



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert Sutton
Chairman

Date: January 9, 2023

MEMORANDUM

TO: Rabbiah Sabbakhan
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 1048008 - Building Addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the November 15, 2023 HPC meeting. Fencing was removed from the scope of work to satisfy an HPC condition for approval.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Andrew & Katie Herman
Address: 22 W. Irving St., Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



HERMAN RESIDENCE

22 WEST IRVING ST CHEVY CHASE, MD 20815

SCOPE OF WORK: 2 STORY ADDITION TO REAR OF EXG. HOUSE W/ NEW DECK.
REFURBISH & CONDITION EXISTING GARAGE

PLAT DATA

(SEE SITE PLAN)
22 WEST IRVING STREET CHEVY CHASE, MD 20815
PTS OF LOTS 15 & 16 BLOCK 29 LOT AREA: 7,500 SF
SECTION 2 CHEVY CHASE PLAT 106
LOT RECORDED SEPT 9, 1909
ZONED: R-60

CHEVY CHASE VILLAGE CALCULATIONS

LOT COVERAGE: INCLUDES ALL BUILDINGS, ACCESSORY BUILDINGS & RAISED STRUCTURES SUCH AS COVERED AND UNCOVERED PORCHES, BALCONIES AND DECKS, COVERED AND UNCOVERED STEPS, STAIRWAYS AND STOOPS, AND BAY AND BOW WINDOWS.

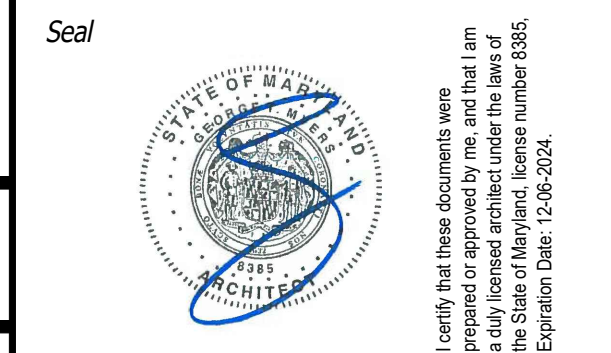
LOT AREA = 7,500 SF x .35 = 2,625 SF MAX LOT COVERAGE
EXG. LOT COVERAGE = 1,993.9 SF MAIN HOUSE + 298 SF GARAGE
ADDITION LOT COVERAGE = 324.9 SF

TOTAL = 2,616.8 SF / 7,500 SF = 34.89% (MAX ALLOWABLE=35%)

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Consultant

Project
HERMAN RESIDENCE

22 WEST IRVING ST, CHEVY CHASE, MD 20815

Owner

Developer

PERMIT SET 01/08/2024

Issue Description Date

GTM Project No. 22.0436

Checked By GTM

Drawn By LEO/TJK

Scale AS NOTED

Sheet Title

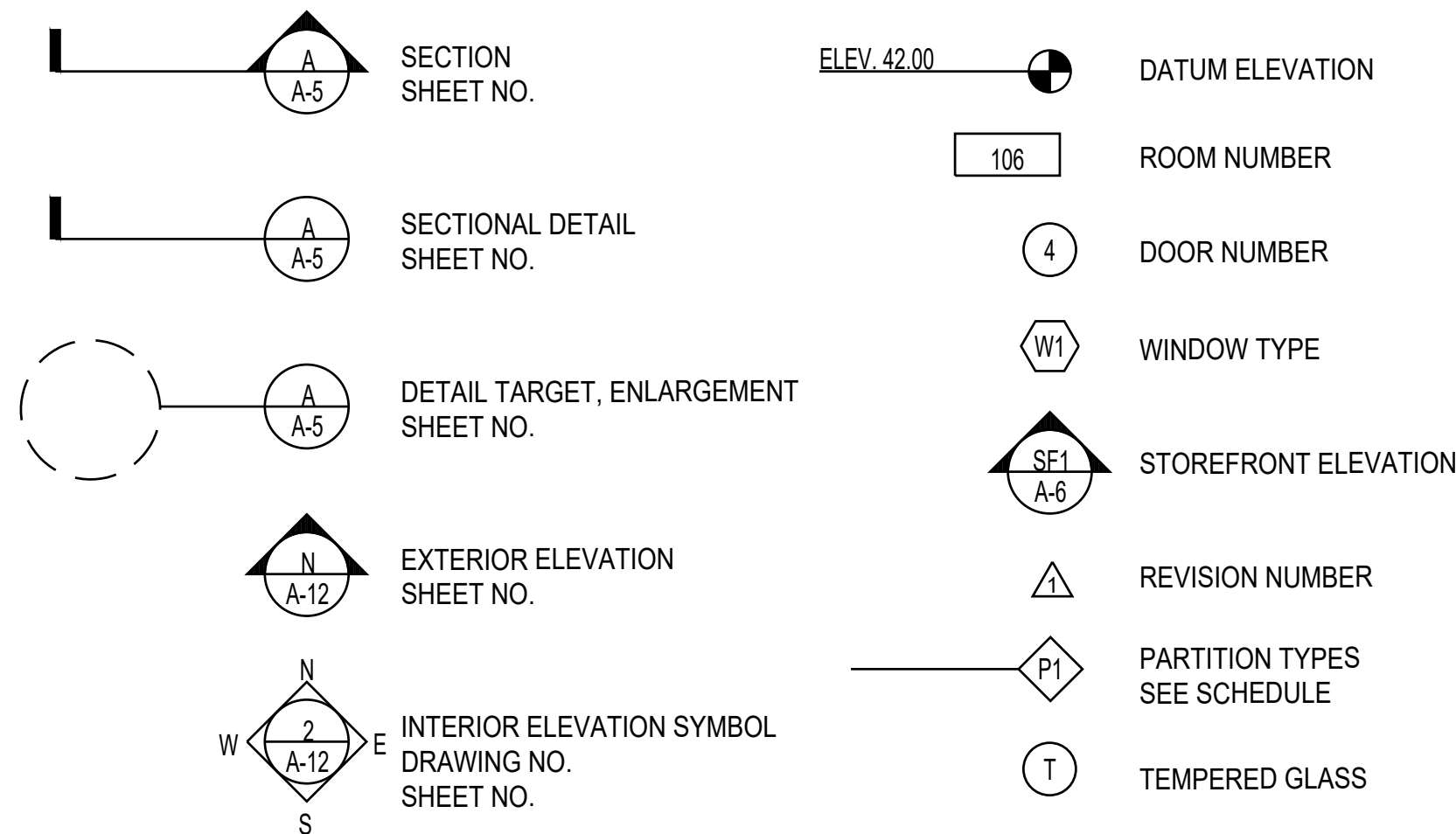
COVER SHEET

Sheet No.

001

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GRAPHIC SYMBOLS



LIST OF DRAWINGS

001	COVER SHEET	S001	STRUCTURAL NOTES
002	SPECIFICATIONS	S100	FOUNDATION PLAN
003	STUCCO SPECIFICATIONS	S101	1ST FLOOR FRAMING
004	DOOR, WINDOW & HARDWARE SCHEDULES	S102	2ND FLOOR FRAMING
		S103	ROOF FRAMING
Z001	BUILDING PERMIT SITE PLAN	S104	GARAGE PANS
EC001	THERMAL ENVELOPE DIAGRAMS	S200	STRUCTURAL DETAILS
EC002	RESCHECK-WEB REPORT	S201	STRUCTURAL DETAILS
EC003	GARAGE THERMAL ENVELOPE DIAGRAMS		
D100	DEMOLITION PLANS	S300	WALL BRACING PLANS
A100	LOWER LEVEL FLOOR PLAN	S301	WALL BRACING DETAILS
A101	FIRST FLOOR PLAN		
A102	SECOND FLOOR PLAN		
A103	ROOF PLAN		
A200	FRONT ELEVATIONS		
A201	RIGHT SIDE ELEVATIONS		
A202	REAR ELEVATIONS		
A203	LEFT SIDE ELEVATIONS		
A300	BUILDING SECTIONS		
A400	TYPICAL EXTERIOR DETAILS		
A401	TYPICAL EXTERIOR DETAILS		
A402	INTERIOR DETAILS		
A500	GARAGE PLANS		
A501	GARAGE ELEVATIONS & SECTIONS		

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 2:59 pm, Jan 09, 2024

CALCULATIONS

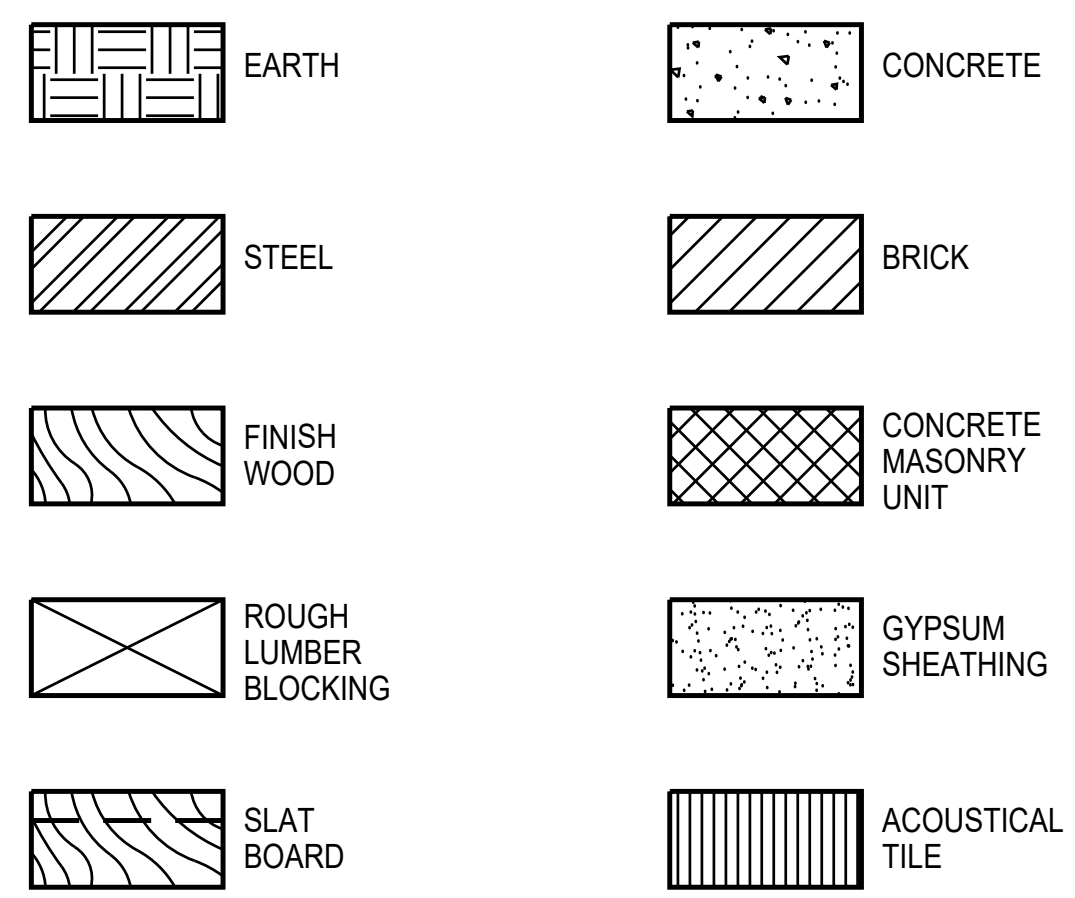
SQUARE FOOTAGE		ZONED: R-90 ZONING DATA	
EXISTING LIVING SPACE		PROVIDED	REQUIRED
LOWER LEVEL		7,500 S.F.	6,000 S.F. MIN.
FINISHED	956 SF	2,369.6 SF	2,625 S.F. (35%) MAX
COVERED AREAWAY	378 SF		25'
(378 SF TO BE CONVERTED TO FINISHED SPACE)		SEE SITE PLAN	5' MIN (BEFORE 1928) 7' MIN. PER CHEVY CHASE VILLAGE REGS
FIRST FLOOR		REAR YARD SETBACK	20' MIN.
FINISHED	1419 SF	LOT FRONTAGE	ADDITION, N/A
FRONT COVERED PORCH	337 SF	BUILDING HEIGHT	30' TO MEAN HEIGHT OF ROOF OR 35' TO HIGHEST POINT OF ANY ROOF
SECOND FLOOR			
FINISHED	1369 SF		
GARAGE			
UNFINISHED	298 SF		
(298 SF TO BE CONVERTED TO FINISHED SPACE)			
TOTAL GSF EXISTING	4,757 SF (50% = 2,378.5 SF)		
PROPOSED ADDITION			
LOWER LEVEL			
FINISHED	327 SF		
FIRST FLOOR			
FINISHED	274 SF		
SIDE COVERED STOOP	42 SF		
SECOND FLOOR			
FINISHED	300 SF		
TOTAL GSF ADDITION	943 SF		
TOTAL GSF	5,700 GSF		
PROPOSED LOT COVERAGE (MONTG. COUNTY)			
MAIN HOUSE:	± 2,072 SF		
GARAGE:	± 298 SF		
TOTAL PROPOSED	± 2,370 SF		

PROPOSED WORK IS NOT INFILL
943 SF ADDITION > 2,378.5 SF

SF OF INTERIO DEMO IS LESS THAN 50% OF EXISTING FLOOR AREA (SEE SPRINKLER DEMO CALCS, SHEET D100)

HOUSE DOES NOT NEED TO BE SPRINKLERED PER ER 31-19 SUBSECTION R313.4

MATERIAL SYMBOLS

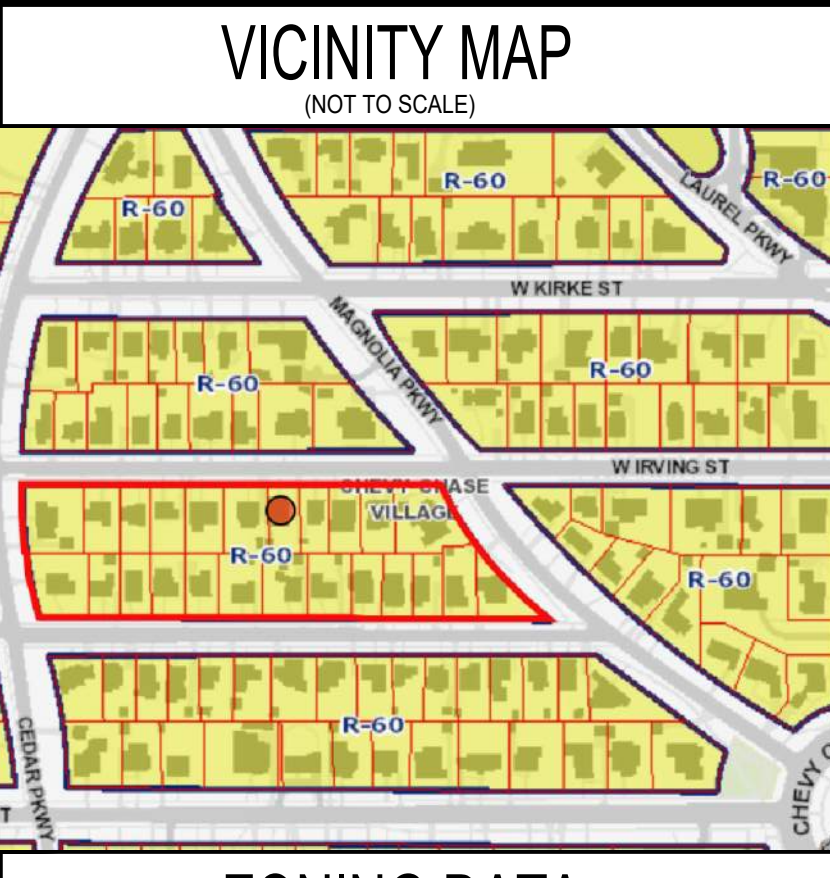
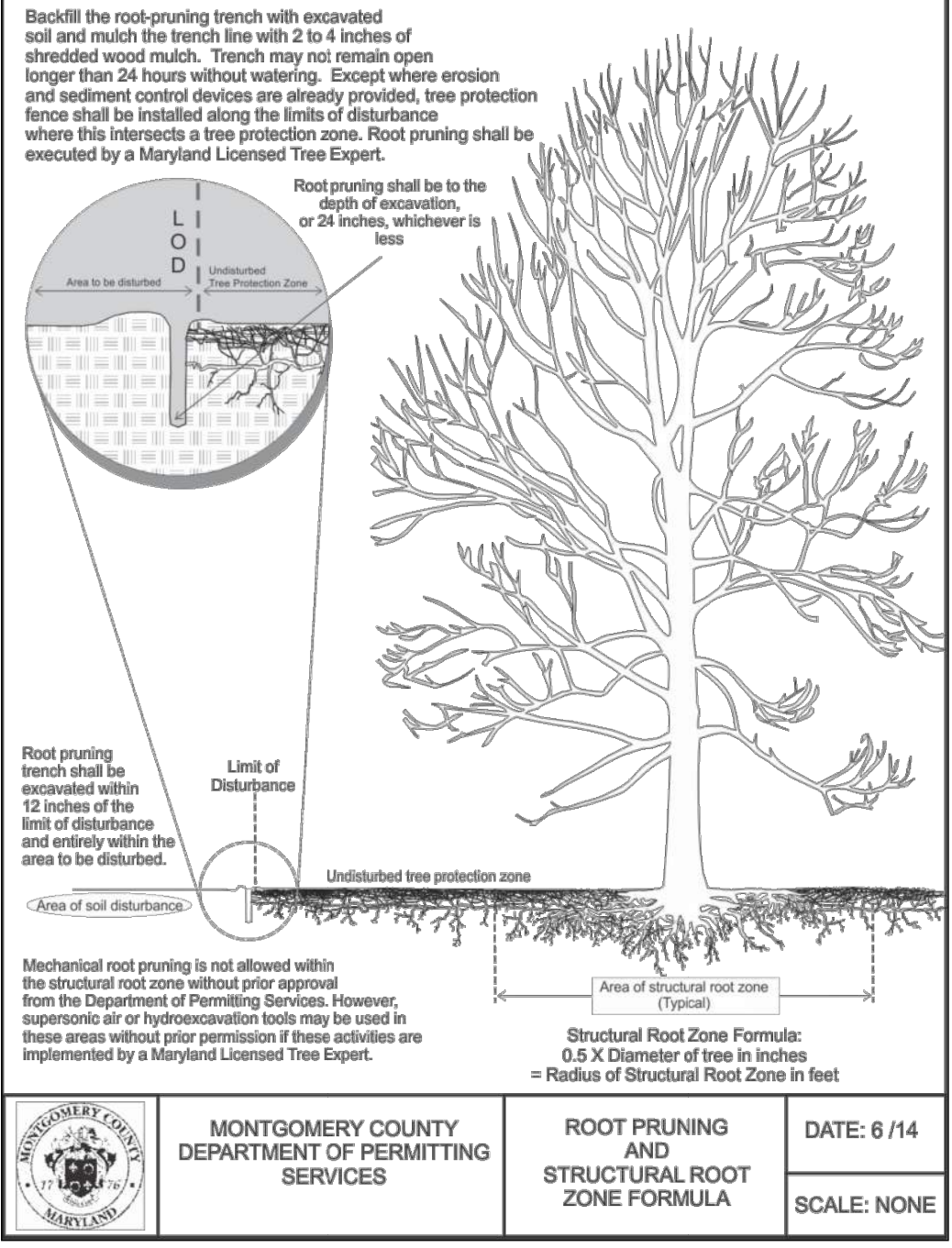
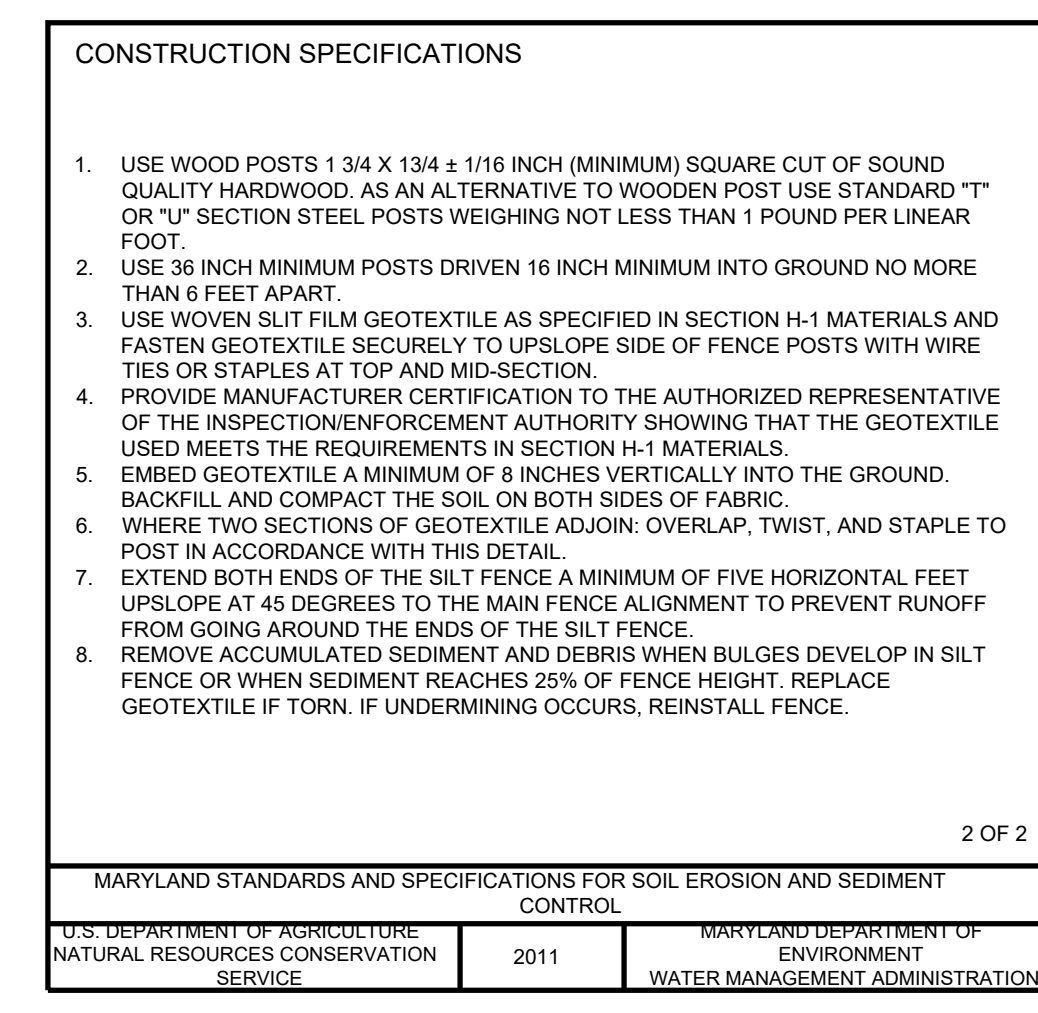
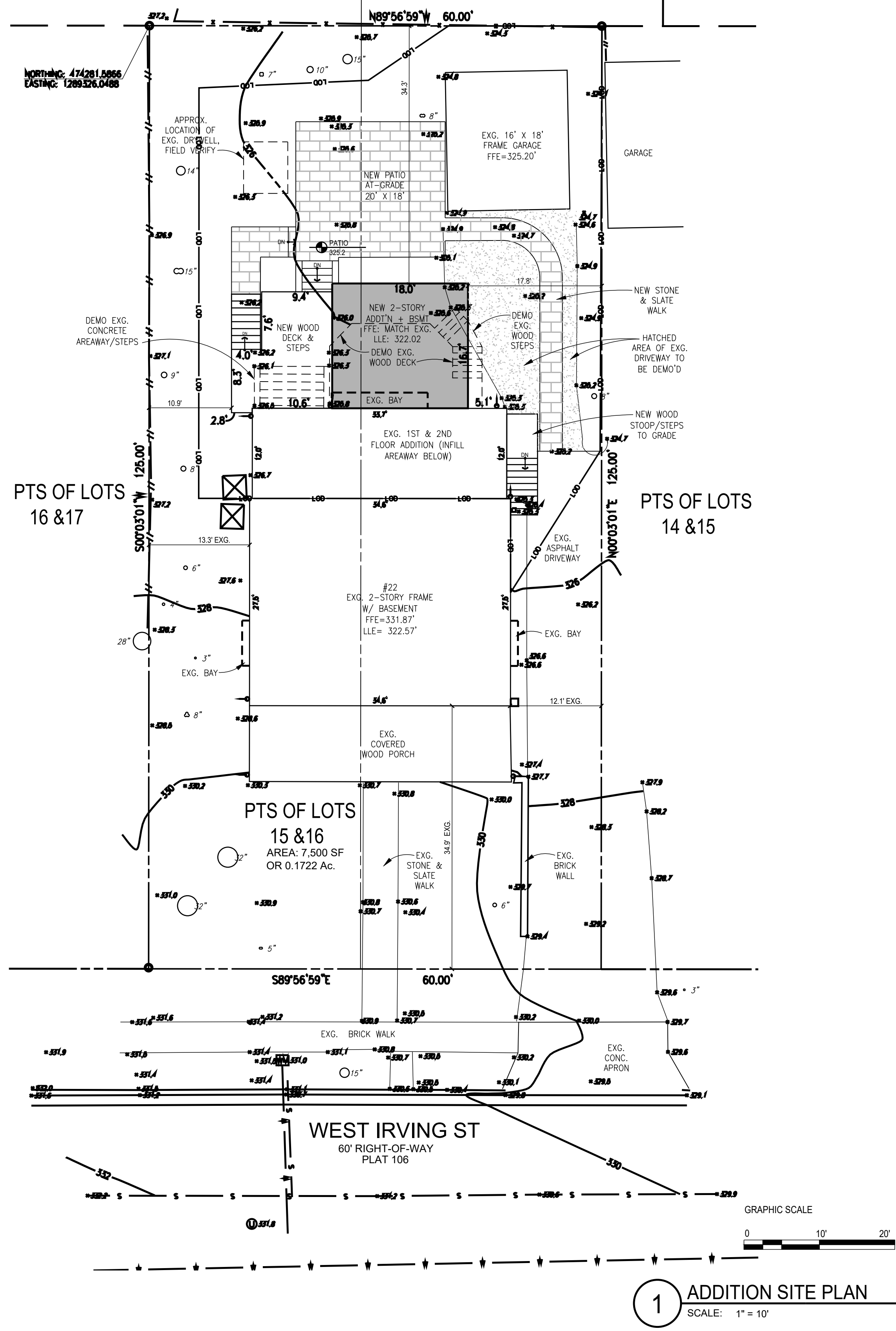
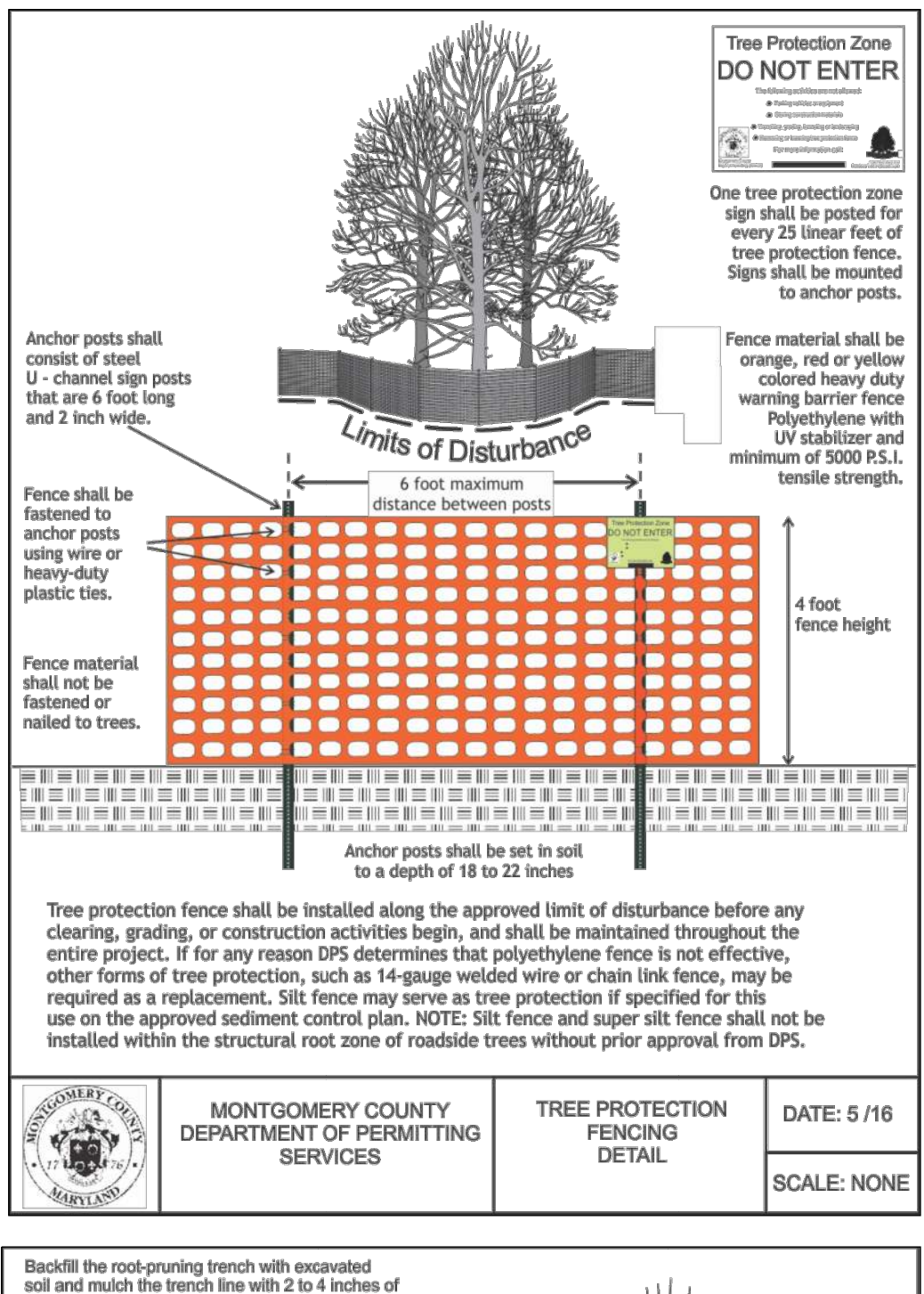
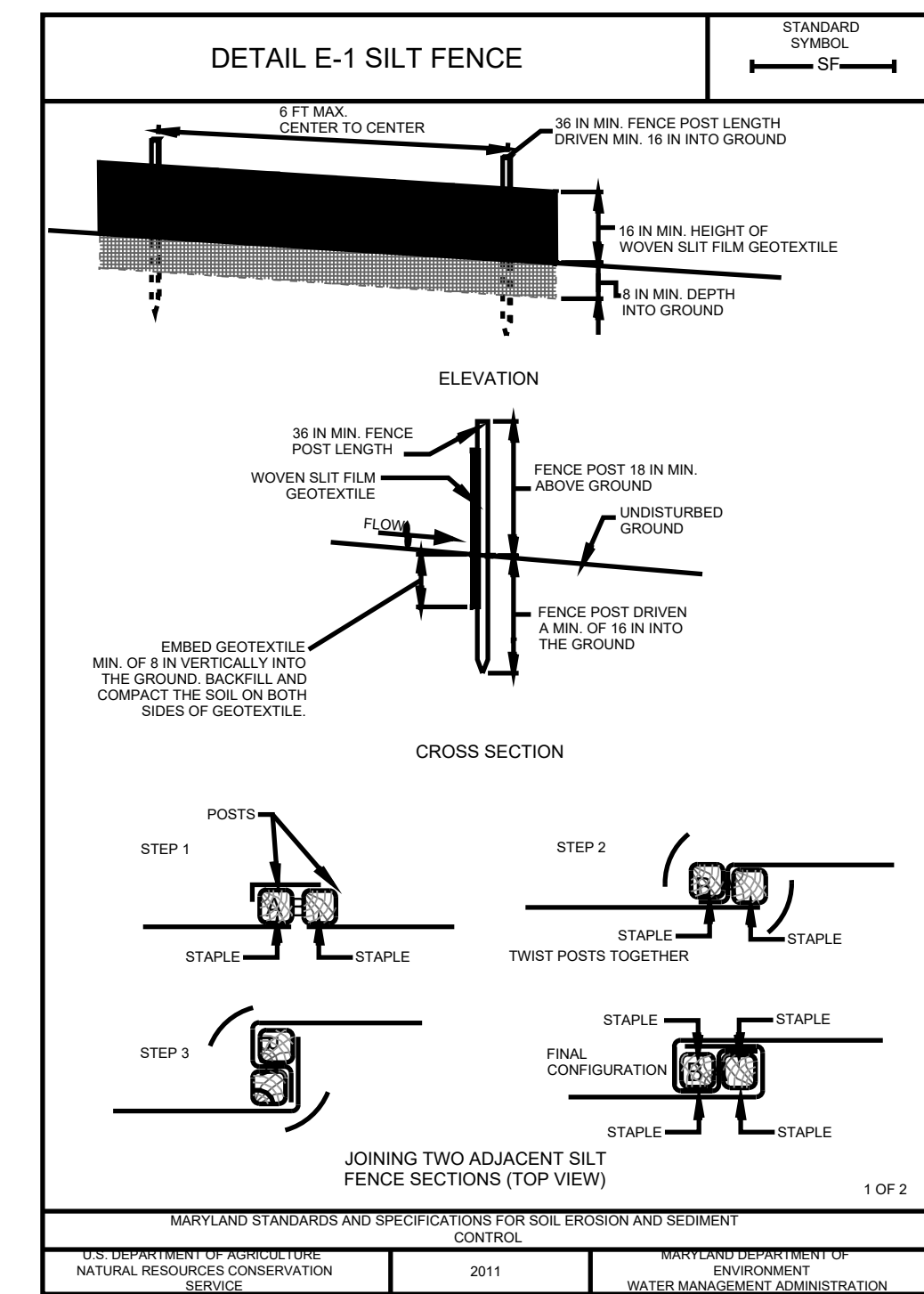


ABBREVIATIONS

ABOVE FINISH FLOOR	AFF	EACH	EA	INTERIOR	INT	PLATE	PL	VERTICAL	VERT
ACOUSTIC	ACST	EAST	E	JEANER	JN	PLUMBING	PLUB	VESTIBLE	VST
ADJUSTABLE	ADJ	ELECTRIC, ELECTRICAL	ELEC	JANITOR'S CLOSET	JCT	PLYWOOD	PLYWD	VINYL COMPOSITE TILE	VCT
AIR CONDITIONING	AIC	ELEVATOR	ELV	JOINT	JT	POLYVINYL CHLORIDE	PVC	VOLTS	V
AIR HANDLING	AH	EMERGENCY POWER	EM	JUNCTION BOX	JB	POUND	PND		
AIR HANDLING UNIT	AHU	EMPTY CONDUIT	EC	LAMINATED	LAM	POUNDS PER SQUARE INCH	PSI	WALLBOARD	WB
ALTERNATE	ALT	ENGINEER	ENGR	LAVATORY	LAV	PREFABRICATED	PREFAB	WELDED WIRE FABRIC	WWF
ALTERNATE CURRENT	ALC	ELECTRIC WATER COOLER	ENC	LEFT HAND	LH	PREFINISHED	PREFIN	WIDTH	WID
ALUMINUM	AL	EXHAUST	EXM	LENGTH	LN	PREFINISHED	PREFIN	WINDOW	WIN
AMPS	AMP	EXISTING	EX	LIBRARY	LIB	PRELIMINARY	PRELIM	WOOD	WO
ANCHOR BOLT	AB	EXPANSION	EXP	LINEAR FEET	LF	QUARRY TILE	QT	WITHOUT	W/O
ARCHITECT	ARCH	EXTERIOR	EXT	LONG LEG HORIZONTAL	LLH	RADIUS	RAD	WOOD	WO
ART	ART	FAHRENHEIT	F	LONG LEG VERTICAL	LLV	REFRIGERATOR	REF	YARD	YD
AVERAGE	AVG	FEET PER MINUTE	FPM	MAINTENANCE	MANT	REINFORCING	REIN		
BEAM	BM	FEET, FOOT	FT	MANUFACTURER	MFR	REQUIRED	REQD		
BOARD	BD	FINISH	FIN	MASONRY	MAS	RETURN AIR	RA		
CABINET	CAB	FIRE EXTINGUISHER CAB.	FEC	MASONRY OPENING	MNO	REVISION	REV		
CATALOG	CAT	FLOOR	FLR	MAXIMUM	MAX	ROOM	RM		
CEILING	CLG	FLUORESCENT	FLC	MECHANICAL	MCH	ROUGH OPENING	ROO		
CENTRIFUGAL	CL	FIRE RATED	FR	MEDIUM	MED	SCHEDULE	SCHD		
CERAMIC TILE	CT	GALVE	GA	MEDIUM	MDM	SECTION	SECT		
CLOSET	CLS	GALLON	GAL	MISCELLANEOUS	MISC	SERVICE BNK	SBK		
COLUMN	COL	GALLONS PER MINUTE	GPM	MOUNTED	MNT	SIMILAR	SM		
COMPANY	CO	GALVANIZED	GALV	MULLION	MUL	SOUND TRANSMISSION	ST		
CONCRETE	CONC	GENERAL CONTRACTOR	GCT	NOT IN CONTRACT	NIC	SQUARE	SQ		
CONCRETE MASONRY UNITS	CMU	GROUNDING FAULT INTERRUPT	GFI	NOT TO SCALE	NTS	STANDARD	STD		
CONFERENCE	CONF	GYPSON	GYP	NUMBER	#	STAINLESS STEEL	SS		
CONTINUOUS	CONT	COORD	COOR	HANDICAPPED	HDCP	STATION	STA		
CONTROL JOINT	CJ	CUBIC FEET	CUF	ON CENTER	OC	STEEL	STL		
COORDINATE	COORD	CUBIC FEET PER MINUTE	CFPM	OPENING	OPNG	STORAGE	STOR		
CORNER	COR	DEPARTMENT	DEPT	OPPOSITE	OPP	STRUCTURAL	STRUCT		
CORNER	COR	DEPTH	DEPT	QUINCE	QZ	SUSPENDED CEILING	SUSP		
CORNER	COR	DIAGONAL	DIA	HOLLOW METAL	HM	OVERHEAD	OH		
CORNER	COR	DIMENSION	DM	HORIZONTAL	HORZ	PAINTED	PAI		
CORNER	COR	DIMENSION	DM	HOUR	HR	PANEL	PAN		
CORNER	COR	DISHWASHER	DW	HORSE POWER	HP	PARTITION	PRTN		
CORNER	COR	DOOR	DR	HOT WATER HEATER	HWH	PERPENDICULAR	PERP		
CORNER	COR	DOWN	DN	HOUR	HR	TO BE SELECTED	TBS		
CORNER	COR	DRAWING	DWG	INSIDE DIAMETER	ID	TONGUE & GROOVE	T&G		
CORNER	COR	DRAWING	DWG	INSULATION	INSUL	TYPICAL	TYP		

PROJECT INFORMATION

CLIENT KATIE & ANDREW HERMAN 22 WEST IRVING ST CHEVY CHASE, MD 20815 HERMAN.KATIE@GMAIL.COM	STRUCTURAL ENGINEER RADWAN ASSOCIATES INC CONTACT: GUS RADWAN, P.E. 8609 WESTWOOD CENTER DR., SUITE 110 VIENNA, VA 22162 (703) 709-8435 radwaninc@aol.com	GENERAL CONTRACTOR CABIN JOHN BUILDERS CONTACT: JOSH ROSENTHAL 6410 82ND PLACE CABIN JOHN, MD 20818 301-637-3566
ARCHITECT GTM ARCHITECTS CONTACT: LUKE OLSON 7735 OLD GEORGETOWN ROAD BETHESDA, MD 20814 (240) 333-2021 loison@gtmarchitects.com	CIVIL ENGINEER CHARLES P. JOHNSON & ASSOCIATES CONTACT: RICH INGRAM 1751 ELTON ROAD SILVER SPRING, MD 20903 (301) 434-7000 rningram@cpga.com	
PLANS PREPARED BASED ON THE FOLLOWING CODES: INTERNATIONAL RESIDENTIAL CODE 2018 MONTGOMERY COUNTY EXECUTIVE REGULATION 8-12 INTERNATIONAL ENERGY CONSERVATION CODE 2018 INTERNATIONAL EXISTING BUILDING CODE 2018 MARYLAND BUILDING REHABILITATION CODE COMAR 05.16.01		



ZONING DATA

22 WEST IRVING STREET CHEVY CHASE, MD 20815
PTS OF LOTS 15 & 16 BLOCK 29 LOT AREA: 7,500 SF
SECTION 2 CHEVY CHASE PLAT 106
LOT RECORDED SEPT 9, 1909
ZONED: R-60

MAIN STRUCTURE SETBACKS:
FRONT YARD SETBACK 25 B.R.L.
SIDE YARD SETBACK 7' EA. SIDE
REAR YARD SETBACK 20' MIN.
LOT COVERAGE: 2,369.6 SF MONTG. COUNTY
2,616.8 SF CHEVY CHASE VILLAGE
2,625 SF (35% MAX)

CALCULATIONS

TOTAL SF OF DISTURBED LAND AREA = 3,164 SF

PROJECT IS EXEMPT FROM STORMWATER MANAGEMENT REQUIREMENTS AS IT DISTURBS LESS THAN 5,000 SF OF LAND AREA PER SECTION 19-31 OF THE MONTGOMERY COUNTY CODE

TOTAL SF INCREASE IN LOT COVERAGE = 356.3 SF
TOTAL SF INCREASE IN ROOF AREA = 320.6 SF
TOTAL CUBIC YARDS OF EARTH MOVEMENT = 72.8 CUBIC YARDS

NO DRAINAGE PLAN IS REQUIRED AS THE ADDITION DOES NOT INCREASE THE BUILDING LOT COVERAGE BY MORE THAN 400 SQUARE FEET AND DOES NOT INVOLVE MORE THAN 100 CUBIC YARDS OF EARTH MOVEMENT PER SECTION 8-29B OF THE MONTGOMERY COUNTY CODE.

LEGEND

⊙	UTILITY MANHOLE
○	ROOF DRAIN SPOUT
□	ELECTRIC METER
■	WATER METER
□	GAS METER
— s —	GREEN UTILITY MARKING
— w —	BLUE UTILITY MARKING
— // —	WOOD FENCE
— x —	CHAIN LINK FENCE
⊠	AIR CONDITIONER UNIT
⊠	REBAR FOUND
⊠	REBAR AND CAP FOUND
⊠	IRON PIPE FOUND
○	SINGLE TREE WITH SIZE
○	TWIN TREE WITH SIZE
○	TRIPLE TREE WITH SIZE
○	QUADRUPLE TREE WITH SIZE
— — —	LIMIT OF DISTURBANCE

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(240)333-2001 FAX
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Seal
I certify that these documents were prepared by me or under my direct supervision and that I am a duly licensed architect under the laws of the State of Maryland, license number 8385. Expiration Date: 12-31-2024.

Consultant

Project
HERMAN RESIDENCE

22 WEST IRVING ST, CHEVY CHASE, MD 20815

Owner

Developer

PERMIT SET 01/08/2024

Issue Description	Date
GTM Project No.	22.0436
Checked By	GTM
Drawn By	LEO/TJK
Scale	AS NOTED
Sheet Title	BUILDING PERMIT SITE PLAN
Sheet No.	Z001

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APPROVED
Montgomery County
Historic Preservation Commission

Robert A. ...

REVIEWED
By Dan.Bruechert at 3:13 pm, Jan 09, 2024

5

4

3

2

1

D

C

B

A

STUCCO FINISH

Part 1 - General

1.1 Summary

- A. This Section includes the following:
 - Exterior Portland cement plasterwork (stucco) on metal lath.
- B. See Sections "Wood and Carpentry" on Specifications Sheet (SP) and section 3.1.A this sheet for additional structural requirements for wood framing and wood sheathing.

1.2 Quality Assurance

- A. Samples: For each type of finish coat indicated; 12 by 12 inches, and prepared on rigid backing. Obtain Architect and Owner approval prior to actual installation.
- B. Mockups: Before plastering, install mockups of at least 100 sq ft in surface area to demonstrate aesthetic effects and set quality standards for materials and execution.
 - Install mockups for each type of finish indicated.
 - Approved mockups may become part of the completed work if undisturbed at time of Substantial Completion.

1.3 Project Conditions

- A. Comply with ASTM C 926 requirements.
- B. Exterior Plasterwork: Apply plaster when ambient temperature is between 50° and 80° F.
- C. Apply stucco on south-facing walls only on overcast days.

Part 2 - Products

2.1 Metal Lath

- A. Expanded-Metal Lath: ASTM C 847 with ASTM A 653/A 653M, g60 (z180), hot-dip galvanized zinc coating.
- Diamond-Mesh Lath: Self-furring, 3.4 lbs/sq yd

2.2 Accessories

- A. General: Comply with ASTM C 1063 and coordinate depth of trim and accessories with thicknesses and number of plaster coats required.
- B. Zinc and Zinc-coated (Galvanized) Accessories:
 - Foundation Weep Scream: Fabricated from hot-dip galvanized steel sheet, ASTM A 653/A 653M, G60 zinc coating.
 - Comerite: Fabricated from metal lath with ASTM A 653/A 653M, g60, hot-dip galvanized zinc coating.
 - External-Corner Reinforcement: Fabricated from metal lath with ASTM A 653/A 653M, G60, hot-dip galvanized zinc coating.
 - Comerbeads: Fabricated from zinc or galvanized steel.
 - a. Small-nose style; use unless otherwise indicated.
 - Casing Beads: Fabricated from zinc or galvanized steel; square-edged style, with expanded flanges.
 - Control Joints: Fabricated from zinc or galvanized steel, one-piece type, folded pair of unperforated screeds in M-shaped configuration, with perforated flanges and removable protective tape on plaster face of control joint.
 - Expansion Joints: Fabricated with zinc or galvanized steel; folded pair of unperforated screeds in M-shaped configuration, with expanded flanges.
 - Two-piece Expansion Joints: Fabricated from zinc or galvanized steel; formed to produce slip-joint and square-edged reveal that is adjustable from 1/8" to 3/8" wide; with perforated flanges.

2.3 Miscellaneous Materials

- A. Water for Mixing: Potable and free of substances capable of affecting plaster set or of damaging plaster, lath, or accessories.
- B. Fiber for Base Coat: alkaline-resistant glass or polypropylene fibers, 3/8" long, free of contaminants, manufactured for use in Portland cement plaster.
- C. Bonding Compound: ASTM C 932.
- D. Fasteners for attaching Metal lath to Substrates: Complying with ASTM C 1063.
- E. Isolation Barrier at Exterior Walls: Tyvek StuccoWrap, as manufactured by Dupont.

2.4 Plaster Materials

- A. Portland Cement: ASTM C 150, Type I or II
 - Color for Finish Coats: White or Gray as required to match color sample.
- B. Colorants for Job-Mixed Finish Coats: Colorfast mineral pigments that produce finish plaster color to match Architect's sample.
- C. Lime: ASTM C 206, Type S; or ASTM C 207, Type S.
- D. Sand Aggregate: ASTM C 897.
 - Color for Job-Mixed Finish Coats: Color to produce sample to match Architect's sample.
- E. Ready-Mixed Finish-Coat Plaster: Mill-mixed Portland cement, aggregates, coloring agents, and proprietary ingredients.
 - Products:
 - a. California Stucco Products Corp., Conventional Portland Cement Stucco.
 - b. ChemRev, Thoro Stucco.
 - c. Florida Stucco Corp.
 - d. Highland Stucco and Lime Products, Inc.
 - e. United States Gypsum Co.; Oriental Exterior Finish Stucco.
 - Color: To match existing stucco.

2.5 Plaster Mixes

- A. General: Comply with ASTM C 926 for applications indicated.
 - Fiber Content: Add fiber to base-coat mixes after ingredients have mixed at least two minutes. Comply with fiber manufacturer's written instructions for fiber quantities in mixes, but do not exceed 1 lb of fiber/cu ft of cementitious materials. Reduce aggregate quantities accordingly to maintain workability.
- B. Portland Cement Base Coat Mixes:
 - Over Metal Lath: Scratch and brown coats for three-coat plasterwork as follows:
 - a. Scratch Coat: For cementitious material, mix 1 part Portland cement and 3/4 parts lime. Use 2-1/2 to 4 parts aggregate per part of cementitious material (sum of separate volumes of each component material).
 - b. Brown Coat: For cementitious material, mix 1 part Portland cement and 3/4 parts lime. Use 3 to 5 parts aggregate per part of cementitious material (sum of separate volumes of each component material).
 - Over Brick and Monolithic Concrete:
 - a. For cementitious material, mix 1 part Portland cement and 0 to 3/4 parts lime. Use 2-1/2 to 4 parts aggregate per part of cementitious material (sum of separate volumes of each component material).
- C. Portland Cement Job-Mixed Finish-Coat Mixes: For cementitious materials, mix 1 part Portland cement and 1-1/2 parts lime, use 1-1/2 to 3 parts aggregate per part of cementitious material (sum of separate volumes of each component material).
- D. Factory-Prepared Finish-Coat Mixes: For ready-mixed finish-coat plasters acrylic-based finish coatings, comply with manufacturer's written instructions.

PART 3 - EXECUTION

3.1 Preparation

- A. Verify that all sheathing is plywood or OSB, and that all joints are backed by blocking and nailed or screwed to the blocking.
- A. Protect adjacent work from soiling, spattering, moisture deterioration, and other harmful effects caused by plastering.
- B. Prepare solid-plaster bases that are smooth or that do not have the suction capability required to bond with plaster according to ASTM C 926.

3.2 Installing Metal Lath

- A. Expanded-Metal lath: Install according to ASTM C 1063.

3.3 Installing Accessories

- A. Install according to ASTM C 1063 and at locations indicated on drawings.
- B. Reinforcement for External Corners:
 - Install lath-type inside corner reinforcement at exterior locations.
 - Install comerbead at outside corner locations.
- C. Control Joints: Install control joints in specific locations approved by Architect for visual effect as follows:
 - As required to delineate plasterwork into areas (panels) of the following maximum sizes:
 - a. Vertical Surfaces: 144 sq ft
 - b. Horizontal and other Non-Vertical Surfaces: 100 sq ft
 - All distances between control joints of not greater than 18 feet O.C.
 - As required to delineate plasterwork into areas (panels) with length-to-width ratios of not greater than 2-1/2:1.
 - Where control joints occur in surface of construction directly behind plaster.
 - Where plasterwork areas change dimensions, to delineate rectangular-shaped areas (panels) and to relieve the stress that occurs at the corner formed by the dimension change.
 - Above and below band board in multi-floor buildings.
 - As indicated on drawings.

3.4 Plaster Application

- A. General: Comply with ASTM C 926.
- B. Bonding Compound: Apply on unit masonry and concrete plaster bases.
- C. Plaster Finish Coats: Apply to provide float, dash, scraped trowel-textured, skip trowel-textured, brocade (knock-down dash), trowel sweep, combed, sacked (California mission), or other finish selected by the Architect.
- D. Acrylic-Based Finish Coatings: Apply coating system, including primers, finish coats, and sealing topcoats, according to manufacturer's written instructions.

3.5 Cutting and Patching

- A. Cut, patch, replace, and repair as necessary to accommodate other work and to restore cracks, dents, and imperfections. Repair or replace work to eliminate blisters, buckles, crazing (check cracking), dry outs, efflorescence, sweat outs, and similar defects and where bond to substrate has failed.

