date	
Issue De RAI Proj	ect No. RA-23-116	
Issue De RAI Proj Checkea	ect No. RA-23-116	
Issue De RAI Proj Checkeo Drawn B	escription Date Date RA-23-116 By GR y GR	
Issue De RAI Proj Checkeo Drawn B	ect No. RA-23-116	
Issue De RAI Proj Checkea Drawn B Scale	ect No. RA-23-116 By GR y GR 1=16	
RAI Proj Checkeo Drawn B Scale Sheet Tit	ect No. RA-23-116 I By GR y GR 1=16	
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Issue De RAI Proje Checkeo Drawn B Scale Sheet Tit	ect No. RA-23-116 By GR y GR 1=16 VALL BRACING ETAILS	

PERMIT	01-05-202
Issue Description	Date

RA-23-116
GR
GR
1=16

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