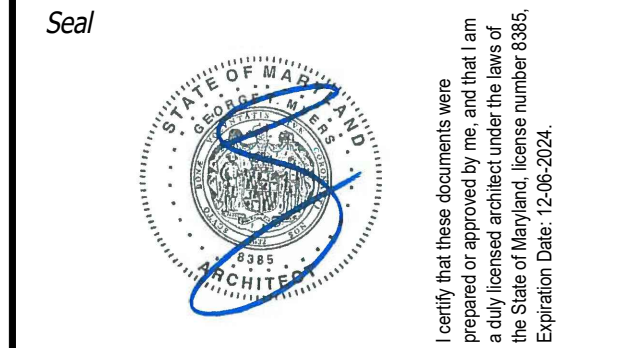
APPROVED
 Montgomery County
 Historic Preservation Commission



REVIEWED
 By Dan.Bruechert at 2:59 pm, Jan 09, 2024

G T M ARCHITECTS

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Project
HERMAN RESIDENCE

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Owner

Developer

PERMIT SET 01/08/2024

Issue Description	Date

GTM Project No. 22_0436

Checked By GTM

Drawn By LEO/TJK

Scale AS NOTED

Sheet Title

STUCCO SPECIFICATIONS

Sheet No. 003

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DOOR SCHEDULE										
* INTERIOR DOOR HEIGHTS ARE NOMINAL. UNDERSIDE OF DOOR FRAME SHOULD ALIGN WITH UNDERSIDE OF TYPICAL CASED OPENING ON THAT FLOOR										
* BASED ON JELDWEN SERIES ALUMINUM CLAD WOOD PATIO DOORS & TRUSTILE INTERIOR DOORS; CONFIRM MANUFAC. & STYLE W/ OWNER										
NO.	SIZE	MATERIAL	MANUF.	MAT.	FIN.	FRAME			REMARKS	
						HEAD	JAMB	SILL		
LOWER LEVEL										
1	3 ⁰ x 6 ¹⁰ x 1 3/4"	SOLID CORE	TBD						H-4	
2	2 ⁴ x 7 ⁰ x 1 3/4"	SOLID CORE	TBD						H-4	
3	1-PAIR 3 ⁰ x 7 ⁰ x 1 3/4"	CLAD-WOOD & GLASS	JELDWEN						H-2	INSWING PATIO
4	1-PAIR 3 ⁰ x 7 ⁰ x 1 3/4"	CLAD-WOOD & GLASS	JELDWEN						H-2	
FIRST FLOOR										
5	3 ⁰ x 8 ⁰ x 1 3/4"	CLAD-WOOD & GLASS	JELDWEN						H-1	INSWING PATIO
6	1-PAIR 2 ⁶ x 8 ⁰ x 1 3/4"	SOLID CORE	TBD						H-5	
7	3 ⁰ x 8 ⁰ x 1 3/4"	CLAD-WOOD & GLASS	JELDWEN						H-2	OUTSWING PATIO
8	3 ⁰ x 8 ⁰ x 1 3/4"	CLAD-WOOD & GLASS	JELDWEN						H-2	OUTSWING PATIO
8A	SCREEN DOOR V.I.F.	WOOD/SCREEN	TW. PERRY OR EQ						-	
SECOND FLOOR										
9	3 ⁰ x 7 ⁰ x 1 3/4"	SOLID CORE	TBD						H-6	POCKET DOOR
10	2 ⁴ x 7 ⁰ x 1 3/4"	SOLID CORE	TBD						H-6	POCKET DOOR
11	2 ⁶ x 7 ⁰ x 1 3/4"	SOLID CORE	TBD						H-6	POCKET DOOR
12	2 ⁰ x 7 ⁰ x 1 3/4"	TEMPERED GLASS	TBD						-	TEMPERED, SHOWER DOOR
13	2 ⁴ x 7 ⁰ x 1 3/4"	SOLID CORE	TBD						H-3	
14	1-PAIR 2 ⁶ x 7 ⁰ x 1 3/4"	SOLID CORE	TBD						H-6	

-SEE A500 FOR DOORS @ DETACHED GARAGE

WINDOW SCHEDULE

* BASED ON JELDWEN SITELINE CLAD-WOOD WINDOWS; CONFIRM W/ OWNER
* CONTACT WINDOW INSTALLER FOR ROUGH OPENING DIMENSIONS

#	TYPE	NO.	MANUFACTURER	CAT. NO.	FRAME SIZE	GLASS	REMARKS
001	DOUBLE HUNG	2	JELDWEN	SCD3552	35 3/8" X 52"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN, EGRESS
002	DOUBLE HUNG	2	JELDWEN	SCD3552	33 3/8" X 52"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN, EGRESS
003	DOUBLE HUNG	1	JELDWEN	SCD4552	45 3/8" X 52"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN
004	CASEMENT	1	JELDWEN	SCC2828-2	56" X 28"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN
100	CASEMENT	1	JELDWEN	SCC2442	24" X 42"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN
101	DOUBLE HUNG	8	JELDWEN	SCC3572	35 3/8" X 72"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN
200	DOUBLE HUNG	4	JELDWEN	SCD3160	31 3/8" X 60"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN
201	DOUBLE HUNG	2	JELDWEN	SCD3360	33 3/8" X 60"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN
202	DOUBLE HUNG	1	JELDWEN	SCD4560	45 3/8" X 60"	DOUBLE-PANE Low-E	SEE ELEVS. FOR GRILLE PATTERN, EGRESS

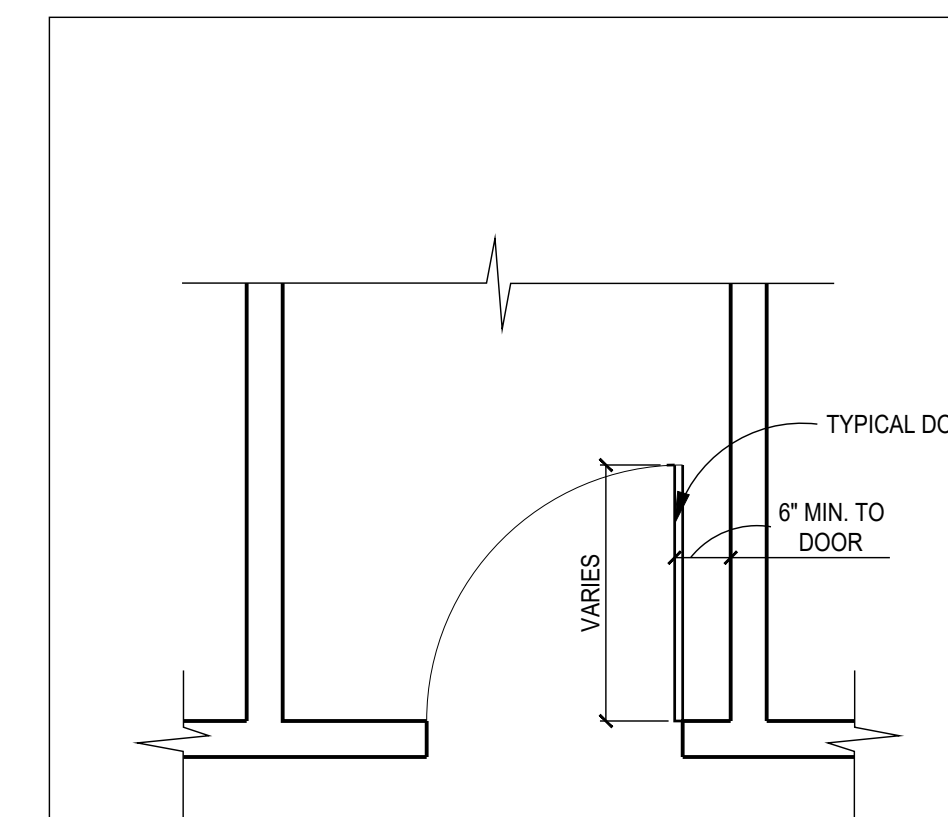
GENERAL WINDOW NOTES:

- ALL WINDOWS TO HAVE SCREENS (CONFIRM SCREEN FRAME COLOR W/ OWNER).
- ALL WINDOWS TO BE ALUMINUM CLAD WOOD EXTERIOR, PRE-PRIMED WOOD INTERIOR.
- CONFIRM HARDWARE FINISH W/ OWNER PRIOR TO ORDER.
- ALL GLAZING TO BE DOUBLE PANED, LOW E, CLEAR INSULATED.
- CONFIRM OVERALL WINDOW SCHEDULE W/ ARCHITECT PRIOR TO ORDER.
- ALL WINDOWS & GLASS DOORS TO BE SIMULATED DIVIDED LITE, 7/8" MUNTIN. SEE ELEVATIONS FOR MUNTIN CONFIGURATIONS.
- CONFIRM JAMB LINER COLOR W/ OWNER.
- PROVIDE EGRESS HARDWARE IN EGRESS WINDOWS AS REQUIRED.
- SEE ELEVATIONS FOR TYPICAL HEAD HEIGHTS ABOVE SUBFLOOR.
- PROVIDE SAFETY GLASS AT ENTRIES, STAIRS, OVER BATHTUBS & ELSEWHERE AS REQUIRED BY CODE.
- IN ACCORDANCE WITH IRC 2018, ALL WINDOWS HAVING AN OPENING LESS THAN 24" ABOVE THE FLOOR AND THAT ARE LOCATED SUCH THAT THE DIMENSION FROM THE BOTTOM OF THE OPENING TO THE EXTERIOR SURFACE BELOW EXCEEDS 72". SHALL EITHER HAVE A STOP TO LIMIT THE OPENING TO LESS THAN 4" OR SHALL HAVE GUARDS INSTALLED THAT WOULD PREVENT THE PASSAGE OF A 4" SPHERE. IN THE CASE OF AN EGRESS WINDOW, THE GUARD MUST BE REMOVABLE WITHOUT SPECIAL KNOWLEDGE OR TOOLS. GUARD SHALL BE EQUAL TO THOSE MANUFACTURED BY THE GUARDIAN ANGEL CO.
- CONTRACTOR TO CONFIRM ALL ROUGH OPENING DIMENSIONS W/ WINDOW MANUFAC. PRIOR TO FRAMING.
- GANGED WINDOWS SHALL HAVE (2) 2x SPACERS BETWEEN, UNLESS SHOWN OTHERWISE.

HARDWARE SCHEDULE

(CONFIRM W/ OWNER PRIOR TO ORDERING)

NOTE: ALL HARDWARE TO BE SCHLAGE F-SERIES OR APPROVED EQUAL. (EXCEPT PATIO DOORS, WHICH ARE TO HAVE STANDARD HARDWARE BY DOOR MANUF.)	
H-1	SINGLE CYLINDER ENTRANCE LOCK, DEADBOLT, KEYED ONE SIDE & THUMB LATCH ON OTHER- BY BALDWIN OR EQ.
H-2	STANDARD LOCKSET BY DOOR MANUF.; FINISH PER OWNER
H-3	BATH/BEDROOM PRIVACY LOCK
H-4	PASSAGE SET
H-5	BALL CATCHES & DUMMY KNOBS
H-6	POCKET DOOR HARDWARE



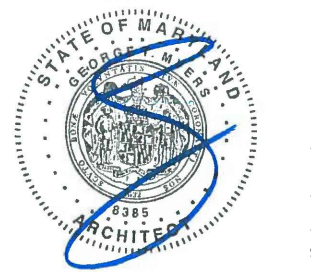
1 STANDARD DOOR LOCATION
SCALE: 1/2"=1'-0"

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Developer

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Issue Description Date

GTM Project No. 22.0436

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Scale AS NOTED

Sheet Title

DOOR, WINDOW
& HARDWARE
SCHEDULES

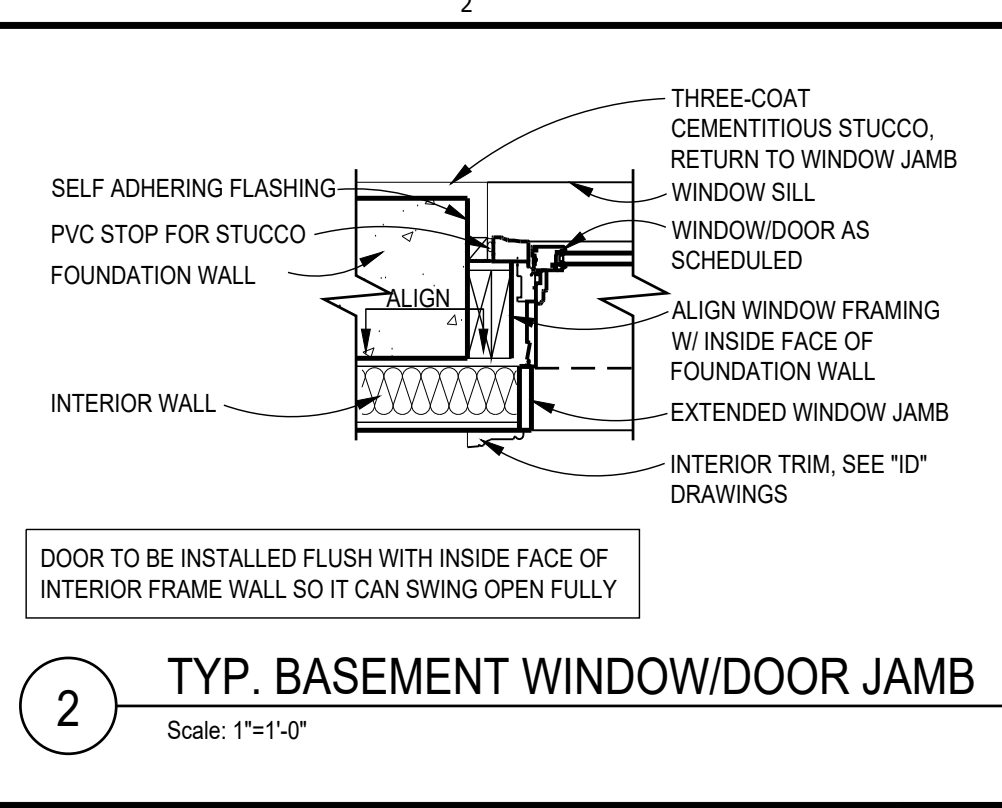
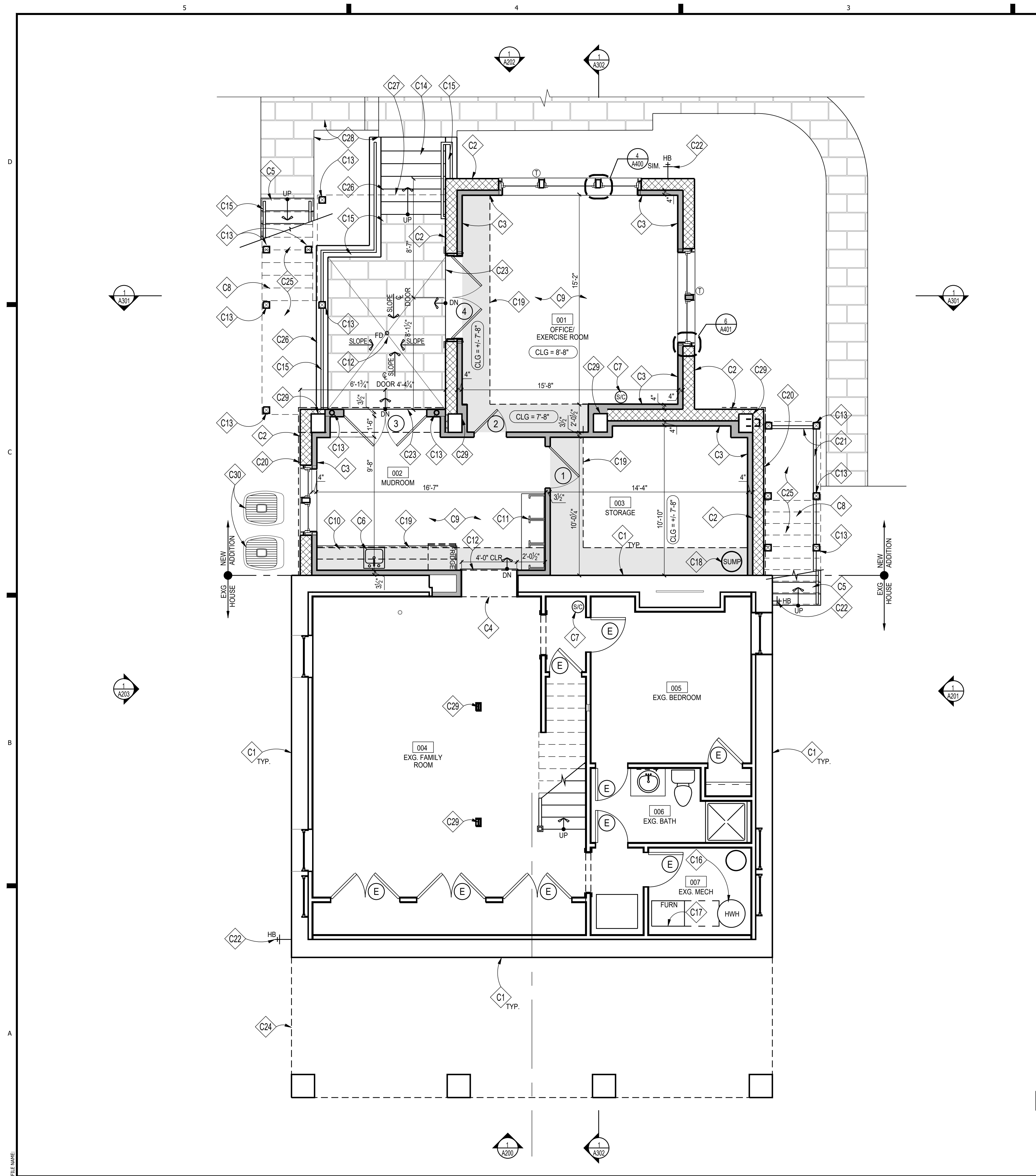
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1 LOWER LEVEL FLOOR PLAN
SCALE: 1/4"=1'-0"

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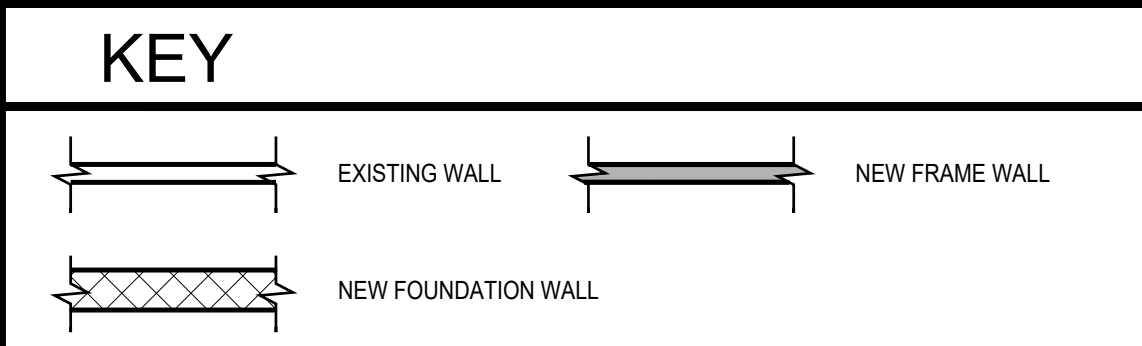
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REVIEWED
By Dan.Bruechert at 2:59 pm, Jan 09, 2024

CONSTRUCTION NOTES

- C1 EXISTING FOUNDATION WALLS TO REMAIN. SEE FOUNDATION PLAN
- C2 CMU FOUNDATION WALL. SEE FOUNDATION PLAN
- C3 FURR OUT WALLS W/ FULL 2x4s W/ R-13 BATT INSULATION. TYP. PROVIDE P/T SILL. HOLD 1/2" OFF OF CONC. / MASONRY WALL
- C4 CASED OPENING; 7'-0" A.F.F. SEE DETAIL 13/A402
- C5 STAIRCASE & RAILING; PTD. PVC RISERS & PTD. COMPOSITE TREADS TO MATCH DECKING T.B.S. SEE DETAIL 5/A401. FOLLOW IRC 2018 R311.7; PTD. COMPOSITE RAILING SYSTEM T.B.S.
- C6 PLUMBING FIXTURES, T.B.S. BY OWNER
- C7 CONFIRM EXISTING/PROVIDE NEW HARDWIRED SMOKE/CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP PER IRC 2018
- C8 DASHED LINE OF STEPS ABOVE
- C9 REINF. CONC. SLAB ON GRADE; SEE FOUNDATION PLANS; FLOOR FINISH T.B.S. BY OWNER
- C10 CABINETS & COUNTERTOPS, T.B.S. FINAL LAYOUT TO BE DETERMINED BY KITCHEN DESIGNER & APPROVED BY OWNER. INCLUDE PANTRY AREA
- C11 BUILT-INS T.B.S.
- C12 AREAWAY DRAIN. CONNECT TO FOUNDATION DRAINAGE SYSTEM
- C13 AZEK TRIM OVER STRUCTURAL POSTS. SEE FRAMING PLANS
- C14 FLAGSTONE STEPS/STUCCO RISERS TO GRADE. VERIFY RISE & RUN IN FIELD. SEE DETAIL 11/A401, TYP. & FOLLOW IRC 2018 R311.7
- C15 PTD. 36" HANDRAIL/GUARDRAIL PER IRC 2018, T.B.S.; SEE ELEVATIONS & DETAIL 12/A401
- C16 EXG. HOT WATER HEATER TO REMAIN
- C17 EXG. HVAC TO REMAIN
- C18 SUMP PUMP WITH BATTERY POWERED BACKUP. PROVIDE RADON MITIGATION PIPE VENT PER IRC 2018. RUN TO ROOF LOCATION T.B.D. SEE SPECIFICATION SHEET FOR DETAILS
- C19 SHADED AREA INDICATES BULKHEAD FOR MECH. DUCTWORK ABOVE. EXG. TO REMAIN. GC TO EVALUATE AND PROVIDE NEW DUCTWORK FOR ADDITION AS ABLE
- C20 ALIGN NEW FOUNDATION WALLS WITH OUTSIDE FACE OF EXG. FRAME WALL ABOVE. FIELD VERIFY
- C21 PVC LATTICE SCREEN PANEL, PTD. SEE 5/A401
- C22 FROST-PROOF HOSE BIB. CONFIRM FINAL LOCATION(S) WITH OWNERS
- C23 SLOPED STONE THRESHOLD
- C24 OUTLINE OF PORCH ABOVE
- C25 4" WASH GRAVEL OVER LANDSCAPE FABRIC
- C26 SLOPED STONE CAP T.B.S. ON PARTIAL HT. WALL
- C27 OUTLINE OF DECK ABOVE
- C28 STONE WALKWAY BY OTHERS. SEE LANDSCAPE PLAN
- C29 EXISTING STRUCTURAL POST, F.V.
- C30 EXG. CONDENSER UNIT TO REMAIN

NOTE:
 1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING
 2. VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD
 3. FILL CAVITIES W/ MINERAL WOOL SOUND INSULATION IN WALLS, CEILING, + FLOOR OF THE FOLLOWING ROOMS (U.N.O.):
 001 OFFICE/EXERCISE ROOM
 4. SEE DETAILS 9 & 10/A400 FOR EFFICIENT FRAMING DETAILS.
 5. (T) = TEMPERED GLASS (E) = TEMPERED GLASS



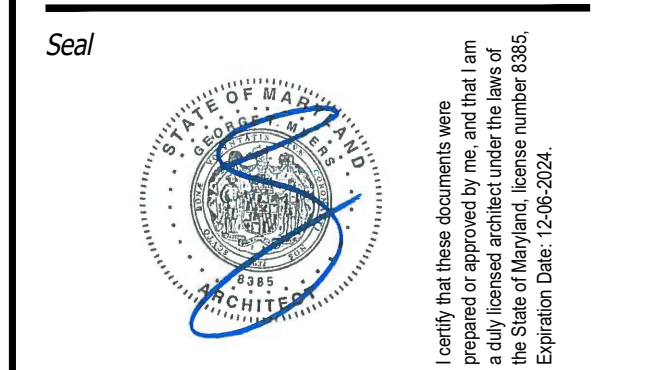
WALL TYPES

TYPICAL NEW EXTERIOR WALL; 10" CMU WALL (W/ WATERPROOFING, DRAINAGE BD & 3-COAT CEMENTITIOUS STUCCO; SEE FOUNDATION PLAN, SHEET S100; FUR WHERE SHOWN WITH 2x4 STUDS @ 16" O.C. (SEE "ENERGY CONSERVATION (TE001), SHEET "EC001" FOR INSULATION INFORMATION)

TYPICAL NON-BEARING INTERIOR PARTITION; U.N.O. 2x4 WOOD STUDS 16" O.C. W/ 1/2" GYP. BD. EACH SIDE, INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN

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Owner

Developer

PERMIT SET 01/08/2024

Issue Description Date

GTM Project No. 22.0436

Checked By GTM

Drawn By LEO/TJK

Scale AS NOTED

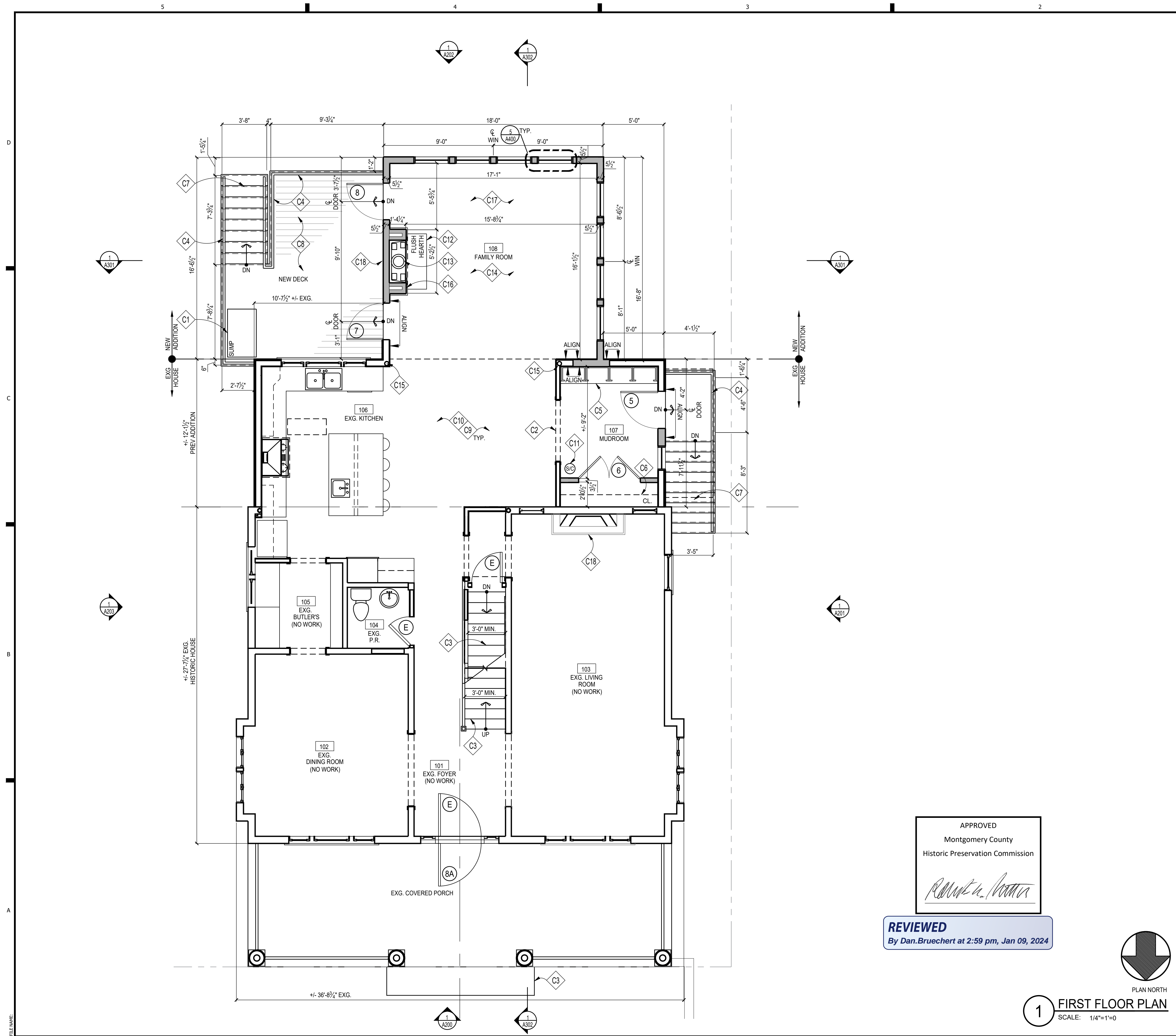
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LOWER LEVEL FLOOR PLAN

Sheet No.

A100

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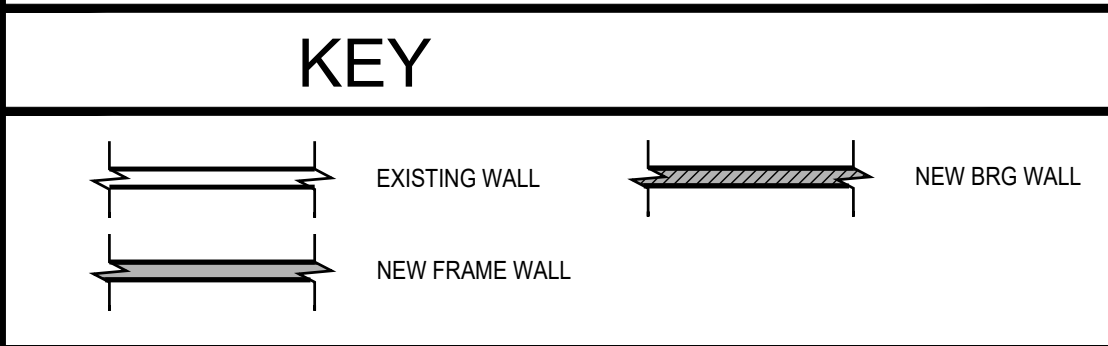


CONSTRUCTION NOTES

- C1 PROVIDE GAS LINE FOR OUTDOOR GRILL. LOCATION TO BE FIELD VERIFIED.
- C2 CASER OPENING @ 8'-0" A.F.F. TO MATCH WINDOW/DOOR HEAD HT. SEE DETAIL 13/A402
- C3 EXISTING STAIRS, F.V.
- C4 PTD. 36" GUARD/HAND RAIL PER IRC 2018, T.B.S.; SEE ELEVATIONS & DETAIL 3 & 5/A401
- C5 CUSTOM BUILT-IN MUDROOM BENCH WITH HOOKS, T.B.D. SEE DETAIL '10/A402'
- C6 1/2" DIA ROD & PAINTED WD. SHELF
- C7 STAIRCASE & RAILING; PTD. PVC RISERS & PTD. COMPOSITE TREADS TO MATCH DECKING T.B.S.; SEE DETAIL 5/A401, FOLLOW IRC 2018 R311.7; PTD. COMPOSITE RAILING SYSTEM T.B.S.
- C8 PTD. COMPOSITE DECKING, T.B.S.
- C9 EXISTING FLOORING TO BE PATCHED/REPAIRED, SANDED & REFINISHED AS REQ'D
- C10 GC TO PATCH & REPAIR EXISTING DRYWALL AS REQUIRED BY DEMO & PROVIDE NEW FINISHES, TRIM, ETC. TO MATCH NEW CONSTRUCTION, TYP.
- C11 RELOCATE EXISTING HARDWIRED SMOKE/CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP PER IRC 2018, CONFIRM LOCATION W/ OWNER
- C12 FLUSH HEARTH, COORDINATE WITH STRUCT'L
- C13 HEAT & GLO 'SLIMLINE 7X' GAS FIREPLACE, INSTALL PER. MANUF. OR EQ.
- C14 NEW HARDWOOD FLOORING TO MATCH EXG. TOOTH-IN AS REQ'D
- C15 STRUCTURAL COLUMN; SEE STRUCTURAL DRAWINGS
- C16 PROVIDE RECESS & BLOCKING IN FRAMING ABOVE FIREPLACE FOR WALL-MOUNTED TV; MAINTAIN MIN. CLEAR DIMENSION FOR FIREPLACE FLUE
- C17 DECORATIVE CEILING ABOVE; CONFIRM W/ OWNER
- C18 FIRE PLACE VENT PROVIDE CLEARANCES PER CODE & MANUF. SPECS

NOTE:

1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING
2. VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD
3. ENTIRE ADDN TO HAVE NEW TRIM, BASE, ETC. PAINT EXISTING INTERIOR
4. FILL CAVITIES W/ MINERAL WOOL SOUND INSULATION IN WALLS, CEILING, + FLOOR OF THE FOLLOWING ROOMS (U.N.O.):
5. PROVIDE HARDWIRED SMOKE/CO DETECTORS PER IRC SECTION R.313 & LOCAL JURISDICTION
6. SEE DETAILS 9 & 10/A400 FOR EFFICIENT FRAMING DETAILS.
7. (T) = TEMPERED GLASS (E) = TEMPERED GLASS



WALL TYPES

TYPICAL NEW EXTERIOR WALL; 2x6 WOOD STUDS 16" O.C., W/ INSULATION (SEE THERMAL ENVELOPE, SHEET "EC001" FOR INSULATION LOCATION & INFORMATION) W/ 1/2" EXTERIOR SHEATHING, AIR & WATER RESISTIVE BUILDING WRAP, CEDAR BREATHER VENTILATED UNDERLAYMENT & STAINED CEDAR SHINGLE SIDING TO MATCH EXG.; SEE ELEVATIONS. INTERIOR FINISH TO BE 1/2" GYP. BD.

TYPICAL NON-BEARING INTERIOR PARTITION: 2x4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. BD. EACH SIDE; INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN.

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Montgomery County
Historic Preservation Commission

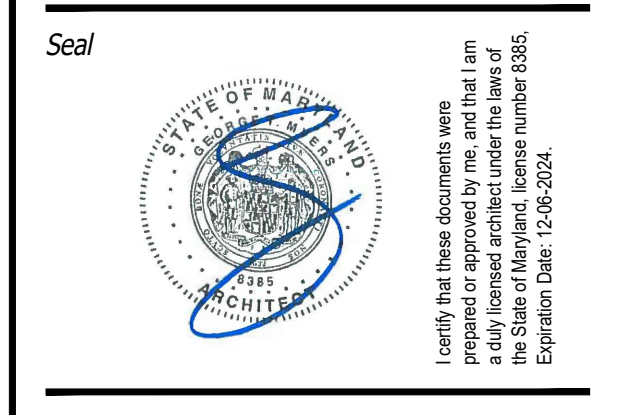
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1 FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



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Developer

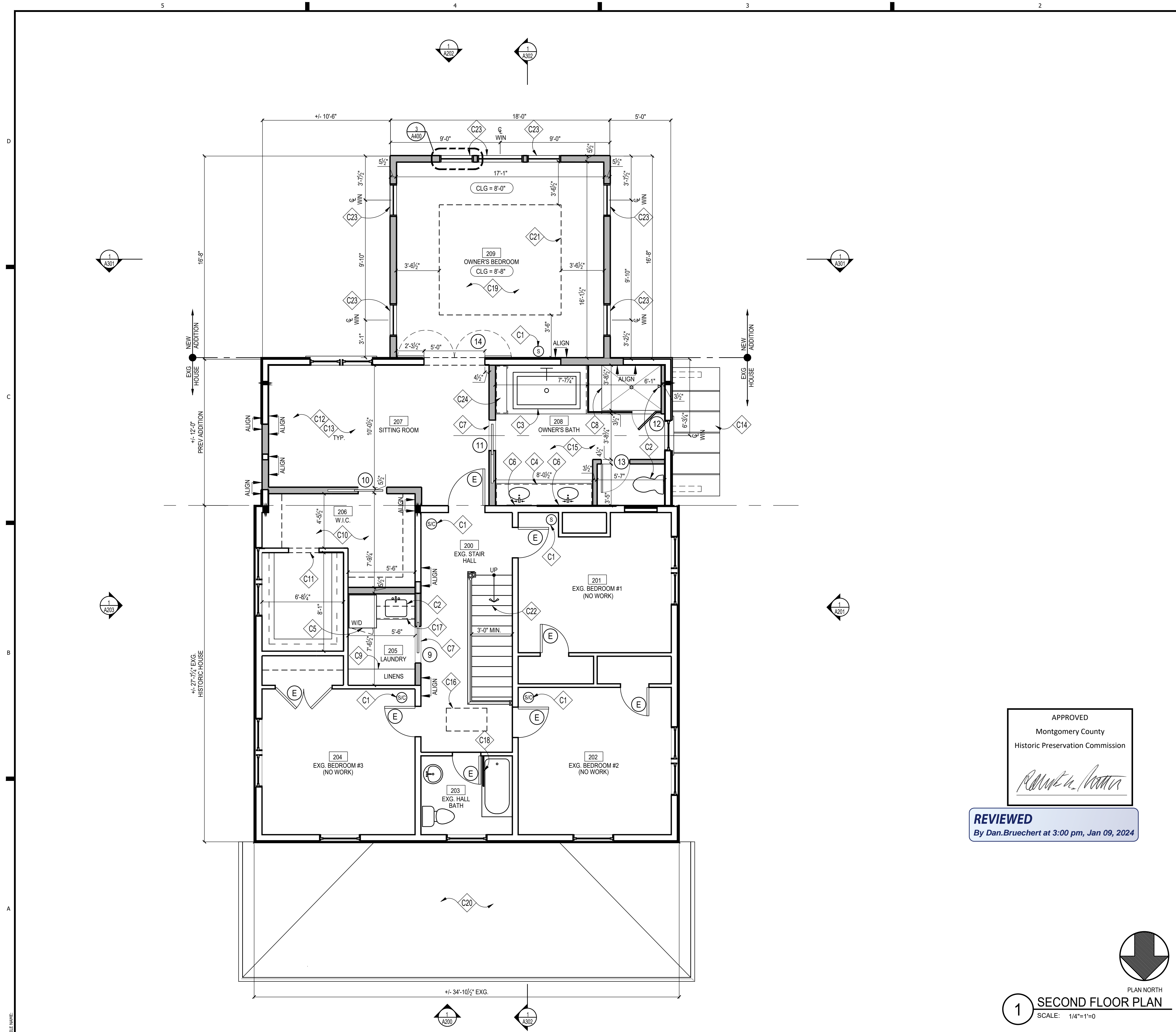
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Scale	AS NOTED
Sheet Title	

FIRST FLOOR PLAN

Sheet No.
A101

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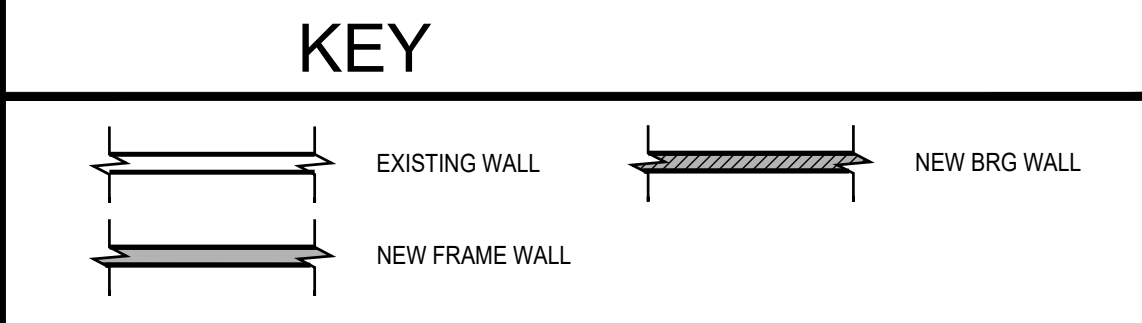


CONSTRUCTION NOTES

- C1 CONFIRM EXISTING/PROVIDE NEW HARDWIRED SMOKE/CARBON MONOXIDE DETECTOR W/ BATTERY BACKUP PER IRC 2018
- C2 PLUMBING FIXTURES, T.B.S. SEE ALLOWANCES
- C3 DROP-IN TUB, CONFIRM TUB FILLER/DRAIN LOCATION WITH OWNER
- C4 VANITY W/ SINK, FAUCET & COUNTERTOP, T.B.S.
- C5 WASHER DRYER BY OWNERS. PROVIDE OVERFLOW FLOOR PAN & FLOOR DRAIN UNDER WASHING MACHINE, CONTRACTOR TO COORDINATE MEP CONNECTIONS WITH MANUFACTURER'S SPECS
- C6 1/2" PLATE GLASS VANITY MIRROR.
- C7 MARBLE THRESHOLD/TRANSITION STRIP T.B.S. SEE DETAIL 19/A402
- C8 CUSTOM PAN FORMED TILE SHOWER W/ 4" CURB, PROVIDE MEMBRANE LINER & 1/2" DUROCK AROUND ALL SIDES. EXTEND TILE TO CEILING, TYP. SEE A404 FOR DETAIL
- C9 (5) EQUALLY SPACED SHELVES, PTD.
- C10 CUSTOM CLOSET SYSTEM, T.B.S. COORD. WITH OWNER
- C11 CASED OPENING; +/- 6'-8" A.F.F., MATCH EXISTING DOOR/WINDOW HEAD HTS. SEE DETAIL 13/A402
- C12 EXISTING FLOORING TO BE PATCHED/REPAIRED & REFINISHED AS REQ'D
- C13 GC TO PATCH & REPAIR EXISTING DRYWALL AS REQUIRED BY DEMO & PROVIDE NEW FINISHES, TRIM, ETC. TO MATCH NEW CONSTRUCTION, TYP.
- C14 NEW STANDING SEAM MTL ROOF BELOW; SEE ROOF PLAN, SHEET A104
- C15 PROVIDE RADIANT ELECTRIC FLOOR HEATING IN OWNERS BATH
- C16 FOLDING ATTIC ACCESS LADDER: ACCESS LADDER SHALL BE 22 1/2" X 44" WITH SELF-TRIMMING FLANGE, PER IRC 2018. SEE SPEC SHEET FOR MORE INFO
- C17 CABINETS & COUNTERTOPS, T.B.S. FINAL LAYOUT TO BE DETERMINED BY CABINETY DESIGNER & APPROVED BY OWNER.
- C18 ADD GLASS PARTITION @ TUB, TBS, VIF
- C19 NEW HARDWOOD FLOOR TO MATCH EXG. TOOTH-IN AS REQ'D
- C20 EXG. ROOF BELOW; SEE ROOF PLAN, SHEET A103
- C21 TRAY CLG. ABV.
- C22 EXISTING STAIR TO REMAIN
- C23 EGRESS WINDOW MAX SILL HT = 44" AND MIN 5.7 CLEAR OPENING
- C24 CUSTOM BUILT-IN SHELVING T.B.S. FINAL LAYOUT TO BE DETERMINED BY CABINETY DESIGNER & APPROVED BY OWNER

NOTE:

1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING
2. VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD
3. ENTIRE ADD'N TO HAVE NEW TRIM, BASE, ETC. PAINT EXISTING INTERIOR
4. FILL CAVITIES W/ MINERAL WOOL SOUND INSULATION IN WALLS, CEILING, + FLOOR OF THE FOLLOWING ROOMS (U.N.O.):
209 OWNER'S BEDROOM 208 OWNER'S BATH 205 LAUNDRY
5. PROVIDE HARDWIRED SMOKE DETECTORS PER IRC SECTION R.313 & LOCAL JURISDICTION
6. SEE DETAILS 9 & 10/A400 FOR EFFICIENT FRAMING DETAILS.
7. (T) = TEMPERED GLASS (E) = TEMPERED GLASS



WALL TYPES

TYPICAL EXTERIOR WALL: 2x6 WOOD STUDS @ 16" O.C. W/ R-21 INSULATION, 1/2" ZIP SHEATHING, SELF-FURRING DIAMOND-MESH LATH, & 3-COAT CEMENTITIOUS STUCCO; SEE ELEVATIONS. INTERIOR FINISH TO BE GYP. BD. (1/2").

TYPICAL NON-BEARING INTERIOR PARTITION: 2x4 WD. STUDS @ 16" O.C. W/ 1/2" GYP. BD. EACH SIDE; INCREASE WALL THICKNESS AS SHOWN TO ALIGN FINISHES WHERE SHOWN.

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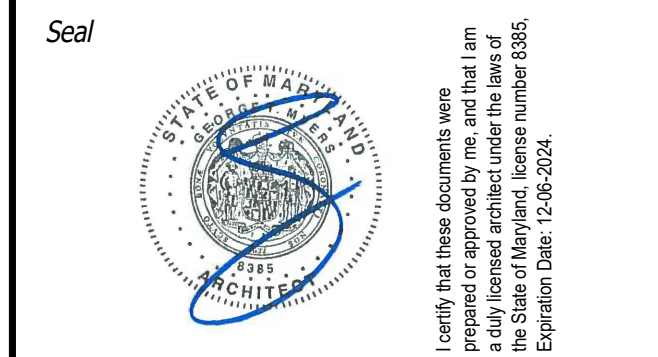
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REVIEWED
By Dan.Bruechert at 3:00 pm, Jan 09, 2024

1 SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

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Owner

Developer

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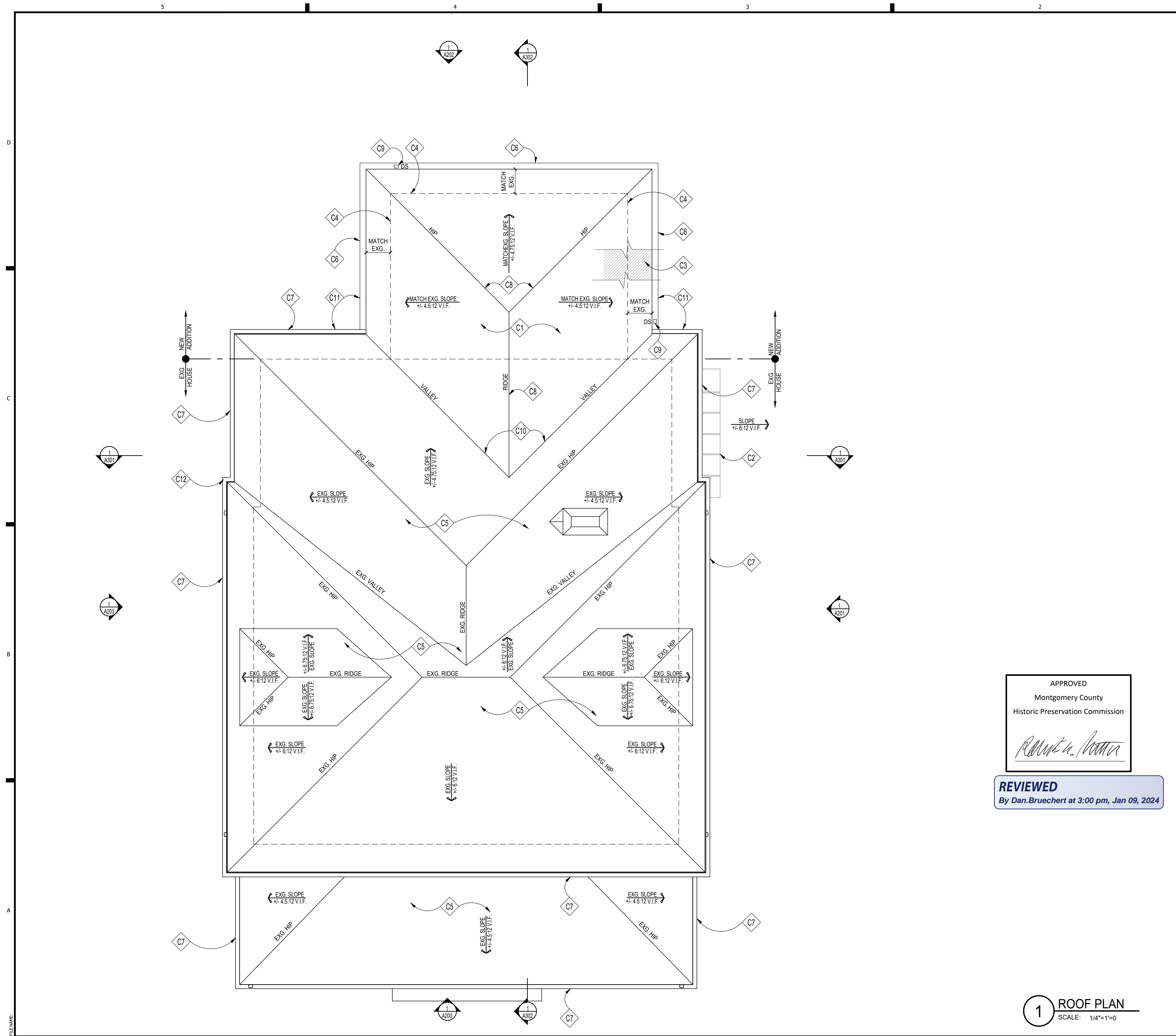
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SECOND FLOOR PLAN

Sheet No.
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REVIEWED
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1 ROOF PLAN
 SCALE: 1/4"=1'-0"

CONSTRUCTION NOTES

- C1 NEW ROOFING TO MATCH EXISTING
- C2 STANDING SEAM MTL ROOFING, COLOR T.B.S.
- C3 ICE AND WATER GUARD AT ALL EAVES AND VALLEYS & LOW SLOPE ROOFS, SEE GENERAL NOTE #1 BELOW
- C4 DASHED LINE INDICATES LINE OF WALL/COLUMN BELOW, SEE FLOOR PLANS
- C5 EXISTING ROOF TO REMAIN, PATCH & REPAIR AS REQ'D
- C6 NEW PTD. ALUMINUM GUTTER TO MATCH EXG. PROVIDE LEAF GUARD, SEE SPECIFICATIONS SHEET FOR ADDITIONAL INFO.
- C7 EXISTING GUTTERS/ DOWNSPOUTS REMAIN
- C8 RIDGE/HIP VENT BY "COR-A-VENT" OR APPROVED EQUAL, HOLD 12" FROM EDGE, OMIT IF USING FOAM INSULATION, TYP. SEE DETAIL 13/A500
- C9 ALUMINUM DOWNSPOUT, MATCH EXISTING
- C10 TOOTH IN NEW ROOFING WITH EXISTING/ REPLACE EXISTING DAMAGED SHINGLES DUE TO NEW ADDITION
- C11 ALIGN NEW EAVES W/ EXISTING, TYP.
- C12 GC TO EVALUATE AND REPAIR LEAK IN EXG. GUTTER SYSTEM, REVIEW WITH OWNER

LEGEND

 LOW SLOPE ROOF, PROVIDE ICE & WEATHER GUARD

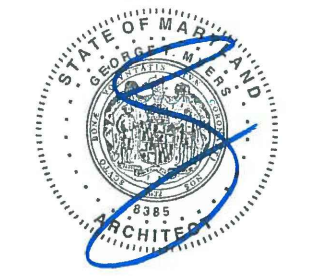
GENERAL ROOFING NOTES

1. PROVIDE SELF-ADHERING, 40 MIL ICE AND WATER GUARD UNDERLAYMENT UNDER SHINGLES AT ALL VALLEYS AND FROM LOWEST EDGE OF ROOF SURFACES TO A POINT AT LEAST 24" INSIDE THE EXTERIOR WALL LINE, AND ON ALL AREAS WITH A SLOPE LESS THAN 4:12
2. SEE FRAMING PLAN FOR OVERBUILD AREAS
3. DOTTED LINE INDICATES LINE OF BUILDING BELOW

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Seal


Consultant

Project
HERMAN RESIDENCE

22 WEST IRVING ST., CHEVY CHASE, MD 20815

Owner

Developer

PERMIT SET 01/08/2024

Issue Description	Date

GTM Project No. 22.0436

Checked By GTM

Drawn By LEO/JK

Scale AS NOTED

Sheet Title

ROOF PLAN

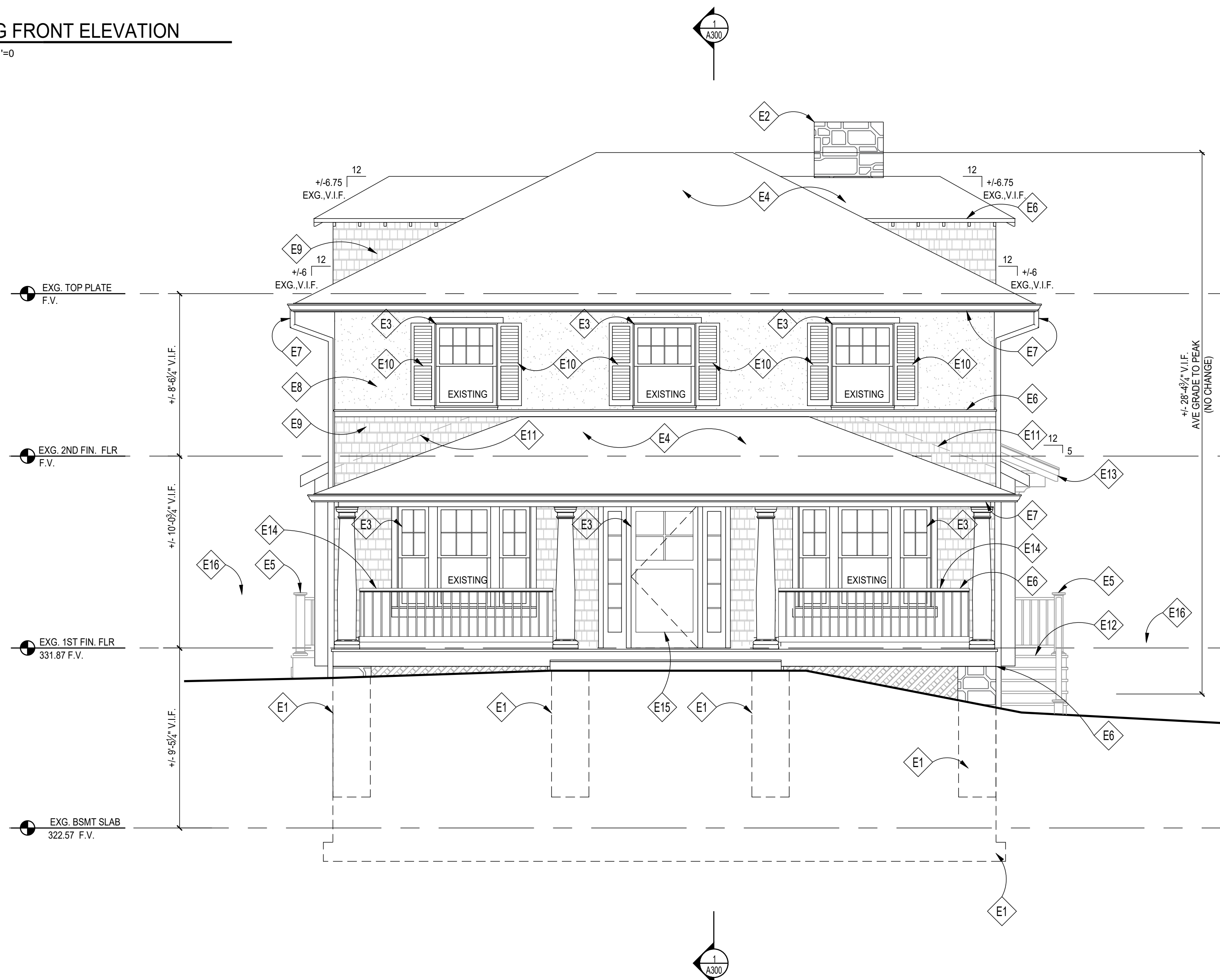
Sheet No.

A103

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2 EXISTING FRONT ELEVATION
SCALE: 1/8"=1'-0"



1 FRONT ELEVATION
SCALE: 1/4"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

Robert A. Adams

REVIEWED
By Dan.Bruechert at 3:00 pm, Jan 09, 2024

ELEVATION NOTES

- E1 APPROX. LINE OF EXISTING FOUNDATION & FOOTINGS BELOW, VERIFY IN FIELD
- E2 EXISTING MASONRY CHIMNEY TO REMAIN
- E3 EXG. WINDOW/DOOR TO REMAIN; GC TO EVALUATE & REPAIR AS REQ'D., TYP.
- E4 EXISTING ROOFING TO REMAIN, PATCH AND REPAIR AS NECESSARY
- E5 36" H. PTD. COMPOSITE HANDRAIL/GUARDRAIL, PER IRC 2018
- E6 EXG. WOOD TRIM TO REMAIN SCRAPE/PAINT/ REPAIR TYP.
- E7 EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN, G.C. TO EVALUATE CONDITION OF ROOF DRAINAGE AND REPAIR AS REQ'D
- E8 EXISTING STUCCO SIDING TO REMAIN, PATCH/REPAIR AS REQ'D, TYP.
- E9 EXISTING CEDAR SHINGLE SIDING TO REMAIN, PATCH/REPAIR AS REQ'D, TYP.
- E10 EXISTING WINDOW SHUTTERS TO REMAIN, SCRAPE/PAINT/REPAIR AS REQ'D
- E11 CONFIRM EXISTENCE OF CONCEALED ALUMINUM FLASHING @ ALL EXG. VERT. TRANSITIONS; PROVIDE IF MISSING & EXTEND VERT. TRANSITIONS, EXTEND 8" MIN. BEHIND STUCCO OR SIDING, TYP.
- E12 PTD. COMPOSITE DECKING, T.B.S.
- E13 STANDING SEAM MTL ROOFING @ CANOPY W/ PTD. BORAL TRIM
- E14 EXISTING GUARDRAIL TO REMAIN, SCRAPE & PAINT AS REQ'D, TYP.
- E15 NEW SCREEN DOOR, FINAL DESIGN, T.B.D

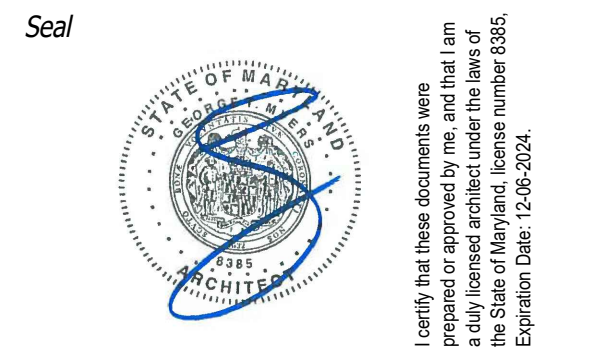
- NOTE:**
1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD
 2. EXISTING HOUSE TO BE PAINTED
 3. (T) = TEMPERED GLASS

GENERAL NOTES

- FOR ENTIRE HOUSE:
1. INVESTIGATE/EVALUATE CONDITION OF EXISTING STUCCO/CEDAR SHINGLE CLADDING & EXTERIOR TRIM AND REPAIR AS REQ'D. IF TRIM CANNOT BE REPAIRED, REPLICATE/REPLACE IN-KIND AFTER CONFERRING WITH HPC STAFF. NEW WOOD/ FIBERCEMENT TRIM DETAILS TO MATCH EXISTING DETAILS ON ADDITION.
 2. ALL NEW WOOD TRIM (CORNERBOARDS, FRIEZE BOARDS, SOFFITS, WINDOW CASING, SKIRTBOARDS, APRONS, ETC.) TO BE WINDSOR-ONE+ OR APPROVED EQ. PRIME ALL END CUTS & INSTALL PER MANUFACTURERS INSTRUCTIONS.

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Owner

Developer

PERMIT SET 01/05/2024

Issue Description Date

GTM Project No. 22.0436

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Sheet Title

**FRONT
ELEVATION**

Sheet No.
A200

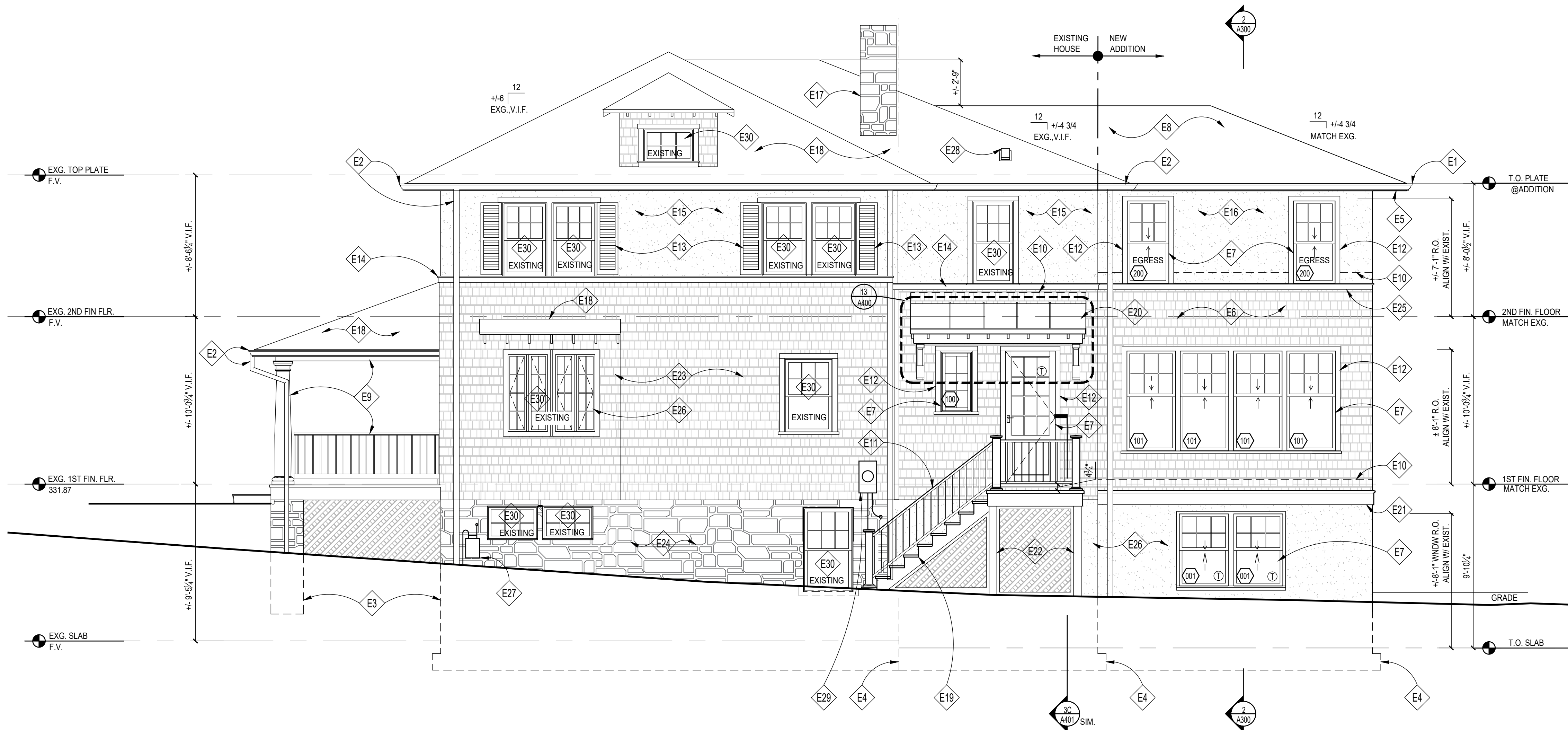


2 EXISTING RIGHT SIDE ELEVATION
SCALE: 1/8"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 3:00 pm, Jan 09, 2024



1 RIGHT SIDE ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES

- E1 GUTTER & DOWNSPOUT, TO MATCH EXISTING. SEE ROOF PLAN, TYPICAL
- E2 EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN, G.C. TO EVALUATE CONDITION OF ROOF DRAINAGE AND REPAIR AS REQ'D
- E3 APPROX. LINE OF EXISTING FOUNDATION & FOOTINGS BELOW, VERIFY IN FIELD
- E4 APPROX. LINE OF PROPOSED FOUNDATION/FOOTINGS BELOW, SEE FOUNDATION PLAN FOR ADDITIONAL INFO.
- E5 PTD. BORAL EAVE/CORNICE TRIM TO MATCH EXISTING, SEE DETAILS
- E6 STAINED CEDAR SHINGLE TO MATCH EXG. OVER BENJAMIN OBDYKE SLICKER HP W/ INSECT SCREEN CEDAR BREATHER, OR EQUAL, INSTALL PER MFR. SPEC.
- E7 NEW DOORS & WINDOWS AS SCHEDULED
- E8 ROOFING TO MATCH EXISTING, COLOR TO MATCH EXG. ROOFING
- E9 EXISTING PORCH, RAILING, DECKING & TRIM TO REMAIN; PATCH/REPAIR, SCRAPE, SAND AND REPAINT AS REQUIRED
- E10 PROVIDE NEW CONCEALED ALUMINUM FLASHING @ ALL EXG. VERT. TRANSITIONS; PROVIDE IF MISSING & EXTEND VERT. TRANSITIONS 8" MIN. BEHIND SIDING, TYP.
- E11 36" H. PTD. COMPOSITE HANDRAIL/GUARDRAIL SYSTEM, T.B.S. FOLLOW IRC, 2018 SEE 38 5/A401
- E12 PTD. 5/4X BORAL WINDOW/DOOR TRIM, TO MATCH EXG. HISTORIC TRIM TYP., SEE DETAILS, 15/A400
- E13 EXISTING WINDOW SHUTTERS TO BE EVALUATED AND SCRAPED/REPAIRED & PAINTED AS NEEDED
- E14 EXG. WOOD TRIM TO REMAIN, SCRAPE/PAINT/ REPAIR AS NEEDED
- E15 EXG. STUCCO SIDING TO REMAIN, REPAIR AS REQUIRED
- E16 PTD. 3-COAT CEMENTITIOUS STUCCO; MATCH EXG. TEXTURE/FINISH
- E17 EXISTING MASONRY CHIMNEY TO REMAIN, PATCH/REPAIR AS REQ'D
- E18 EXISTING ROOFING TO REMAIN, PATCH AND REPAIR AS NECESSARY
- E19 PTD. COMPOSITE WOOD STEPS/RISERS TO GRADE, SEE SITE PLAN, FIELD VERIFY RISE & RUN
- E20 STANDING SEAM MTL ROOFING @ CANOPY W/ PTD. BORAL TRIM
- E21 PTD. BORAL SKIRT BOARD, SEE 2/A400
- E22 PTD. BORAL TRIM OVER STRUCTURAL POST; SEE STRUCT, PTD.
- E23 EXISTING SIDING TO REMAIN; PATCH/REPAIR, SCRAPE, SAND AND REPAINT AS REQUIRED
- E24 EXISTING STONE TO REMAIN, REPAIR/REPOINT AS REQ'D
- E25 PTD. BORAL TRIM TO MATCH EXG HISTORIC TRIM
- E26 STUCCO/PARGING OVER CMU FOUNDATION WALL TO MATCH EXG.
- E27 EXG. GAS METER TO REMAIN, GC TO FIELD VERIFY
- E28 BATH FAN EXHAUST ROOF VENT CAP
- E29 EXG. ELECTRIC METER LOCATION TO REMAIN, GC TO FIELD VERIFY
- E30 EXG. WINDOW/DOOR TO REMAIN; GC TO EVALUATE & REPAIR AS REQ'D., TYP.

NOTE:

- 1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD
- 2. EXISTING HOUSE TO BE PAINTED
- 3. (T) = TEMPERED GLASS

GENERAL NOTES

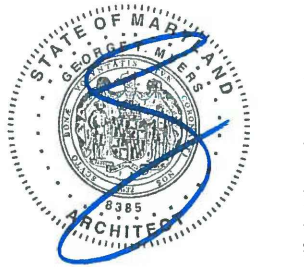
- FOR ENTIRE HOUSE:
- 1. INVESTIGATE/EVALUATE CONDITION OF EXISTING STUCCO/CEDAR SHINGLE CLADDING & EXTERIOR TRIM AND REPAIR AS REQ'D. IF TRIM CANNOT BE REPAIRED, REPLICATE/REPLACE IN-KIND AFTER CONFERRING WITH HPC STAFF. NEW WOOD/ FIBRECEMENT TRIM DETAILS TO MATCH EXISTING DETAILS ON ADDITION.
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I certify that these documents were prepared by me or under my direct supervision and control in accordance with the laws of the State of Maryland, license number 8385, Expiration Date: 12/31/2024.

Consultant

Project
HERMAN RESIDENCE

22 WEST IRVING ST., CHEVY CHASE, MD 20815

Owner

Developer

PERMIT SET 01/05/2024

Issue Description Date

GTM Project No. 22.0436

Checked By GTM

Drawn By LEO/TJK

Scale AS NOTED

Sheet Title

RIGHT SIDE ELEVATION

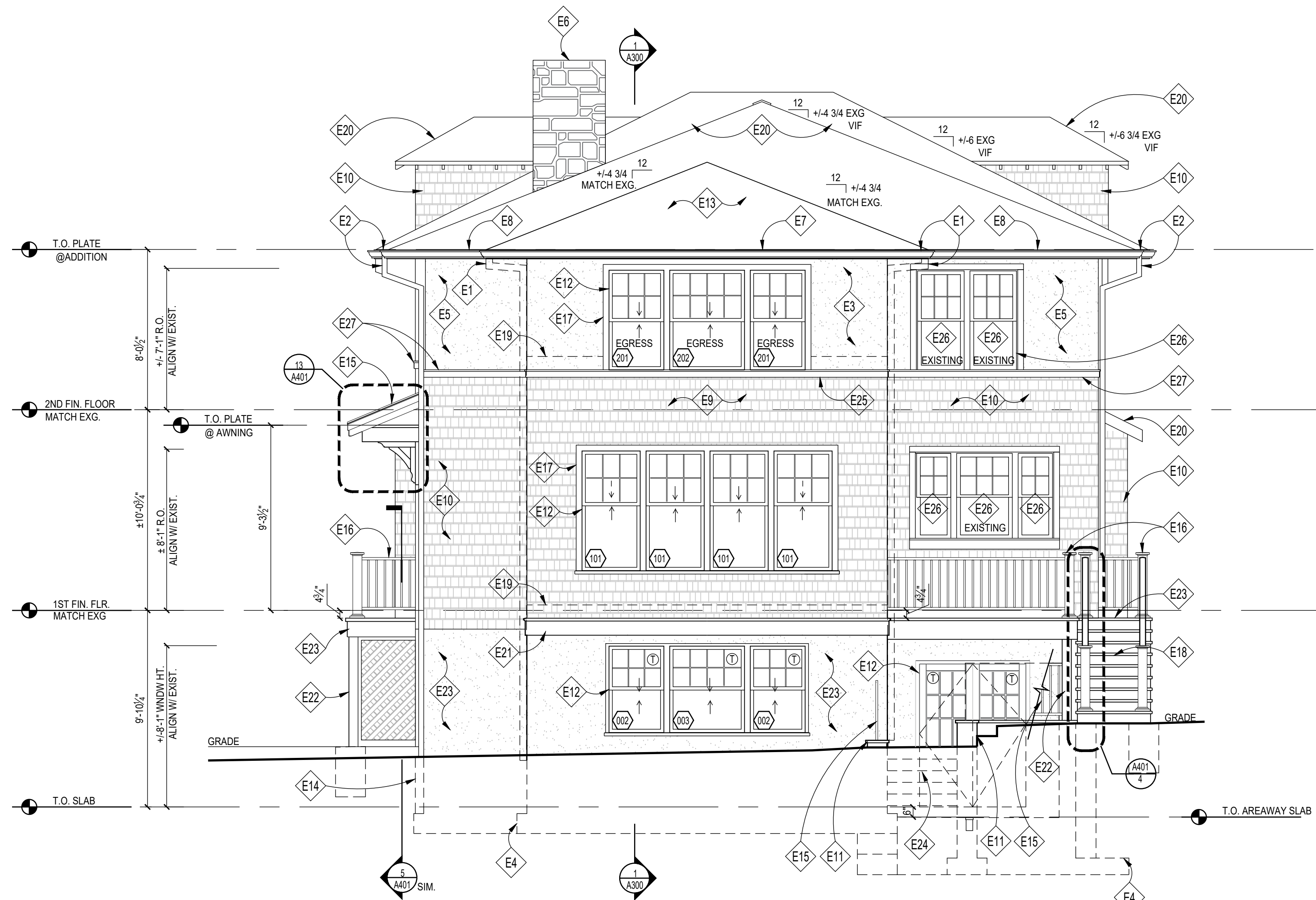
Sheet No.

A201

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2 EXISTING REAR ELEVATION
SCALE: 1/8"=1'-0"



APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 3:00 pm, Jan 09, 2024

1 REAR ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES

- E1 GUTTER & DOWNSPOUT, TO MATCH EXISTING SEE ROOF PLAN, TYPICAL
- E2 EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN, G.C. TO EVALUATE CONDITION OF ROOF DRAINAGE AND REPAIR AS REQ'D
- E3 PTD. 3-COAT CEMENTITIOUS STUCCO SIDING, MATCH EXG. TEXTURE/FINISH
- E4 APPROX. LINE OF PROPOSED FOUNDATION/FOOTINGS BELOW, SEE FOUNDATION PLAN FOR ADDITIONAL INFO.
- E5 EXG. STUCCO SIDING TO REMAIN, REPAIR AS REQUIRED
- E6 EXISTING MASONRY CHIMNEY TO REMAIN, PATCH/REPAIR AS REQ'D
- E7 PTD. BORAL EAVE/CORNICE TRIM TO MATCH EXISTING, SEE DETAILS
- E8 EXISTING PTD. WOOD EAVE/CORNICE TRIM, SCRAPE, PAINT, REPAIR AS NEEDED
- E9 STAINED CEDAR SHINGLE TO MATCH EXG. OVER BENJAMIN OBDYKE SLICKER HP W/ INSECT SCREEN CEDAR BREATHER, OR EQUAL, INSTALL PER MFR. SPEC.
- E10 EXISTING SIDING TO REMAIN, PATCH/REPAIR, SCRAPE, SAND AND REPAINT AS REQUIRED
- E11 AREAWAY WALL W/ SLOPED STONE CAP, SEE STRUCTURAL DETAILS
- E12 NEW DOORS & WINDOWS AS SCHEDULED
- E13 ROOFING TO MATCH EXISTING, COLOR TO MATCH EXG. ROOFING
- E14 APPROX. LINE OF EXISTING FOUNDATION & FOOTINGS BELOW, VERIFY IN FIELD
- E15 STANDING SEAM MTL ROOFING @ CANOPY W/ PTD. BORAL TRIM
- E16 36" H. PTD. COMPOSITE HANDRAIL/GUARDRAIL SYSTEM, T.B.S. FOLLOW IRC, 2018. SEE 3 & 5/A401 FOR DETAIL
- E17 PTD. 5/4X BORAL WINDOW/DOOR TRIM TO MATCH EXG HISTORIC TRIM, SEE DETAIL 15/A400
- E18 PTD. COMPOSITE WOOD STEPS/RISERS TO GRADE, SEE SITE PLAN, FIELD VERIFY RISE & RUN
- E19 CONCEALED ALUM. FLASHING & COUNTER FLASHING @ ALL VERTICAL TRANSITIONS, TYP. EXTEND MIN. 8" BEHIND SIDING
- E20 EXISTING ROOFING TO REMAIN, PATCH AND REPAIR AS NECESSARY
- E21 PTD. BORAL SKIRT BOARD, SEE 2/A400
- E22 PTD. BORAL TRIM OVER STRUCTURAL POST, SEE STRUCT. PTD.
- E23 STUCCO/PARGING OVER CMU FOUNDATION WALL TO MATCH EXG.
- E24 FLAGSTONE STEPS/STUCCO RISERS TO GRADE, BEYOND SEE SITE PLAN, FIELD VERIFY RISE & RUN
- E25 PTD. BORAL TRIM TO MATCH EXG HISTORIC TRIM
- E26 EXG. WINDOW/DOOR TO REMAIN; GC TO EVALUATE & REPAIR AS REQ'D., TYP.
- E27 EXG. WOOD TRIM TO REMAIN SCRAPE/PAINT/ REPAIR, TYP.

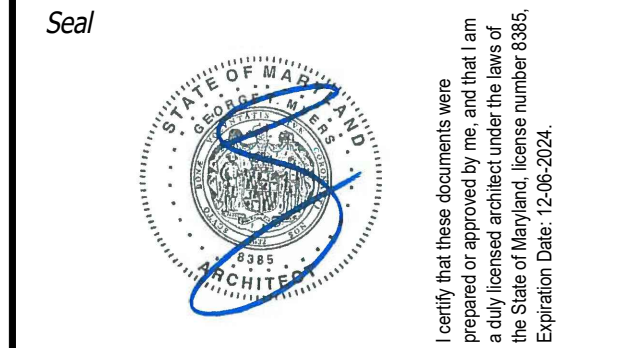
NOTE:
1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD
2. EXISTING HOUSE TO BE PAINTED
3. T = TEMPERED GLASS

GENERAL NOTES

- FOR ENTIRE HOUSE:
1. INVESTIGATE/EVALUATE CONDITION OF EXISTING STUCCO/CEDAR SHINGLE CLADDING & EXTERIOR TRIM AND REPAIR AS REQ'D. IF TRIM CANNOT BE REPAIRED, REPLICATE/REPLACE IN-KIND AFTER CONFERRING WITH HPC STAFF. NEW WOOD/ FIBERCEMENT TRIM DETAILS TO MATCH EXISTING DETAILS ON ADDITION.
 2. ALL NEW WOOD TRIM (CORNERBOARDS, FRIEZE BOARDS, SOFFITS, WINDOW CASING, SKIRTBOARDS, APRONS, ETC.) TO BE WINDSOR-ONE+ OR APPROVED EQ. PRIME ALL END CUTS & INSTALL PER MANUFACTURERS INSTRUCTIONS.

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Consultant

Project
HERMAN RESIDENCE

22 WEST IRVING ST., CHEVY CHASE, MD 20815

Owner

Developer

PERMIT SET 01/05/2024

Issue Description Date

GTM Project No. 22.0436

Checked By GTM

Drawn By LEO/TJK

Scale AS NOTED

Sheet Title

REAR ELEVATION

Sheet No. **A202**

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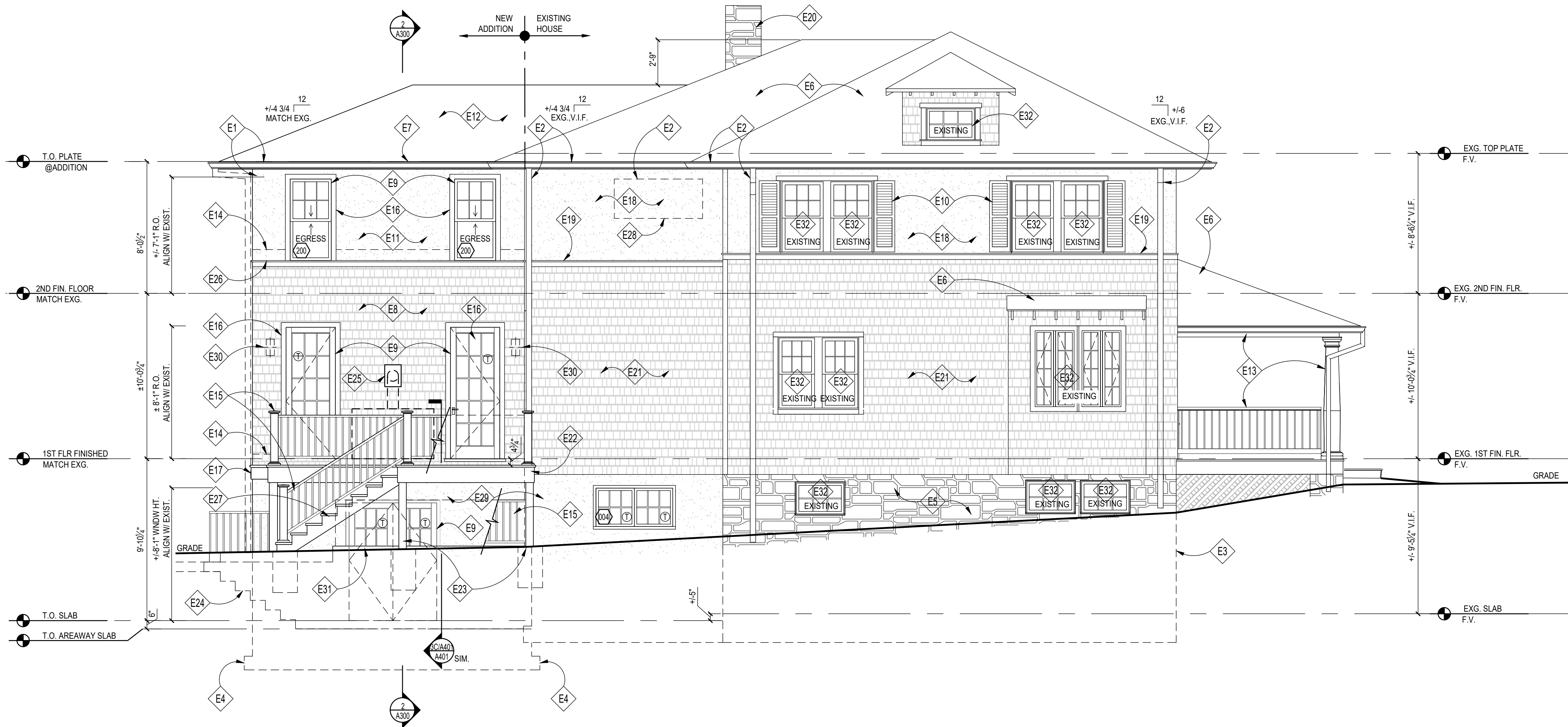


2 EXISTING LEFT SIDE ELEVATION
SCALE: 1/8"=1'-0"

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 3:00 pm, Jan 09, 2024



1 LEFT SIDE ELEVATION
SCALE: 1/4"=1'-0"

ELEVATION NOTES

- E1 GUTTER & DOWNSPOUT, TO MATCH EXISTING. SEE ROOF PLAN, TYPICAL
- E2 EXISTING GUTTERS AND DOWNSPOUTS TO REMAIN, G.C. TO EVALUATE CONDITION OF ROOF DRAINAGE AND REPAIR AS REQ'D
- E3 APPROX. LINE OF EXISTING FOUNDATION & FOOTINGS BELOW, VERIFY IN FIELD
- E4 APPROX. LINE OF PROPOSED FOUNDATION/FOOTINGS BELOW, SEE FOUNDATION PLAN FOR ADDITIONAL INFO.
- E5 EXISTING STONE TO REMAIN, REPAIR/REPOINT AS REQ'D
- E6 EXISTING ROOFING TO REMAIN, PATCH AND REPAIR AS NECESSARY, TYP.
- E7 PTD. BORAL EAVE/CORNICE TRIM TO MATCH EXISTING, SEE DETAILS
- E8 STAINED CEDAR SHINGLE TO MATCH EXG, OVER BENJAMIN OBDYKE SLICKER HP W/ INSECT SCREEN CEDAR BREATHER, OR EQUAL, INSTALL PER MFR. SPEC.
- E9 NEW DOORS & WINDOWS AS SCHEDULED, TYP.
- E10 EXISTING WINDOW SHUTTERS TO BE EVALUATED AND SCRAPPED/REPAIRED & PAINTED AS NEEDED
- E11 PTD. 3-COAT CEMENTITIOUS STUCCO SIDING, MATCH EXG. TEXTURE/FINISH
- E12 ROOFING TO MATCH EXISTING; COLOR TO MATCH EXG. ROOFING
- E13 EXISTING PORCH/STOOP RAILING, DECKING & TRIM TO REMAIN; PATCH/REPAIR, SCRAPE, AND REPAINT AS REQUIRED
- E14 PROVIDE NEW CONCEALED ALUMINUM FLASHING @ ALL EXG. VERT. TRANSITIONS, PROVIDE IF MISSING & EXTEND VERT. TRANSITIONS 8" MIN. BEHIND SIDING, TYP. 36" H. PTD. COMPOSITE HANDRAIL/GUARDRAIL SYSTEM, T.B.S. FOLLOW IRC, 2018. SEE 3 & 5/A40 FOR DETAIL
- E15 PTD. 5/4X BORAL WINDOW/DOOR TRIM, TO MATCH EXG. HISTORIC TRIM, SEE DETAIL, 15/A400, TYP.
- E16 PTD. BORAL SKIRT BOARD, SEE 2/A400
- E17 EXG. STUCCO SIDING TO REMAIN, REPAIR AS REQUIRED
- E18 EXG. WOOD TRIM TO REMAIN SCRAPE/PAINT/REPAIR AS REQ'D
- E19 EXISTING MASONRY CHIMNEY TO REMAIN, PATCH/REPAIR AS REQ'D
- E20 EXISTING SIDING TO REMAIN; PATCH/REPAIR, SCRAPE, SAND AND REPAINT AS REQUIRED, TYP.
- E21 DECK/ LANDING
- E22 PTD. BORAL TRIM OVER PTD. STRUCTURAL POST, SEE STRUCTL DWGS
- E23 FLAGSTONE STEPS/STUCCO RISERS TO GRADE BEYOND, SEE SITE PLAN, FIELD VERIFY RISE & RUN
- E24 DIRECT-VENT FIREPLACE WALL CAP, PTD.
- E25 PTD. BORAL TRIM TO MATCH EXG HISTORIC TRIM
- E26 PTD. COMPOSITE WOOD STEPS/RISERS TO GRADE, SEE SITE PLAN, FIELD VERIFY RISE & RUN
- E27 INFILL EXIST. WINDOWS
- E28 STUCCO/PARGING OVER CMU FOUNDATION WALL TO MATCH EXG.
- E29 EXTERIOR LIGHTING, SEE ELECTRICAL PLANS
- E30 AREAWAY WALL W/ SLOPED STONE CAP, SEE STRUCTURAL DETAILS
- E31 EXG. WINDOW/DOOR TO REMAIN; GC TO EVALUATE & REPAIR AS REQ'D, TYP.

NOTE:
1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD
2. EXISTING HOUSE TO BE PAINTED
3. ⊕ = TEMPERED GLASS

GENERAL NOTES

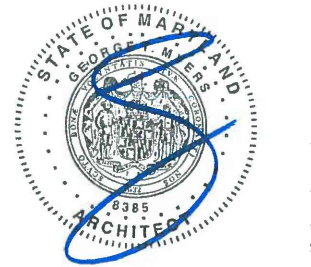
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Seal



I certify that these documents were prepared by me or under my direct supervision and control in accordance with the laws of the State of Maryland, license number 8385, Expiration Date: 12/31/2024.

Consultant

Project
HERMAN RESIDENCE

22 WEST IRVING ST., CHEVY CHASE, MD 20815

Owner

Developer

PERMIT SET 01/05/2024

Issue Description Date

GTM Project No. 22.0436

Checked By GTM

Drawn By LEO/TJK

Scale AS NOTED

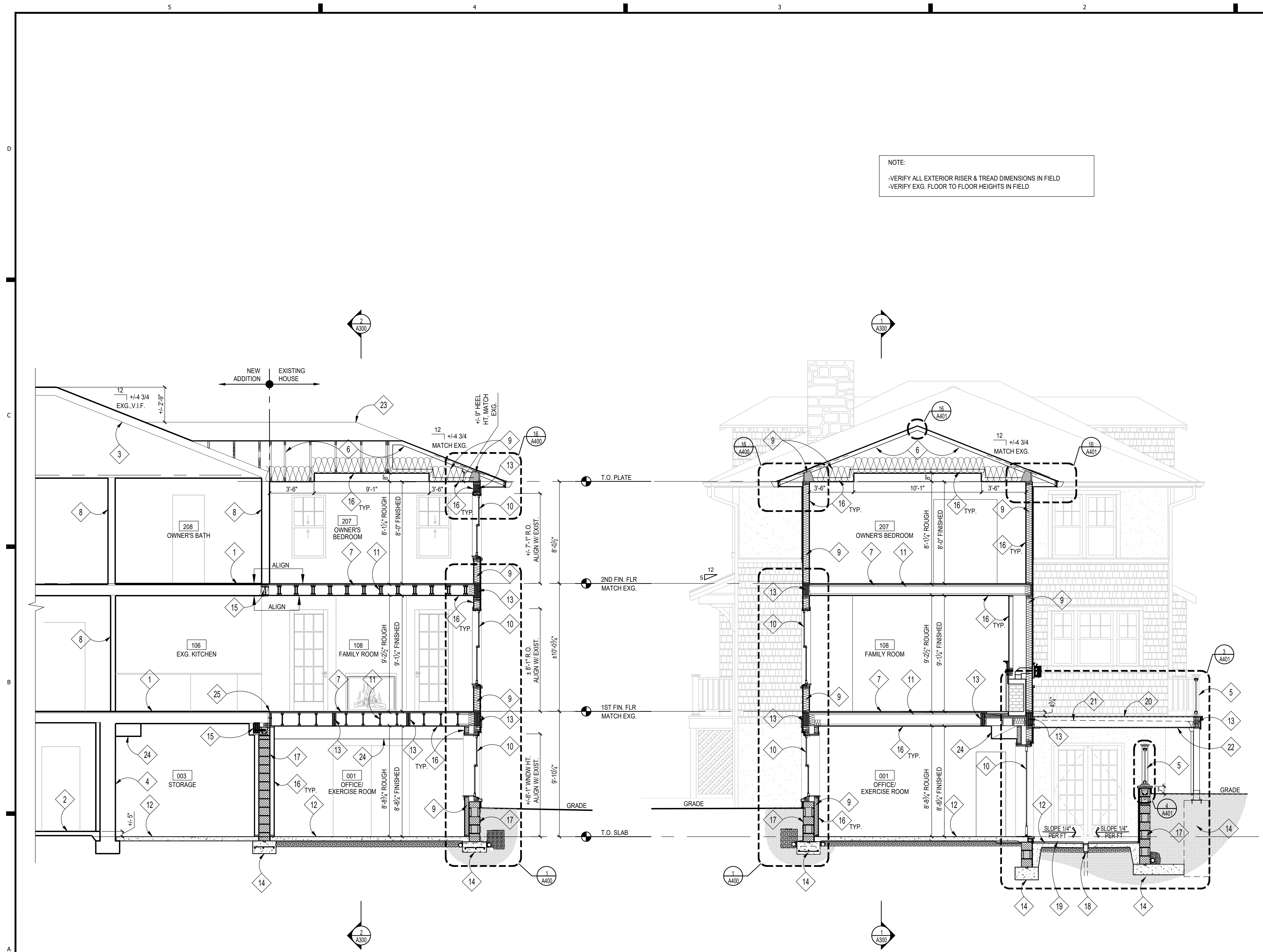
Sheet Title

LEFT SIDE ELEVATION

Sheet No.

A203

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1 BUILDING SECTION
SCALE: 1/4"=1'-0"

2 BUILDING SECTION
SCALE: 1/4"=1'-0"

SECTION NOTES

- 1 EXISTING FLOOR STRUCTURE TO REMAIN
- 2 EXISTING CONC. SLAB TO REMAIN
- 3 EXISTING RAFTERS/ROOF FRAMING TO REMAIN
- 4 EXISTING FOUNDATION WALL TO REMAIN
- 5 36" PTD. COMPOSITE HANDRAIL/GUARDRAIL SYSTEM, T.B.S. FOLLOW IRC, 2018, SEE 3 & 5/A401 FOR DETAIL
- 6 PRE-ENGINEERED ROOF TRUSS; SEE FRAMING PLANS
- 7 3/4" ADVANTECH SUBFLOOR; GLUED & SCREWED
- 8 EXG. FRAME WALL TO REMAIN
- 9 INSULATION, SEE EC001 FOR THERMAL ENVELOPE SPECIFICATIONS
- 10 SCHEDULED WINDOW/DOOR
- 11 FLOOR JOISTS, SEE FRAMING PLANS
- 12 CONCRETE SLAB, SEE FOUNDATION PLAN
- 13 BEAM / HEADER; SEE FRAMING PLANS
- 14 FOOTING; SEE FOUNDATION PLAN
- 15 EXG. BEAM TO REMAIN
- 16 1/2" GYP. BD, PTD.
- 17 CMU FOUNDATION WALL; SEE FOUNDATION PLAN
- 18 AREAWAY DRAIN, PIPE TO DAYLIGHT OR CONNECT TO FOUNDATION DRAINAGE SYSTEM
- 19 FLAGSTONE PAVERS T.B.S. ON 1" SETTING BED ON REINF. CONC. SLAB; SEE FOUNDATION PLAN
- 20 PTD. COMPOSITE DECKING T.B.S.
- 21 RAIN ESCAPE SYSTEM BY TREX
- 22 WINSOR ONE V-GROOVE CLG. PTD.
- 23 PROFILE OF RIDGE BEYOND
- 24 PROPOSED HVAC DUCT LOCATION; EXG. DUCTWORK/BULKHEAD TO REMAIN & GC TO EVALUATE OPTIONS TO EXTEND DUCTWORK INTO ADDITION; FIELD VERIFY DUCT LAYOUT WITH ARCHITECT & OWNER PRIOR TO INSTALL
- 25 INSTALL NEW PLYWD SUBFLOOR TO LAP CONTINUOUSLY MIN 2' OVER JUNCTION OF EXISTING & NEW FLOOR SYSTEM

APPROVED
Montgomery County
Historic Preservation Commission

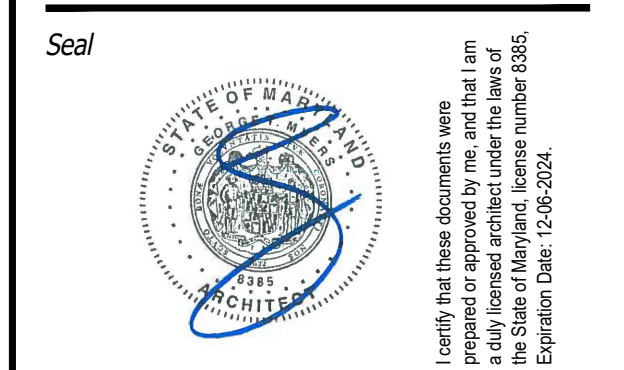


REVIEWED
By Dan.Bruechert at 2:58 pm, Jan 09, 2024

NOTE:
1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD

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Owner

Developer

PERMIT SET 01/05/2024

Issue Description Date

GTM Project No. 22.0436

Checked By GTM

Drawn By LEO/TJK

Scale AS NOTED

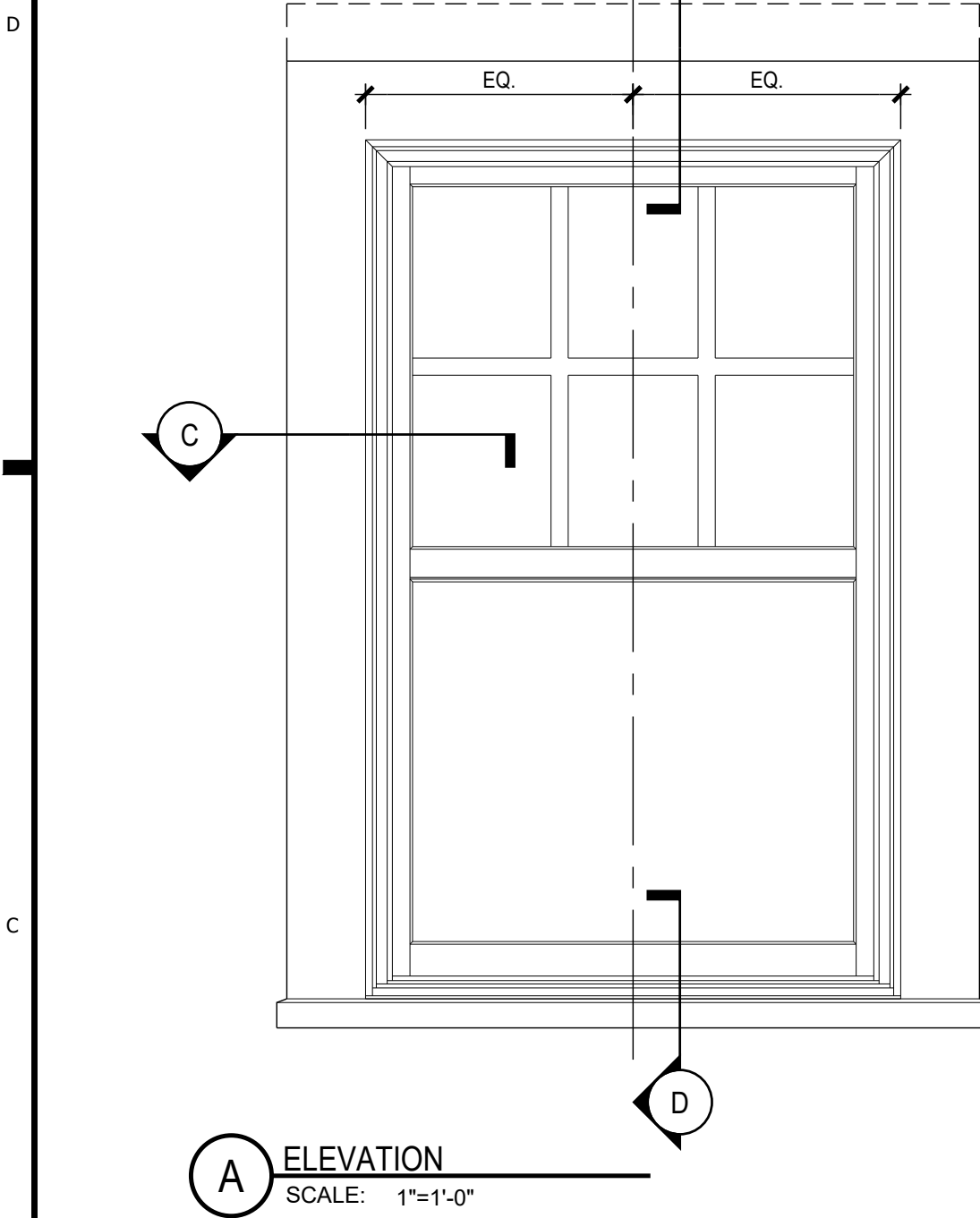
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BUILDING SECTIONS

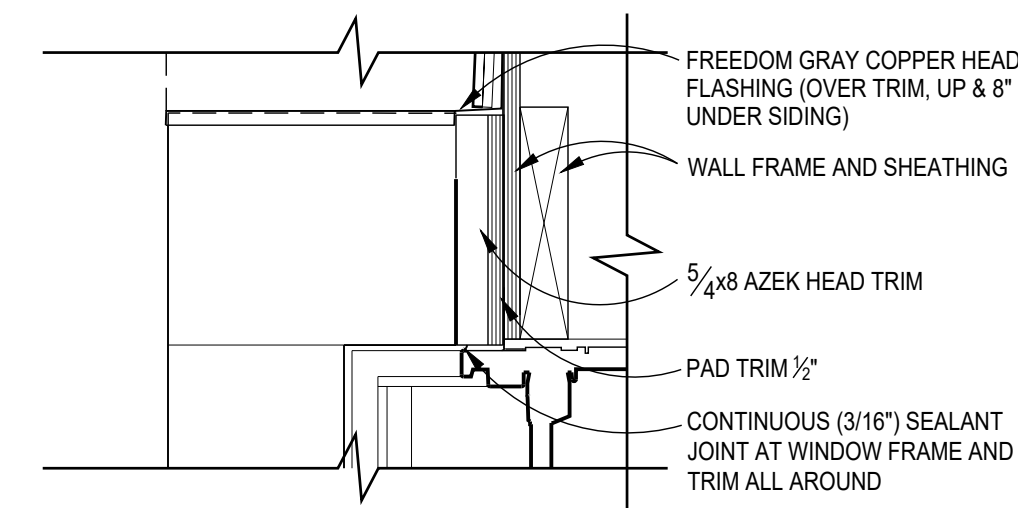
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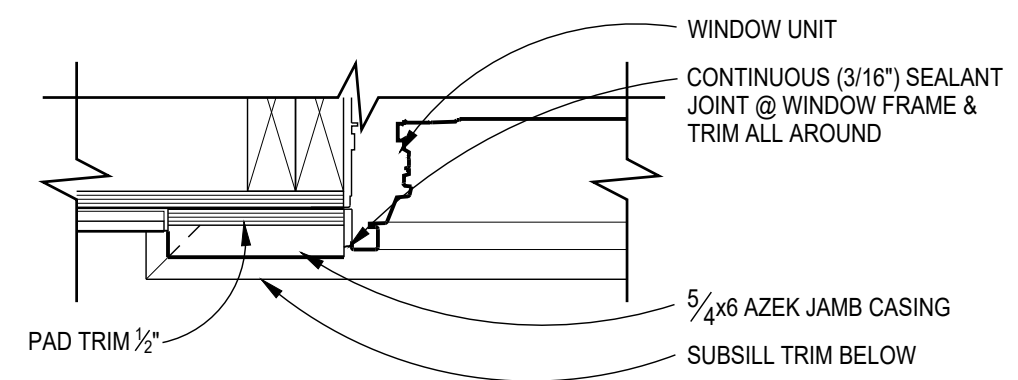
REVIEWED
By Dan.Bruechert at 3:13 pm, Jan 09, 2024



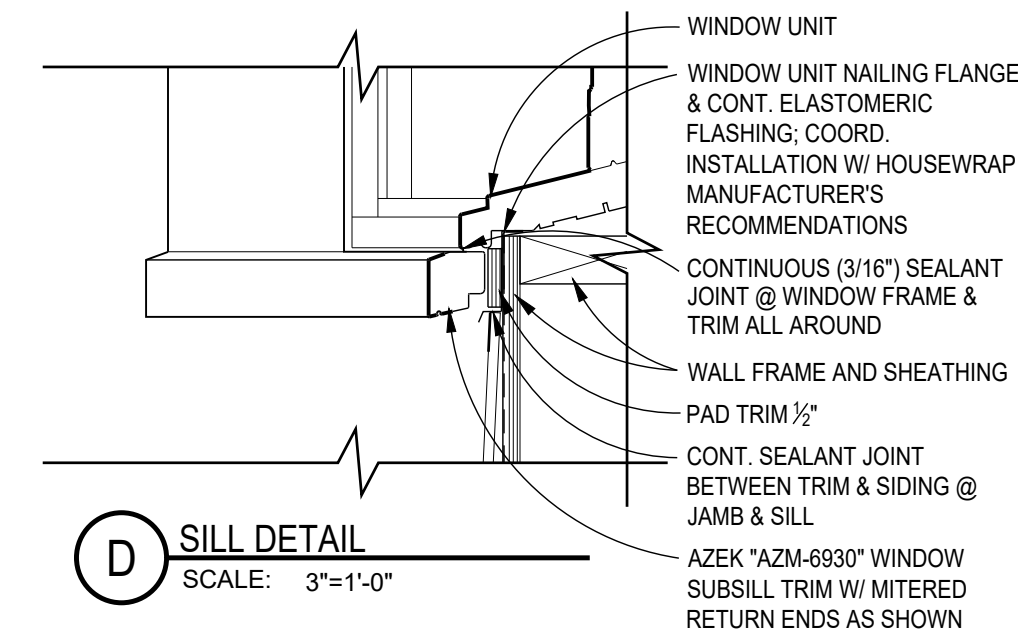
15 TYP. EXT. WINDOW DETAILS
SCALE: AS NOTED



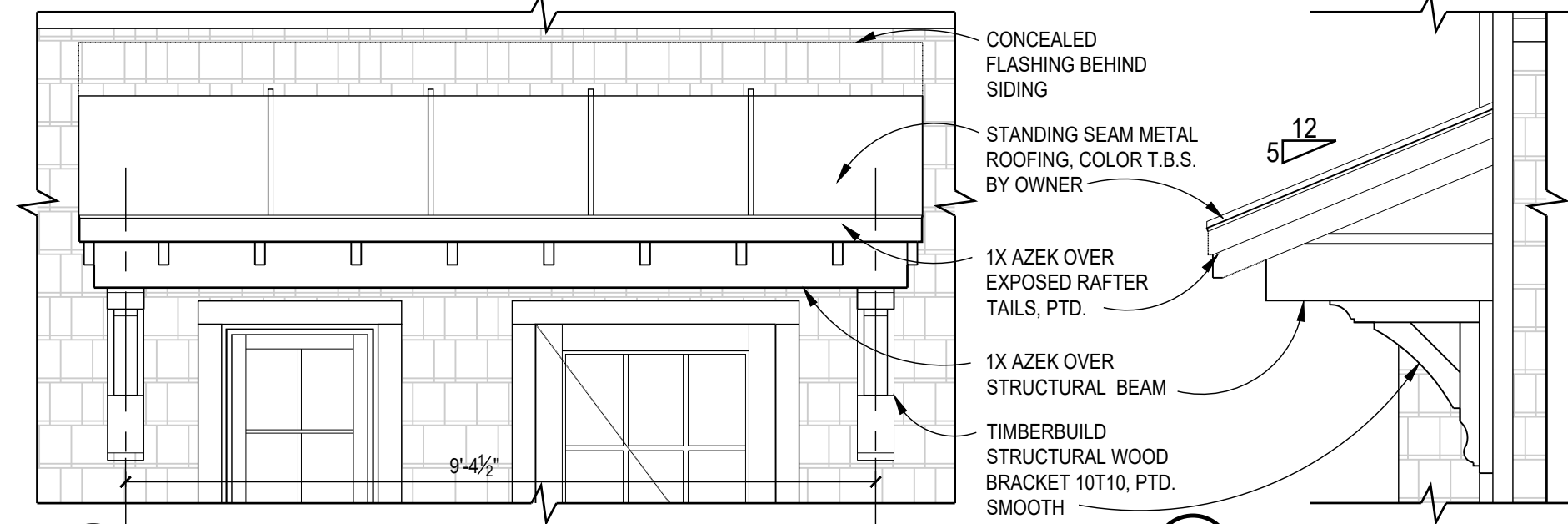
B HEAD DETAIL
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C JAMB DETAIL
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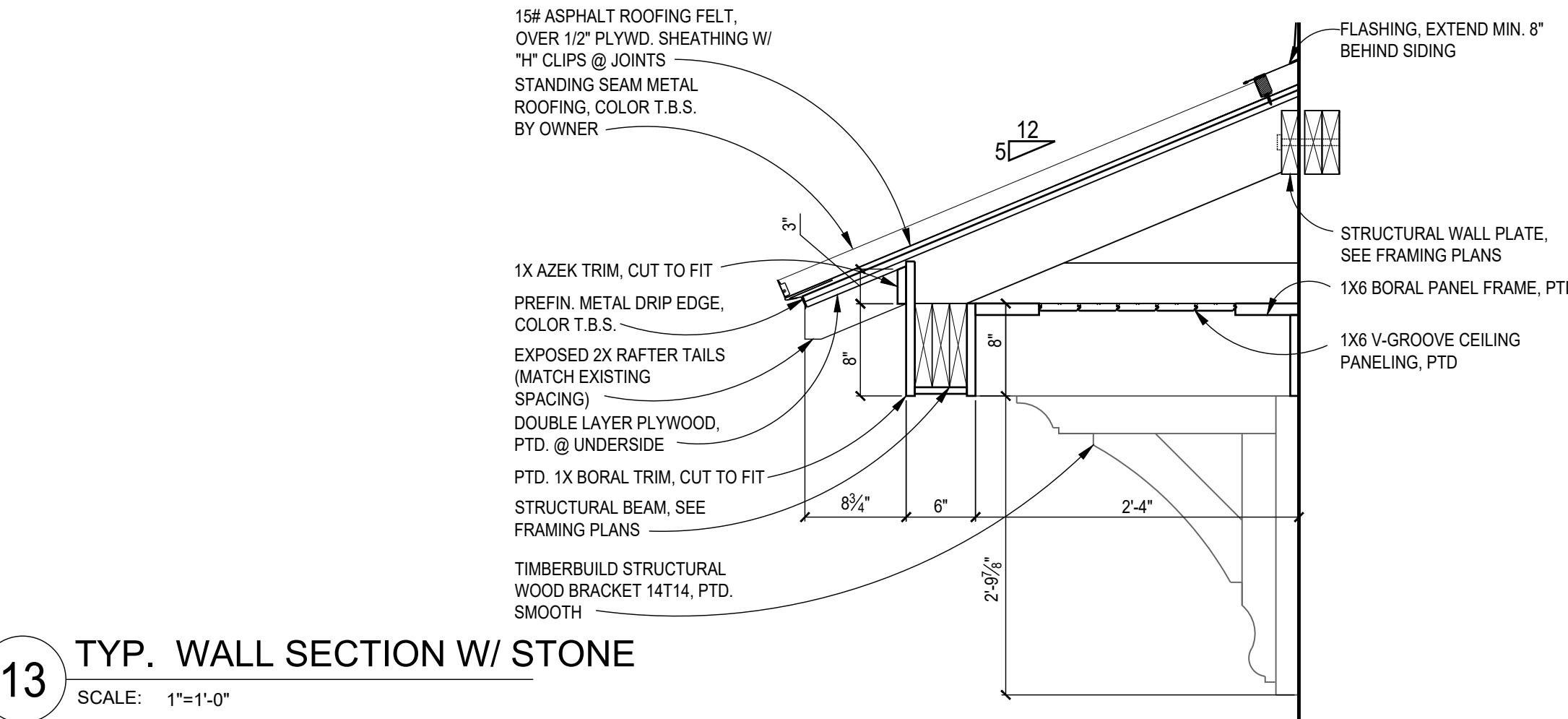


D SILL DETAIL
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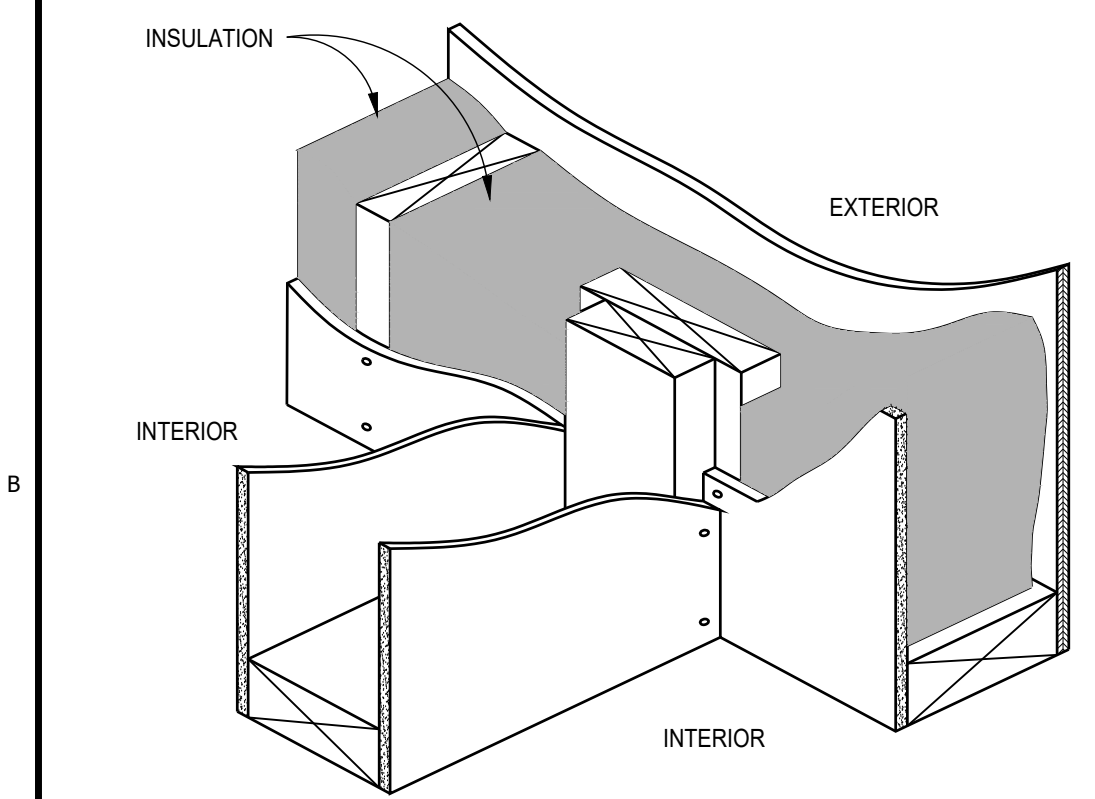


A ELEVATION
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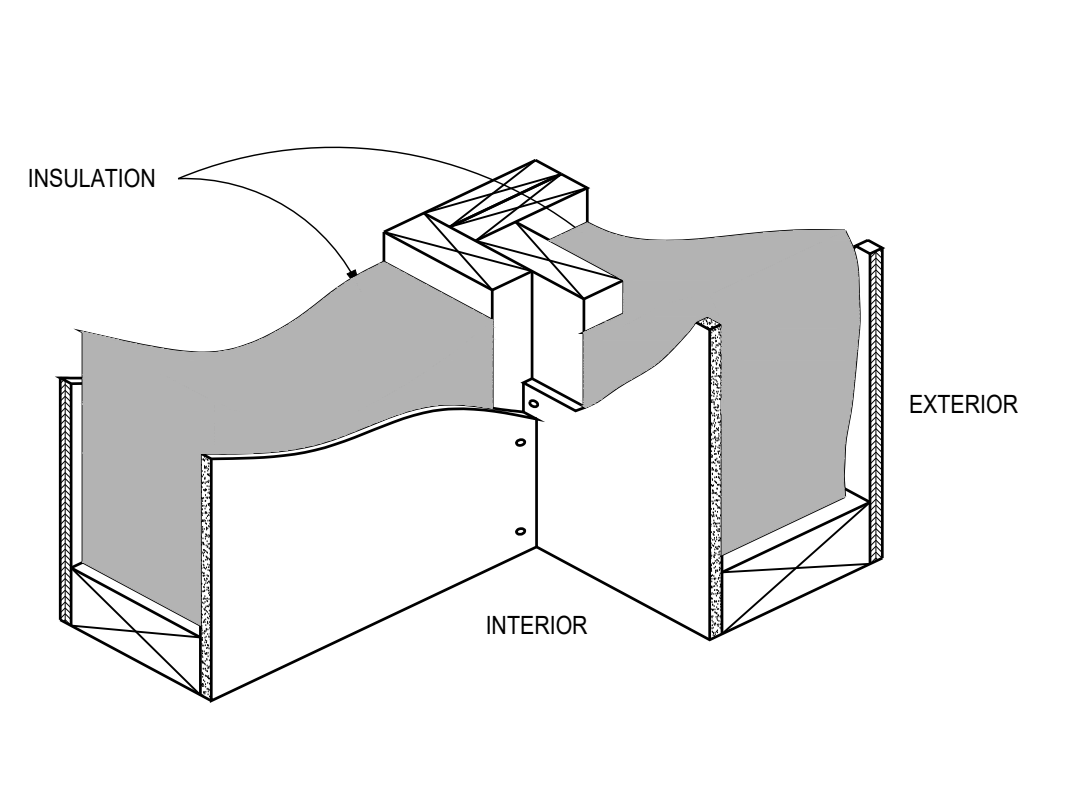
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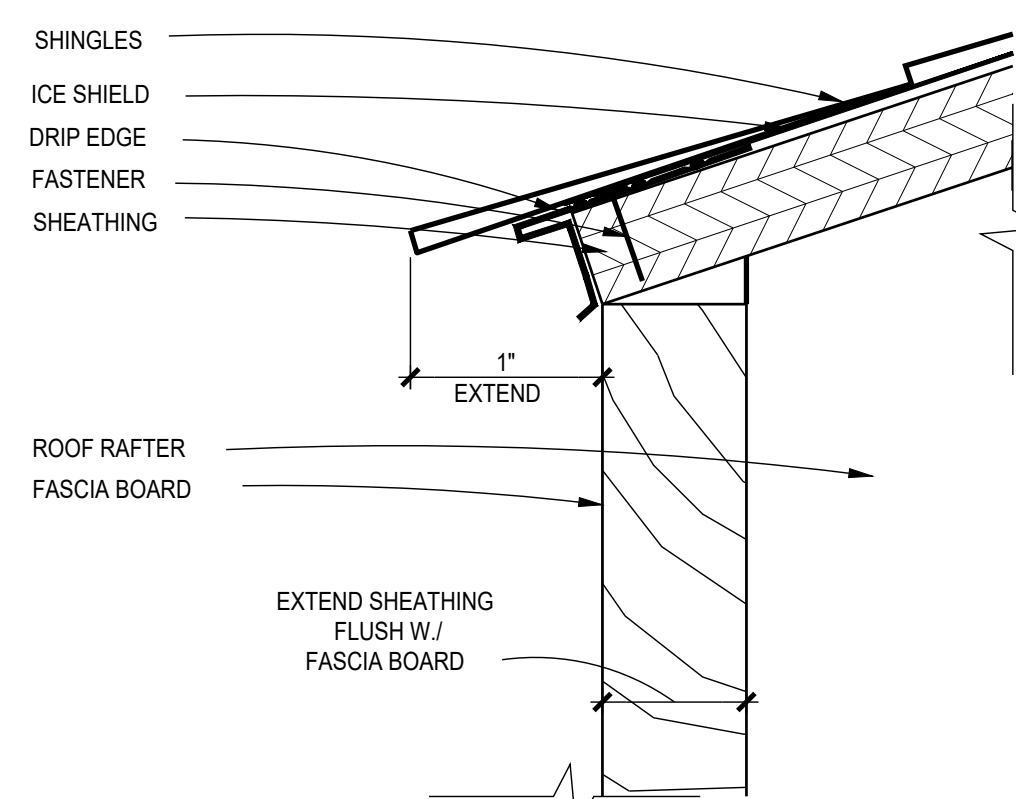
13 TYP. WALL SECTION W/ STONE
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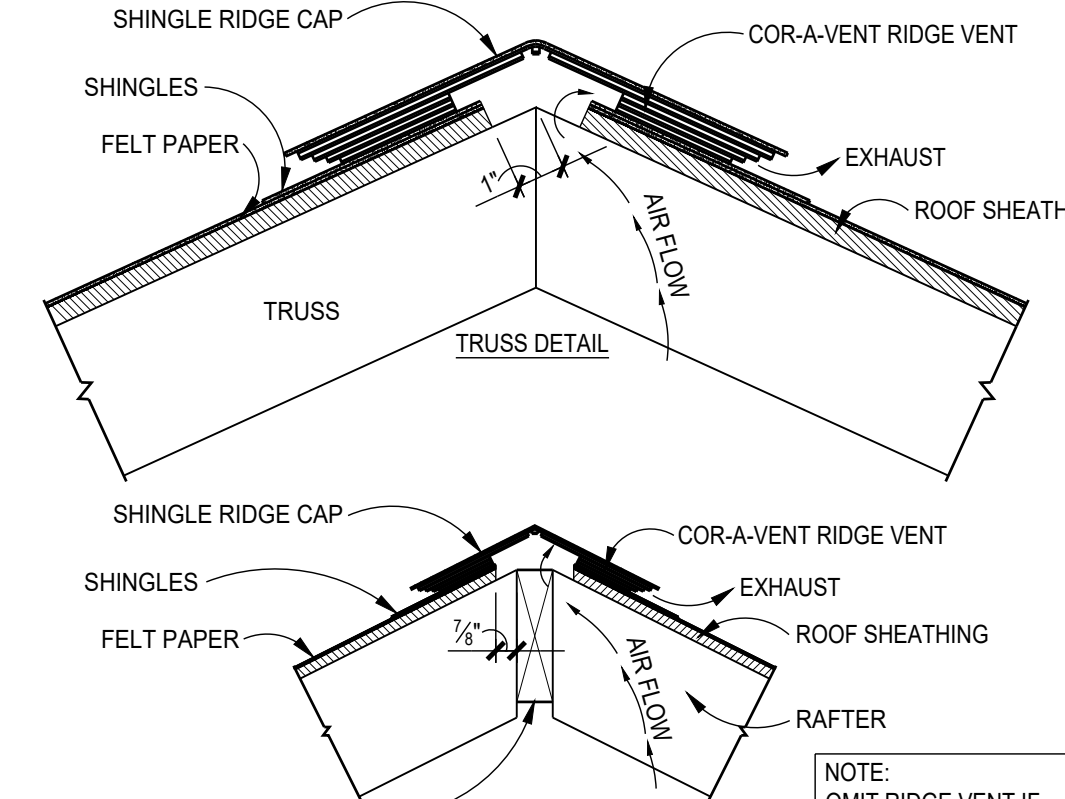
10 INTERSECTING WALL FRAMING DETAIL
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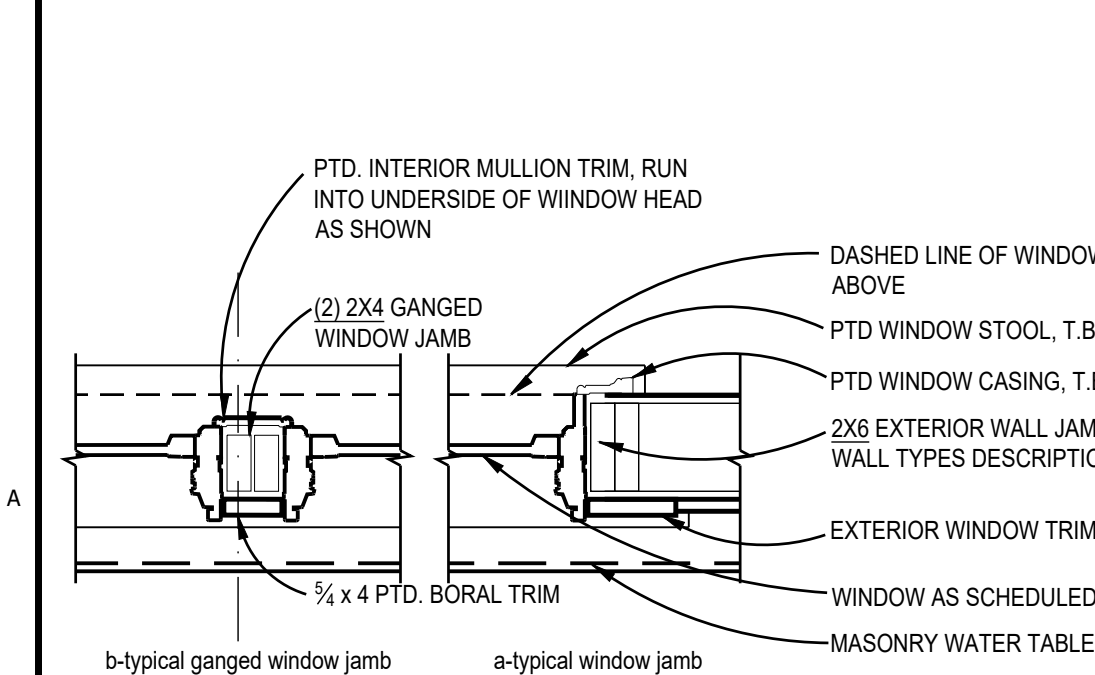
9 CORNER FRAMING DETAIL
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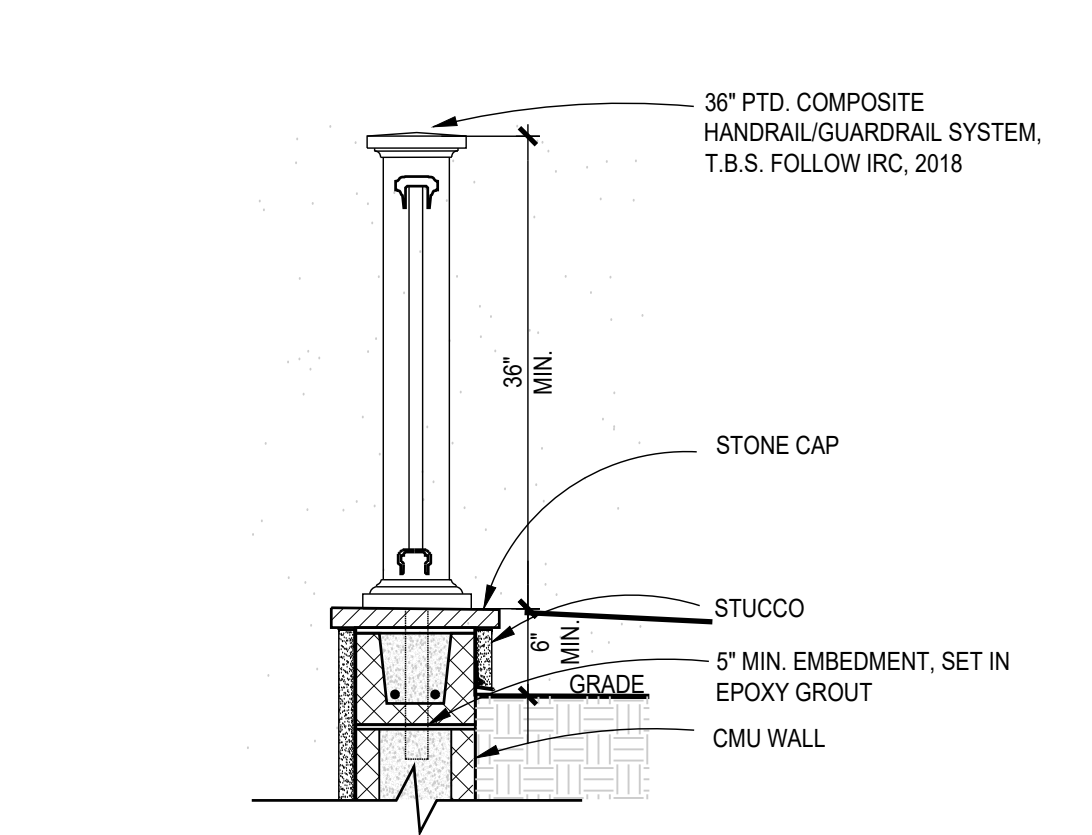
8 DRIP EDGE EAVE DETAIL
SCALE: 1"=1"



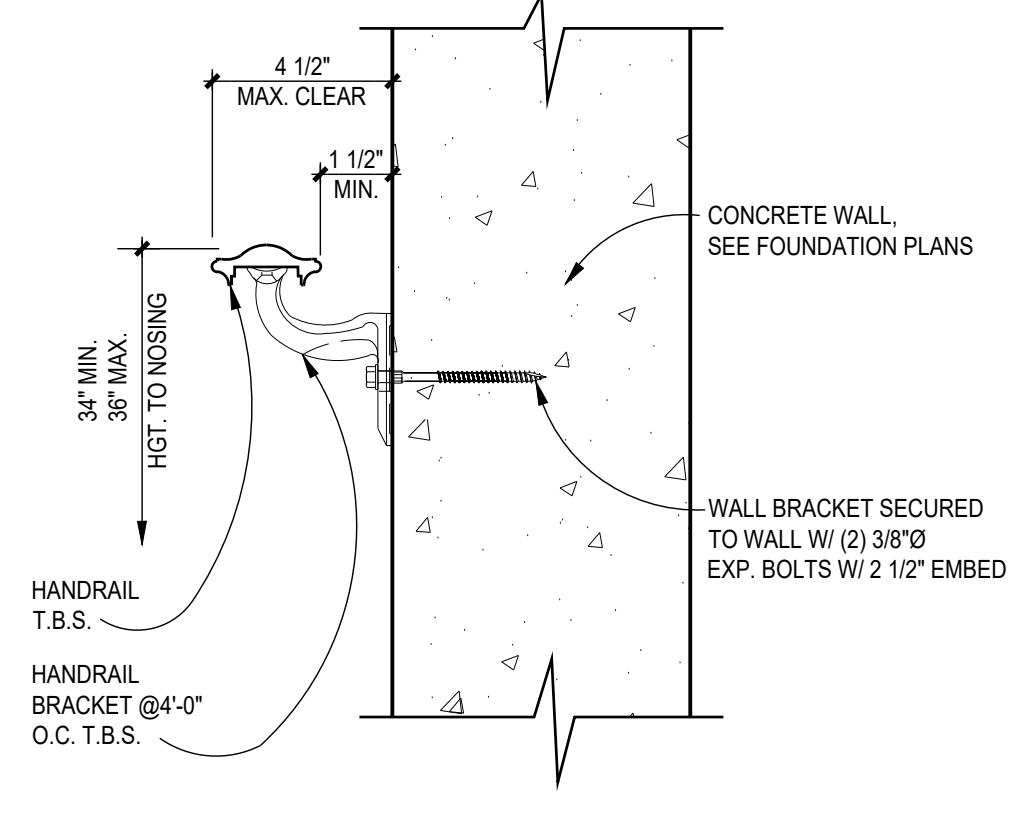
7 TYP. RIDGE VENT DETAIL
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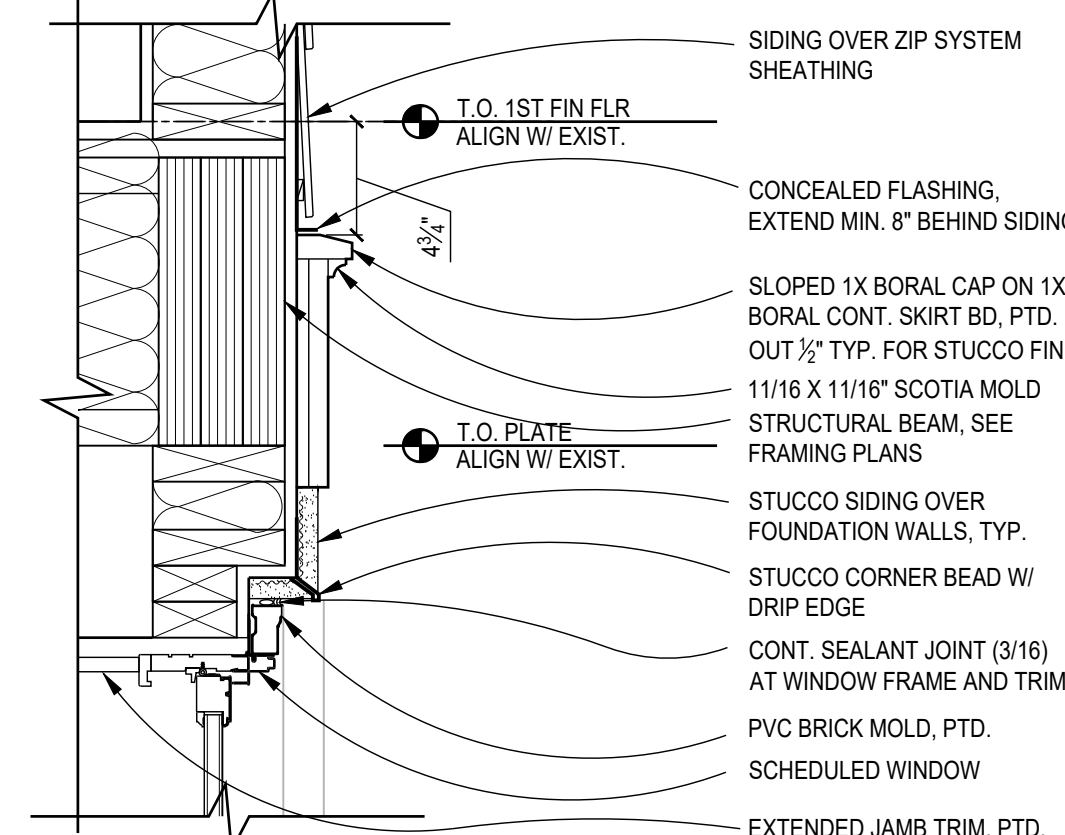
5 TYPICAL GANGED WINDOW
SCALE: 1"=1'-0"



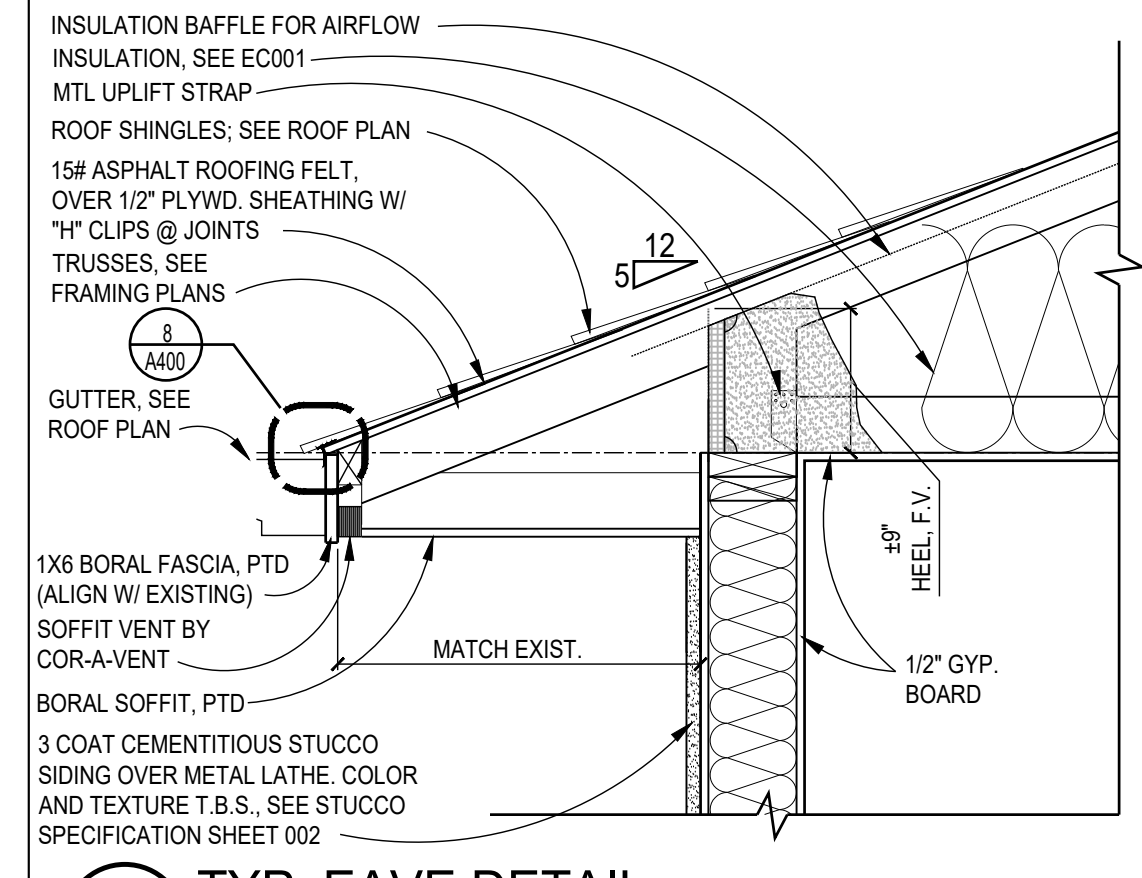
4 GUARD RAIL ATTACHMENT
SCALE: 3/4"=1'-0"



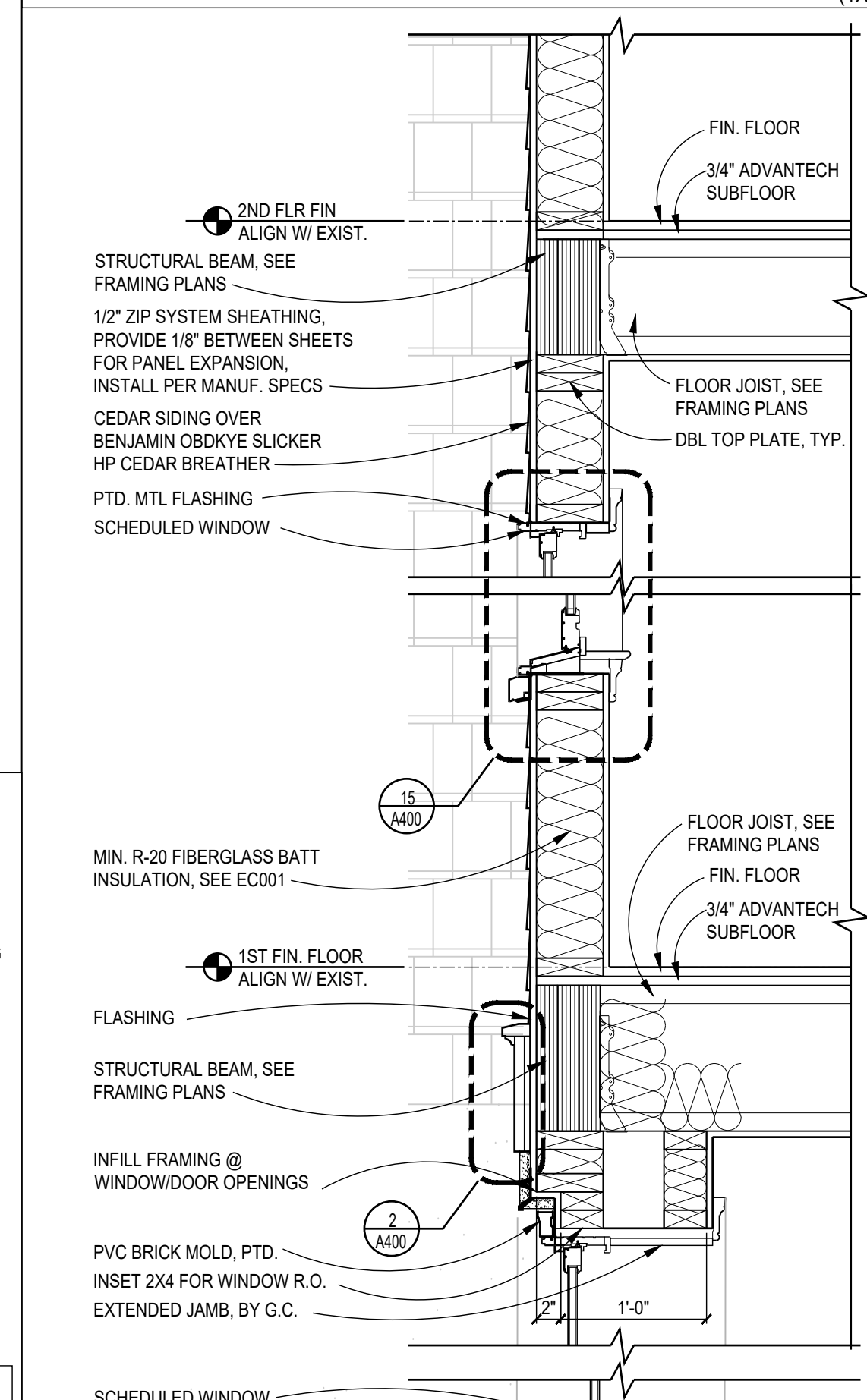
3 EXTERIOR HANDRAIL DETAIL
SCALE: 3"=1'-0"



2 SKIRT BOARD DETAIL
SCALE: 1 1/2"=1'-0"



16 TYP. EAVE DETAIL
SCALE: 1"=1'-0"

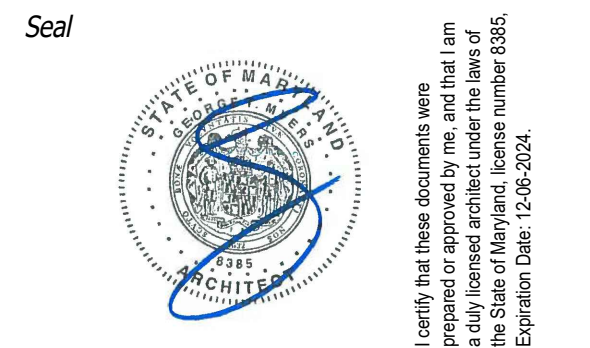


1 WALL SECTION DETAIL
SCALE: 1"=1'-0"

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Consultant

Project
HERMAN RESIDENCE

22 WEST IRVING ST., CHEVY CHASE, MD 20815

Owner

Developer

PERMIT SET 01/05/2024

Issue Description Date

GTM Project No. 22.0436

Checked By GTM

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Scale AS NOTED

Sheet Title
TYPICAL EXTERIOR DETAILS

Sheet No.
A400

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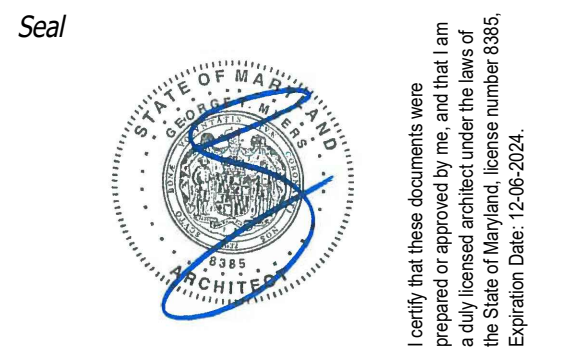


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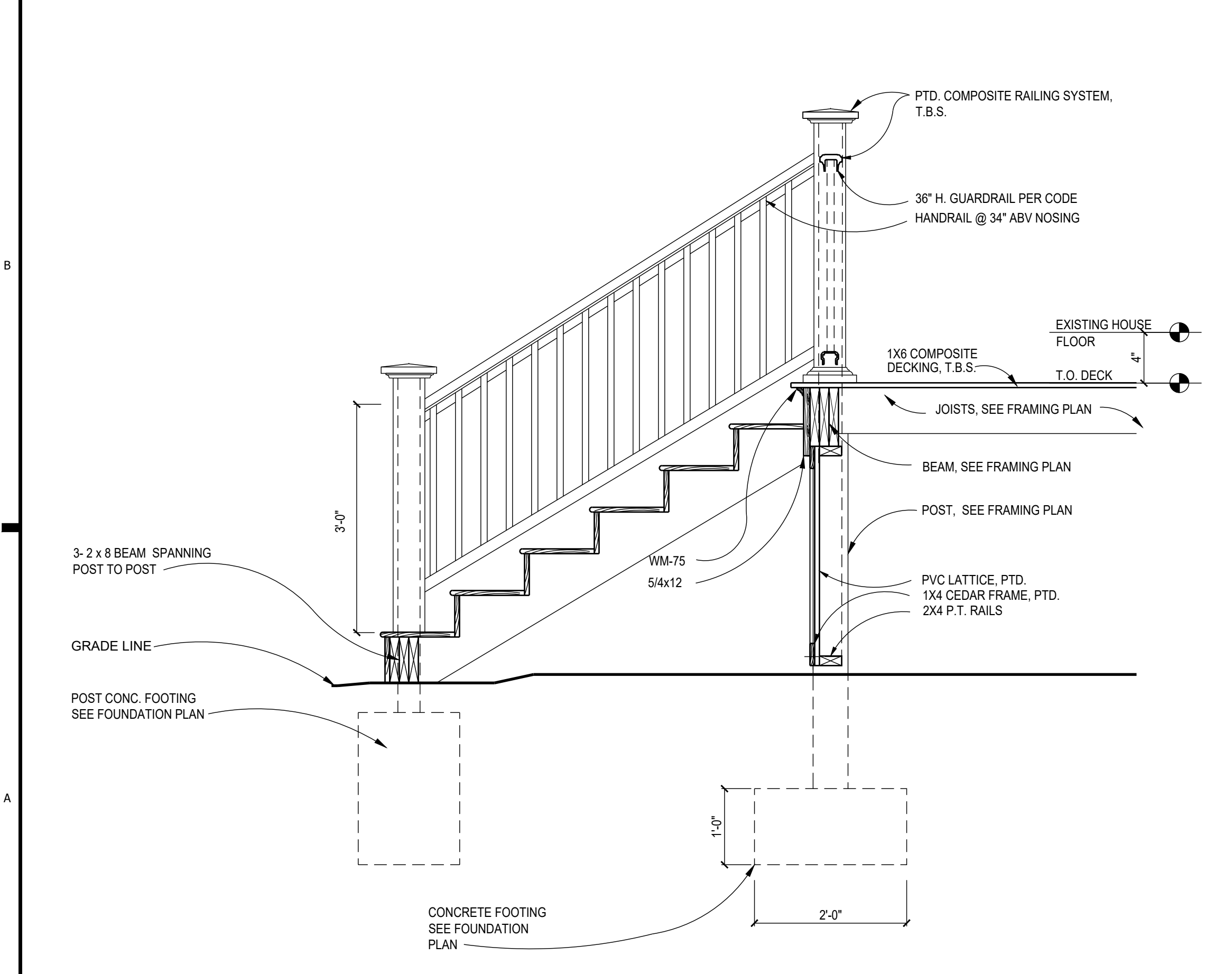
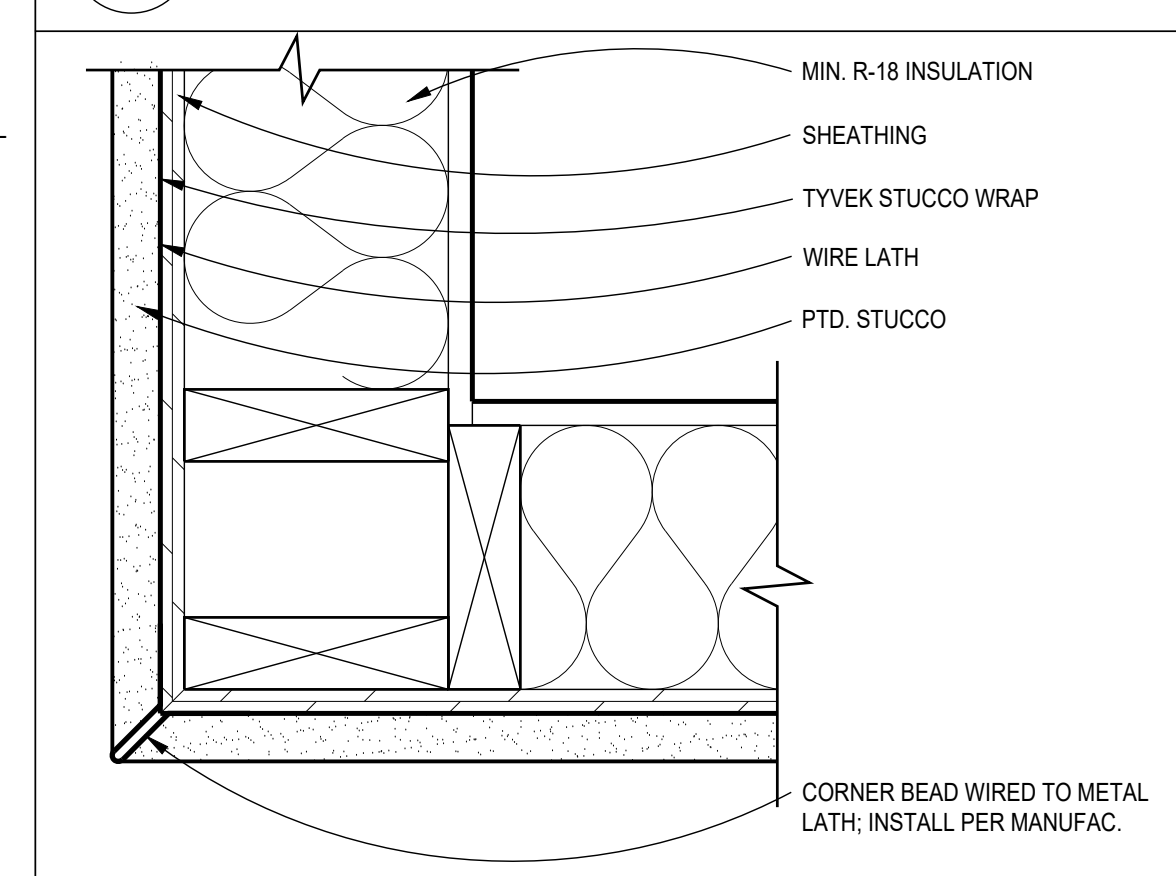
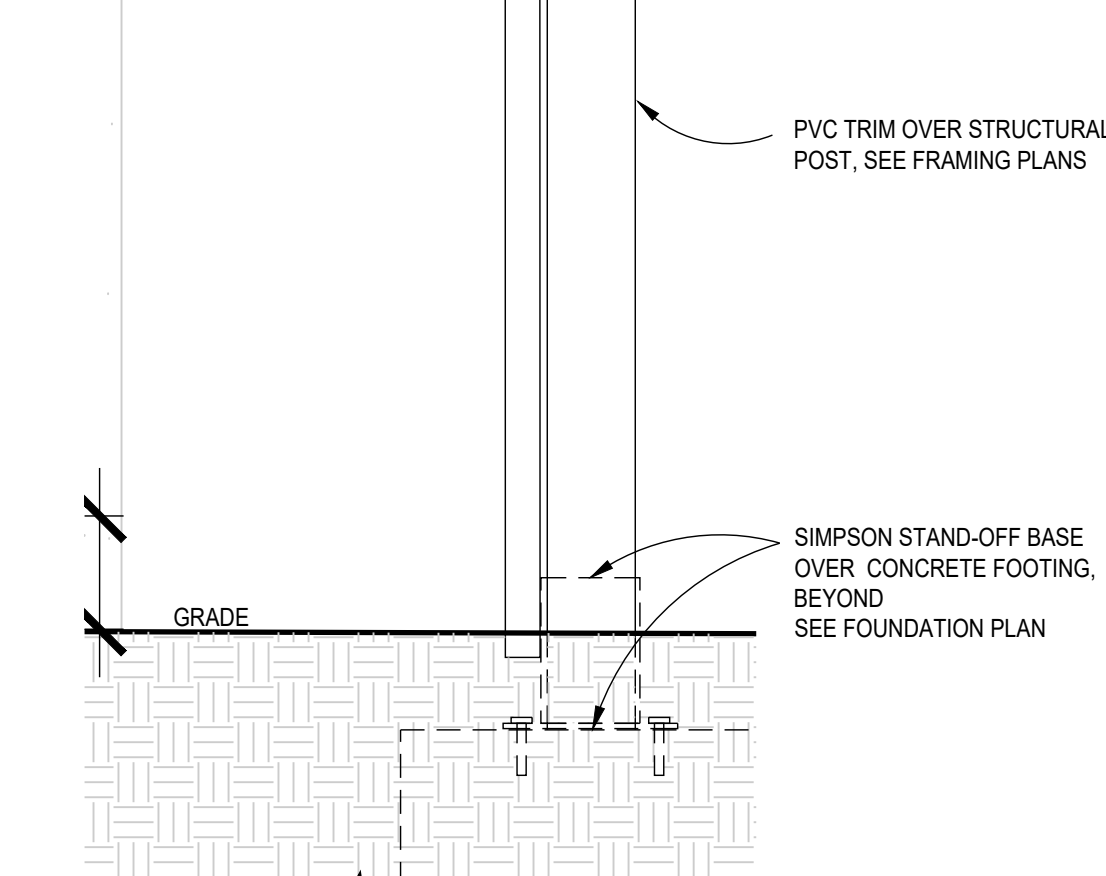
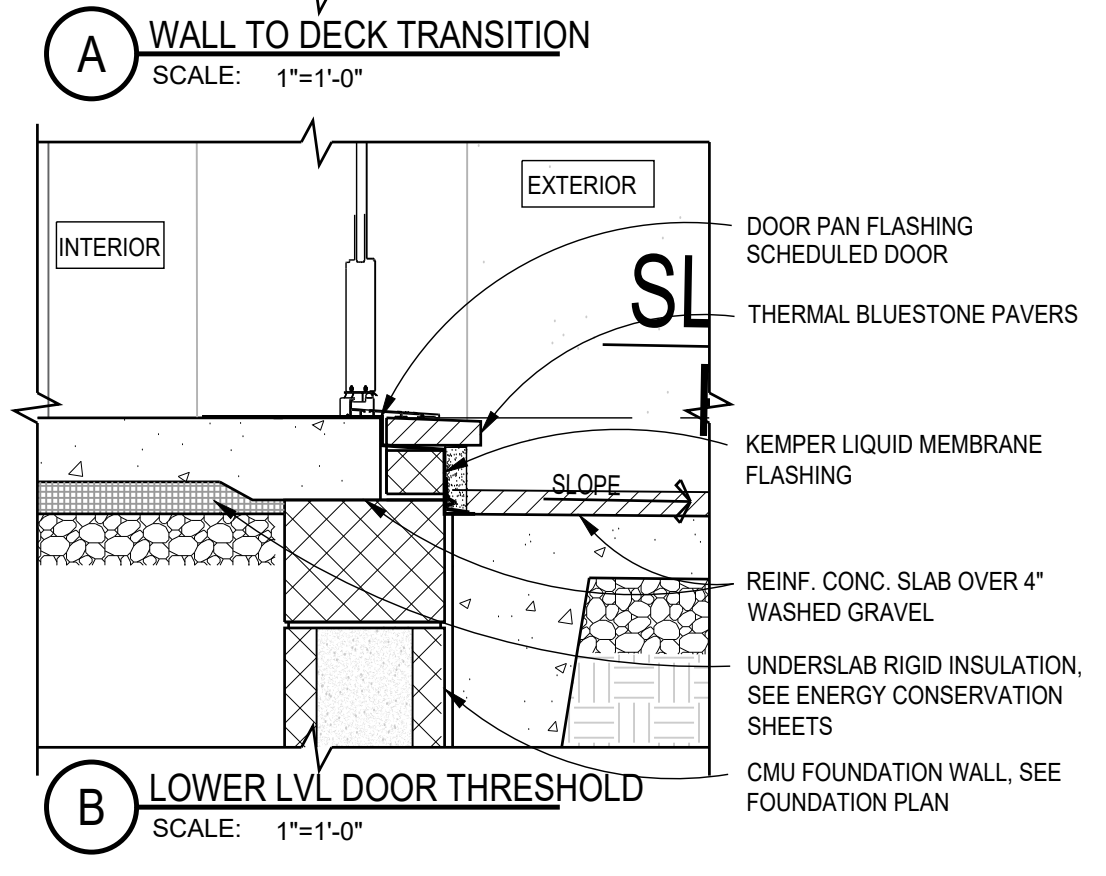
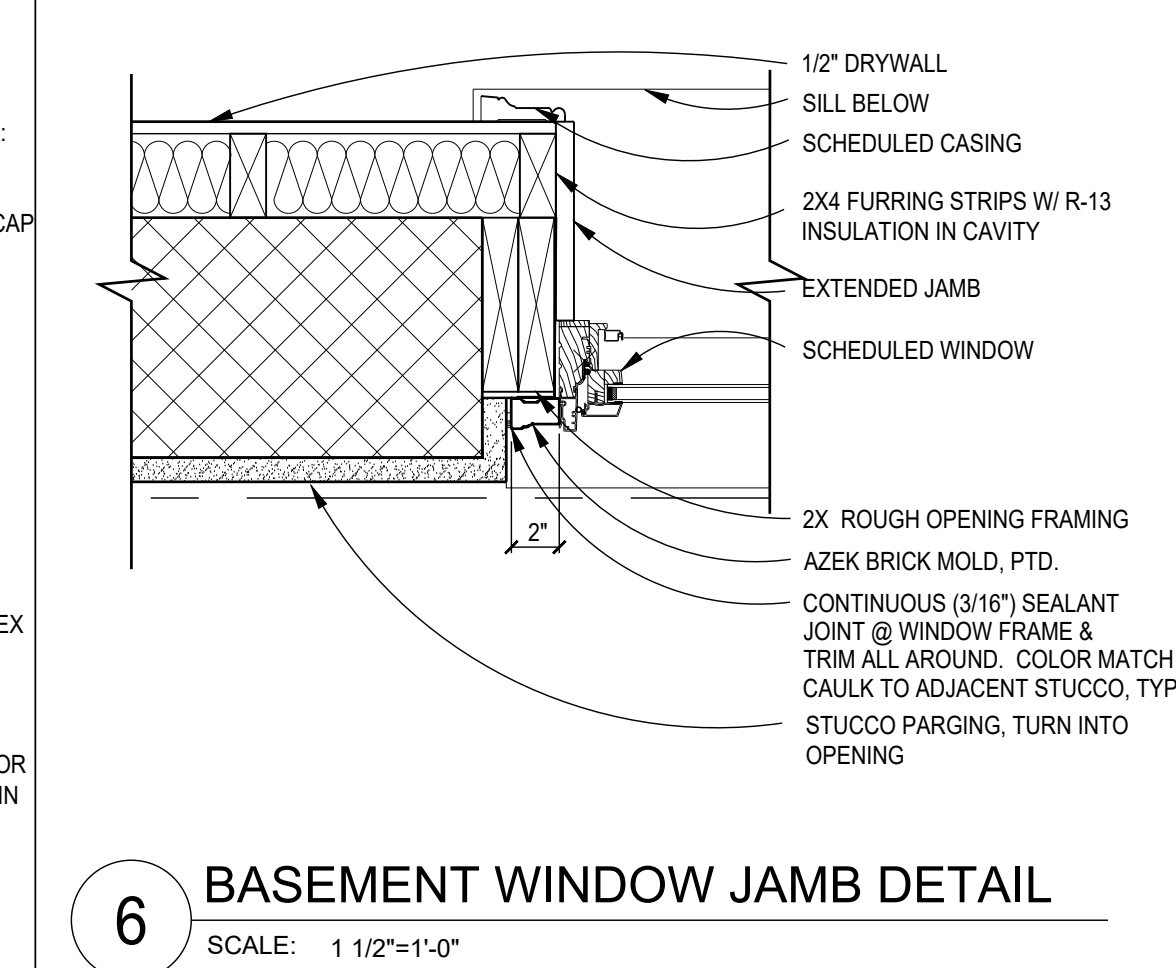
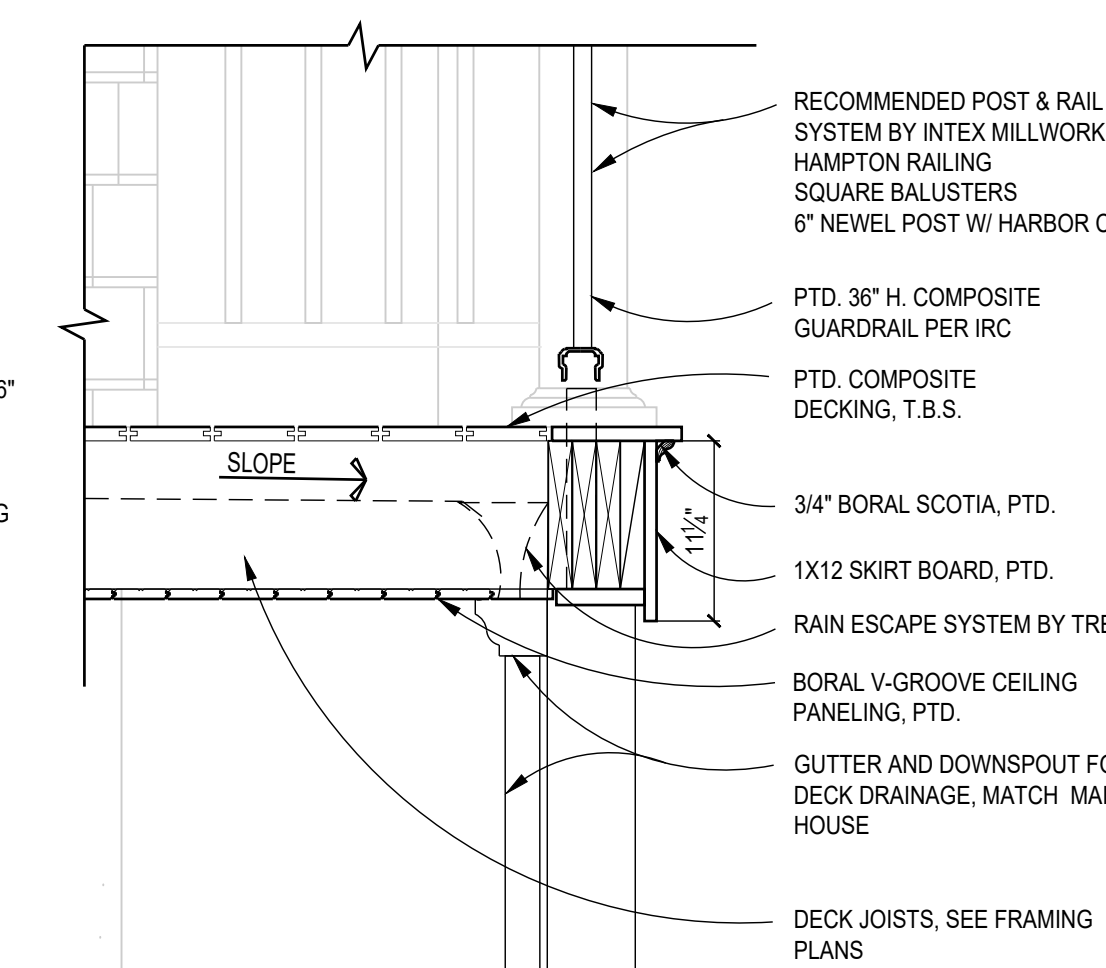
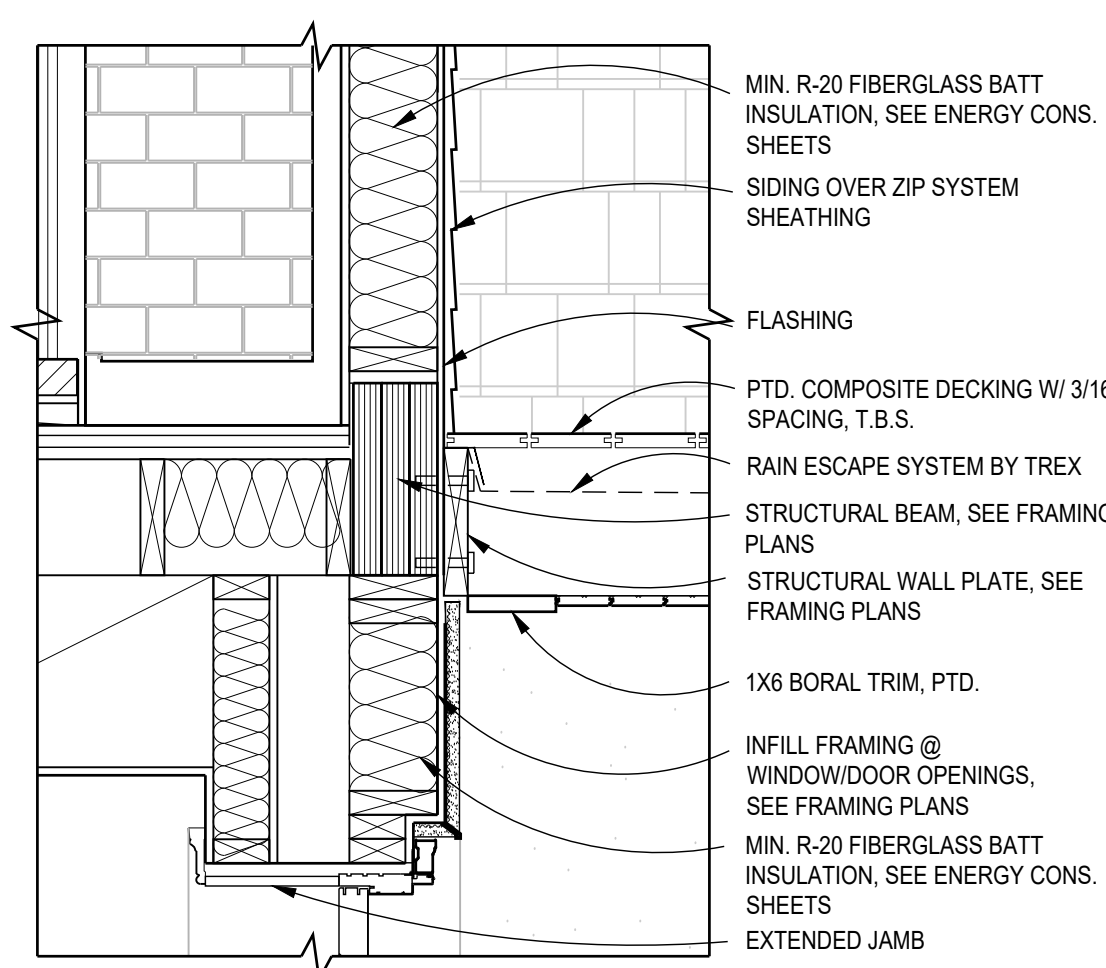
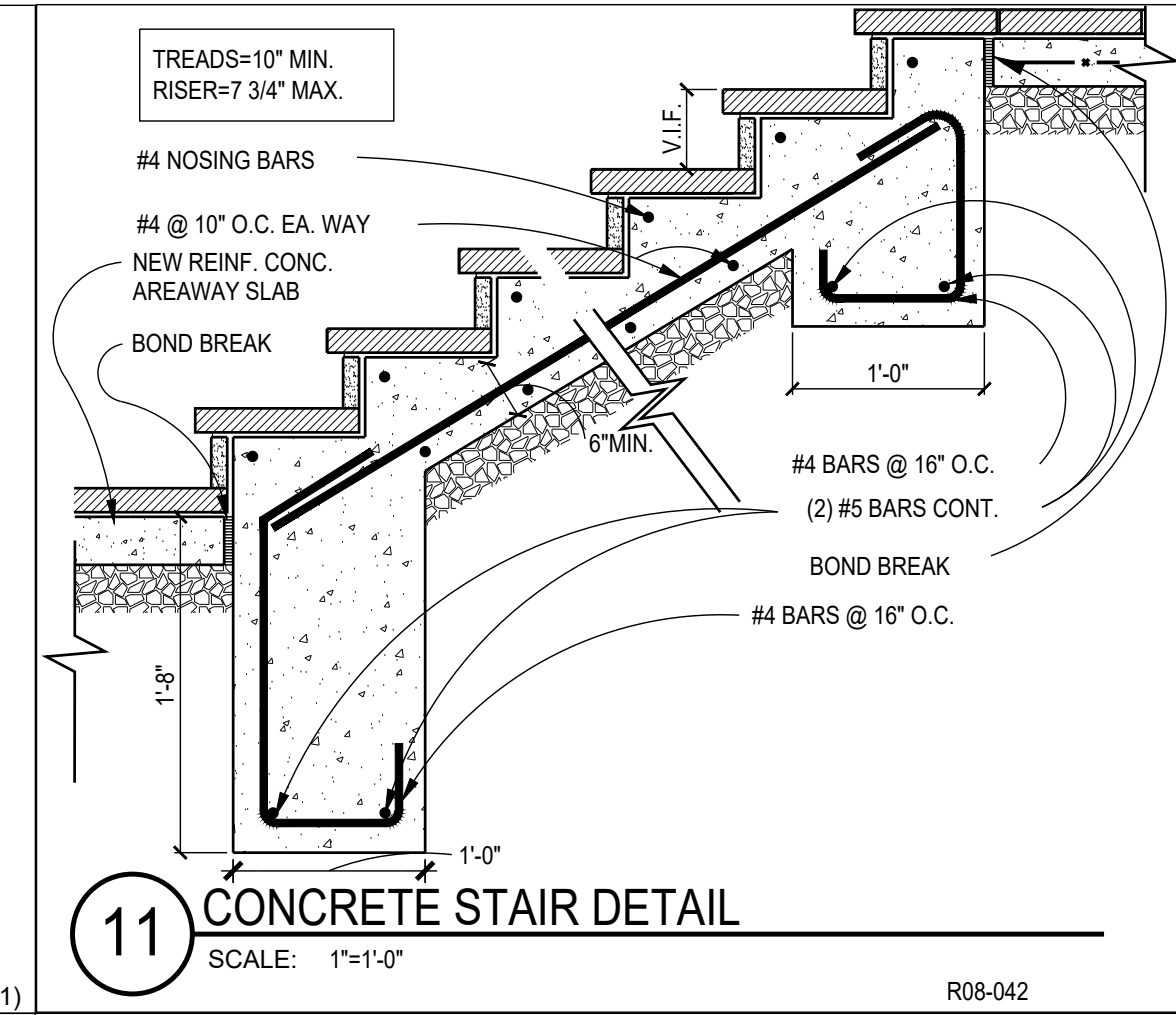
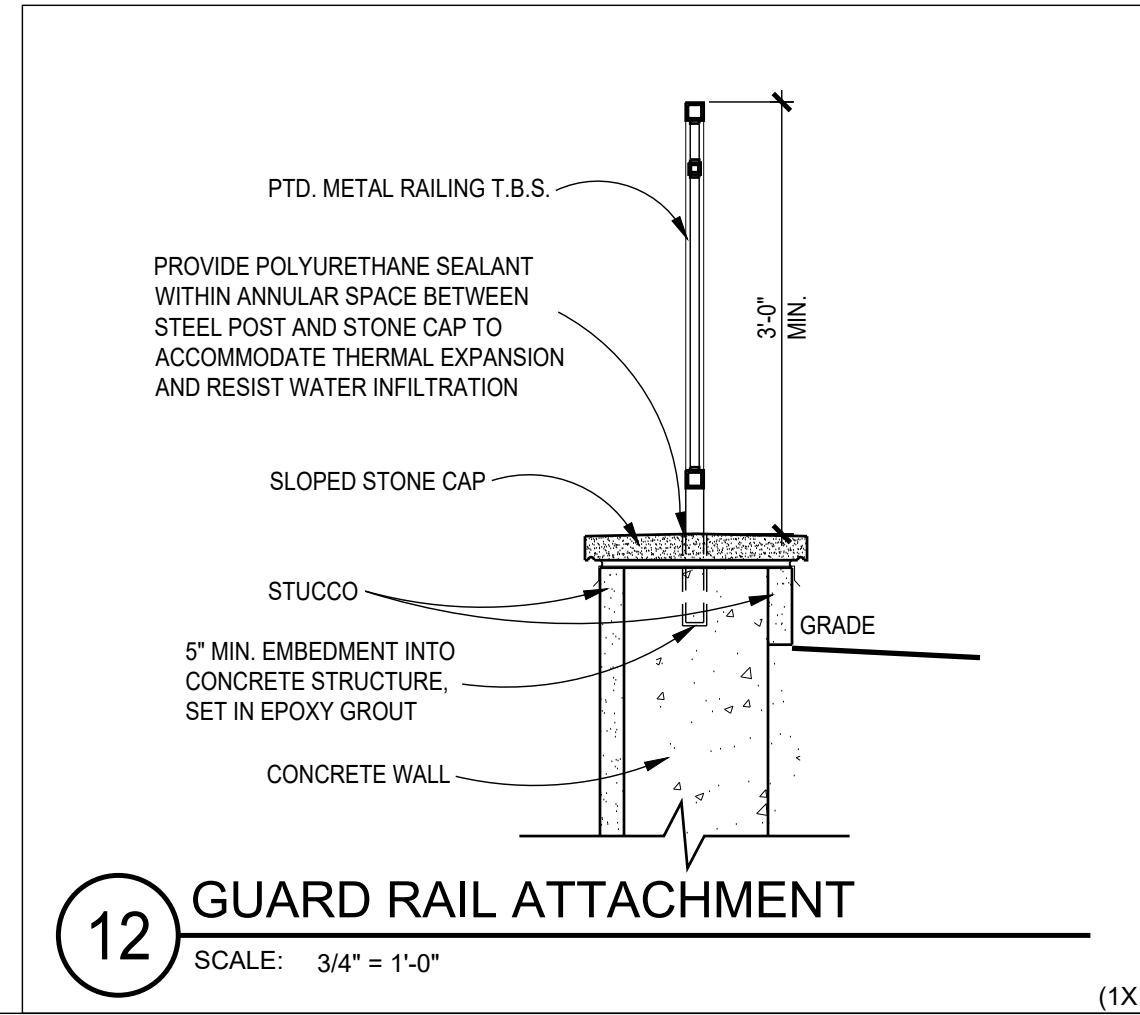
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TYPICAL
EXTERIOR
DETAILS

Sheet No.

A401

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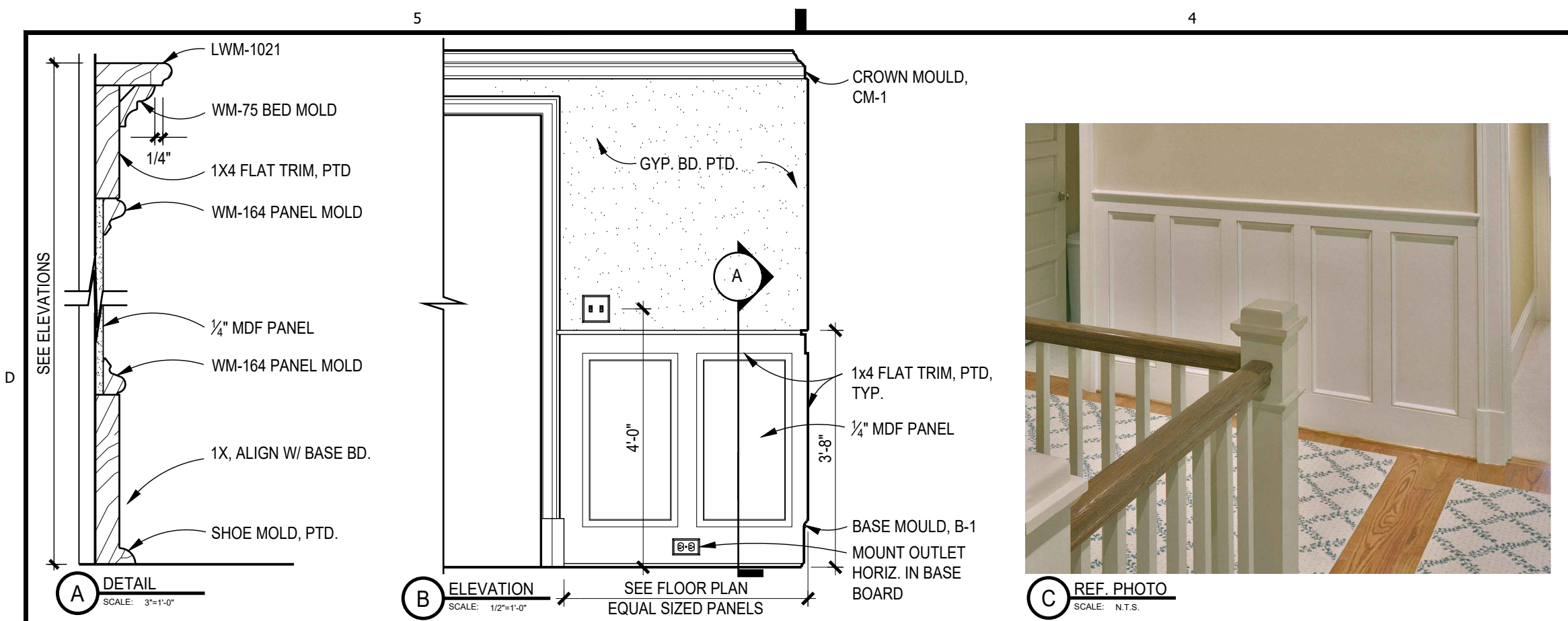


5 WOOD STAIR DECK DETAIL
SCALE: 3/4" = 1'-0"
R08-020 (2X2)

3 DECK DETAIL
SCALE: 1" = 1'-0"
(1X1)

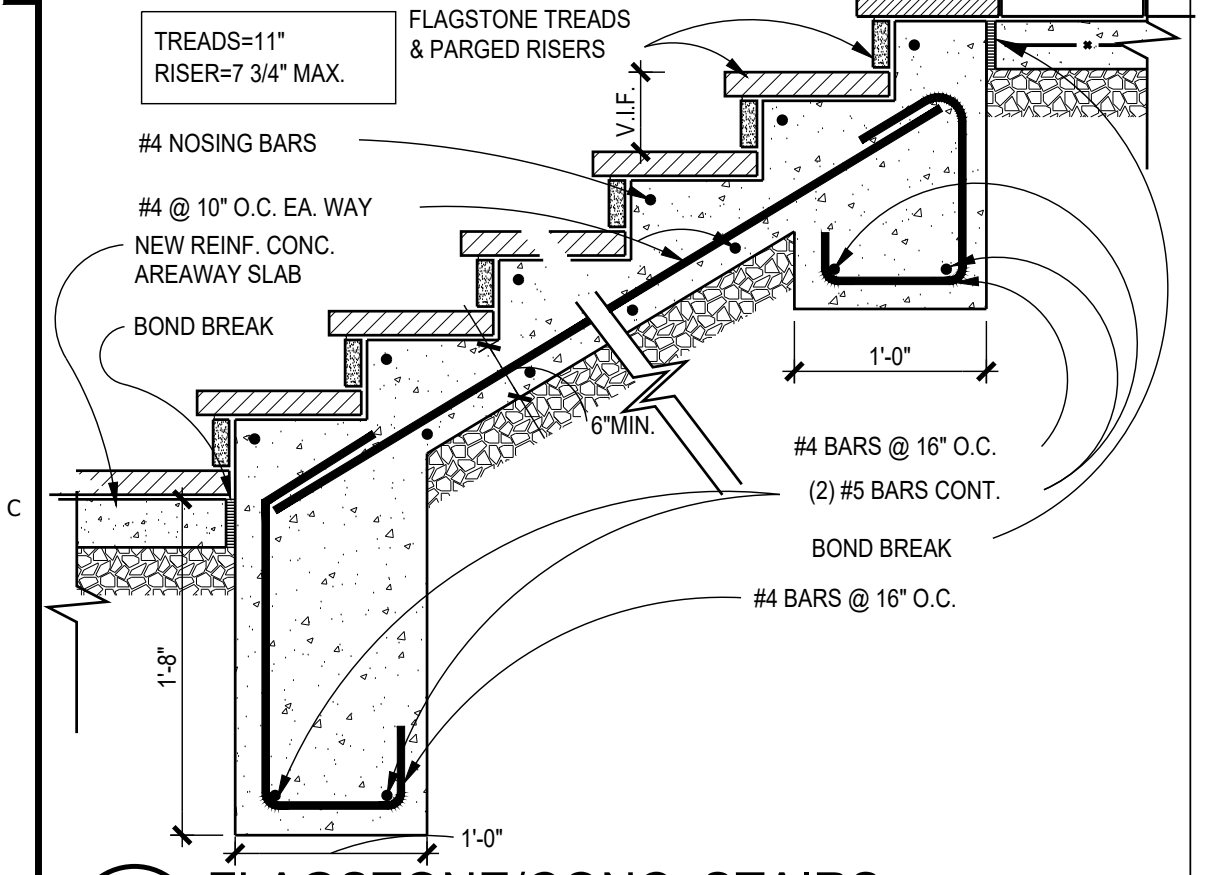
C LOWER LVL DOOR THRESHOLD
SCALE: 1" = 1'-0"
(1X1)

1 EXPANSION CONTROL JOINT DET.
SCALE: 3" = 1'-0"
(1X1)

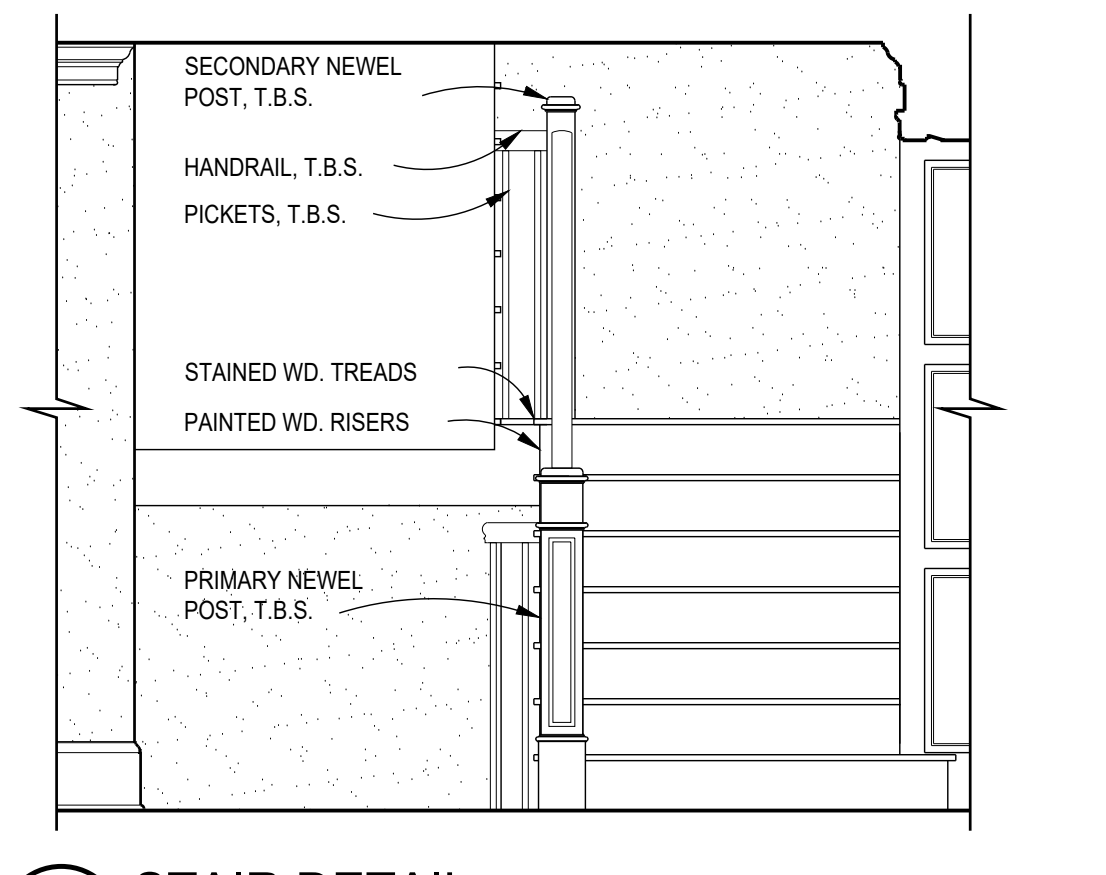


15 **PANELED WAINSCOT**
SCALE: AS NOTED

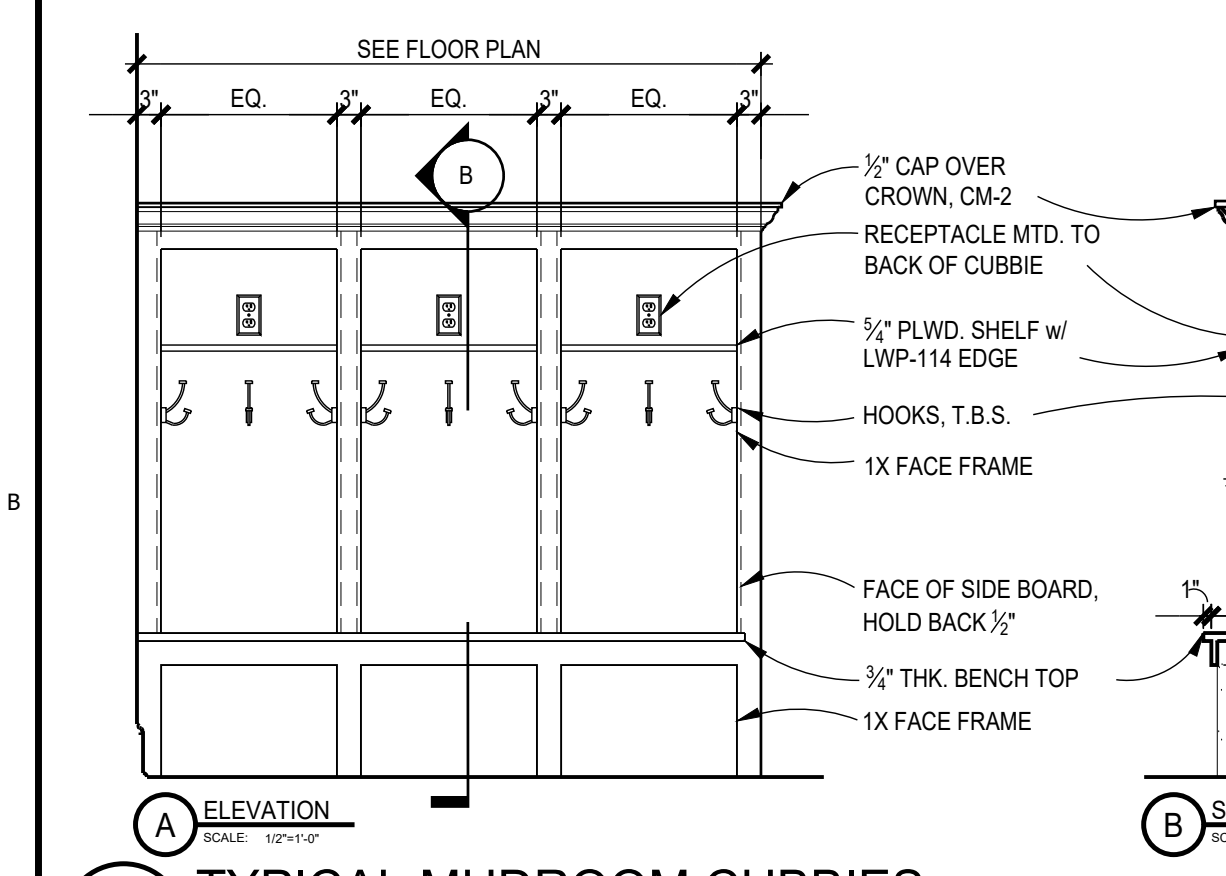
NOTE: DETAILS INCLUDED FOR PRICING PURPOSES. FINAL DESIGN T.B.D.



5 **FLAGSTONE/CONC. STAIRS**
SCALE: 1/2\"/>



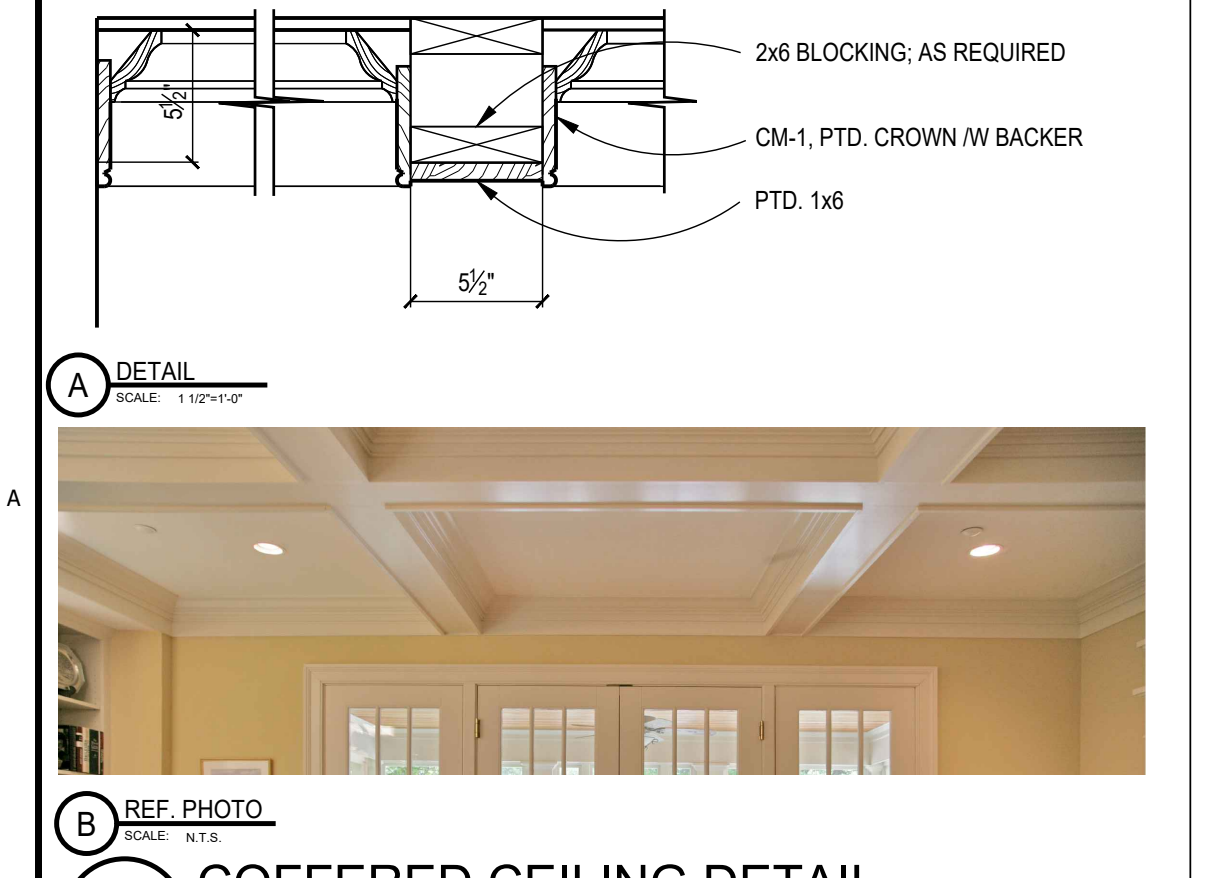
12 **STAIR DETAIL**
SCALE: 1/2\"/>



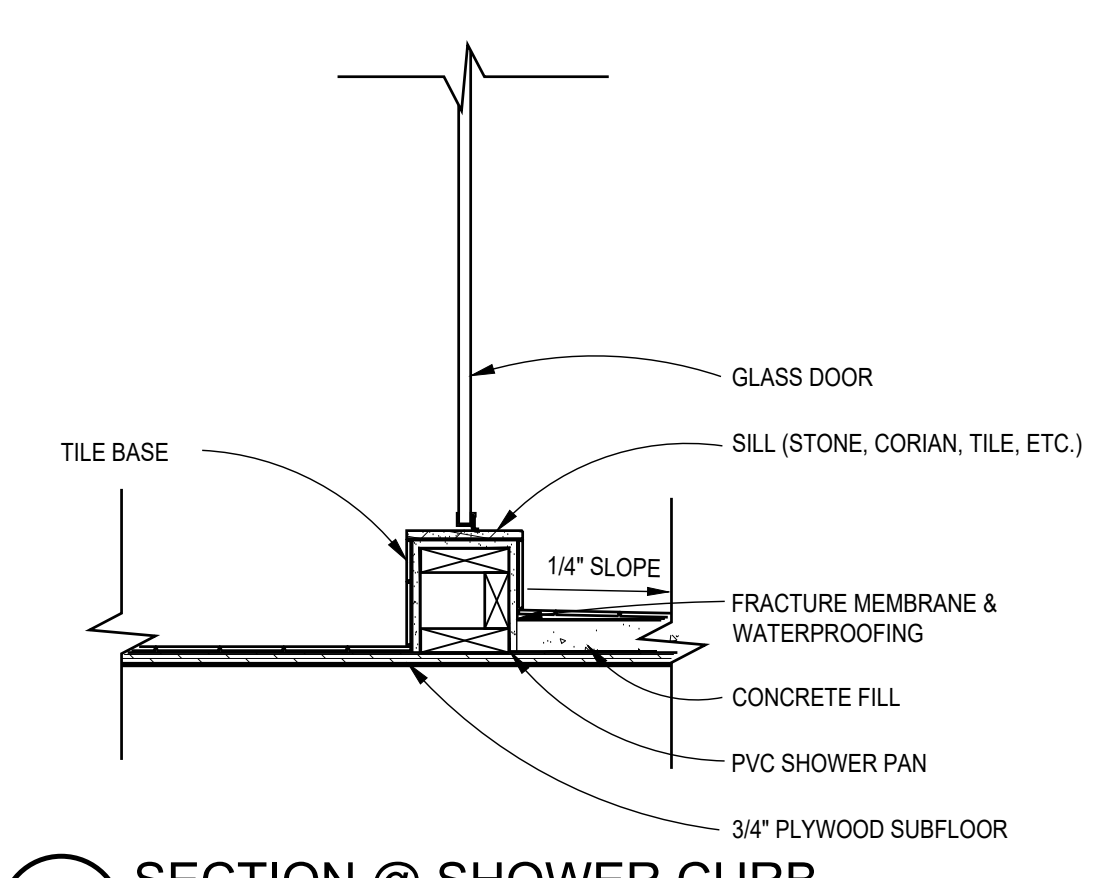
10 **TYPICAL MUDROOM CUBBIES**
SCALE: 1/2\"/>



C **REF. PHOTO**
SCALE: N.T.S.



5 **COFFERED CEILING DETAIL**
SCALE: 1 1/2\"/>



4 **SECTION @ SHOWER CURB**
SCALE: 1\"/>



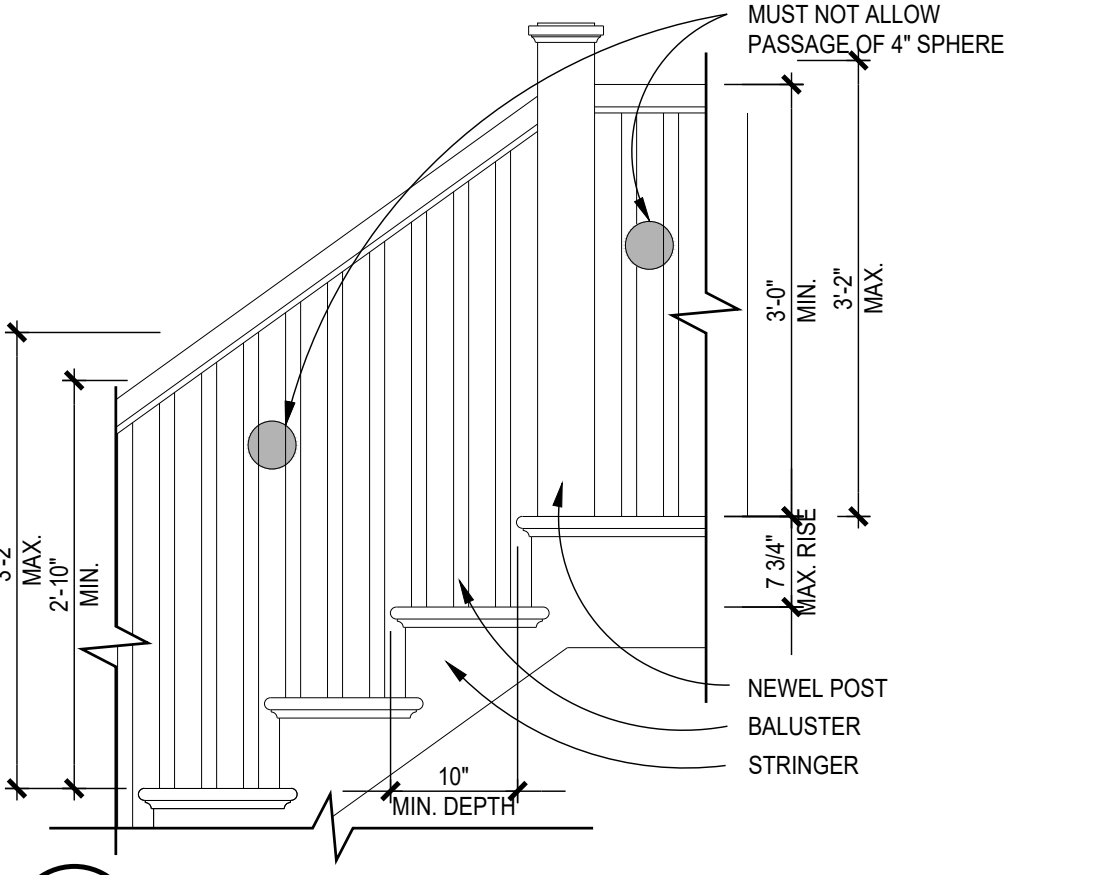
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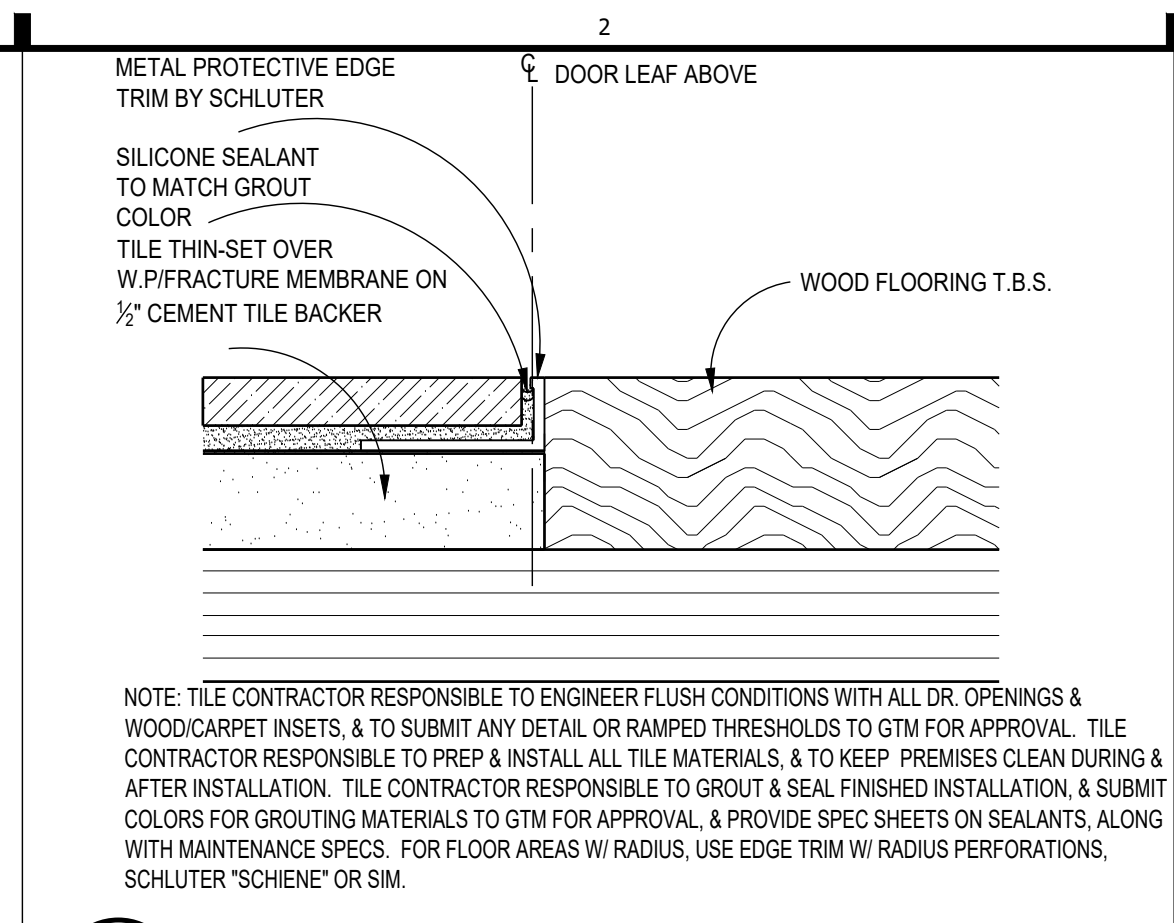
Rouven K. Voorn

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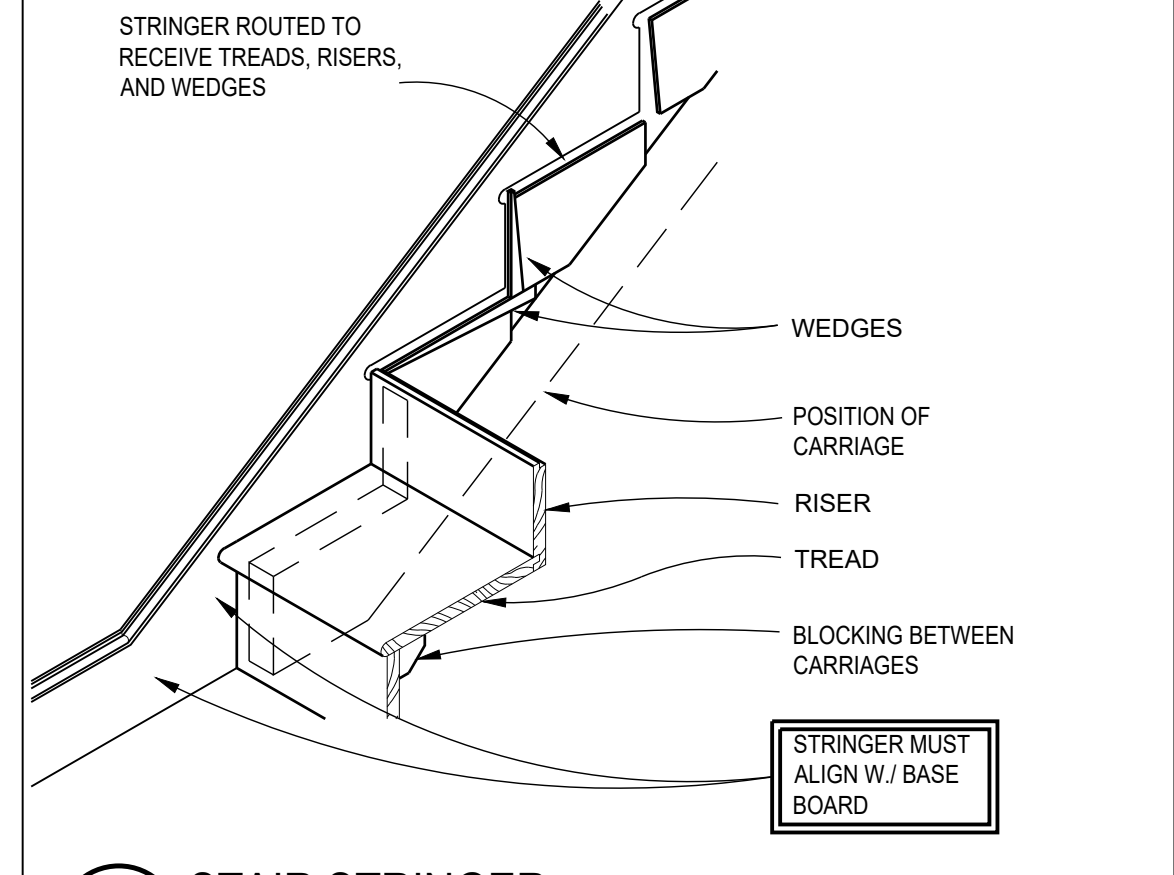
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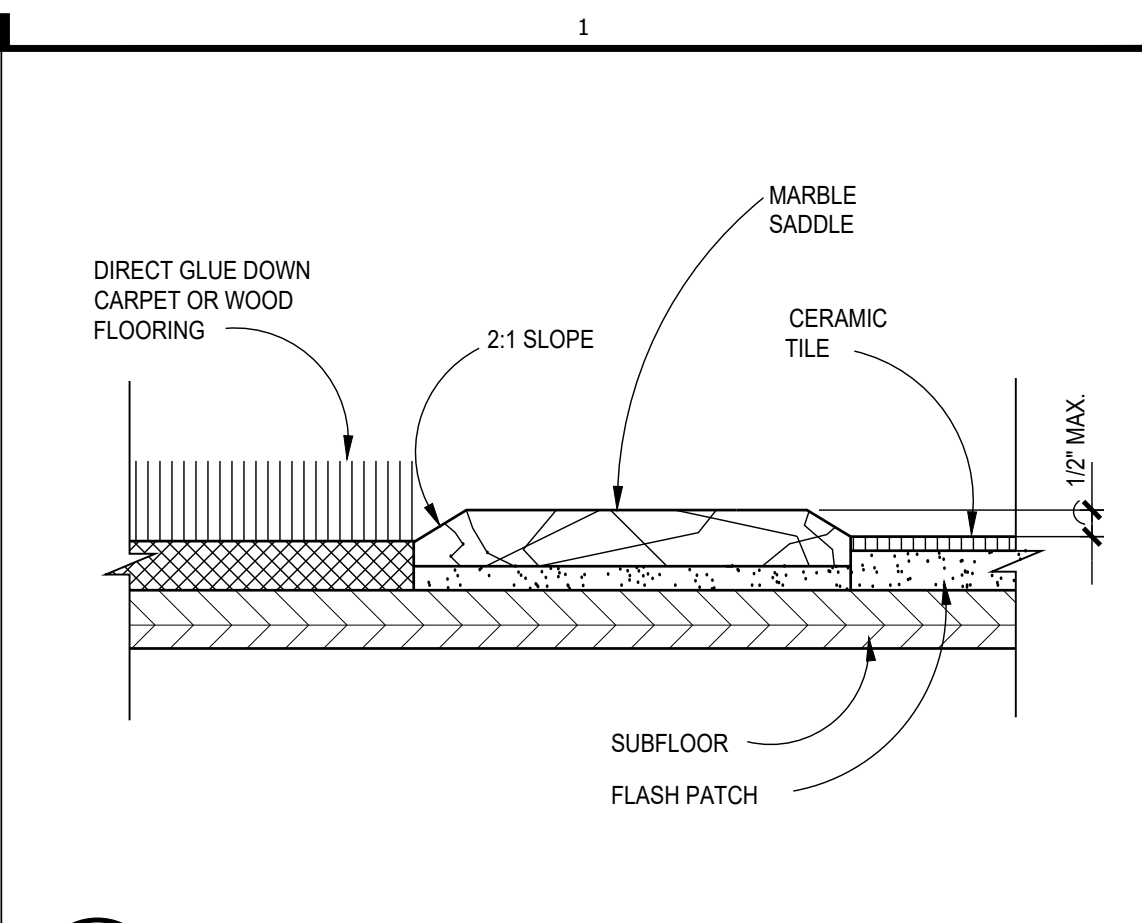
11 **HANDRAIL STAIR CLEARANCES**
SCALE: 3/4\"/>



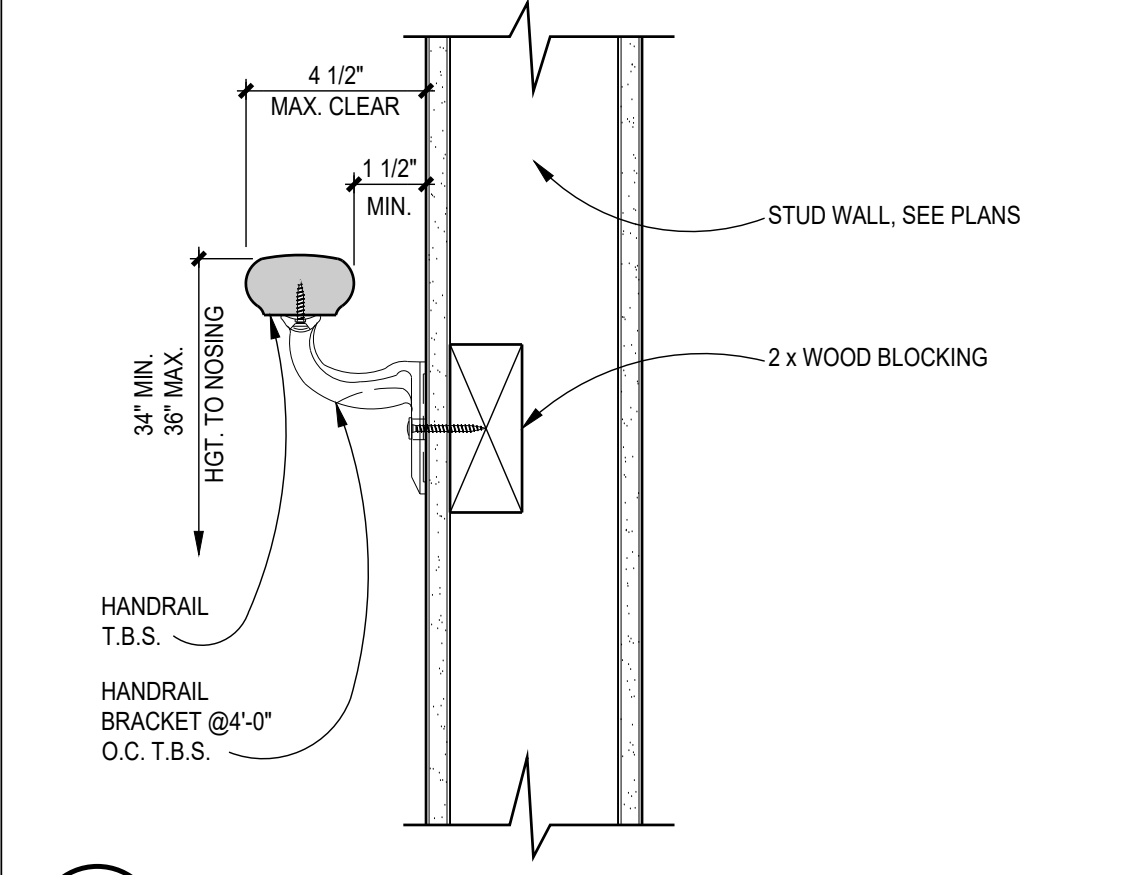
20 **TILE-TO-WOOD TRANSITION**
SCALE: 12\"/>



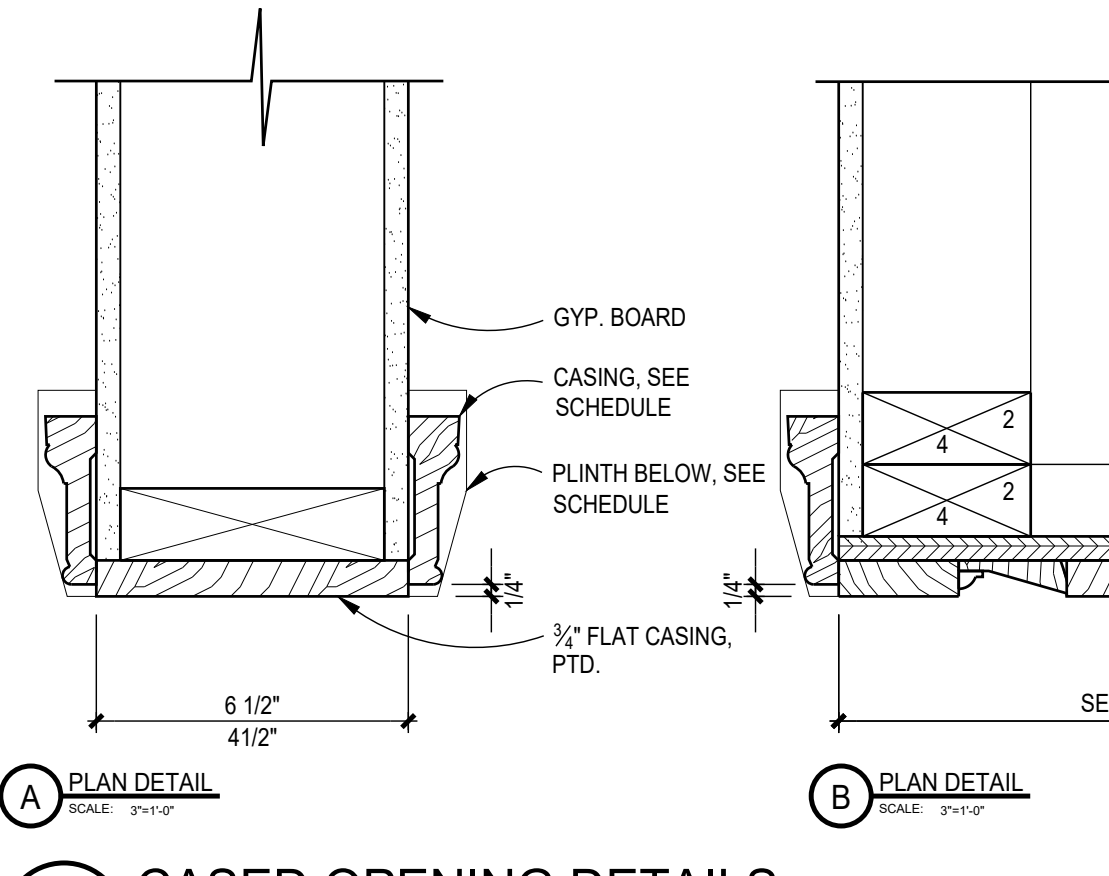
17 **STAIR STRINGER**
SCALE: 1\"/>



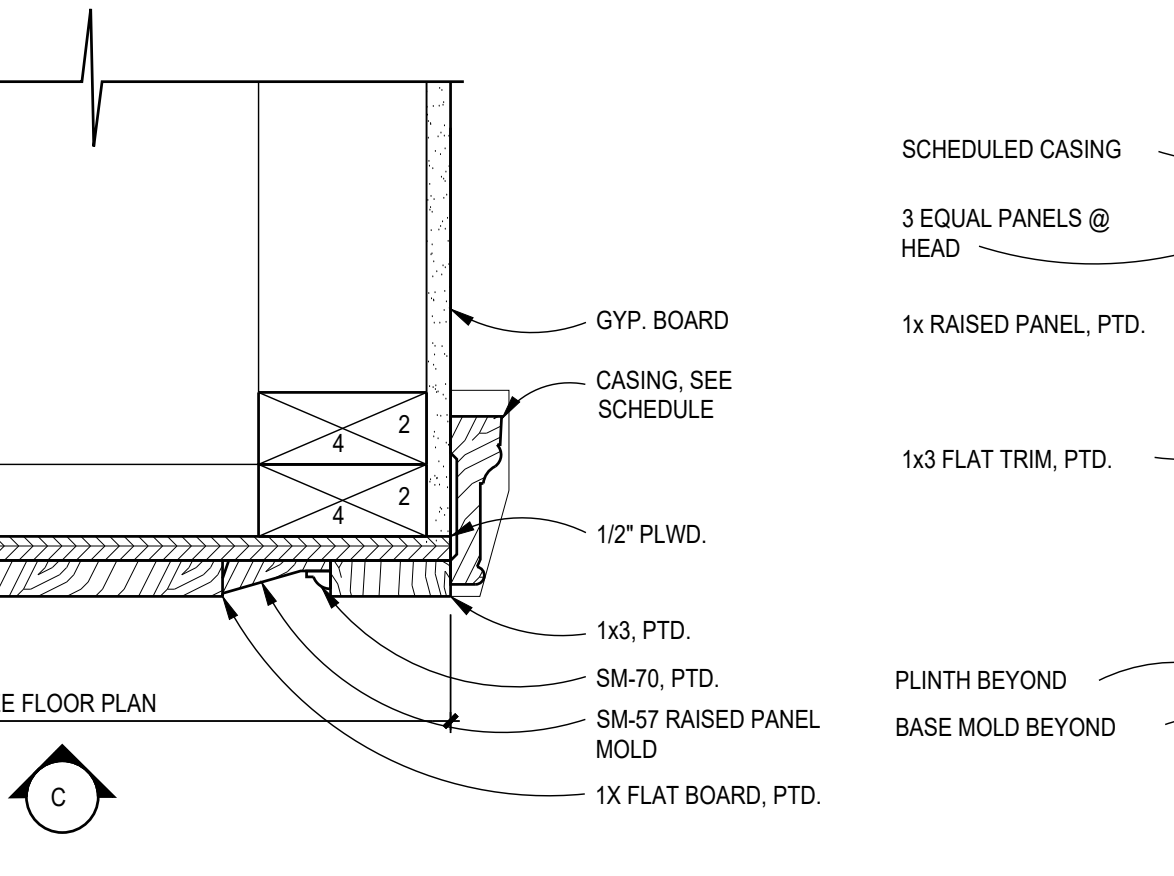
19 **THRESHOLD DETAIL**
SCALE: N.T.S.



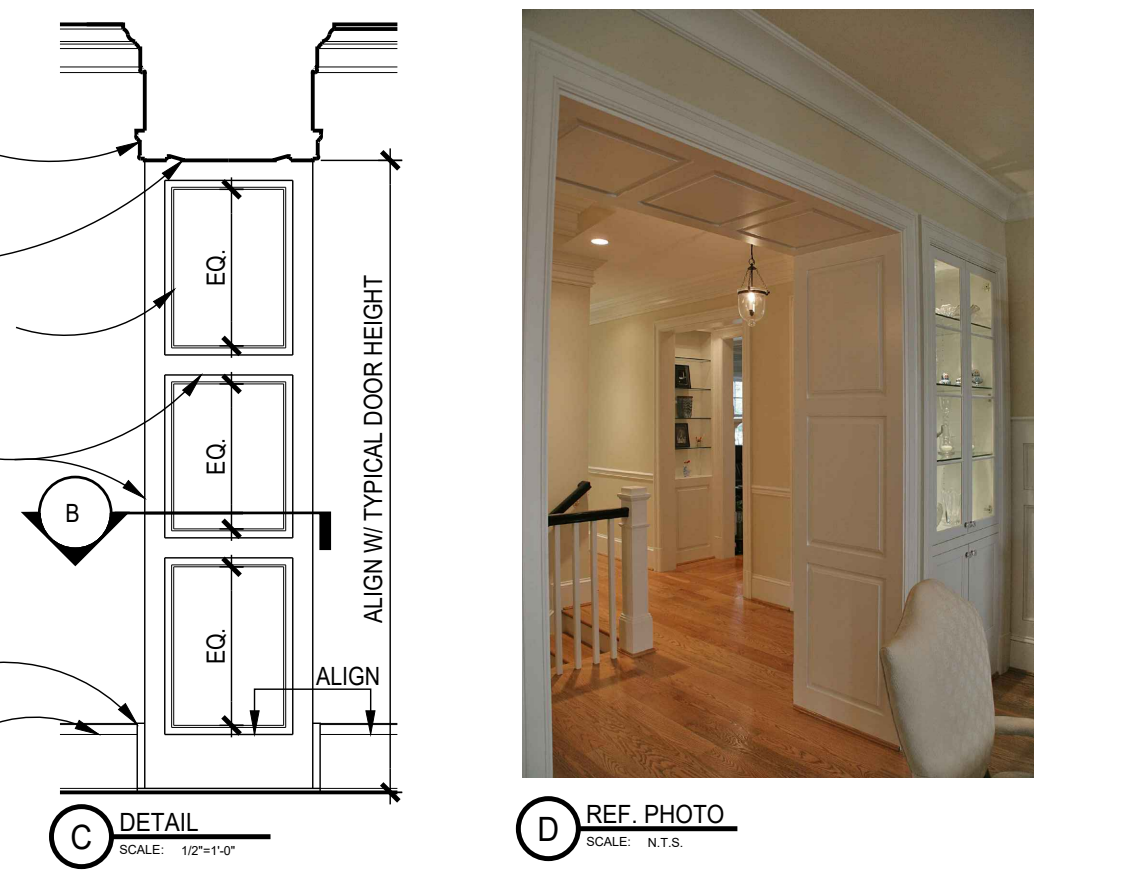
16 **INTERIOR HANDRAIL DETAIL**
SCALE: 3\"/>



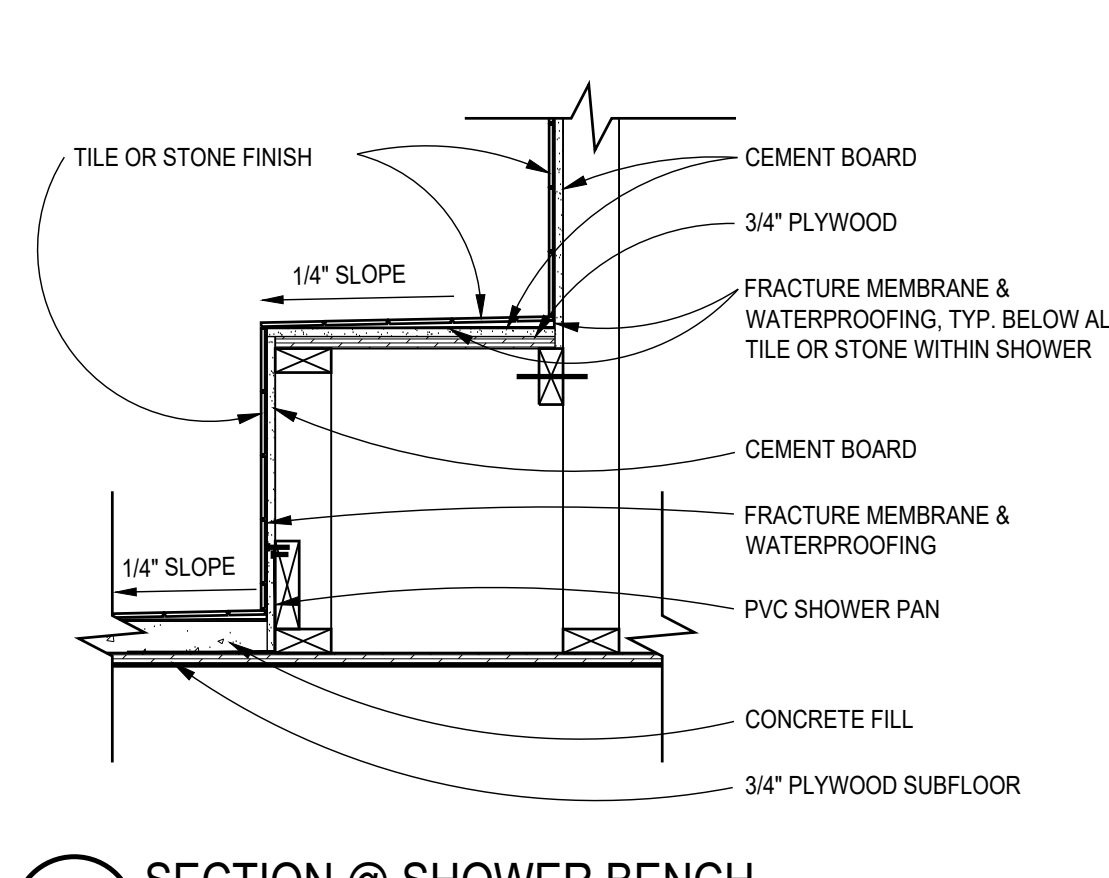
13 **CASED OPENING DETAILS**
SCALE: AS NOTED



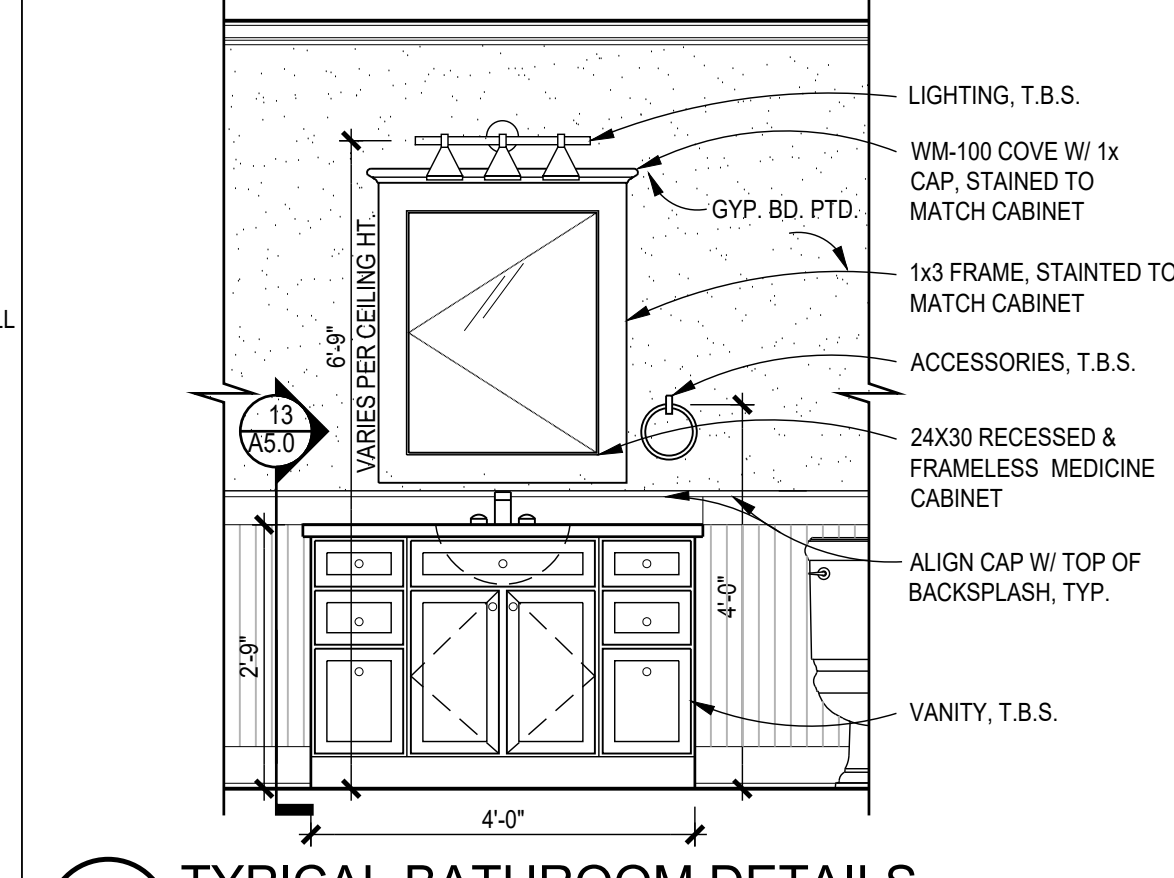
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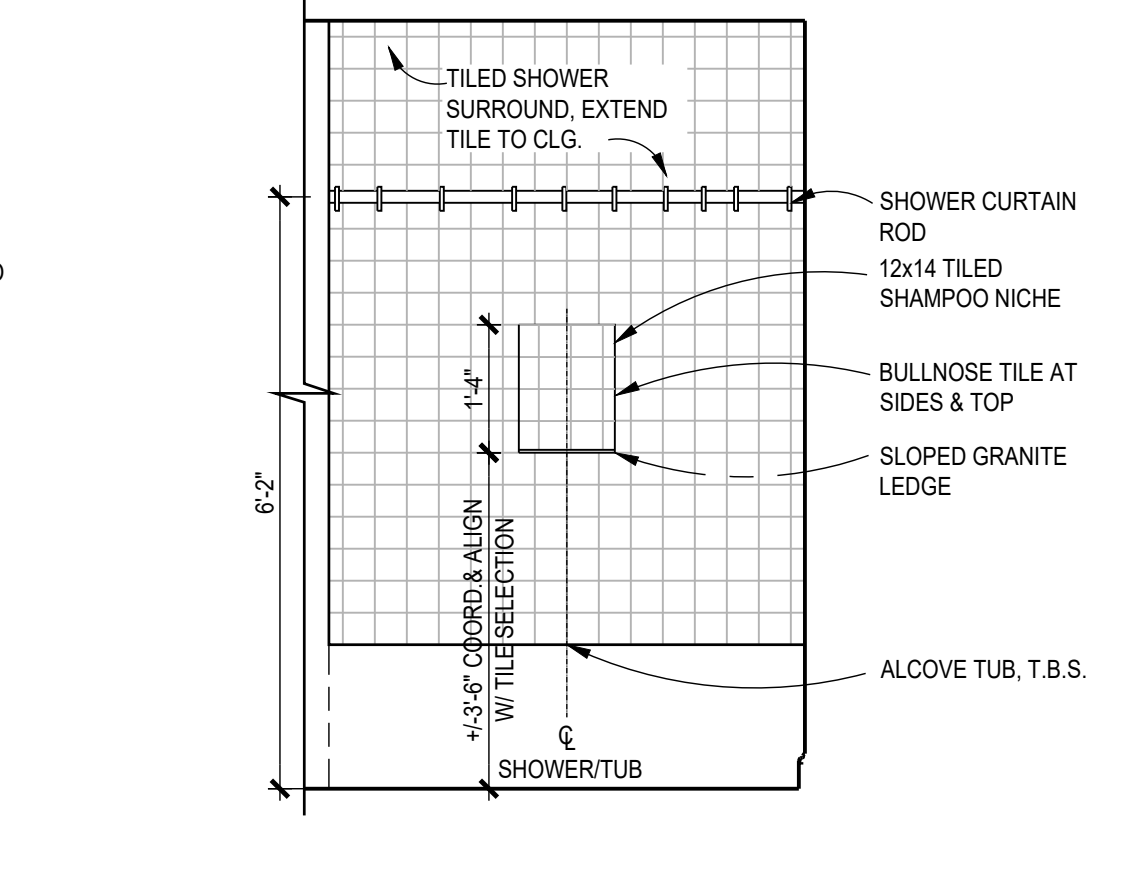
C **DETAIL**
SCALE: 12\"/>



3 **SECTION @ SHOWER BENCH**
SCALE: 1\"/>



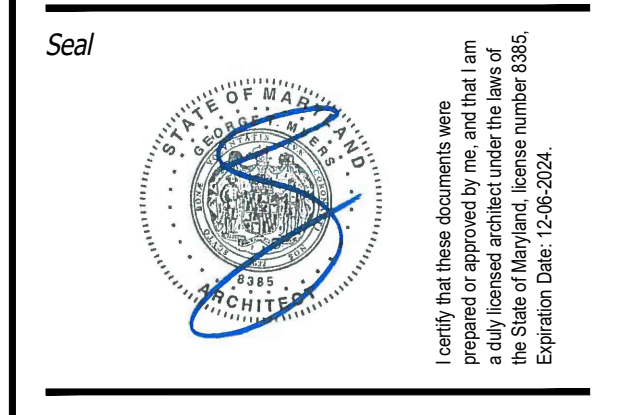
2 **TYPICAL BATHROOM DETAILS**
SCALE: 1/2\"/>



D **REF. PHOTO**
SCALE: N.T.S.

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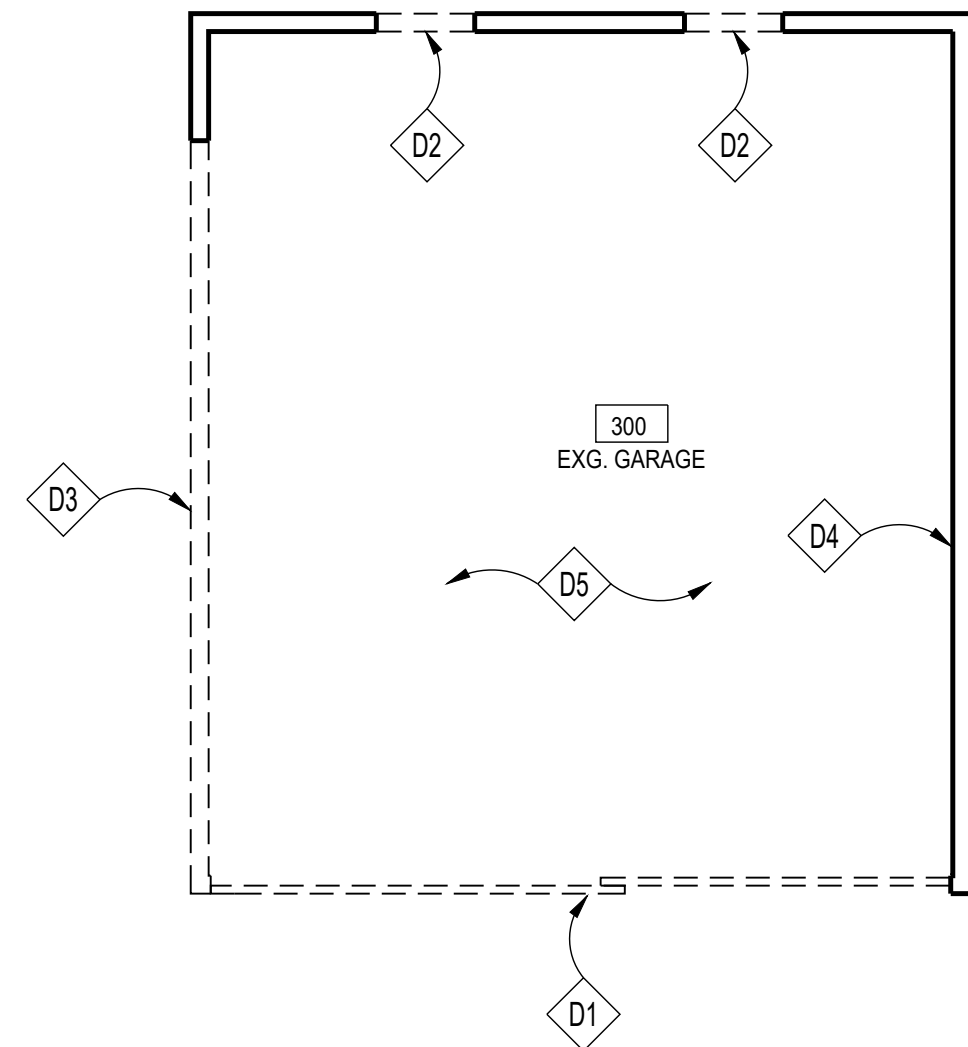
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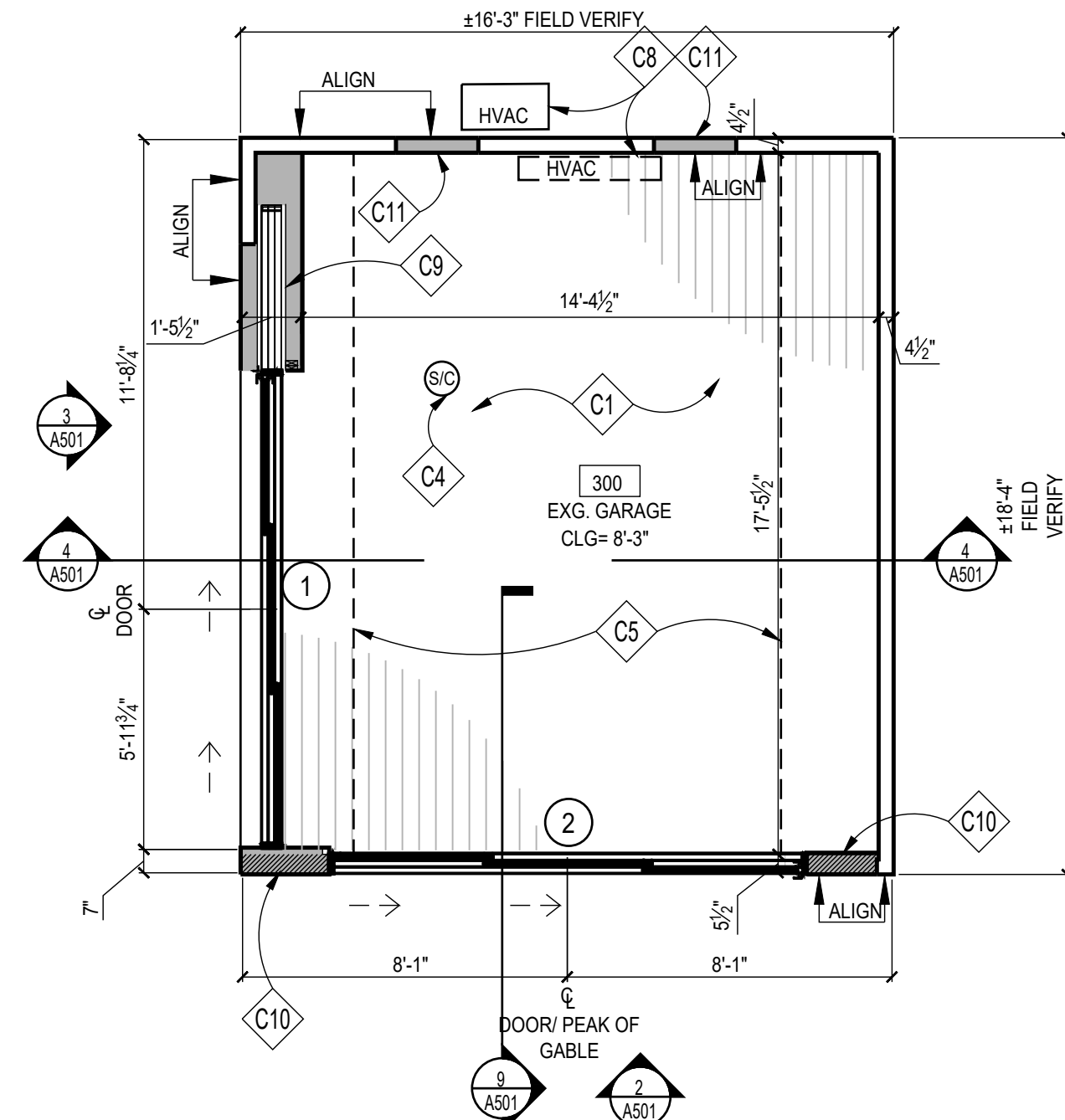
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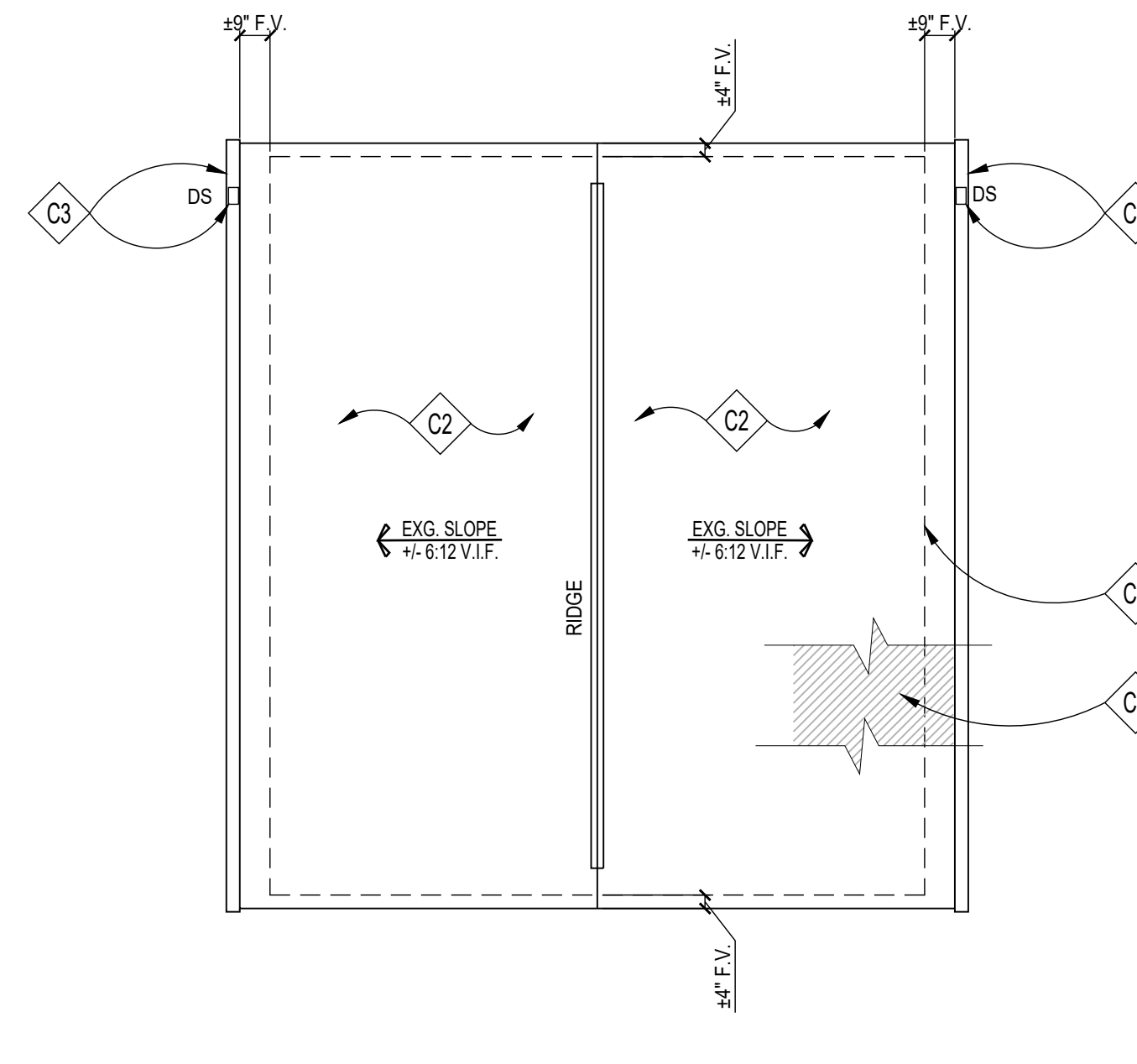
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1 GARAGE DEMOLITION PLAN
SCALE: 1/4"=1'-0"



2 GARAGE FLOOR PLAN
SCALE: 1/4"=1'-0"



3 GARAGE ROOF PLAN
SCALE: 1/4"=1'-0"

DEMOLITION NOTES

- D1 REMOVE EXG. GARAGE DOORS
- D2 REMOVE EXG. WINDOW
- D3 REMOVE EXG. WALL AS SHOWN
- D4 EXG. FRAME WALL TO REMAIN
- D5 EXG. CONC SLAB TO REMAIN

NOTE:

1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING

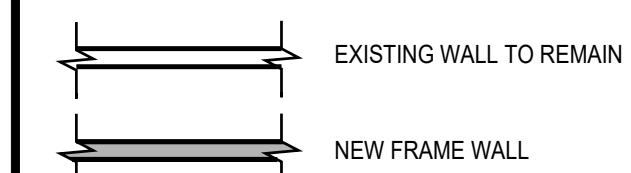
CONSTRUCTION NOTES

- C1 NEW FLOORING T.B.S. ON 3/4" T&G PLYWOOD SUBFLOOR (GLUED & SCREWED) ON P/T SLEEPERS OVER EXG. CONC. SLAB ON GRADE
- C2 REPLACE EXG. ROOFING WITH NEW ASPHALT SHINGLE ROOFING TO MATCH MAIN HOUSE
- C3 GUTTERS/DOWNSPOUTS, MATCH MAIN HOUSE
- C4 HARDWIRED WITH BATTERY BACK UP SMOKE DETECTOR/ CARBON MONOXIDE COMBO UNIT PER IRC 2018
- C5 TRANSITION TO SLOPED CEILING ABOVE
- C6 ICE AND WATER GUARD AT ALL EAVES, VALLEYS AND LOW SLOPE ROOFS; SEE GENERAL ROOFING NOTE #1 BELOW
- C7 OUTLINE OF FRAME WALL BELOW
- C8 CONDITION SPACE WITH DUCTLESS MINI-SPLIT SYSTEM, GC TO COORDINATE FINAL LOCATION WITH OWNER
- C9 CAVITY FOR MULTI-SLIDE POCKET DOOR, COORDINATE WITH MANUFACTURER'S SPECIFICATIONS
- C10 STRUCTURAL PORTAL FRAME FOR WIND BRACING, SEE FRAMING PLANS
- C11 INFILL EXISTING WINDOW OPENING, ALIGN FINISHED SURFACES

NOTE:

- 1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING
- 2. (T) = TEMPERED GLASS
- 3. SEE DETAILS 9 & 10/A400 FOR EFFICIENT FRAMING DETAILS.

KEY



WALL TYPES

TYPICAL EXTERIOR WALL: 2x6 WOOD STUDS 16" O.C., W/ INSULATION (SEE THERMAL ENVELOPE, SHEET TEG001) FOR INSULATION LOCATION & INFORMATION), 1/2" ZIP-SYSTEM SHEATHING W/ INTEGRAL AIR & WATER BARRIER, SIDING T.B.S.; SEE ELEVATIONS. INTERIOR FINISH TO BE 1/2" GYP. BD.

GENERAL NOTES

- 1. UNLESS INDICATED OTHERWISE, DIMENSIONS ARE TO FACE OF FRAMING.
- 2. VERIFY ALL EXTERIOR RISER + TREAD DIMENSIONS IN THE FIELD.

EXT. DOOR/WINDOW SCHEDULE								
#	TYPE	NO.	MANUFACTURER	CAT. NO.	FRAME SIZE	GLASS	HARDWARE	REMARKS
1	MULTI-SLIDE POCKET DOOR	1	WESTERN		12'-0" X 6'-7"	DOUBLE-PANE Low-E	H-1	3-PANEL POCKET, 600 SERIES
2	MULTI-SLIDE DOOR	1	WESTERN		12'-0" X 6'-7"	DOUBLE-PANE Low-E	H-1	3-PANEL, 600 SERIES

SEE ELEVS. FOR GRILLE PATTERN, STANDARD LOCKSET BY DOOR MANUF.

GENERAL WINDOW NOTES:

- ALL WINDOWS TO HAVE SCREENS (CONFIRM SCREEN FRAME COLOR W/ OWNER).
- ALL WINDOWS TO BE ALUMINUM CLAD WOOD EXTERIOR, PRE-PRIMED WOOD INTERIOR.
- CONFIRM HARDWARE FINISH W/ OWNER PRIOR TO ORDER.
- ALL GLAZING TO BE DOUBLE PANED, LOW E, CLEAR INSULATED.
- CONFIRM OVERALL WINDOW SCHEDULE W/ ARCHITECT PRIOR TO ORDER.
- ALL WINDOWS & GLASS DOORS TO BE SIMULATED DIVIDED LITE, 7/8" MUNTIN. SEE ELEVATIONS FOR MUNTIN CONFIGURATIONS.
- CONFIRM JAMB LINER COLOR W/ OWNER.
- PROVIDE EGRESS HARDWARE IN EGRESS WINDOWS AS REQUIRED.
- SEE ELEVATIONS FOR TYPICAL HEAD HEIGHTS ABOVE SUBFLOOR.
- PROVIDE SAFETY GLASS AT ENTRIES, STAIRS, OVER BATHUBS & ELSEWHERE AS REQUIRED BY CODE.
- IN ACCORDANCE WITH IRC 2018, ALL WINDOWS HAVING AN OPENING LESS THAN 21" ABOVE THE FLOOR AND THAT ARE LOCATED SUCH THAT THE DIMENSION FROM THE BOTTOM OF THE OPENING TO THE EXTERIOR SURFACE BELOW EXCEEDS 72", SHALL EITHER HAVE A STOP TO LIMIT THE OPENING TO LESS THAN 4" OR SHALL HAVE GUARDS INSTALLED THAT WOULD PREVENT THE PASSAGE OF A 4" SPHERE. IN THE CASE OF AN EGRESS WINDOW, THE GUARD MUST BE REMOVABLE WITHOUT SPECIAL KNOWLEDGE OR TOOLS. GUARD SHALL BE EQUAL TO THOSE MANUFACTURED BY THE GUARDIAN ANGEL CO.
- CONTRACTOR TO CONFIRM ALL ROUGH OPENING DIMENSIONS W/ WINDOW MANUFAC. PRIOR TO FRAMING.
- GANGED WINDOWS SHALL HAVE (2) 2x SPACERS BETWEEN, UNLESS SHOWN OTHERWISE.

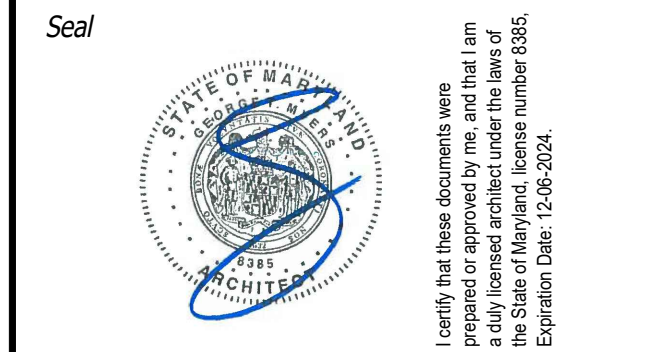
HARDWARE SCHEDULE	
(CONFIRM W/ OWNER PRIOR TO ORDERING)	
NOTE: ALL HARDWARE TO BE SCHLAGE F-SERIES OR APPROVED EQUAL. (EXCEPT PATIO DOORS, WHICH ARE TO HAVE STANDARD HARDWARE BY DOOR MANUF.)	
H-1	STANDARD LOCKSET BY DOOR MANUF.; FINISH PER OWNER

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Scale AS NOTED

Sheet Title

GARAGE PLANS

Sheet No.

A500

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ELEVATION NOTES

- E1 APPROX. LINE OF EXISTING FOUNDATION & FOOTINGS BELOW, VERIFY IN FIELD
- E2 REPLACE EXG. ROOFING WITH NEW ASPHALT SHINGLE. ROOFING TO MATCH MAIN HOUSE
- E3 GUTTERS/DOWNSPOUTS, MATCH MAIN HOUSE
- E4 PTD. 5/4X BORAL WINDOW/DOOR TRIM, TYP.
- E5 EXG. WD EAVE/CORNICE TRIM TO BE SCRAPED/PAINTED/REPAIRED OR REPLACED IN-KIND W/ PTD. WOOD TRIM TO MATCH EXG
- E6 NEW SCHEDULED MULTI SLIDE DOORS INSTALL PER MANUF. SPECIFICATIONS
- E7 NEW HARDI PLANK SMOOTH LAP SIDING, 5" EXPOSURE, W/ 5/4X4 BORAL CORNER BOARDS, PTD.
- E8 1X FLAT BORAL TRIM, CUT TO FIT, PTD.

NOTE: 1. VERIFY ALL EXTERIOR RISER & TREAD DIMENSIONS IN FIELD
2. (T) = TEMPERED GLASS

SECTION NOTES

- 1 UPGRADES TO EXISTING ROOF STRUCTURE, SEE FRAMING PLANS
- 2 NEW/REFURBISHED WALL FRAMING, SEE FRAMING PLANS. REPLACE DAMAGED STUDS, TYP.
- 3 EXG. CONC SLAB TO REMAIN
- 4 NEW FLOORING T.B.S. ON 3/4" T&G PLYWOOD SUBFLOOR (GLUED & SCREWED) ON P/T SLEEPERS OVER EXG. CONC. SLAB ON GRADE
- 5 SPRAY FOAM INSULATION, SEE ENERGY CONSERVATION SHEETS
- 6 EXG. FOUNDATION, FIELD VERIFY
- 7 BEAM: SEE FRAMING PLANS
- 8 NEW DOOR AS SCHEDULED
- 9 CONC. CURB, SEE FOUNDATION PLAN
- 10 STRUCTURAL POST BEYOND, SEE FRAMING PLANS

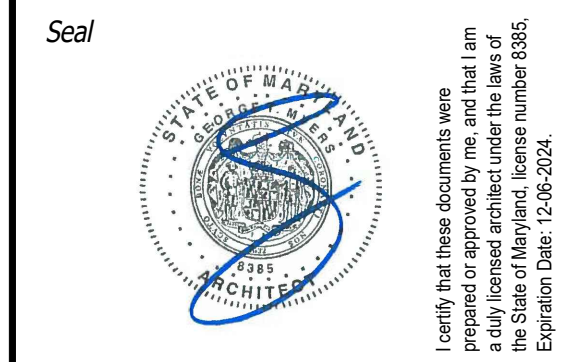
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By Dan.Bruechert at 3:12 pm, Jan 09, 2024

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GTM



Consultant

Project
HERMAN RESIDENCE

22 WEST IRVING ST., CHEVY CHASE, MD 20815

Owner

Developer

PERMIT SET 01/08/2024

Issue Description Date

GTM Project No. 22.0436

Checked By GTM

Drawn By LEO/TJK

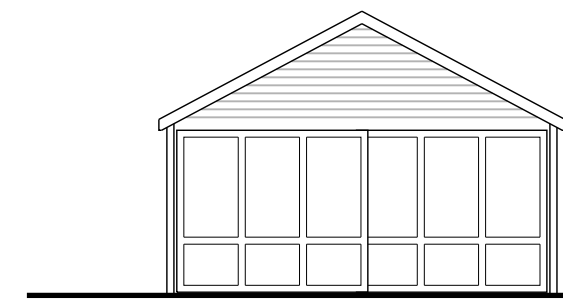
Scale AS NOTED

Sheet Title
**GARAGE
ELEVATIONS &
SECTIONS**

Sheet No.

A501

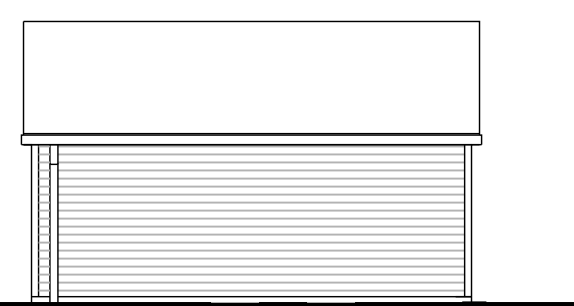
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GARAGE FRONT



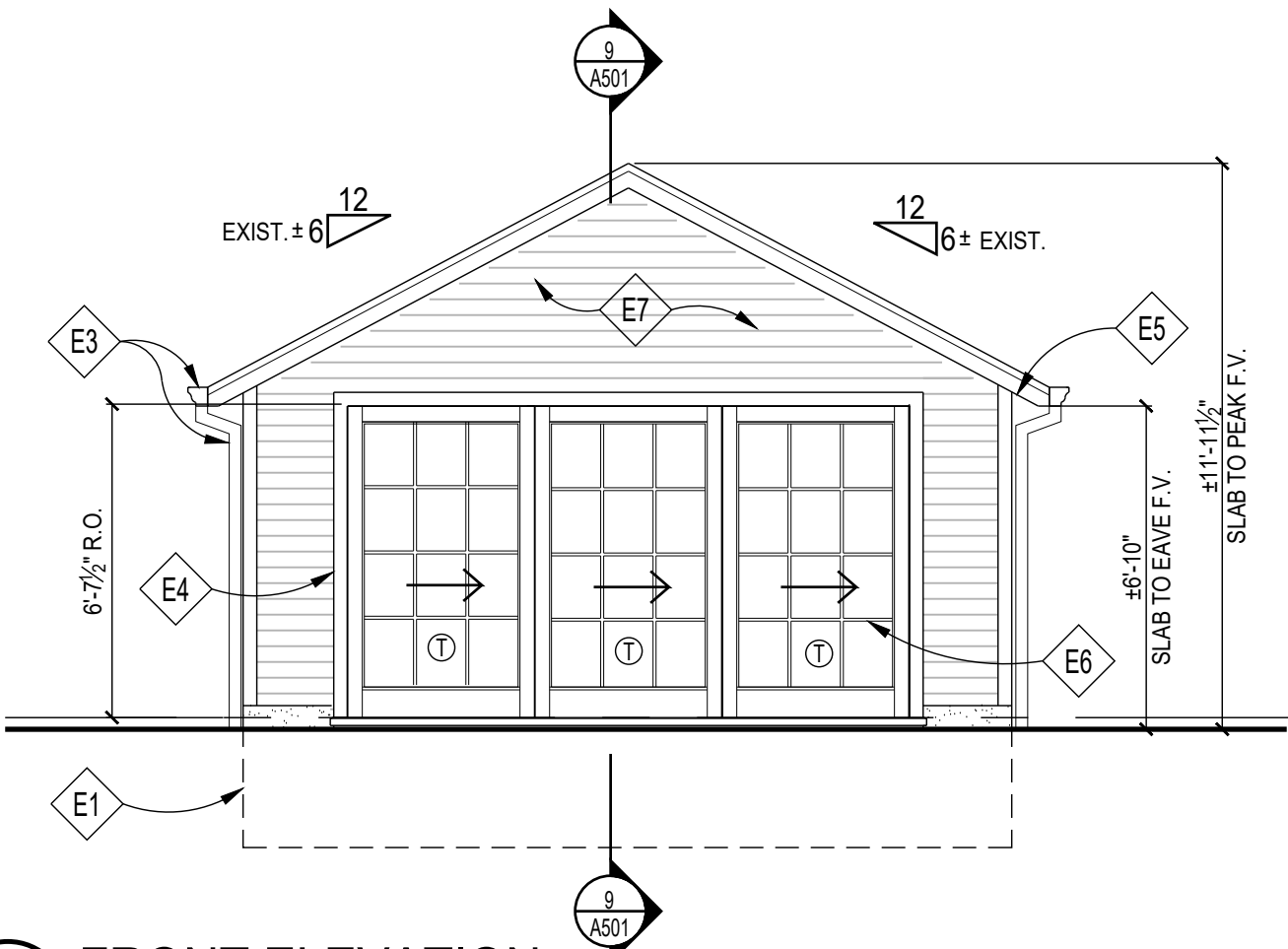
GARAGE REAR



GARAGE SIDES

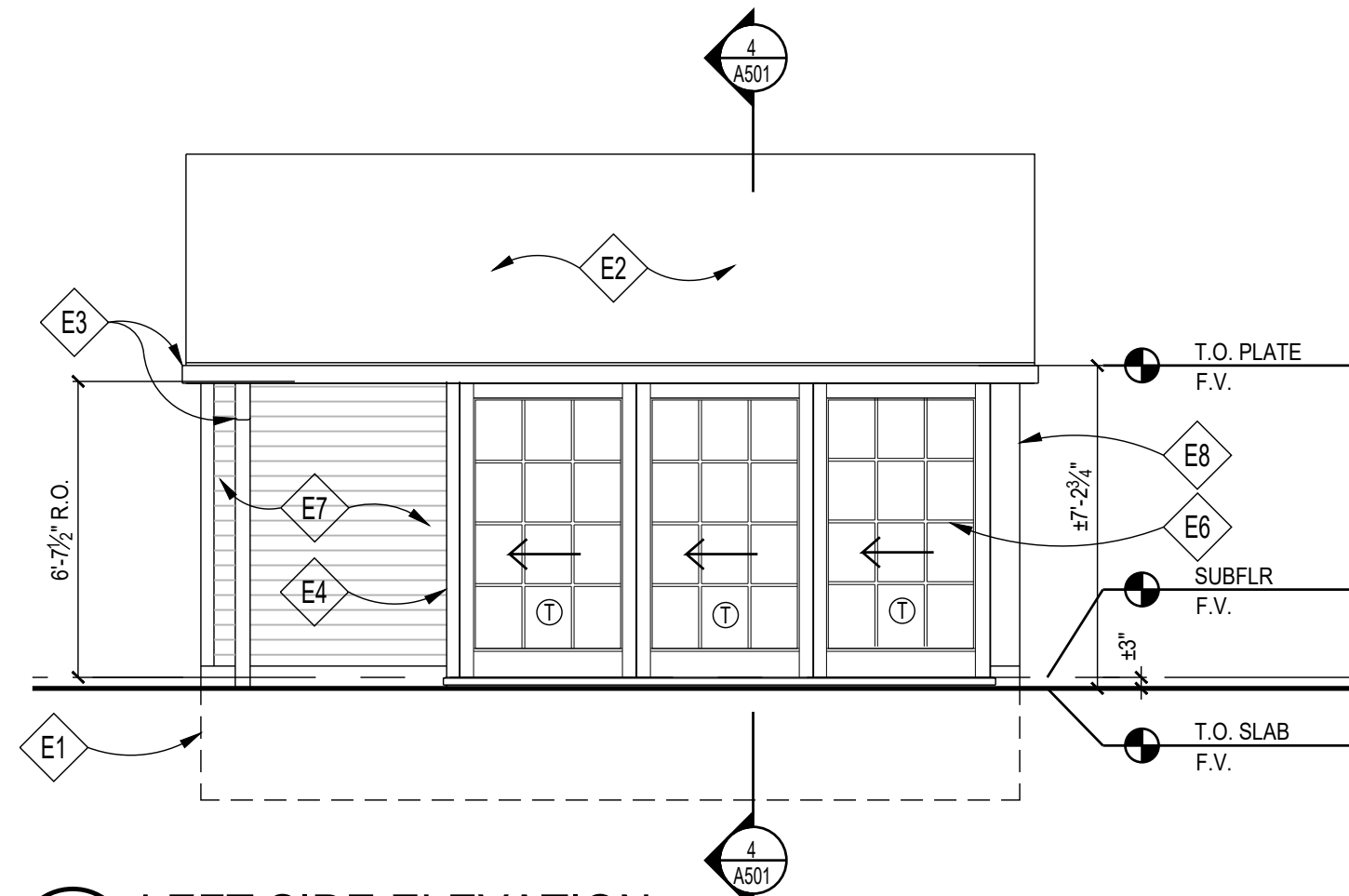
1 EXISTING GARAGE ELEVATIONS

SCALE: 1/8"=1'-0"



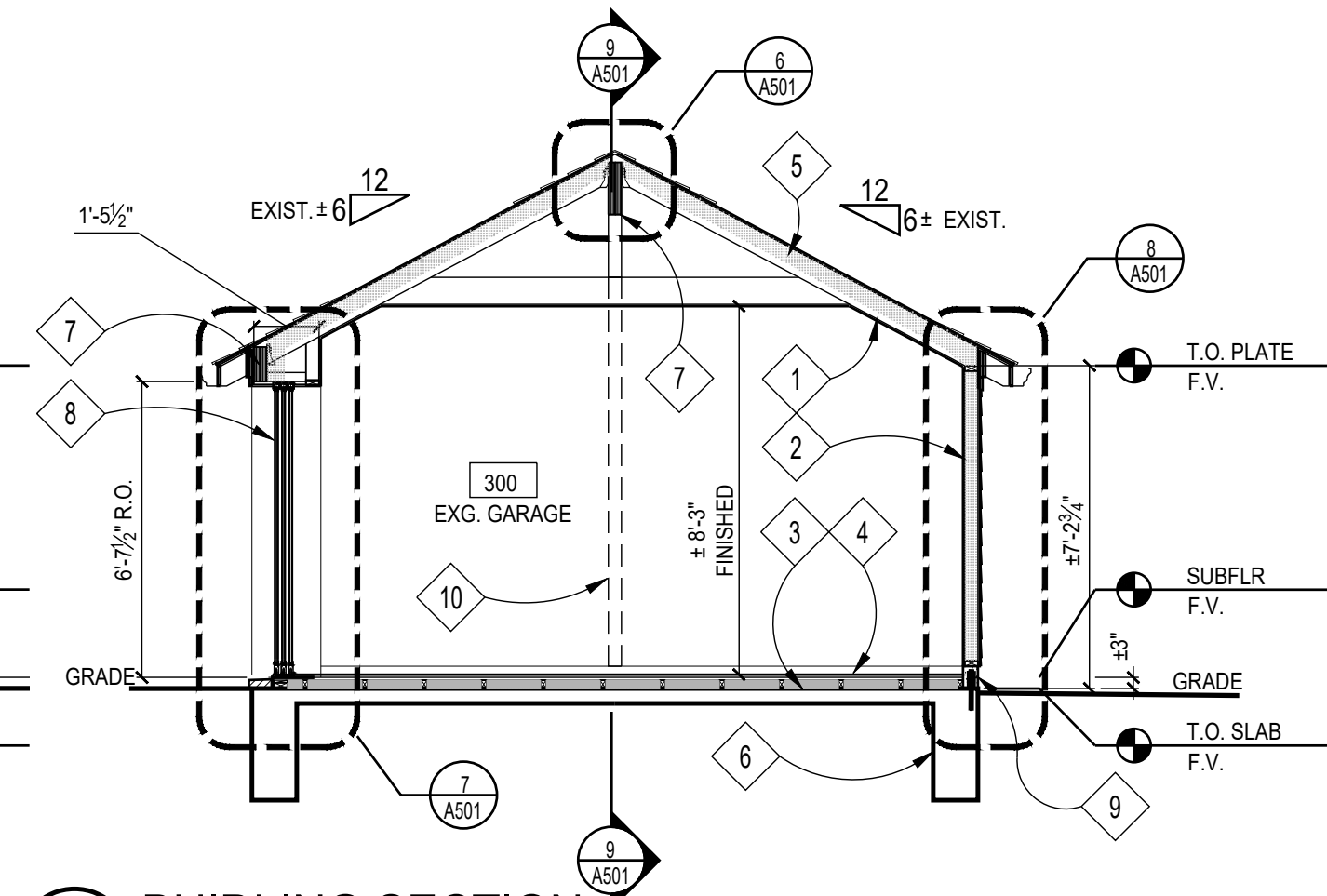
2 FRONT ELEVATION

SCALE: 1/4"=1'-0"



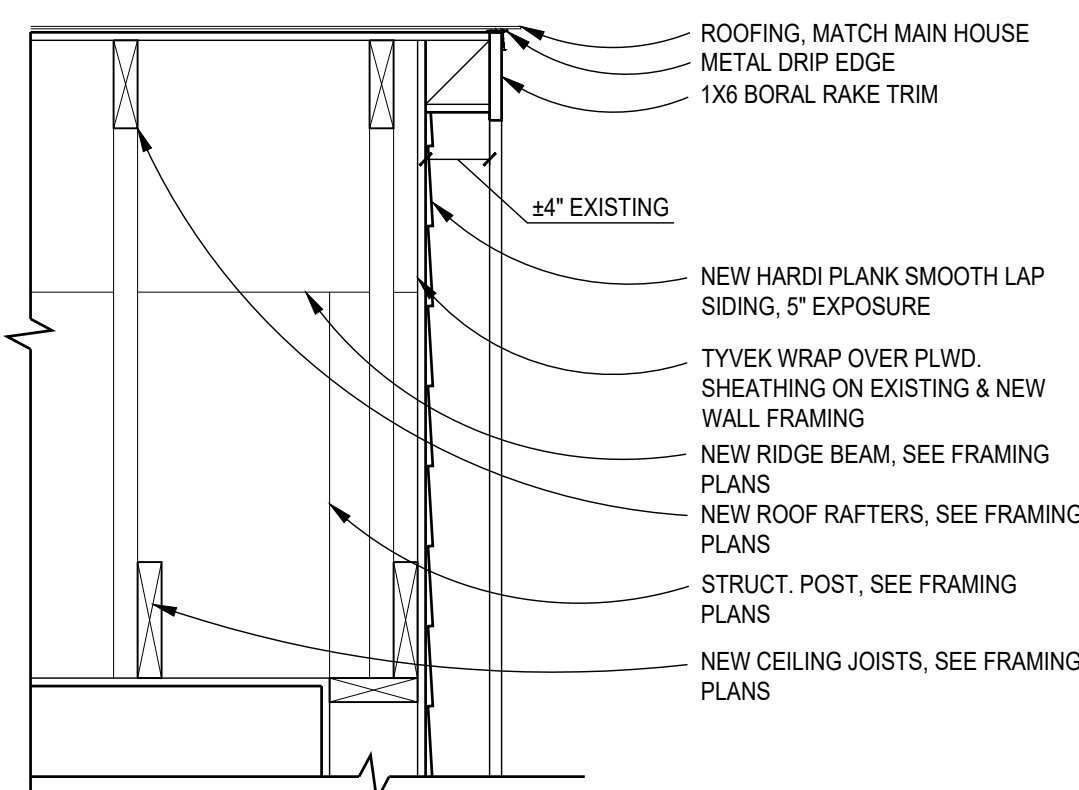
3 LEFT SIDE ELEVATION

SCALE: 1/4"=1'-0"



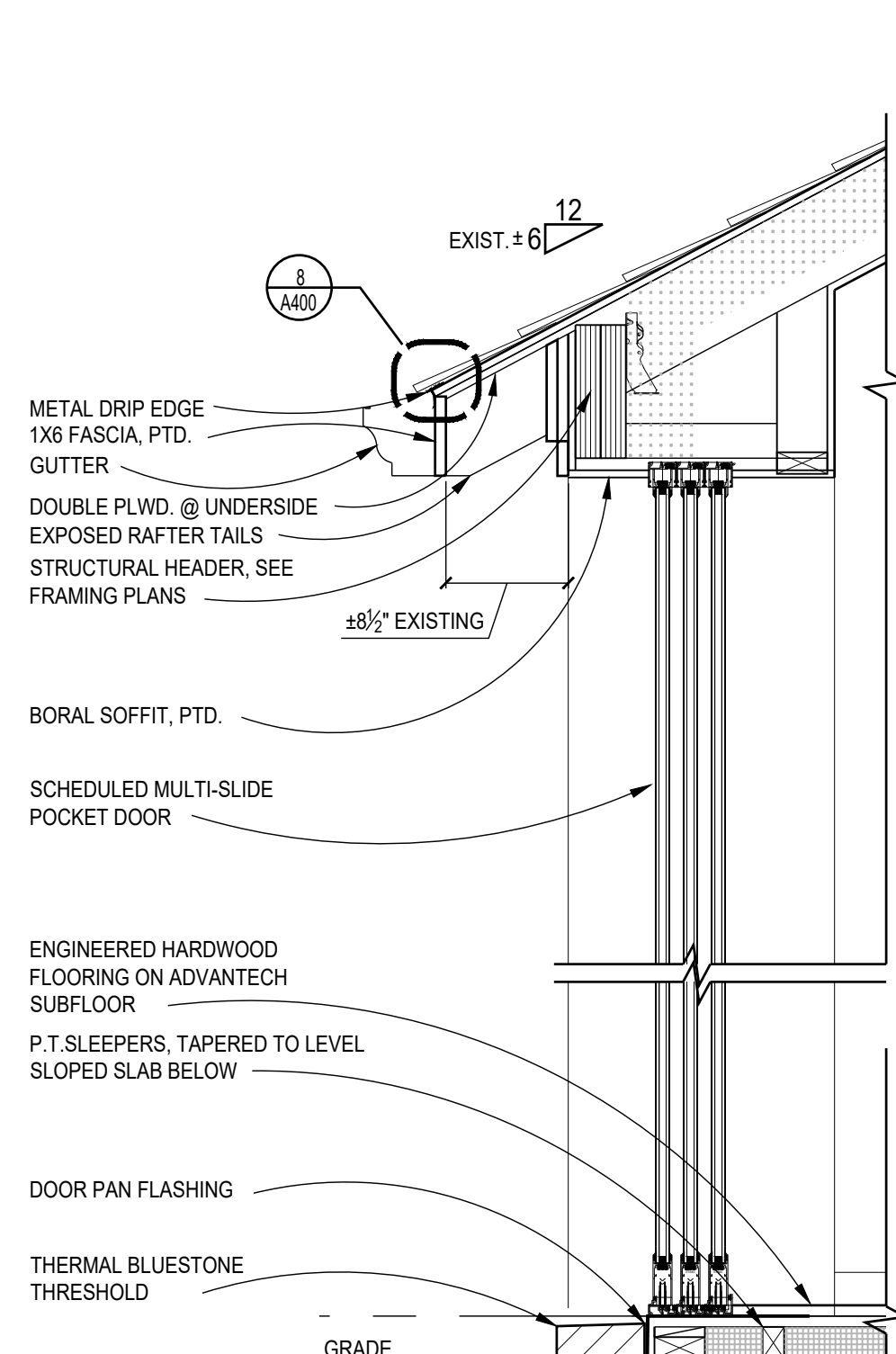
4 BUILDING SECTION

SCALE: 1/4"=1'-0"



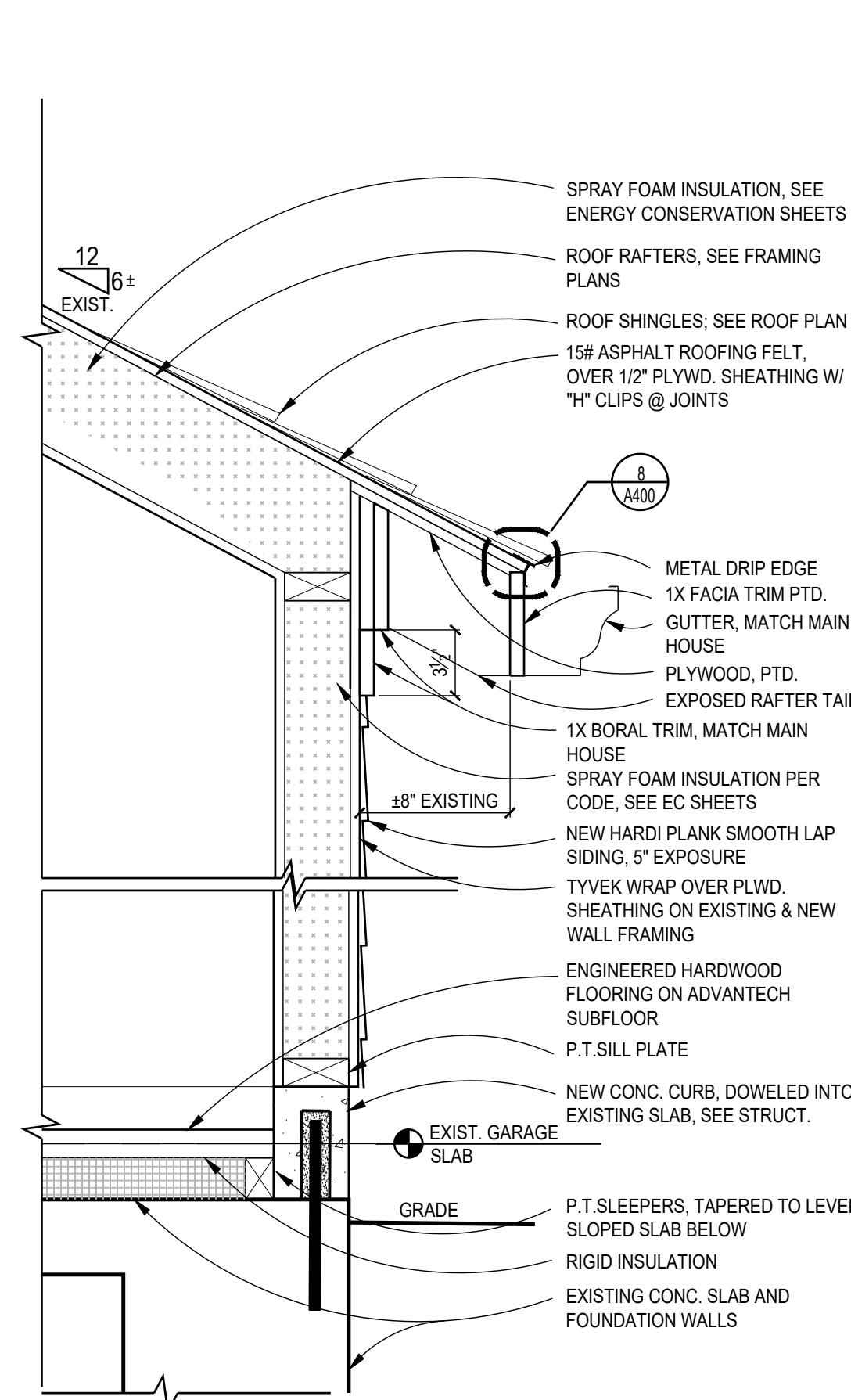
5 RAKE DETAIL

SCALE: 1"=1'-0"



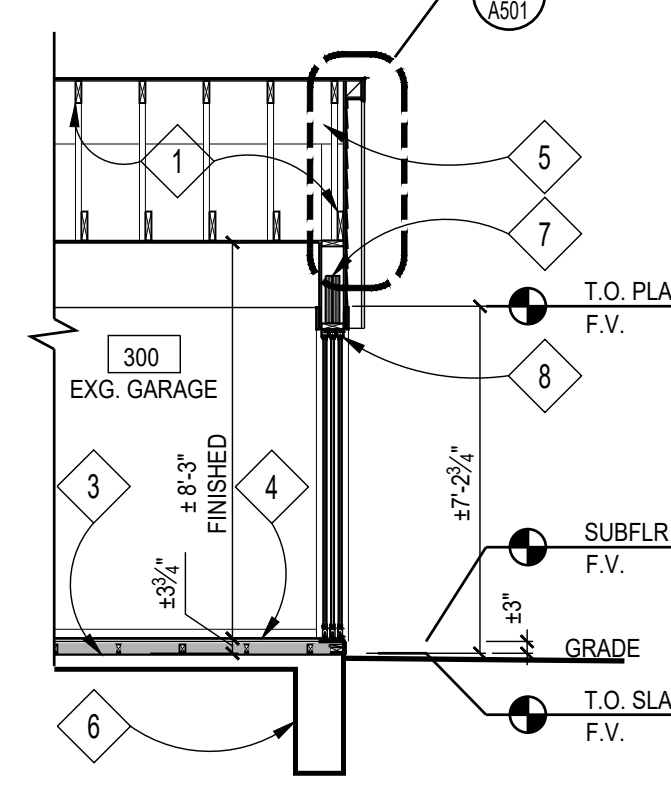
7 WALL SECT. @ DOOR

SCALE: 1"=1'-0"



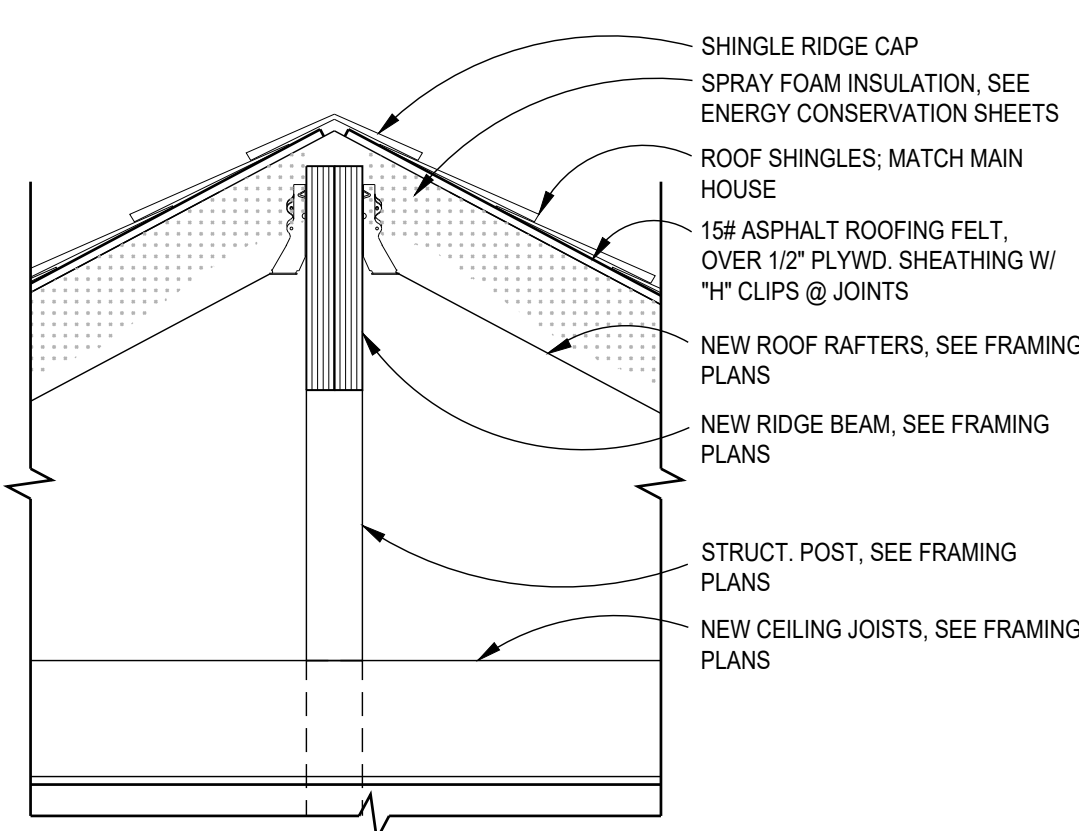
8 WALL SECTION @ SOLID WALL

SCALE: 1 1/2"=1'-0"



9 BUILDING SECTION

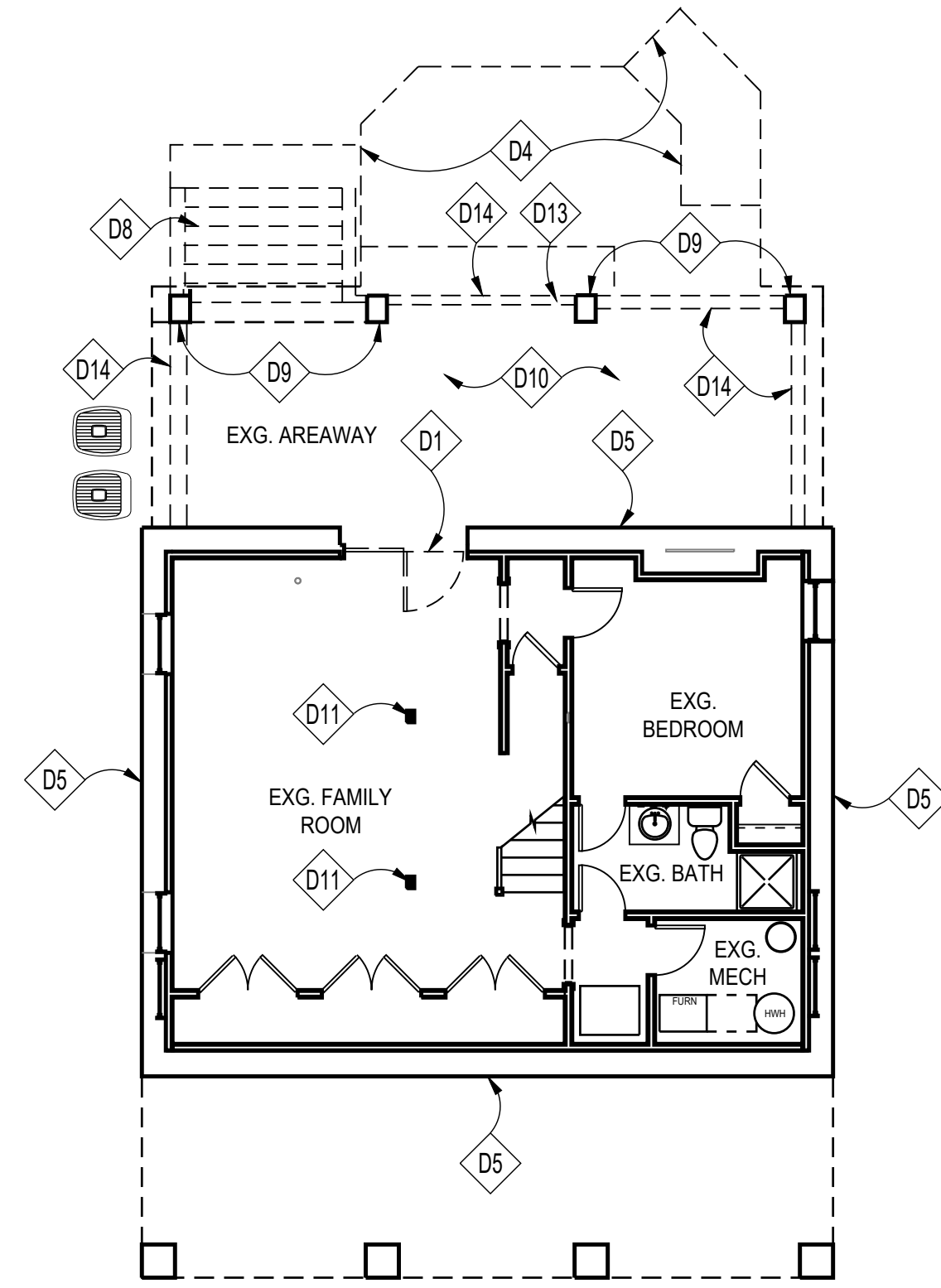
SCALE: 1/4"=1'-0"



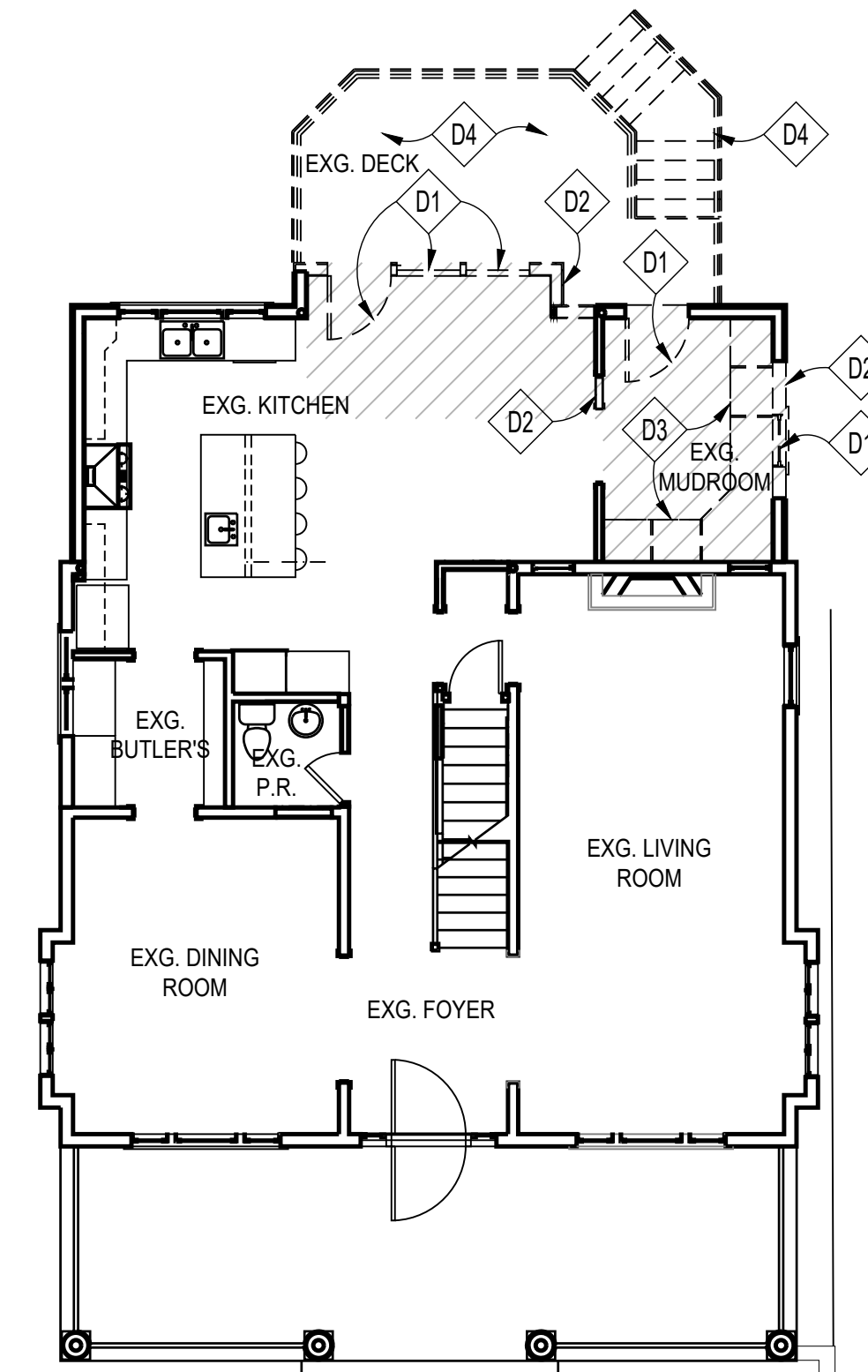
6 RIDGE BEAM DETAIL

SCALE: 1"=1'-0"

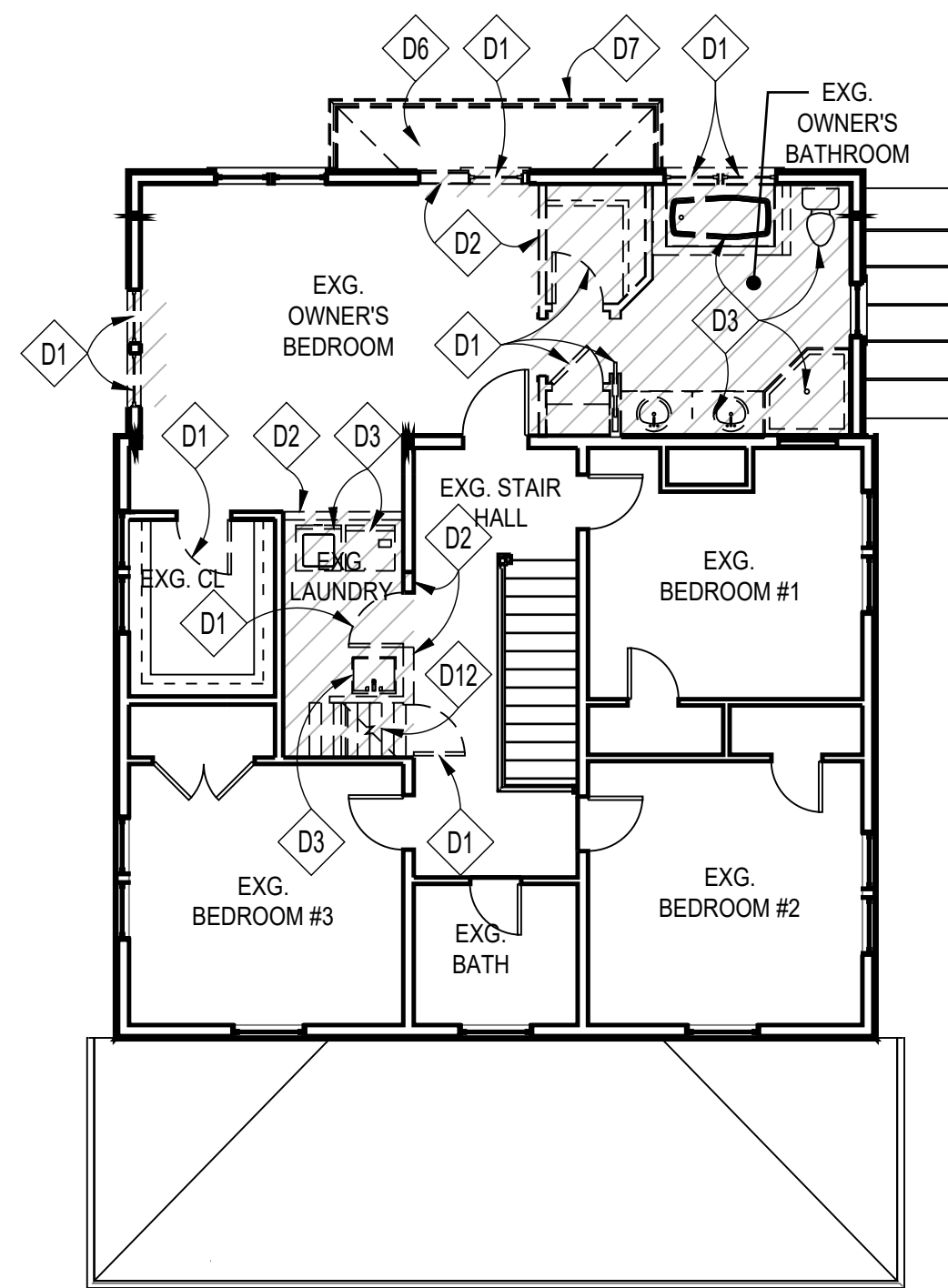
1. PRIOR TO COMMENCING ANY DEMOLITION, COORDINATE W/ OWNER ALL BUILDING MATERIALS, APPLIANCES, FIXTURES, ETC. TO BE RETAINED BY OWNER



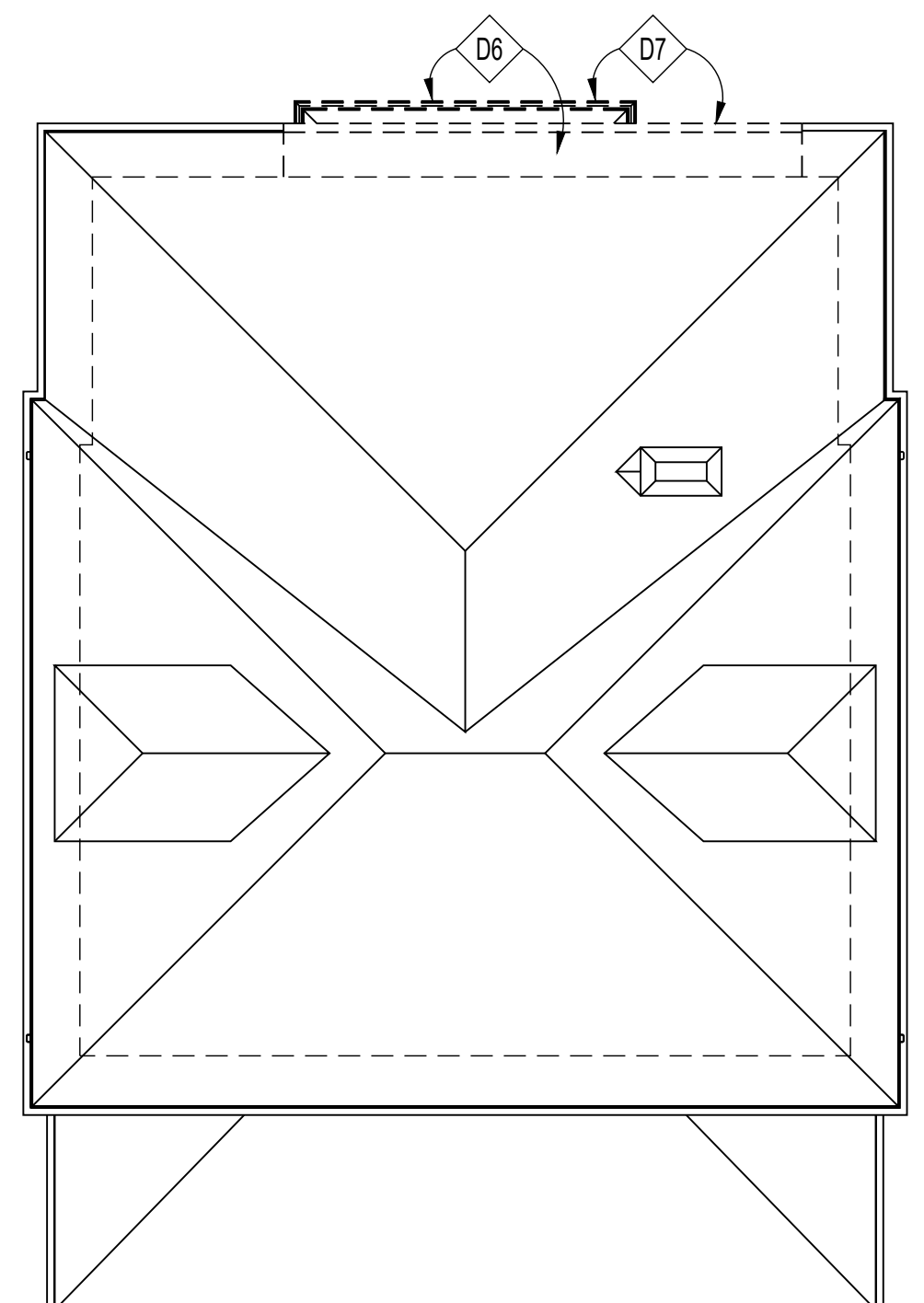
1 LOWER LEVEL DEMOLITION PLAN
SCALE: 1/8"=1'-0"



2 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/8"=1'-0"



3 SECOND FLOOR DEMOLITION PLAN
SCALE: 1/8"=1'-0"

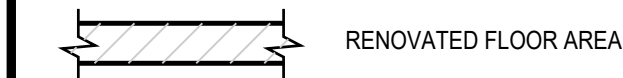


4 ATTIC DEMOLITION PLAN
SCALE: 1/8"=1'-0"

DEMOLITION NOTES

- D1 REMOVE DOORS & WINDOWS AS SHOWN
- D2 REMOVE WALLS AS SHOWN, PROVIDE TEMPORARY SHORING AS REQUIRED
- D3 REMOVE EXISTING PLUMBING FIXTURES, COUNTERTOPS, APPLIANCES, CABINETS IN THEIR ENTIRETY
- D4 REMOVE EXISTING DECK/STEPS TO GRADE
- D5 EXISTING FOUNDATION WALLS TO REMAIN, SEE FOUNDATION PLAN
- D6 REMOVE EXISTING ROOF SECTION AS SHOWN, STORE EXG. SHINGLES FOR RE-USE ON NEW DORMERS
- D7 REMOVE EXISTING GUTTERS AS SHOWN
- D8 REMOVE EXG. STAIRS & RAILINGS
- D9 EXISTING CONCRETE PIER TO REMAIN
- D10 DEMO EXG. CONCRETE SLAB
- D11 EXG. STRUCTURAL POST; FIELD VERIFY
- D12 DEMO EXG. ATTIC STAIR IN ITS ENTIRETY
- D13 EXG. BEAM ABOVE TO REMAIN
- D14 DEMO EXG. AREAWAY PARTIAL HEIGHT WALLS

KEY



NOTE:
1. ENTIRETY OF EXISTING INTERIOR TO BE REPAINTED PREP. AS REQD.

INFILL DEMO CALCS

EXISTING GROSS FLOOR AREA:	
BASEMENT	956 SF
FIRST FLOOR	1,410.5 SF
SECOND FLOOR	1,368.6 SF
TOTAL	3,735.1 SF (50% = 1,867.5 SF)

GROSS FLOOR AREA TO BE DEMOLISHED AND RECONSTRUCTED	
FIRST FLOOR	196.3 SF
SECOND FLOOR	253.3 SF
TOTAL	449.6 SF

PROPOSED WORK IS NOT INFILL
449.6 SF > 1,867.5 SF

SPRINKLER DEMO CALCS

EXISTING FLOOR AREA: (TAKEN FROM INSIDE FACE OF EXTERIOR WALLS AND NOT INCLUDING THE BASEMENT FLOOR AREA)	
FIRST FLOOR	1,317.9 SF
SECOND FLOOR	1,281.1 SF
TOTAL	2,599 SF (50% = 1,299 SF)

FLOOR AREA OF INTERIOR DEMOLITION TO BE CARRIED OUT	
FIRST FLOOR	180.5 SF
SECOND FLOOR	238.1 SF
TOTAL	418.6 SF

HOUSE DOES NOT NEED TO BE SPRINKLERED
PER ER 31-19 SUBSECTION R313.4

GENERAL DEMOLITION NOTES

1. EVERY CARE SHALL BE TAKEN DURING DEMOLITION TO PROTECT THE HOUSE BY MEANS OF TEMPORARY SUPPORTS AND BRACES AS NECESSARY TO PREVENT ANY STRUCTURAL FAILURE DURING REMOVAL AND REPLACEMENT OF EXISTING STRUCTURAL MEMBERS.
2. TEMPORARY WALLS AND DUST BARRIERS SHALL BE INSTALLED AS NECESSARY TO PREVENT CIRCULATION OF DIRT AND DUST INTO PORTIONS OF THE HOUSE THAT ARE NOT PART OF THE WORK.
3. ALL DASHED WALLS, FIXTURES, WINDOWS, ETC., ARE TO BE REMOVED.
4. CONDUCT ALL DEMOLITION OPERATIONS IN COMPLIANCE WITH APPLICABLE CODES AND ORDINANCES.
5. COORDINATE DEMOLITION WITH WORK OF SUBCONTRACTORS.
6. MAINTAIN THE EXISTING STRUCTURE IN A WATERTIGHT CONDITION AT ALL TIMES.
7. RELOCATE/ REMOVE ANY EXISTING GAS, ELECTRICAL, PLUMBING LINES, ETC. IN CONFLICT WITH NEW WORK.
8. SEE STRUCTURAL SHEETS FOR ADDITIONAL INFORMATION.
9. RE-ROUTE VENTS FLUES, EXHAUST, ETC. AS REQD.
10. REMOVE LANDSCAPING AS REQUIRED, RELOCATE VIABLE PLANTS ON SITE FOR REUSE.
11. GENERAL CONTRACTOR TO STORE AND PROVIDE SECURITY PROTECTION FOR ANY MATERIALS AND EQUIPMENT RELATED TO THE DEMOLITION AND CONSTRUCTION.
12. OWNER AND CONTRACTOR TO OBTAIN RELEVANT BUILDING PERMITS PRIOR TO EXECUTION OF WORK.
13. DEMO OF ADDITIONAL BUILDING COMPONENTS FOR EASE OF CONSTRUCTION IS DONE SO AT GC DISCRETION.

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Seal



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Drawn By LEO/TJK

Scale AS NOTED

Sheet Title

DEMOLITION PLANS

Sheet No.

D100

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APPROVED
Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED
By Dan.Bruechert at 3:12 pm, Jan 09, 2024

FILE NAME

Generated by REScheck-Web Software
Compliance Certificate

Project: **Herman Residence**

Energy Code: **2018 IECC**
Location: **Bethesda, Maryland**
Construction Type: **Single-Family Addition**
Climate Zone: **4 (4470 HDD)**
Permit Date:
Permit Number:

Construction Site: **22 West Irving St., Chevy Chase, MD 20815**
Owner/Agent: **Alabama**
Designer/Contractor: **Alabama**

Compliance: Passes using UA trade-off

Compliance: **0.0% Better Than Code** Maximum UA: **216** Your UA: **216** Maximum SHGC: **0.40** Your SHGC: **0.22**

Slab-on-grade tradeoffs are no longer considered in the UA or performance compliance path in REScheck. Each slab-on-grade assembly in the specified climate zone must meet the minimum energy code insulation R-value and depth requirements.

Envelope Assemblies

Assembly	Gross Area or Perimeter	Cavity R-Value	Cont. R-Value	Prop. U-Factor	Req. U-Factor	Prop. UA	Req. UA
Ceiling: Raised or Energy Truss	264	49.0	0.0	0.020	0.026	5	7
Wall: Wood Frame, 16" o.c.	901	20.0	0.0	0.059	0.060	37	37
Door: Glass Door (over 50% glazing) SHGC: 0.09	42			0.300	0.320	13	13
Window: Wood Frame SHGC: 0.27	236			0.300	0.320	71	75
Floor: Slab-On-Grade (Unheated) Insulation depth: 2.0"	88		10.0	0.700	0.700	0	0
Basement Wall: Masonry Block w/ Empty Cells Wall height: 8.7' Depth below grade: 3.5' Insulation depth: 8.7'	705	13.0	0.0	0.075	0.059	41	32
Door: Glass Door (over 50% glazing) SHGC: 0.09	76			0.300	0.320	23	24
Window: Metal Frame SHGC: 0.27	87			0.300	0.320	26	28

Compliance Statement: The proposed building design described here is consistent with the building plans, specifications, and other calculations submitted with the permit application. The proposed building has been designed to meet the 2018 IECC requirements in REScheck Version: REScheck-Web and to comply with the mandatory requirements listed in the REScheck Inspection Checklist.

Name: _____ Title: _____ Signature: _____ Date: _____

Project Title: **Herman Residence** Report date: **01/06/24**
Data filename: _____ Page 1 of 10

Section # & Req.ID	Insulation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.1 [R13]	All installed insulation is labeled or the installed R-values provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.1.1, 402.2.5, 402.2.6 [W3]	Wall insulation R-value. If this is a mass wall with at least 1/2" of the wall insulation on the exterior, the exterior insulation requirement applies (FR10).	R- <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	R- <input type="checkbox"/> Wood <input type="checkbox"/> Mass <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [W4]	Wall insulation is installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

Project Title: **Herman Residence** Report date: **01/06/24**
Data filename: _____ Page 7 of 10

REScheck Software Version : REScheck-Web
Inspection Checklist

Energy Code: **2018 IECC**

Requirements: 0.0% were addressed directly in the REScheck user interface. Text in the "Comments/Assumptions" column is provided by the user in the REScheck Requirements screen. For each requirement, the user certifies that a code requirement will be met and how that is documented, or that an exception is being claimed. Where compliance is itemized in a separate table, a reference to that table is provided.

Section # & Req.ID	Pre-Inspection/Plan Review	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
103.1, 103.2 [PR1]	Construction drawings and documentation demonstrate energy code compliance for the building envelope. Thermal envelope represented on construction documents.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
103.1, 103.2, 403.7 [PR3]	Construction drawings and documentation demonstrate energy code compliance for lighting and mechanical systems. Systems serving multiple dwelling units must demonstrate compliance with the IECC Commercial Provisions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
302.1, 403.7 [PR2]	Heating and cooling equipment is sized per ACCA Manual S based on loads calculated per ACCA Manual J or other methods approved by the code official.	Heating: Btu/hr Cooling: Btu/hr	Heating: Btu/hr Cooling: Btu/hr	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 3:12 pm, Jan 09, 2024

Project Title: **Herman Residence** Report date: **01/06/24**
Data filename: _____ Page 3 of 10

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.2.1, 402.2.2, 402.2.6 [F1]	Ceiling insulation R-value.	R- <input type="checkbox"/> Wood <input type="checkbox"/> Steel	R- <input type="checkbox"/> Wood <input type="checkbox"/> Steel	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.1, 303.2 [F2]	Ceiling insulation installed per manufacturer's instructions. Blown insulation marked every 300 ft ² .			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.3 [F2]	Vented attics with air permeable insulation include baffle adjacent to soffit and eave vents that extends over insulation.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.4 [F3]	Attic access hatch and door insulation R-value of the adjacent assembly.	R- ACH 50 =	R- ACH 50 =	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.2 [F11]	Blower door test @ 50 Pa, <=5 ach in Climate Zones 1-2, and <=3 ach in Climate Zones 3-8.	ACH 50 =	ACH 50 =	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.3 [F12]	Ducts are pressure tested to determine air leakage with either: Rough-in test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the system including the manufacturer's air handler enclosure if installed at time of test. Postconstruction test: Total leakage measured with a pressure differential of 0.1 inch w.g. across the entire system including the manufacturer's air handler enclosure.	cfm/100	cfm/100	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.4 [F14]	Duct tightness test result of <=4 cfm/100 ft ² across the system or <=3 cfm/100 ft ² without air handler @ 25 Pa. For rough-in tests, verification may need to occur during Framing Inspection.	cfm/100	cfm/100	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.2.1 [F14]	Air handler leakage designated by manufacturer at <=2% of design air flow.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.1 [F9]	Programmable thermostats installed for control of primary heating and cooling systems and initially set by manufacturer to code specifications.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.1.2 [F10]	Heat pump thermostat installed on heat pumps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1 [F11]	Circulating service hot water systems have automatic or accessible manual controls.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

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Section # & Req.ID	Foundation Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.2 [FO1]	Slab edge insulation R-value.	R- <input type="checkbox"/> Unheated <input type="checkbox"/> Heated	R- <input type="checkbox"/> Unheated <input type="checkbox"/> Heated	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.2 [FO3]	Slab edge insulation depth/length.	ft	ft	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
402.1.1 [FO4]	Conditioned basement wall insulation R-value. Where interior insulation is used, verification may need to occur during insulation inspection. Not required in warm-humid locations in Climate Zone 3.	R- R- R- R- R- R-	R- R- R- R- R- R-	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2 [FO5]	Conditioned basement wall insulation installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.2.9 [FO6]	Conditioned basement wall insulation depth of burial or distance from top of wall.	ft	ft	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.2.1 [FO11]	A protective covering is installed to protect exposed exterior insulation and extends a minimum of 6 in. below grade.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.9 [FO12]	Snow- and ice-melting system controls installed.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

Project Title: **Herman Residence** Report date: **01/06/24**
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Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
403.6.1 [F13]	All mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficiency and air flow limits per Table R403.6.1.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.2 [F16]	Hot water boilers supplying heat through one- or two-pipe heating systems have outdoor setback control to lower boiler water temperature based on outdoor temperature.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1.1 [F17]	Heated water circulation systems have a circulation pump. The system return pipe is a dedicated return pipe or a cold water supply pipe. Gravity and thermostatic circulation systems are not present. Controls for circulating hot water system pumps start the pump with signal for hot water demand within the occupancy. Controls automatically turn off the pump when water is in circulation loop is at set-point temperature and no demand for hot water exists.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.1.2 [F18]	Electric heat trace systems comply with IEEE 515.1 or UL 515. Controls automatically adjust the energy input to the heat tracing to maintain the desired water temperature in the piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.2 [F19]	Demand recirculation water systems have controls that manage operation of the pump and limit the temperature of the water entering the cold water piping to <= 104°F.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.4 [F13]	Drain water heat recovery units tested in accordance with CSA B55.1. Potable water-side pressure loss of drain water heat recovery units <= 3 psi for individual units connected to one or two showers. Potable water-side pressure loss of drain water heat recovery units <= 2 psi for individual units connected to three or more showers.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1 [F16]	90% or more of permanent fixtures have high efficiency lamps.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
404.1.1 [F23]	Fuel gas lighting systems have no continuous pilot light.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
401.3 [F17]	Compliance certificate posted.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

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Data filename: _____ Page 9 of 10

Section # & Req.ID	Framing / Rough-In Inspection	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
402.1.1, 402.3.1, 402.3.3, 402.5 [FR2]	Glazing U-factor (area-weighted average).	U- U- U- U-	U- U- U- U-	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	See the Envelope Assemblies table for values.
303.1.3 [FR4]	U-factors of fenestration products are determined in accordance with the NFRC test procedure or taken from the default table.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.1.1 [FR23]	Air barrier and thermal barrier installed per manufacturer's instructions.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.3 [FR20]	Fenestration that is not site built is listed and labeled as meeting AAMA WDDMA/CSA 1011.5.2/4400 or has infiltration rates per NFRC 400 that do not exceed code limits.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
402.4.5 [FR16]	IC-rated recessed lighting fixtures sealed at housing/interior finish and labeled to indicate <= 0.0 cfm leakage at 75 Pa.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.1 [FR12]	Supply and return ducts in attics insulated >= R-8 where duct is >= 3 inches in diameter and >= R-6 where <= 3 inches. Supply and return ducts in other portions of the building insulated >= R-6 for diameter >= 3 inches and R-4.2 for <= 3 inches in diameter.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.2 [FR13]	Ducts, air handlers and filter boxes are sealed with joints/seams compliant with International Mechanical Code or International Residential Code, as applicable.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.3.5 [FR15]	Building cavities are not used as ducts or plenums.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4 [FR17]	HVAC piping conveying fluids above 105 °F or chilled fluids below 55 °F are insulated to >= R-3.	R- R- R- R-	R- R- R- R-	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.4.1 [FR24]	Protection of insulation on HVAC piping.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.5.3 [FR18]	Hot water pipes are insulated to >= R-3.	R- R- R- R-	R- R- R- R-	<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	
403.6 [FR19]	Automatic or gravity dampers are installed on all outdoor air intakes and exhausts.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Project Title: **Herman Residence** Report date: **01/06/24**
Data filename: _____ Page 5 of 10

Section # & Req.ID	Final Inspection Provisions	Plans Verified Value	Field Verified Value	Complies?	Comments/Assumptions
303.3 [F18]	Manufacturer manuals for mechanical and water heating systems have been provided.			<input type="checkbox"/> Complies <input type="checkbox"/> Does Not <input type="checkbox"/> Not Observable <input type="checkbox"/> Not Applicable	

Additional Comments/Assumptions:

2018 IECC Energy Efficiency Certificate

Insulation Rating	R-Value
Above-Grade Wall	20.00
Below-Grade Wall	13.00
Floor	10.00
Ceiling / Roof	49.00
Ductwork (unconditioned spaces):	
Glass & Door Rating	U-Factor SHGC
Window	0.30 0.27
Door	0.30 0.09
Heating & Cooling Equipment	Efficiency
Heating System:	
Cooling System:	
Water Heater:	
Name:	Date:
Comments:	

Project Title: **Herman Residence** Report date: **01/06/24**
Data filename: _____ Page 10 of 10

GTM ARCHITECTS

7735 OLD GEORGETOWN ROAD
SUITE 700
BETHESDA, MD 20814
(240)333-3000
(240)333-2001 FAX
WWW.GTMARCHITECTS.COM



Consultant

Project: **HERMAN RESIDENCE**

22 WEST IRVING ST., CHEVY CHASE, MD 20815

Owner

Developer

PERMIT SET 01/08/2024

Issue Description Date

GTM Project No. 22.0436

Checked By GTM

Drawn By LEO/JK

Scale AS NOTED

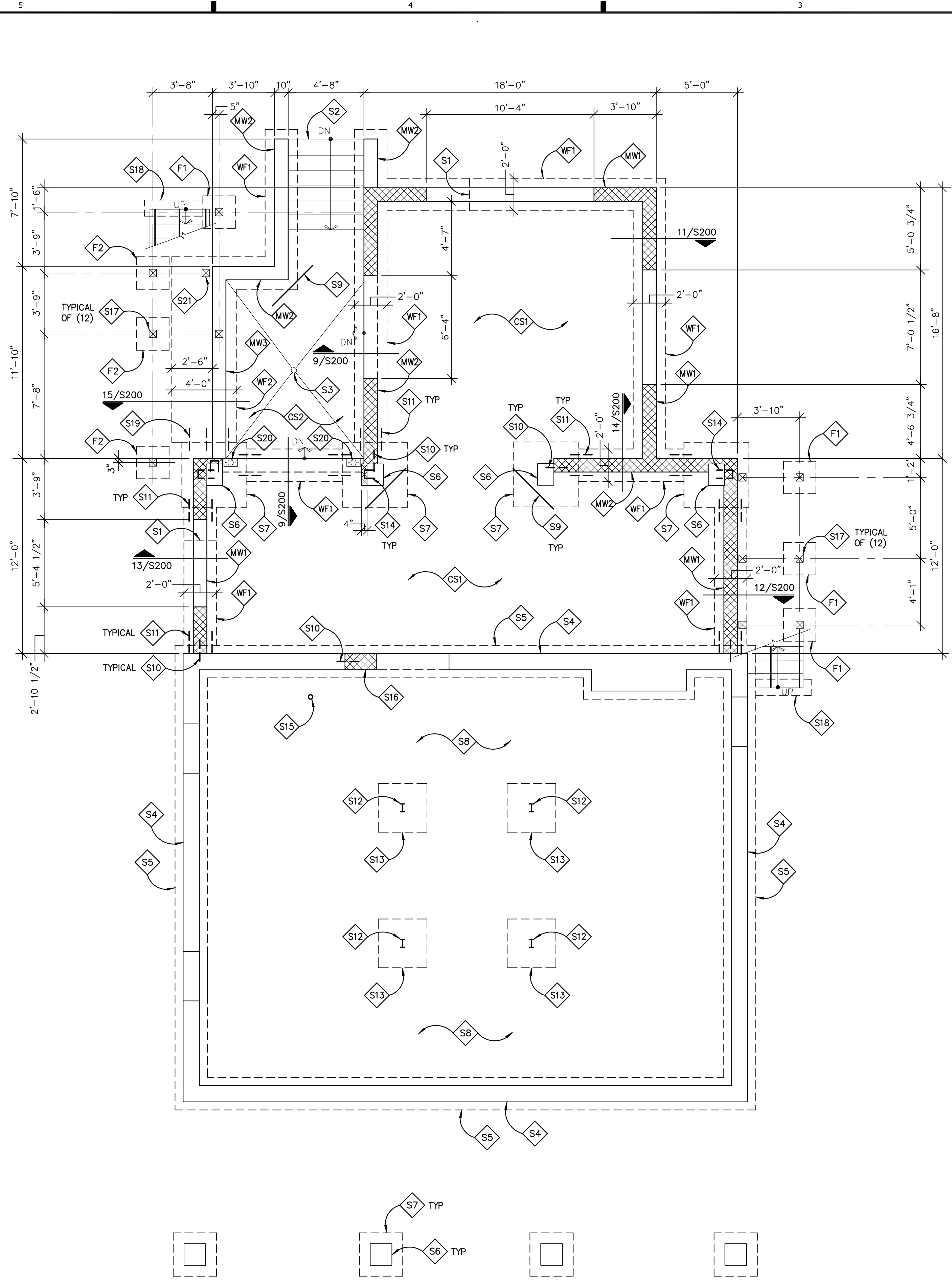
Sheet Title

RESCHECK-WEB REPORT

Sheet No.

EC002

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MASONRY WALL NOTES:

- MW1 10" CMU WALL W/ TRUSS JOINT REINF @ 8" VERT SPACING. PROVIDE #5 VERT BARS @ 16" O.C. 3" FROM INSIDE FACE OF WALL. GROUT ALL CELLS SOLID. PROVIDE #5 @ 16" O.C. MATCHING DOWELS INTO FTG. LAP #5 BARS 2'-4". PROVIDE 10" BOND BEAM AT TOP OF WALL W/ (2) #4 CONT
- MW2 10" CMU WALL W/ TRUSS JOINT REINF @ 8" VERT SPACING. PROVIDE #5 VERT BARS @ 16" O.C. IN CENTER OF 10" CMU. GROUT ALL CELLS SOLID. PROVIDE #5 @ 16" O.C. MATCHING DOWELS INTO FTG. LAP #5 BARS 2'-4". PROVIDE 10" BOND BEAM AT TOP OF WALL W/ (2) #4 CONT
- MW3 10" CMU RETAINING WALL SEE DET 15/S200 FOR INFO

WALL FOOTING NOTES:

- WF1 2'-0" WIDE x 1'-0" DEEP CONC CONC WALL FTG W/ (2) #5 CONT 3" FROM BOT OF FTG. STEP FTG AS REQ'D PER DET 2/S200
- WF2 RETAINING WALL FOOTING SEE DET 15/S200 FOR INFO

COL FOOTING NOTES:

- F1 2'-0" x 2'-0" x 2'-6" DEEP CONC FTG W/ (3) #5 EACH WAY 3" FROM TOP OF FTG & (3) #5 EACH WAY 3" FROM BOTTOM OF FTG (2-LAYERS). SET TOP OF FTG 6" BELOW FINISH GRADE
- F2 2'-0" x 2'-0" x 6'-0" DEEP CONC FTG W/ (3) #5 EACH WAY 3" FROM TOP OF FTG & (3) #5 EACH WAY 3" FROM BOTTOM OF FTG (2-LAYERS). PROVIDE (4) #5 VERT BARS (ONE AT EACH CORNER) W/ #4 TIES AT 16" O.C. VERT SPACING W/ 2" COVER. SET TOP OF FTG 6" BELOW FINISH GRADE

CONC SLAB NOTES:

- CS1 4" CONC SLAB ON VAPOR BARRIER ON 4" CRUSHED STONE OVER COMPACTED SUBGRADE WITH 6x6-W1.4xW1.4 WWF @ MID-DEPTH OF SLAB
- CS2 4" CONC SLAB ON VAPOR BARRIER ON 4" CRUSHED STONE ON COMPACTED SUBGRADE W/ #4 @ 14" O.C. EA WAY AT MID-DEPTH OF SLAB

FOUNDATION PLAN NOTES:

- S1 STEP WALL FTG SEE DET 2/S200
- S2 CONC STAIRS SEE DET 7 & 8/S200 & ARCHT DWGS FOR MORE INFO
- S3 DRAIN SEE ARCHT & MEP DWGS
- S4 EXIST MASONRY WALL FIELD VERIFY CONDITION
- S5 EXIST WALL FTG TO REMAIN INTACT
- S6 EXIST MASONRY PIER TO REMAIN INTACT FIELD VERIFY CONDITION
- S7 EXIST PIER FTG TO REMAIN INTACT
- S8 EXIST CONC SLAB ON GRADE TO REMAIN INTACT
- S9 #4 x 3'-0" ADD'L SLAB CORNER BAR
- S10 DRILL & EPOXY #5 DOWELS x 1'-6" @ 16" O.C. VERT SPACING W/ 6" EMBED INTO EXIST WALL
- S11 DRILL & EPOXY (2) #5 DOWELS x 1'-6" W/ 6" EMBED INTO EXIST FTG. BOT OF NEW FTG TO MATCH BOT OF EXIST FTG
- S12 EXIST STEEL COL TO REMAIN INTACT
- S13 EXIST COL FTG TO REMAIN INTACT
- S14 DRILL & EPOXY #4 HAIRPINS @ 16" O.C. VERT SPACING W/ 6" EMBED INTO EXIST WALL
- S15 SEE SHEET S101 FOR INFO
- S16 MASONRY INFILL TO MATCH EXIST WALL TOOTH-IN & GROUT SOLID TO RESTORE STRUCTURAL INTEGRITY OF MASONRY WALL.
- S17 SIMPSON ABU66Z POST ANCHOR BASE WITH 5/8" DIA ADHESIVE BOLT W/ 7" EMBED
- S18 12" WIDE x 16" DEEP CONC BEAM W/ (2) #5 BARS 3" FROM TOP & (2) #5 BARS 3" FROM BOTTOM OF BEAM
- S19 DRILL & EPOXY (3) #5 DOWELS x 1'-6" W/ 6" EMBED INTO EXIST FTG. BOT OF NEW FTG TO MATCH BOT OF EXIST FTG
- S20 STEEL COL ABOVE SEE SHEET S101
- S21 EXTEND POST ANCHOR BASE ABU66Z TO TOP OF WALL FTG

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 3:15 pm, Jan 09, 2024

BRACING & SHORING NOTE:

CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, SEQUENCE, AND MEANS AND METHODS OF THE CONSTRUCTION.

FIELD VERIFICATION NOTE:

EXISTING INFORMATION SHOWN ON THE DRAWINGS WERE NOT VERIFIED. CONTRACTOR SHALL REVIEW DRAWINGS & FIELD VERIFY ALL EXISTING CONDITIONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT & ENGINEER PRIOR TO START OF CONSTRUCTION.

DIMENSIONING NOTE:

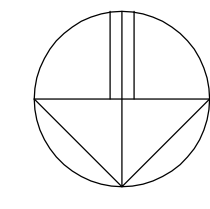
CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS SHOWN ON THIS DRAWING W/ ARCHT DWGS & CIVIL DWGS.

FOUNDATION NOTES:

- STEP FOOTINGS PER DETAILS ON S200 FOR UTILITY LINES AND AS REQ'D BY THE GEOTECH ENGINEER FOR APPROVED SOIL BEARING. BOTTOM OF ALL FOOTINGS SHALL BE MIN OF 2'-6" BELOW FINISH GRADE. CONTRACTOR SHALL COORDINATE BOTTOM OF FTGS WITH SITE PLAN, ARCHT DWGS & FIELD CONDITIONS.
- FOUNDATION WALLS SHALL HAVE P.T. 2x6 SILL PL ANCHORED TO WALL W/ 5/8" DIA x 1'-0" BOLTS @ 32" O.C. PROVIDE DRAIN BOARD, WATER PROOFING, & 4" DIA DRAIN PIPE CONNECTED TO SUMP PUMP LOCATED BELOW THE LOWEST BASEMENT SLAB. TERMINATE DRAIN BOARD 1'-6" BELOW FINISH GRADE. TOP 18" OF SOIL SHALL BE IMPERVIOUS. SLOPE GRADE AWAY FROM WALL.

GENERAL NOTES:

- REFER TO THE ARCHT DWGS FOR DIMENSIONS, ELEVATIONS, & BALANCE OF INFORMATION. REFER TO MEP DWGS FOR ADD'L INFO ON DRAINS, UTILITY LINES, SLEEVES, & OPENINGS REQUIREMENTS.
- REFER TO S001 FOR STRUCTURAL NOTES. REFER TO S200, S201 & S301 FOR APPLICABLE DETAILS NOT REFERENCED ON PLAN.
- REFER TO THE CIVIL DRAWINGS FOR SITE RETAINING WALL LOCATION, PROPOSED WALL HEIGHT, & FINISH GRADE ELEVATIONS



1 FOUNDATION PLAN
1/4"=1'-0"

Seal



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17129, Expiration date: 11-06-24

Consultant
RADWAN ASSOCIATES, INC
STRUCTURAL ENGINEER

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VIENNA, VA 22182
(703) 790-8435
RADWANINC@AOL.COM

Project

HERMAN RESIDENCE

22 WEST IRVING STREET
CHEVY CHASE, MD 20815

Developer

PERMIT 01-05-2024

Issue Description Date

RAI Project No. RA-23-116

Checked By GR

Drawn By GR

Scale 1=48

Sheet Title

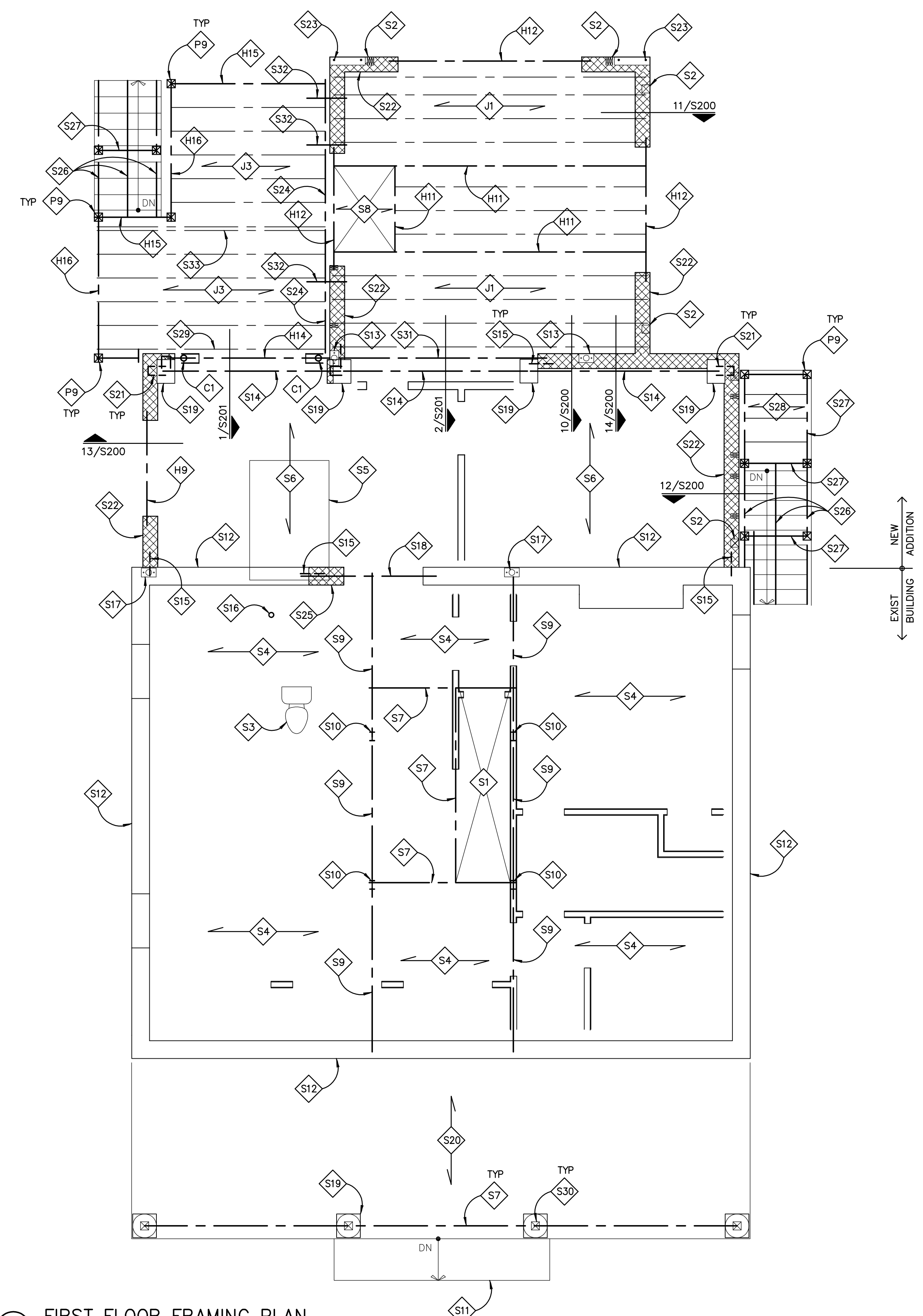
FOUNDATION PLAN

Sheet No.

S100

SHEET 2 OF 10

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WOOD POST NOTES:

- (PSL USE 2.0E PARALLAM)
- P1 (2) 2x4
 - P2 (3) 2x4
 - P3 (2) 2x6
 - P4 (3) 2x6
 - P5 3 1/2" x 3 1/2" PSL
 - P6 3 1/2" x 5 1/4" PSL
 - P7 5 1/4" x 5 1/4" PSL
 - P8 P.T. 4x6 SOLID WOOD
 - P9 P.T. 6x6 SOLID WOOD

WOOD HEADER NOTES:

- (LVL USE 1.9E MICROLAM)
- H1 (2) 2x8 DROPPED
 - H2 (3) 2x8 DROPPED
 - H3 (2) 2x10 DROPPED
 - H4 (3) 2x10 DROPPED
 - H5 (2) 1 3/4" x 9 1/4" LVL DROPPED
 - H6 (3) 1 3/4" x 9 1/4" LVL DROPPED
 - H7 (2) 1 3/4" x 11 7/8" LVL DROPPED
 - H8 (3) 1 3/4" x 11 7/8" LVL DROPPED
 - H9 (2) 1 3/4" x 9 1/2" LVL IN SAME PLANE AS JOISTS
 - H10 (3) 1 3/4" x 9 1/2" LVL IN SAME PLANE AS JOISTS
 - H11 (2) 1 3/4" x 11 7/8" LVL IN SAME PLANE AS JOISTS
 - H12 (3) 1 3/4" x 11 7/8" LVL IN SAME PLANE AS JOISTS
 - H13 (3) 1 3/4" x 7 1/4" LVL DROPPED
 - H14 (3) 1 3/4" x 11 7/8" LVL UPSET
 - H15 P.T. (2) 2x10 UPSET
 - H16 P.T. (3) 2x10 UPSET

WOOD JOIST NOTES:

- J1 11 7/8" TJI-360 @ 16" O.C.
- J2 DOUBLE 9 1/2" TJI-230 @ 16" O.C.
- J3 P.T. 2x10 @ 16" O.C.

STEEL COLUMN NOTES:

- C1 4" DIA ADJUSTABLE STEEL PIPE COL ALLOW CAP @ 9' HT = 17,000 LBS. INSTALL PER MANUF.

BRACING & SHORING NOTE:

CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, SEQUENCE, AND MEANS AND METHODS OF THE CONSTRUCTION.

FIELD VERIFICATION NOTE:

EXISTING INFORMATION SHOWN ON THE DRAWINGS WERE NOT VERIFIED. CONTRACTOR SHALL REVIEW DRAWINGS & FIELD VERIFY ALL EXISTING CONDITIONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT & ENGINEER PRIOR TO START OF CONSTRUCTION.

DIMENSIONING NOTE:

CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS SHOWN ON THIS DRAWING W/ ARCHT DWGS & CIVIL DWGS.

FIRST FLOOR FRAMING NOTES:

- S1 EXIST STAIR OPNG
- S2 POST ABOVE, PROVIDE SOLID BLOCKING BELOW POST BEARING LOCATION
- S3 EXIST PLUMBING DRAIN ABOVE TO REMAIN INTACT
- S4 EXIST 2x10 FLOOR JOISTS TO REMAIN INTACT
- S5 EXIST KITCHEN ISLAND ABOVE
- S6 EXIST 9 1/2" DEEP TJI FLOOR JOISTS TO REMAIN INTACT
- S7 EXIST HEADER TO REMAIN INTACT
- S8 2x8 @ 16" O.C. INFILL AT FIRE PLACE. SET BOTTOM FLUSH W/ FLOOR JOISTS
- S9 EXIST STEEL BEAM TO REMAIN INTACT
- S10 EXIST STEEL COL TO REMAIN INTACT
- S11 EXIST STAIRS TO REMAIN INTACT
- S12 EXIST MASONRY WALL BELOW FIELD VERIFY CONDITION
- S13 STEEL COL ABOVE SEE SHEET S102
- S14 EXIST (3) 1 3/4" x 9 1/2" LVL DROPPED HEADER FIELD VERIFY EXACT LOCATION & CONDITION
- S15 DRILL & EPOXY #5 DOWELS x 1"-4" @ 16" O.C. VERT SPACING W/ 6" EMBED INTO EXIST WALL
- S16 FIELD VERIFY CONDITION. SISTER EXIST DAMAGE JOISTS W/ 2x10 JOISTS FULL SPAN W/ (3) ROWS OF 16d NAILS @ 8" O.C. REMOVE TEMP POST
- S17 EXIST STEEL COL ABOVE TO REMAIN INTACT
- S18 EXIST BEAM TO REMAIN INTACT FIELD VERIFY SIZE, LOCATION & CONDITION
- S19 EXIST MASONRY PIER BELOW TO REMAIN INTACT FIELD VERIFY CONDITION
- S20 EXIST PORCH FLOOR FRAMING TO REMAIN INTACT
- S21 DRILL & EPOXY #4 HAIRPINS @ 16" O.C. VERT SPACING W/ 6" EMBED INTO EXIST WALL
- S22 MASONRY WALL BELOW SEE SHEET S100
- S23 PROVIDE ANCHOR BOLTS IN CONC WALL FOR SIMPSON SSW24x8 STEEL SHEAR WALL OVER SHEATHING W/ DBL LVL BLKG BELOW WALL. INSTALL PER MANUF.
- S24 P.T. 2x10 LEDGER BOARD W/ 5/8" DIA BOLTS @ 10" O.C. STAGGERED
- S25 MASONRY INFILL TO MATCH EXIST WALL. TOOTH-IN & GROUT SOLID TO RESTORE STRUCTURAL INTEGRITY OF MASONRY WALL.
- S26 P.T. 2x12 OPEN STRINGERS
- S27 P.T. (2) 2x8 UPSET
- S28 P.T. 2x8 @ 16" O.C.
- S29 P.T. 2x10 BOLT TO NEW HEADER W/ 5/8" DIA THRU BOLTS @ 16" O.C.
- S30 EXIST POST ABOVE TO REMAIN INTACT
- S31 1 3/4" x 11 7/8" LVL CONT BOLT TO EXIST RIM BOARD W/ 5/8" DIA THRU BOLTS @ 16" O.C.
- S32 PROVIDE SIMPSON DTT22 TENSION TIE @ (3) LOCATIONS TO ANCHOR DECK JOISTS TO RIM BOARD W/ THRU BOLTS. SEE PLAN FOR LOCATIONS
- S33 PROVIDE DOUBLE JOISTS

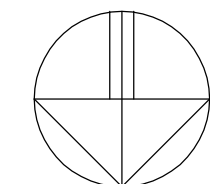
GENERAL NOTES:

1. REFER TO THE ARCHT DWGS FOR DIMENSIONS, ELEVATIONS, & BALANCE OF INFORMATION. REFER TO MEP DWGS FOR ADD'L INFO ON DRAINS, UTILITY LINES, SLEEVES, & OPENINGS REQUIREMENTS.
2. REFER TO S001 FOR STRUCTURAL NOTES. REFER TO S200, S201 & S301 FOR APPLICABLE DETAILS NOT REFERENCED ON PLAN.
3. PROVIDE SOLID BLOCKING BETWEEN FLOORS UNDER ALL WOOD POSTS ALL THE WAY DOWN TO TOP OF BEAMS & CONC WALLS. PROVIDE 2x6 SQUASH BLOCKING EACH SIDE OF TJI JOISTS AT STACKED LOAD BEARING WALLS, INSTALL PER TJI MANUF. PROVIDE INTERMEDIATE HORIZONTAL BLKG BETWEEN STUDS AT 4'-0" VERT SPACING AT ALL LOAD BEARING WALLS.
4. IN ADDITION TO POSTS SHOWN ON PLAN, PROVIDE THE FOLLOWING: ADD'L (1) KING STUD EACH SIDE OF OPNGS UP TO 4'-0" WIDE. ADD'L (2) KING STUDS EACH SIDE OF OPNGS UP TO 8'-0" WIDE.
5. PROVIDE FRAMING CONNECTORS FOR JOISTS, BEAMS & POSTS. CONNECTORS SHALL BE BY SIMPSON STRONG-TIE OR EQUAL AND SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES, AND INSTALLED ACCORDING TO MANUFACTURER. PROVIDE SIMPSON H2.5A UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST2215 STRAPS CONNECTING TOP OF SHEARWALLS TO HEADERS.
6. INSTALL CHIMNEY ANCHORAGE STRAPS AT EACH FLOOR AND AT ROOF LEVEL PER IRC BUILDING CODE.
7. REFER TO S300 FOR WALL BRACING PLANS. REFER TO S301 FOR WALL BRACING PANEL CONSTRUCTION & TYPICAL DETAILS.

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 3:14 pm, Jan 09, 2024



1 FIRST FLOOR FRAMING PLAN
1/4"=1'-0"



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17129, Expiration date: 11-06-24

Consultant
RADWAN ASSOCIATES, INC
STRUCTURAL ENGINEER

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VIENNA, VA 22182
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Project
HERMAN RESIDENCE

22 WEST IRVING STREET
CHEVY CHASE, MD 20815

Developer

PERMIT 01-05-2024

Issue Description Date

RAI Project No. RA-23-116

Checked By GR

Drawn By GR

Scale 1=48

Sheet Title

1ST FLOOR FRAMING

Sheet No.

S101
SHEET 3 OF 10

STEEL COLUMN NOTES:

- C1 4" DIA ADJUSTABLE STEEL PIPE COL ALLOW CAP @ 9' HT = 17,000 LBS. INSTALL PER MANUF

STEEL BEAM NOTES:

- B1 W8x24 STEEL BEAM UPSET W/ 2x8 PL CUT FLUSH + 1/8" & BOLT TO TOP FLANGE W/ 1/2" DIA BOLTS @ 24" O.C. STAGGERED. PROVIDE (2) 2x8 CONT BLKG EACH SIDE OF BEAM WEB W/ 1/2" THRU BOLTS @ 24" O.C. WELD BEAM TO TOP OF STEEL COLS.

WOOD POST NOTES:

- (PSL USE 2.0E PARALLAM)
 - P1 (2) 2x4
 - P2 (3) 2x4
 - P3 (2) 2x6
 - P4 (3) 2x6
 - P5 3 1/2" x 3 1/2" PSL
 - P6 3 1/2" x 5 1/4" PSL
 - P7 5 1/4" x 5 1/4" PSL
 - P8 P.T. 4x6 SOLID WOOD
 - P9 P.T. 6x6 SOLID WOOD

WOOD HEADER NOTES:

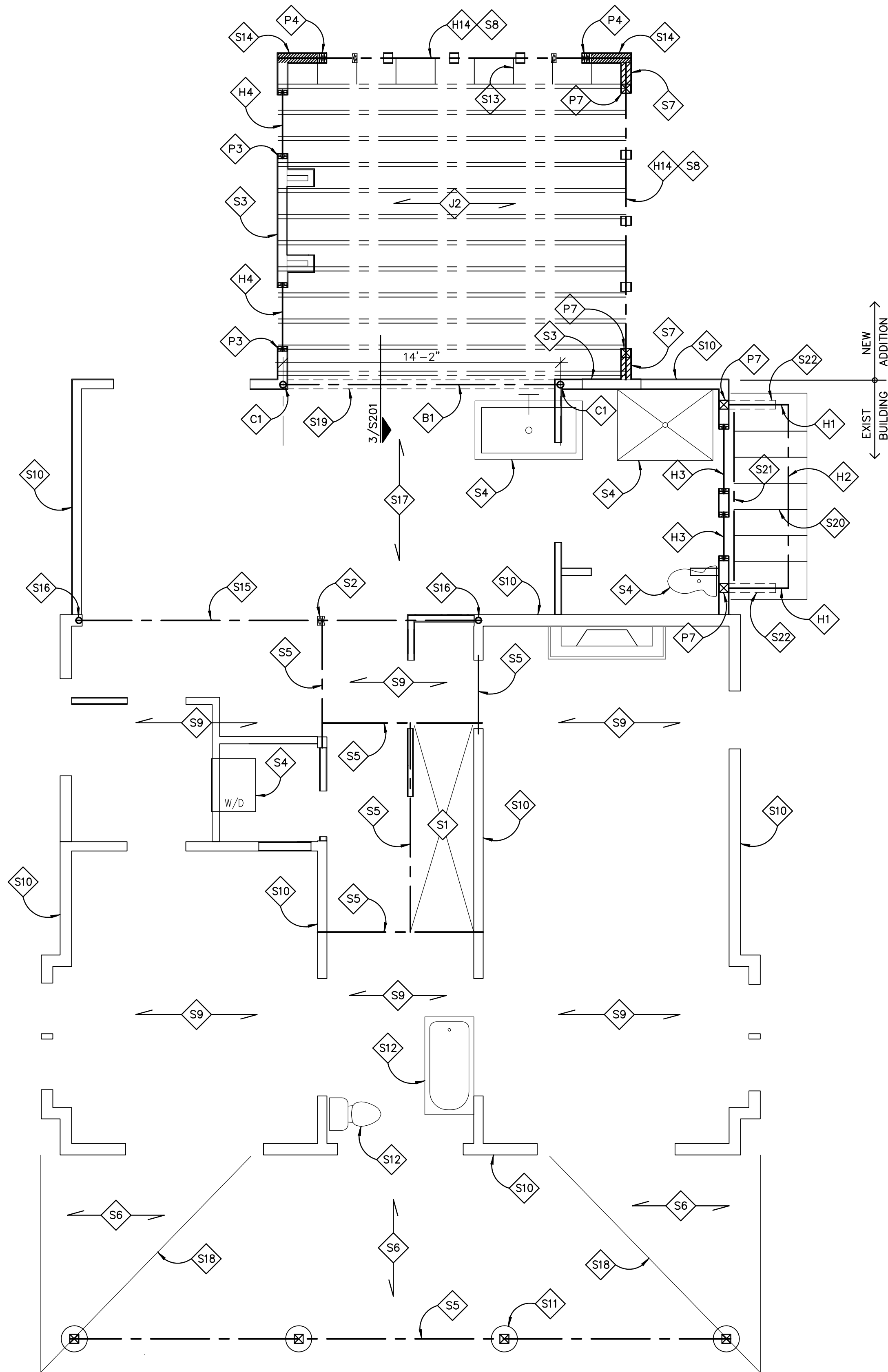
- (LVL USE 1.9E MICROLAM)
 - H1 (2) 2x8 DROPPED
 - H2 (3) 2x8 DROPPED
 - H3 (2) 2x10 DROPPED
 - H4 (3) 2x10 DROPPED
 - H5 (2) 1 3/4" x 9 1/4" LVL DROPPED
 - H6 (3) 1 3/4" x 9 1/4" LVL DROPPED
 - H7 (2) 1 3/4" x 11 7/8" LVL DROPPED
 - H8 (3) 1 3/4" x 11 7/8" LVL DROPPED
 - H9 (2) 1 3/4" x 9 1/2" LVL IN SAME PLANE AS JOISTS
 - H10 (3) 1 3/4" x 9 1/2" LVL IN SAME PLANE AS JOISTS
 - H11 (2) 1 3/4" x 11 7/8" LVL IN SAME PLANE AS JOISTS
 - H12 (3) 1 3/4" x 11 7/8" LVL IN SAME PLANE AS JOISTS
 - H13 (3) 1 3/4" x 7 1/4" LVL DROPPED
 - H14 (3) 1 3/4" x 11 7/8" LVL UPSET
 - H15 P.T. (2) 2x10 UPSET
 - H16 P.T. (3) 2x10 UPSET

WOOD JOIST NOTES:

- J1 11 7/8" TJI-360 @ 16" O.C.
- J2 DOUBLE 9 1/2" TJI-230 @ 16" O.C.
- J3 P.T. 2x10 @ 16" O.C.

SECOND FLOOR FRAMING NOTES:

- S1 EXIST STAIR OPNG
- S2 EXIST POST ABOVE TO REMAIN INTACT
- S3 2x6 STUDS @ 16" O.C. BEARING WALL BELOW. PROVIDE INTERMEDIATE HORIZ BLKG @ 4'-0" MAX VERT SPACING
- S4 PLUMBING DRAIN ABOVE, COORDINATE WITH FRAMING. DO NOT CUT ANY JOISTS
- S5 EXIST HEADER TO REMAIN INTACT
- S6 EXIST RAFTERS TO REMAIN INTACT
- S7 CS-PF CONT PORTAL FRAME PANEL CONSTRUCTION. SEE DET 5/S301
- S8 EXTEND HEADER TO BACK END OF CS-PF PORTAL FRAME PANEL. SEE DET 5/S301
- S9 EXIST 2x10 FLOOR JOISTS TO REMAIN INTACT
- S10 EXIST WOOD STUD BEARING WALL BELOW TO REMAIN INTACT FIELD VERIFY CONDITION
- S11 EXIST WOOD POST TO REMAIN INTACT
- S12 EXIST PLUMBING DRAIN ABOVE TO REMAIN INTACT
- S13 TJI LADDER FRAMING @ 24" O.C.
- S14 SIMPSON SSW24x8 STEEL SHEAR WALL OVER SHEATHING W/ DBL LVL BLKG BELOW WALL. INSTALL PER MANUF. SEE DET 10/S201 & 11/S201 ADD'L FOR INFO.
- S15 EXIST STEEL BEAM TO REMAIN INTACT
- S16 EXIST STEEL COL TO REMAIN INTACT
- S17 EXIST 9 1/2" DEEP TJI FLOOR JOISTS TO REMAIN INTACT
- S18 EXIST HIP BEAM TO REMAIN FIELD VERIFY CONDITION
- S19 EXIST WOOD STUD BEARING WALL ABOVE
- S20 2x6 RAFTERS @ 16" O.C. W/ 2x6 CEILING JOISTS @ 16" O.C. CONNECT RAFTERS TO CEILING JOISTS W/ (4) FACE NAILS PER CONN. PROVIDE 2x6 LEDGER AT CEILING JOISTS SUPPORT W/ 1/4" SCREWS @ 8" O.C. STAGGERED W/ 2" PENETRATION INTO RIM BOARD
- S21 P.T. 2x8 LEDGER AT RAFTER SUPPORT W/ 5/8" DIA THRU BOLTS @ 16" O.C. INTO (2) 2x8 BLKG BETWEEN STUDS. NAIL ROOF PLYWD TO 2x8 LEDGER @ 3" O.C.
- S22 STRUCTURAL WOOD BRACKET PER ARCHT DWGS. CONNECT TO WOOD POST IN WALL W/ (2) 5/8" DIA THRU BOLTS



POST NOTE:

- P3 PROVIDE P3 POSTS AT H2 & H4 HEADERS TYPICAL WHERE NOT NOTED ON PLAN.
- P1 PROVIDE P1 POSTS AT H1 & H3 HEADERS TYPICAL WHERE NOT NOTED ON PLAN.

ROOF TRUSSES SHOP DWGS NOTE:

CONTRACTOR SHALL SUBMIT ROOF TRUSSES SHOP DWGS FOR REVIEW BY THE ENGINEER PRIOR TO START OF ANY FOUNDATION OR CONSTRUCTION WORK. ANY REVISIONS TO THE COMPLETED IN PLACE STRUCTURE DUE TO LATE SUBMISSION OF THE ROOF TRUSSES SHOP DWGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

BRACING & SHORING NOTE:

CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, SEQUENCE, AND MEANS AND METHODS OF THE CONSTRUCTION.

FIELD VERIFICATION NOTE:

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DIMENSIONING NOTE:

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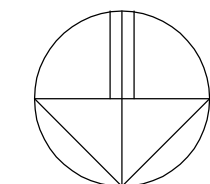
GENERAL NOTES:

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- REFER TO S001 FOR STRUCTURAL NOTES. REFER TO S200, S201 & S301 FOR APPLICABLE DETAILS NOT REFERENCED ON PLAN.
- PROVIDE SOLID BLOCKING BETWEEN FLOORS UNDER ALL WOOD POSTS ALL THE WAY DOWN TO TOP OF BEAMS & CONC WALLS. PROVIDE 2x6 SQUASH BLOCKING EACH SIDE OF TJI JOISTS AT STACKED LOAD BEARING WALLS, INSTALL PER TJI MANUF. PROVIDE INTERMEDIATE HORIZONTAL BLKG BETWEEN STUDS AT 4'-0" VERT SPACING AT ALL LOAD BEARING WALLS.
- IN ADDITION TO POSTS SHOWN ON PLAN, PROVIDE THE FOLLOWING: ADD'L (1) KING STUD EACH SIDE OF OPNGS UP TO 4'-0" WIDE. ADD'L (2) KING STUDS EACH SIDE OF OPNGS UP TO 8'-0" WIDE.
- PROVIDE FRAMING CONNECTORS FOR JOISTS, BEAMS & POSTS. CONNECTORS SHALL BE BY SIMPSON STRONG-TIE OR EQUAL AND SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES, AND INSTALLED ACCORDING TO MANUFACTURER. PROVIDE SIMPSON H2.5A UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST215 STRAPS CONNECTING TOP OF SHEARWALLS TO HEADERS.
- INSTALL CHIMNEY ANCHORAGE STRAPS AT EACH FLOOR AND AT ROOF LEVEL PER IRC BUILDING CODE.
- REFER TO S300 FOR WALL BRACING PLANS. REFER TO S301 FOR WALL BRACING PANEL CONSTRUCTION & TYPICAL DETAILS.

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 3:14 pm, Jan 09, 2024



1 SECOND FLOOR FRAMING PLAN
1/4"=1'-0"



Professional Certification. I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the State of Maryland, License No. 17129, Expiration date: 11-06-24

Consultant
RADWAN ASSOCIATES, INC
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HERMAN RESIDENCE

22 WEST IRVING STREET
CHEVY CHASE, MD 20815

Developer

PERMIT 01-05-2024

Issue Description Date

RAI Project No. RA-23-116

Checked By GR

Drawn By GR

Scale 1=48

Sheet Title

2ND FLOOR FRAMING

Sheet No.

S102 SHEET 4 OF 10

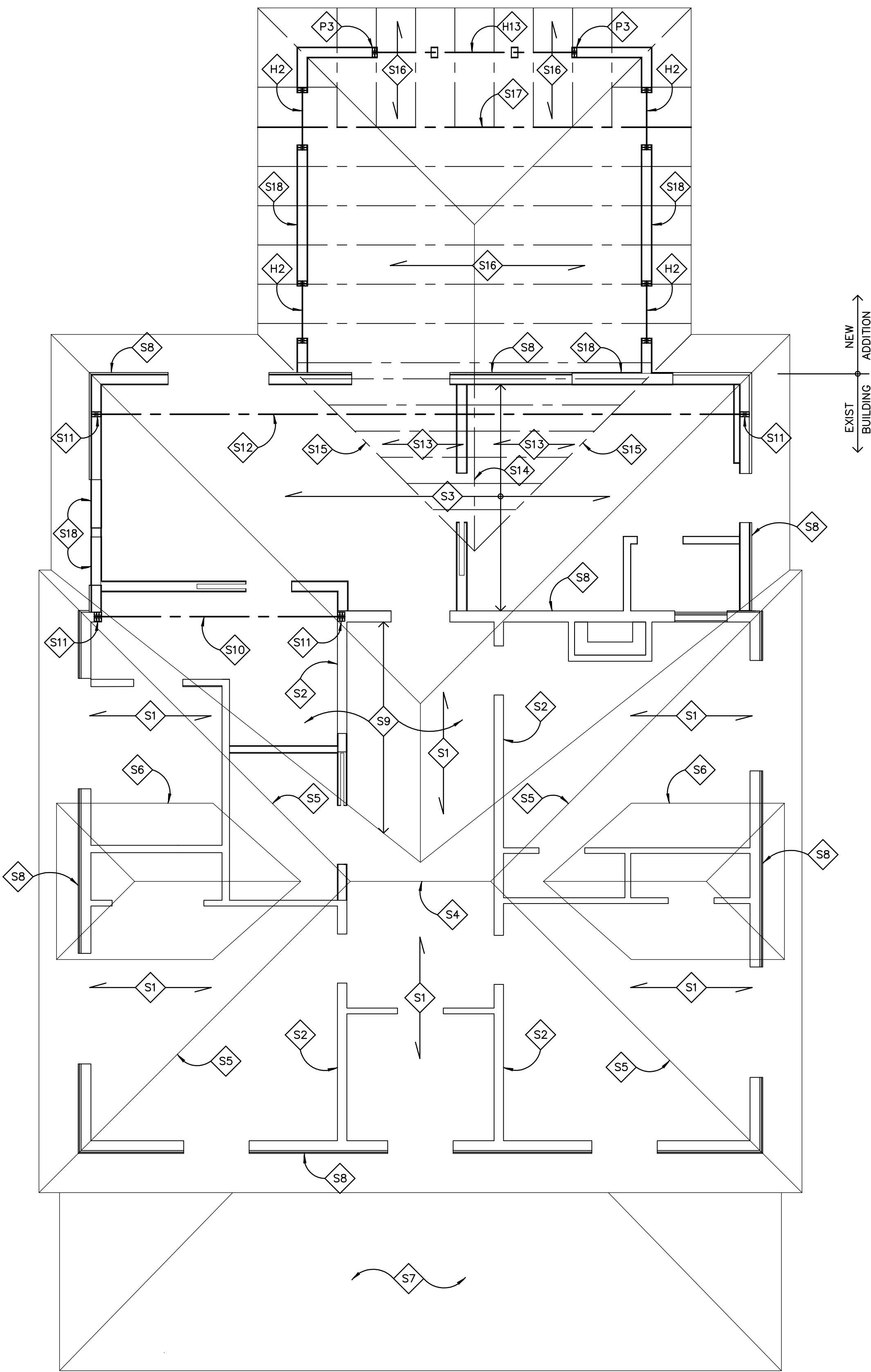
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4

3

2

1



WOOD POST NOTES:

(PSL USE 2.0E PARALLAM)

- P1 (2) 2x4
- P2 (3) 2x4
- P3 (2) 2x6
- P4 (3) 2x6
- P5 3 1/2" x 3 1/2" PSL
- P6 3 1/2" x 5 1/4" PSL
- P7 5 1/4" x 5 1/4" PSL
- P8 P.T. 4x6 SOLID WOOD
- P9 P.T. 6x6 SOLID WOOD

WOOD HEADER NOTES:

(LVL USE 1.9E MICROLAM)

- H1 (2) 2x8 DROPPED
- H2 (3) 2x8 DROPPED
- H3 (2) 2x10 DROPPED
- H4 (3) 2x10 DROPPED
- H5 (2) 1 3/4" x 9 1/4" LVL DROPPED
- H6 (3) 1 3/4" x 9 1/4" LVL DROPPED
- H7 (2) 1 3/4" x 11 7/8" LVL DROPPED
- H8 (3) 1 3/4" x 11 7/8" LVL DROPPED
- H9 (2) 1 3/4" x 9 1/2" LVL IN SAME PLANE AS JOISTS
- H10 (3) 1 3/4" x 9 1/2" LVL IN SAME PLANE AS JOISTS
- H11 (2) 1 3/4" x 11 7/8" LVL IN SAME PLANE AS JOISTS
- H12 (3) 1 3/4" x 11 7/8" LVL IN SAME PLANE AS JOISTS
- H13 (3) 1 3/4" x 7 1/4" LVL DROPPED
- H14 (3) 1 3/4" x 11 7/8" LVL UPSET
- H15 P.T. (2) 2x10 UPSET
- H16 P.T. (3) 2x10 UPSET

ROOF FRAMING NOTES:

- S1 EXIST ROOF RAFTERS & CEILING JOISTS TO REMAIN INTACT FIELD VERIFY CONDITION
- S2 EXIST KNEE WOOD STUD BRG WALL BELOW TO REMAIN INTACT
- S3 EXIST ROOF TRUSSES TO REMAIN INTACT
- S4 EXIST RIDGE PLATE TO REMAIN INTACT
- S5 EXIST HIP BEAM TO REMAIN FIELD VERIFY CONDITION
- S6 EXIST DORMER FRAMING TO REMAIN INTACT FIELD VERIFY CONDITION
- S7 EXIST ROOF BELOW SEE SHEET S102
- S8 EXIST WOOD STUD BEARING WALL BELOW FIELD VERIFY CONDITION
- S9 EXIST ROOF OVERBUILT FRAMING TO REMAIN INTACT
- S10 EXIST HEADER TO REMAIN INTACT
- S11 EXIST POST TO REMAIN INTACT
- S12 EXIST GIRDER TRUSS TO REMAIN INTACT
- S13 2x8 OVERBUILT RAFTERS @ 16" O.C.
- S14 2x10 RIDGE PLATE
- S15 2x8 PLATE LAID FLAT OVER EXIST ROOF SHEATHING
- S16 ROOF TRUSSES @ 24" O.C. BY TRUSS MANUF
- S17 GIRDER TRUSS BY TRUSS MANUF
- S18 2x6 STUDS @ 16" O.C. BEARING WALL BELOW. PROVIDE INTERMEDIATE HORIZ BLKG @ 4'-0" MAX VERT SPACING

ROOF TRUSSES NOTES:

1. ROOF TRUSSES SHALL BE DESIGNED & DETAILED BY THE TRUSS MANUFACTURER TO MEET THE DESIGN CRITERIA INDICATED ON THE DRAWINGS.
2. ROOF TRUSS MANUFACTURER SHALL SUBMIT SHOP DRAWINGS & DESIGN CALCULATIONS SIGNED BY A PROFESSIONAL ENGINEER FOR REVIEW BY THE ARCHITECT AND ENGINEER OF RECORD.
3. ROOF TRUSS MANUFACTURER SHALL PROVIDE ALL CONNECTIONS, HANGERS, BRACING, & OTHER DETAILS REQ'D FOR TRUSS CONNECTION TO SUPPORTS.

GENERAL NOTES:

1. REFER TO THE ARCHT DWGS FOR DIMENSIONS, ELEVATIONS, & BALANCE OF INFORMATION. REFER TO MEP DWGS FOR ADD'L INFO ON DRAINS, UTILITY LINES, SLEEVES, & OPENINGS REQUIREMENTS.
2. REFER TO S001 FOR STRUCTURAL NOTES. REFER TO S200, S201 & S301 FOR APPLICABLE DETAILS NOT REFERENCED ON PLAN.
3. PROVIDE SOLID BLOCKING BETWEEN FLOORS UNDER ALL WOOD POSTS ALL THE WAY DOWN TO TOP OF BEAMS & CONC WALLS. PROVIDE 2x6 SQUASH BLOCKING EACH SIDE OF TJI JOISTS AT STACKED LOAD BEARING WALLS, INSTALL PER TJI MANUF. PROVIDE INTERMEDIATE HORIZONTAL BLKG BETWEEN STUDS AT 4'-0" VERT SPACING AT ALL LOAD BEARING WALLS.
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5. PROVIDE FRAMING CONNECTORS FOR JOISTS, BEAMS & POSTS. CONNECTORS SHALL BE BY SIMPSON STRONG-TIE OR EQUAL AND SHALL BE PROPERLY SIZED ACCORDING TO MEMBER SIZES, AND INSTALLED ACCORDING TO MANUFACTURER. PROVIDE SIMPSON H2.5A UPLIFT CONNECTORS AT ALL RAFTERS. PROVIDE ST2215 STRAPS CONNECTING TOP OF SHEARWALLS TO HEADERS.
6. INSTALL CHIMNEY ANCHORAGE STRAPS AT EACH FLOOR AND AT ROOF LEVEL PER IRC BUILDING CODE.
7. REFER TO S300 FOR WALL BRACING PLANS. REFER TO S301 FOR WALL BRACING PANEL CONSTRUCTION & TYPICAL DETAILS.

BRACING & SHORING NOTE:

CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, SEQUENCE, AND MEANS AND METHODS OF THE CONSTRUCTION.

FIELD VERIFICATION NOTE:

EXISTING INFORMATION SHOWN ON THE DRAWINGS WERE NOT VERIFIED. CONTRACTOR SHALL REVIEW DRAWINGS & FIELD VERIFY ALL EXISTING CONDITIONS. ALL DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT & ENGINEER PRIOR TO START OF CONSTRUCTION.

DIMENSIONING NOTE:

CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS SHOWN ON THIS DRAWING W/ ARCHT DWGS & CIVIL DWGS.

POST NOTE:

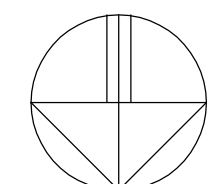
- P3 PROVIDE P3 POSTS AT H2 & H4 HEADERS TYPICAL WHERE NOT NOTED ON PLAN.
- P1 PROVIDE P1 POSTS AT H1 & H3 HEADERS TYPICAL WHERE NOT NOTED ON PLAN.

ROOF TRUSSES SHOP DWGS NOTE:

CONTRACTOR SHALL SUBMIT ROOF TRUSSES SHOP DWGS FOR REVIEW BY THE ENGINEER PRIOR TO START OF ANY FOUNDATION OR CONSTRUCTION WORK. ANY REVISIONS TO THE COMPLETED IN PLACE STRUCTURE DUE TO LATE SUBMISSION OF THE ROOF TRUSS SHOP DWGS SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.

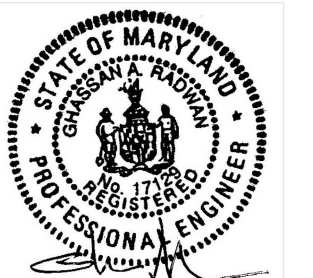


REVIEWED
By Dan.Bruechert at 3:14 pm, Jan 09, 2024



1 ROOF FRAMING PLAN
1/4"=1'-0"

Seal



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Developer

PERMIT 01-05-2024

Issue Description Date

RAI Project No. RA-23-116

Checked By GR

Drawn By GR

Scale 1=48

Sheet Title

ROOF FRAMING

Sheet No.

S103

SHEET 5 OF 10

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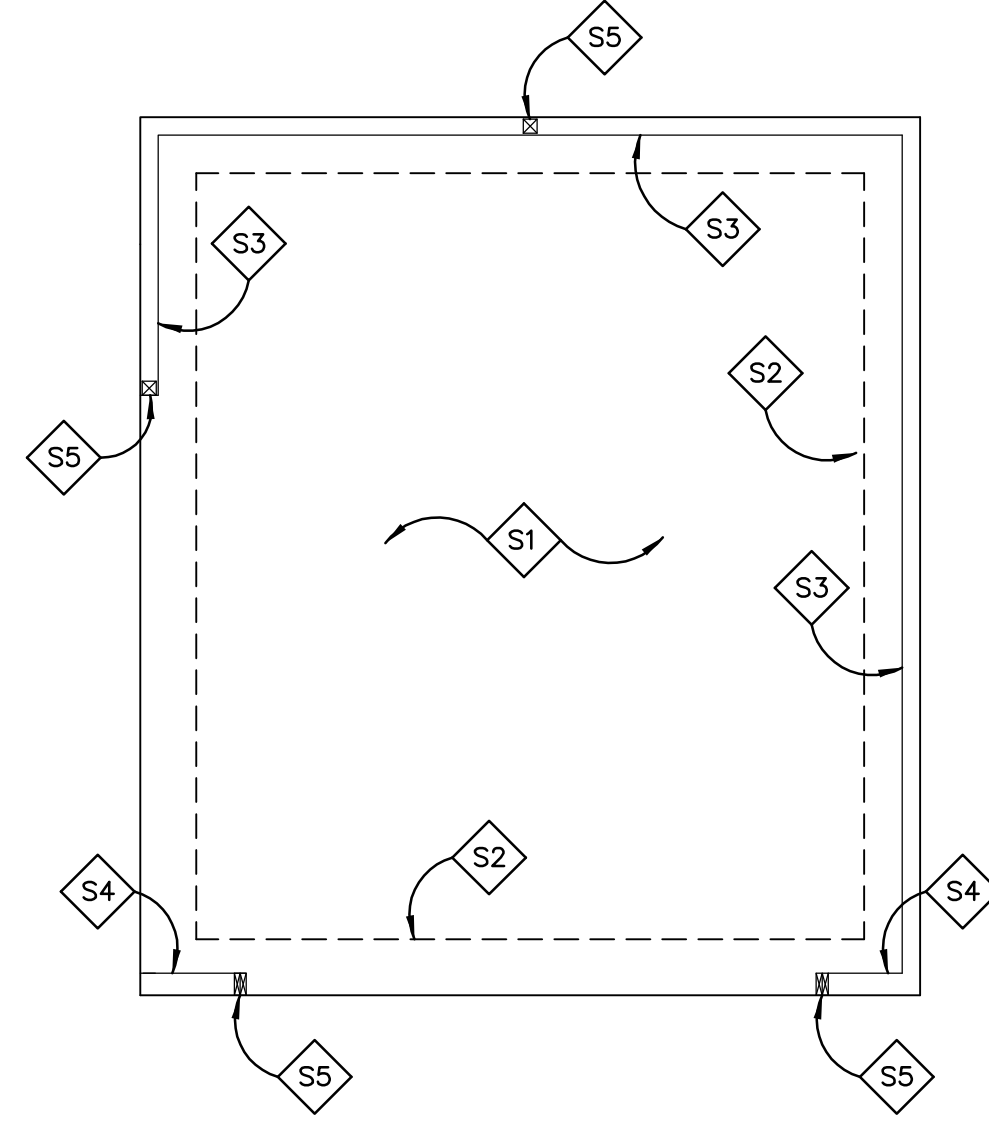
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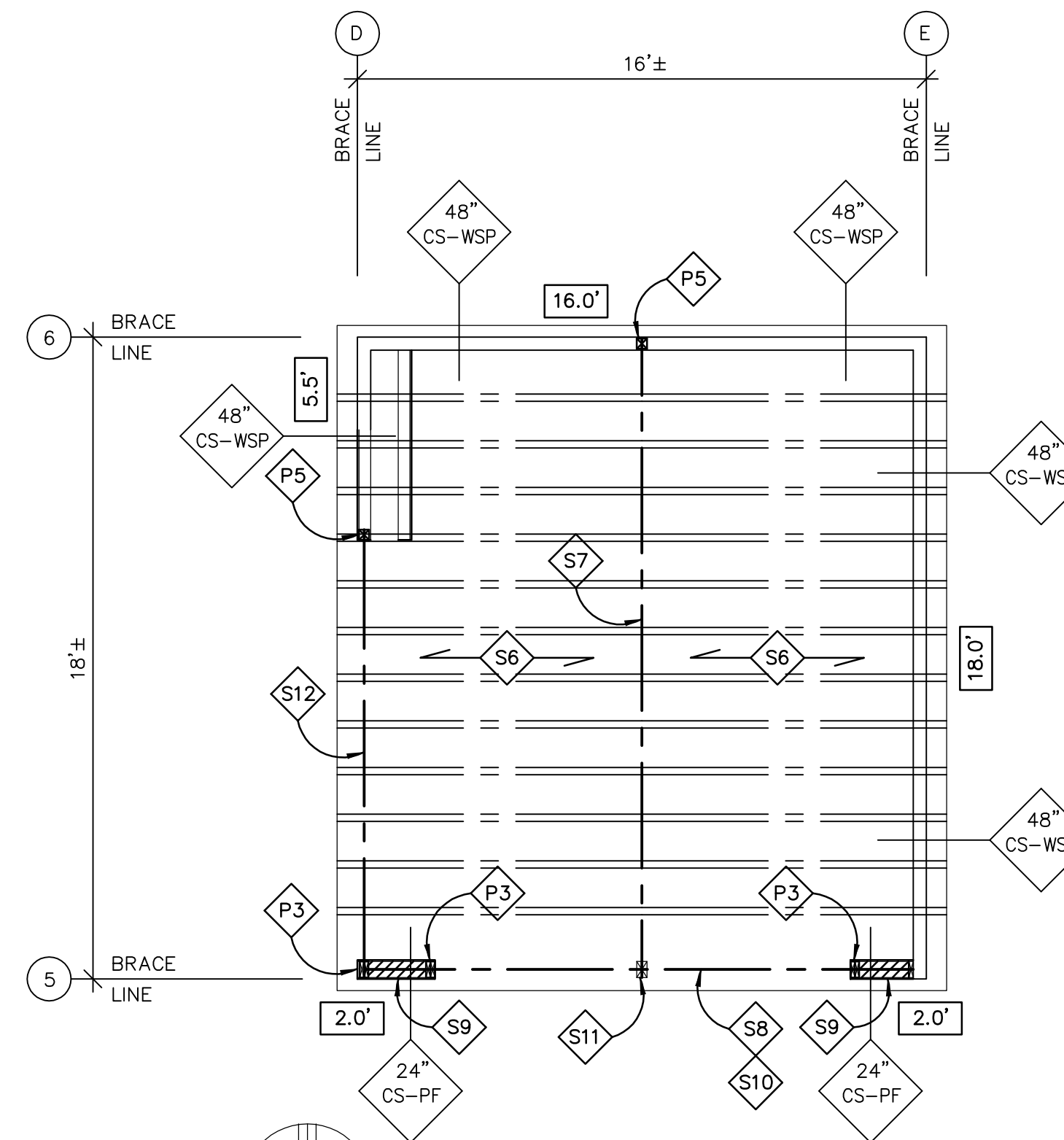
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2

1



1 FOUNDATION PLAN
1/4"=1'-0"



2 ROOF FRAMING PLAN
1/4"=1'-0"

GARAGE TOTAL BRACE WALL LINE LENGTH 115 MPH WIND - EXPOSURE "B"				
BWL	MULT FACTOR	BWL SPACING	LENGTH REQ'D	LENGTH PROVIDED
5	1.0	18'	4'	4'
6	1.0	18'	4'	16'
D	1.0	16'	4'	5.5'
E	1.0	16'	4'	18'

REFER TO S301 FOR WALL BRACING ADD'L INFO

WOOD POST NOTES:

- (PSL USE 2.0E PARALLAM)
- P1 (2) 2x4
- P2 (3) 2x4
- P3 (2) 2x6
- P4 (3) 2x6
- P5 3 1/2" x 3 1/2" PSL
- P6 3 1/2" x 5 1/4" PSL
- P7 5 1/4" x 5 1/4" PSL
- P8 P.T. 4x6 SOLID WOOD
- P9 P.T. 6x6 SOLID WOOD

FOUNDATION & ROOF NOTES:

- S1 EXIST CONC SLAB ON GRADE TO REMAIN INTACT
- S2 EXIST TURN DOWN SLAB FTG TO REMAIN INTACT. FIELD VERIFY MIN WIDTH IS 12" & MIN DEPTH IS 24" BELOW FINISHED GRADE
- S3 DRILL & EPOXY #4 DOWELS 16" O.C. W/ 6" EMBED INTO EXIST CONC & PROVIDE 4" WIDE x 6" HIGH CONC CURB. PROVIDE #4 CONT BAR 3" FROM TOP
- S4 DRILL & EPOXY #4 DOWELS 16" O.C. W/ 6" EMBED INTO EXIST CONC & PROVIDE 6" WIDE x 6" HIGH CONC CURB. PROVIDE #4 CONT BAR 3" FROM TOP
- S5 POST ABOVE, PROVIDE SOLID BLOCKING BELOW POST BEARING LOCATION
- S6 (2) 2x6 RAFTERS @ 16" O.C.
- S7 (2) 1 3/4" x 14" LVL RIDGE BEAM
- S8 (2) 1 3/4" x 11 7/8" LVL UPSET
- S9 CS-PF CONT PORTAL FRAME PANEL CONSTRUCTION. SEE DET 5/S301
- S10 EXTEND HEADER TO BACK END OF CS-PF PORTAL FRAME PANEL. SEE DET 5/S301
- S11 3 1/2" x 5 1/4" PSL STUB POST
- S12 (2) 1 3/4" x 9 1/4" LVL UPSET

BRACE PANEL LENGTH NOTES:

- 14.0' INDICATES TOTAL LENGTH OF PANEL
- 27" CS-WSP INDICATES MIN PANEL LENGTH REQ'D SEE SHEET S301

LENGTH CONVERSION WSP LENGTH = 0.5 x (GB) LENGTH
GB LENGTH = 2 x (WSP) LENGTH

BRACING & SHORING NOTE:

CONTRACTOR IS RESPONSIBLE FOR ALL TEMPORARY BRACING, SHORING, SEQUENCE, AND MEANS AND METHODS OF THE CONSTRUCTION.

FIELD VERIFICATION NOTE:

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DIMENSIONING NOTE:

CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF ALL DIMENSIONS SHOWN ON THIS DRAWING W/ ARCHT DWGS & CIVIL DWGS.

WALL BRACING NOTES:

1. REFER TO FRAMING PLANS FOR INFORMATION ON ADD'L PLYWOOD REQUIRED AT INTERIOR WALLS.
2. REFER TO FRAMING PLANS FOR LOCATION OF PORTAL FRAME EXTENDED HEADERS TO BACK END OF WALL PANEL.
3. REFER TO S301 FOR WALL BRACING INFORMATION, PANEL CONSTRUCTION & TYPICAL DETAILS.
4. "HD" INDICATES HOLD DOWN ANCHOR, "ST" INDICATES TENSION STRAP REQUIRED AT THAT LOCATION. REFER TO FRAMING PLANS FOR INFO.
5. "SSW" INDICATES SIMPSON STRONG WALL SHEAR WALL PANELS. REFER TO FRAMING PLANS FOR INFORMATION.
6. "SMF" INDICATES STEEL MOMENT FRAME. REFER TO FRAMING PLANS FOR INFORMATION.

GENERAL NOTES:

1. REFER TO THE ARCHT DWGS FOR DIMENSIONS, ELEVATIONS, & BALANCE OF INFORMATION. REFER TO MEP DWGS FOR ADD'L INFO ON DRAINS, UTILITY LINES, SLEEVES, & OPENINGS REQUIREMENTS.
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6. REFER TO S300 FOR WALL BRACING PLANS. REFER TO S301 FOR WALL BRACING PANEL CONSTRUCTION & TYPICAL DETAILS.

Seal



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Consultant

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Project

HERMAN RESIDENCE

22 WEST IRVING STREET
CHEVY CHASE, MD 20815

Developer

PERMIT 01-05-2024

Issue Description Date

RAI Project No. RA-23-116

Checked By GR

Drawn By GR

Scale 1=48

Sheet Title

GARAGE PLANS

Sheet No.

S104

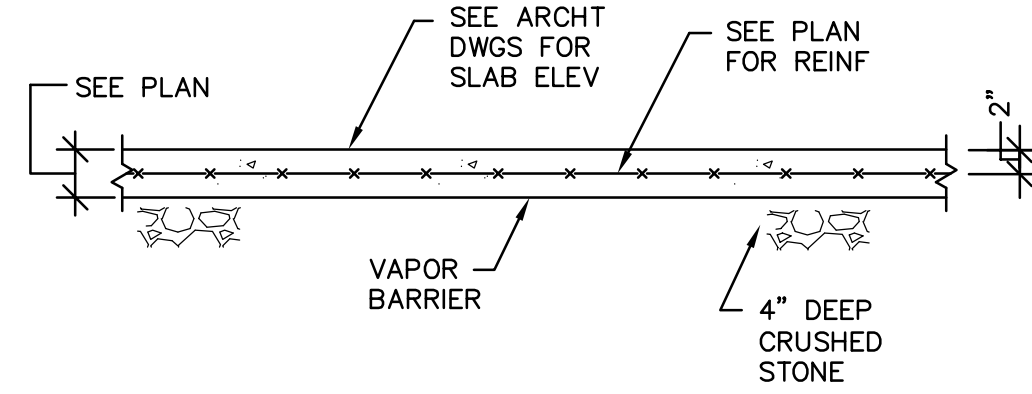
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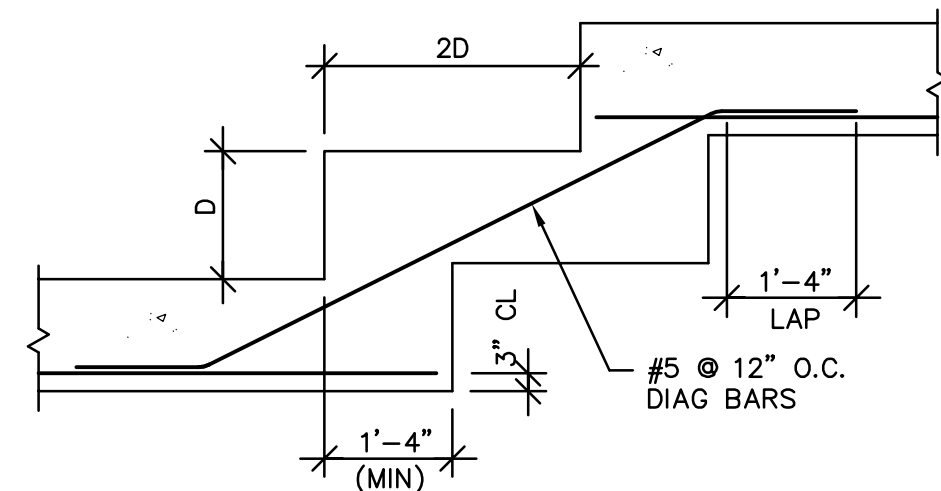
APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 3:14 pm, Jan 09, 2024

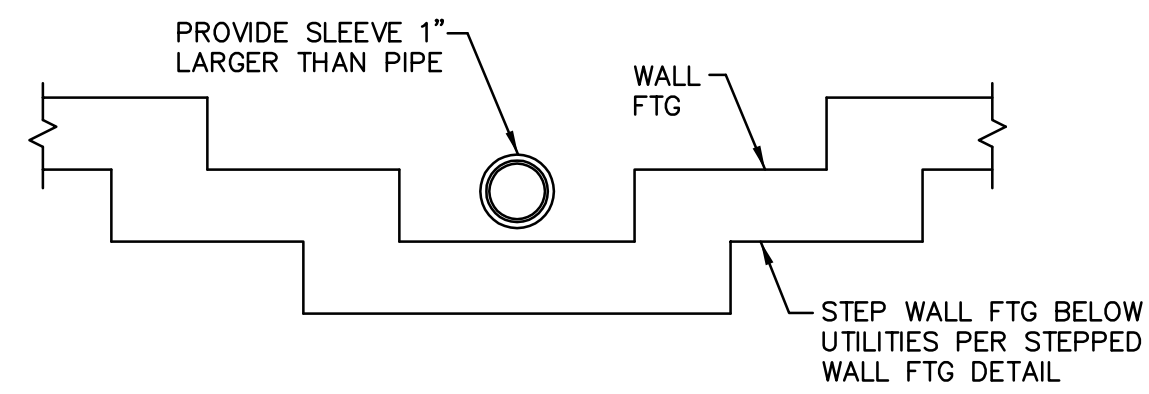
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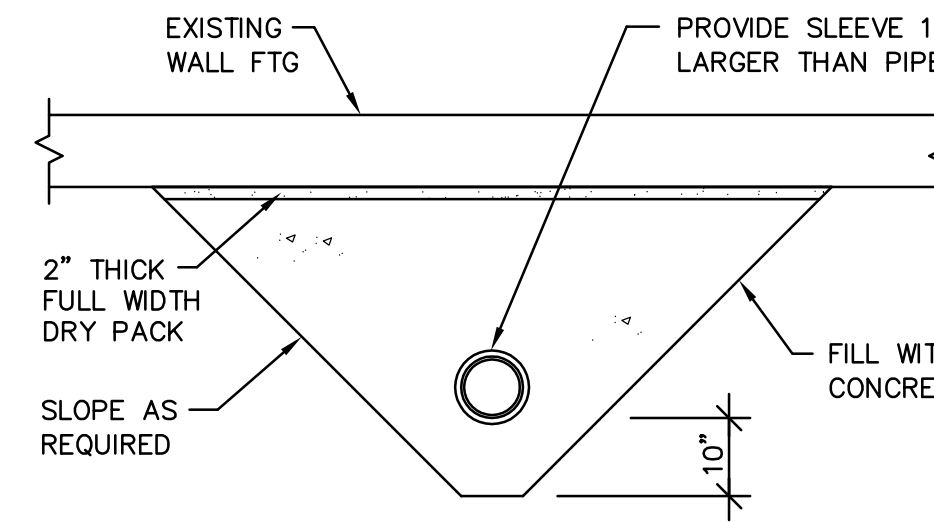
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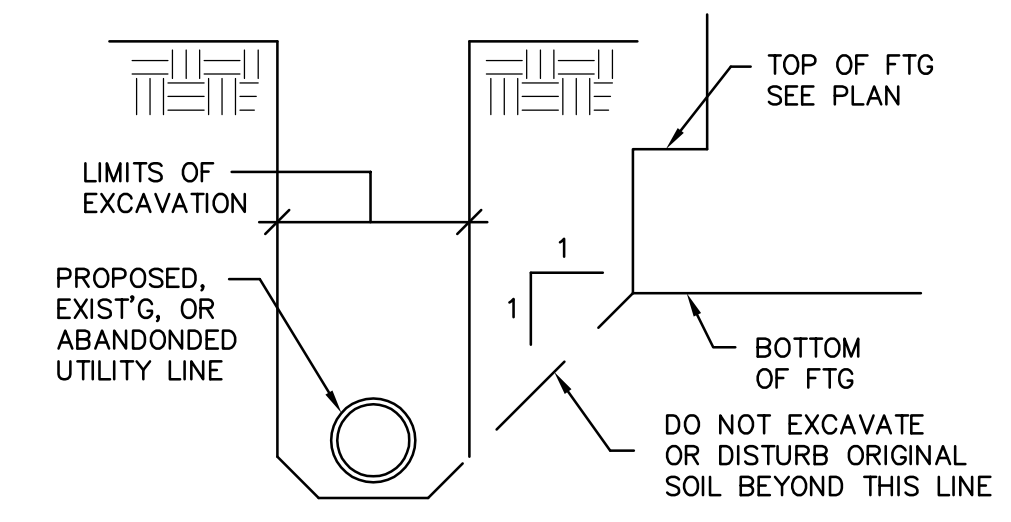
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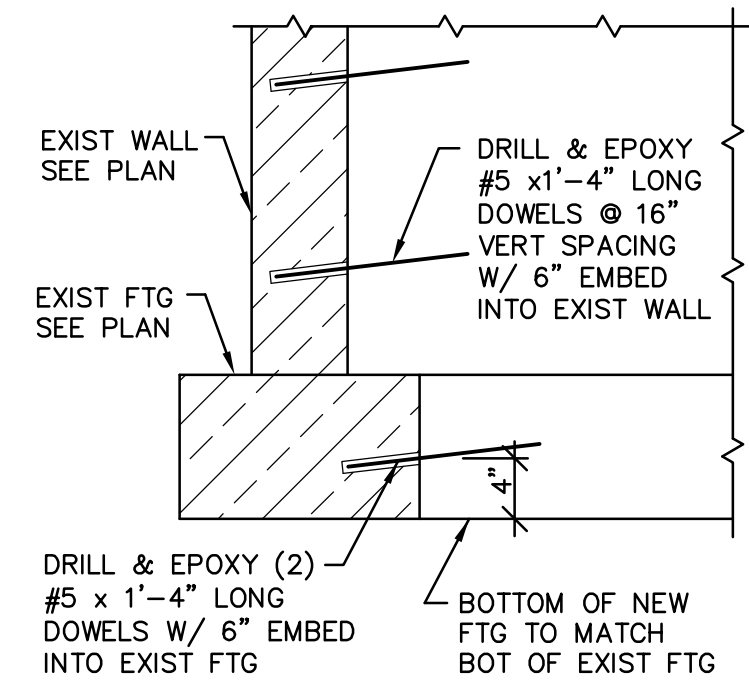
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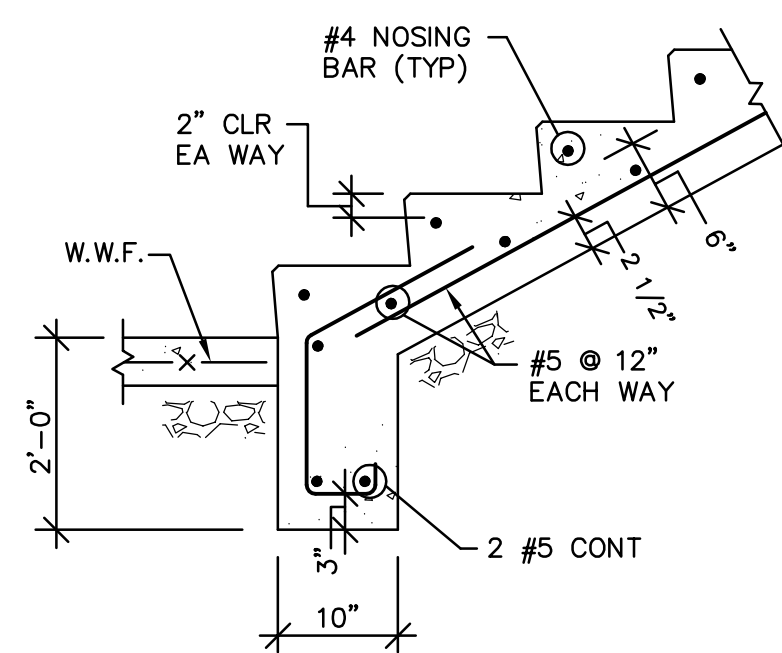
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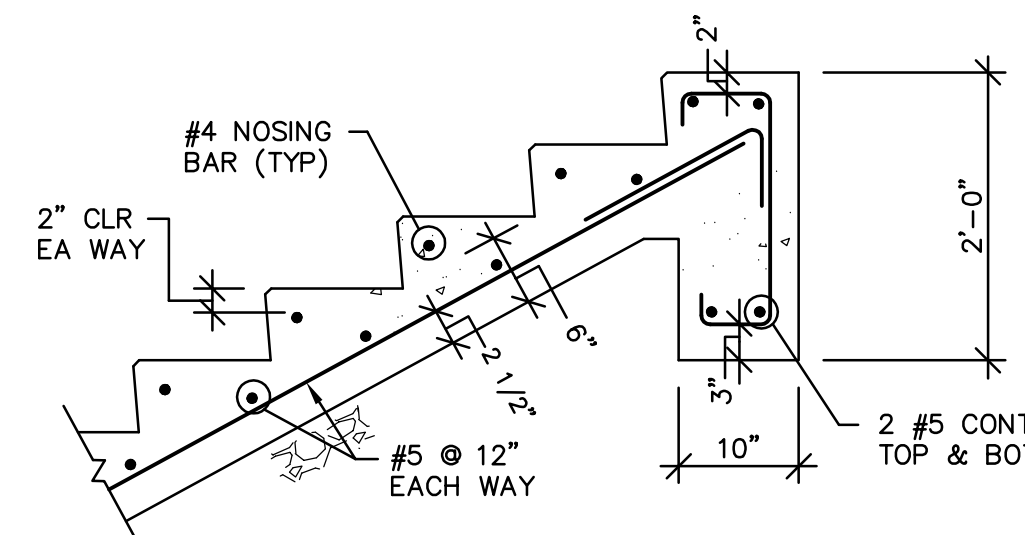
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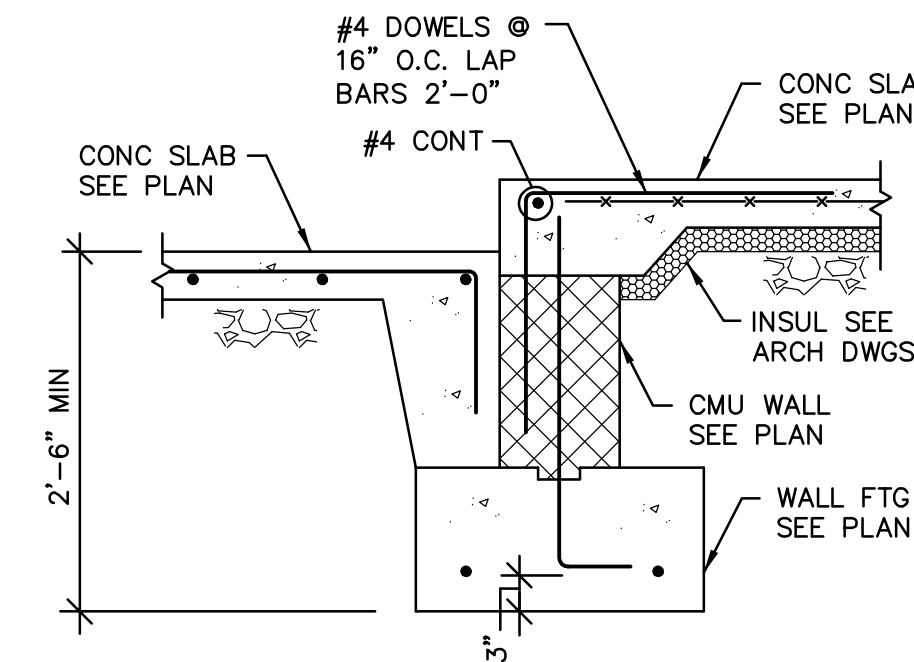
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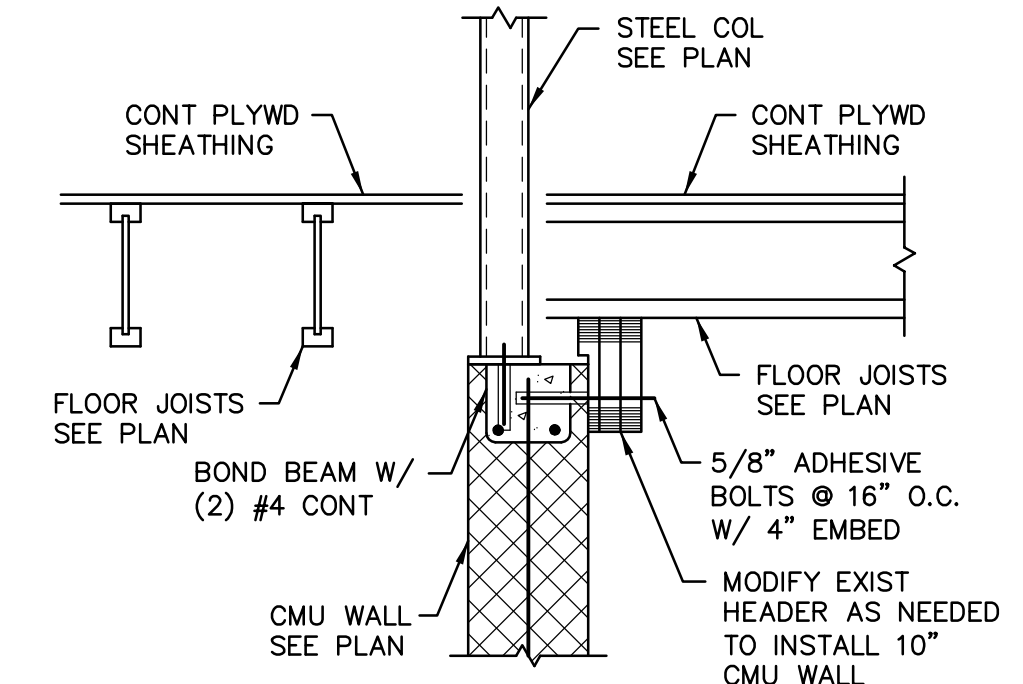
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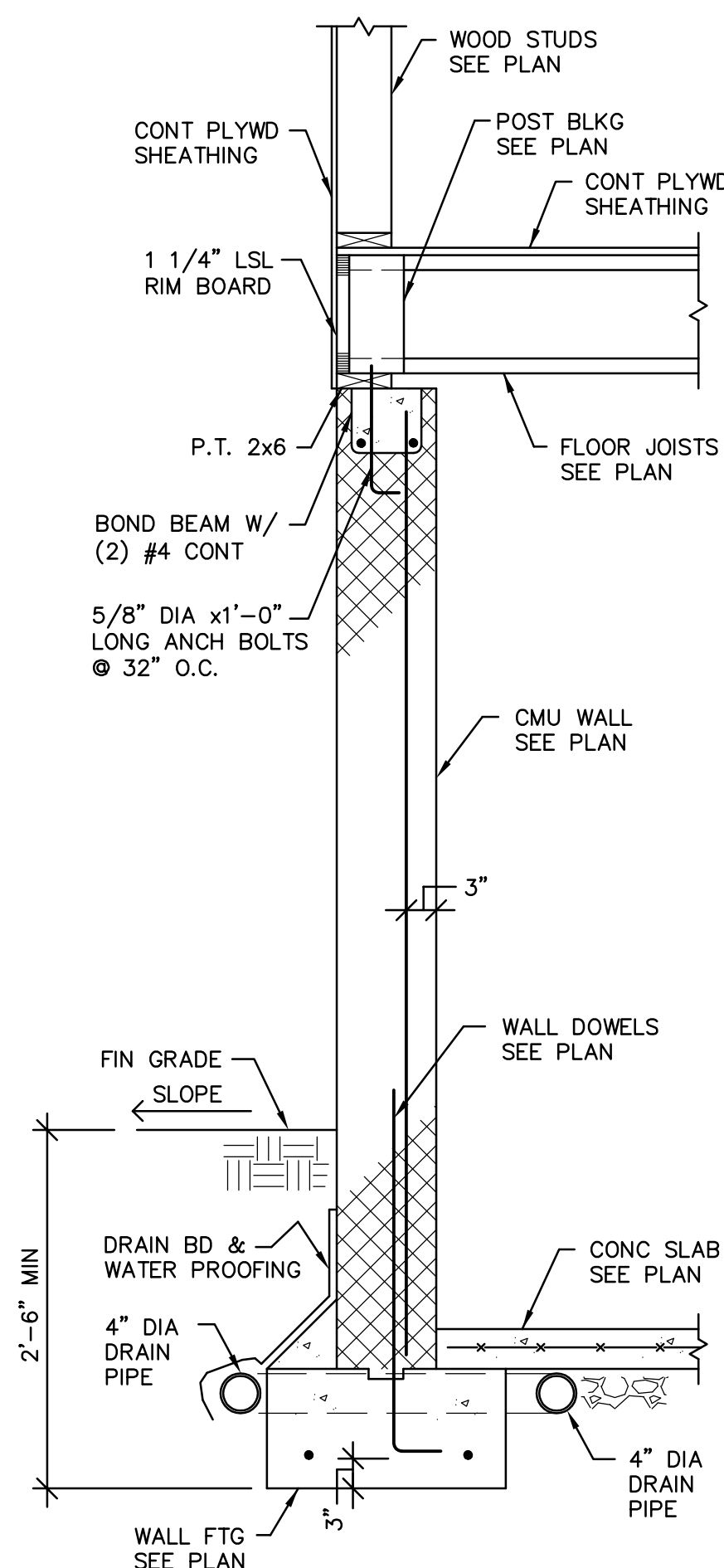
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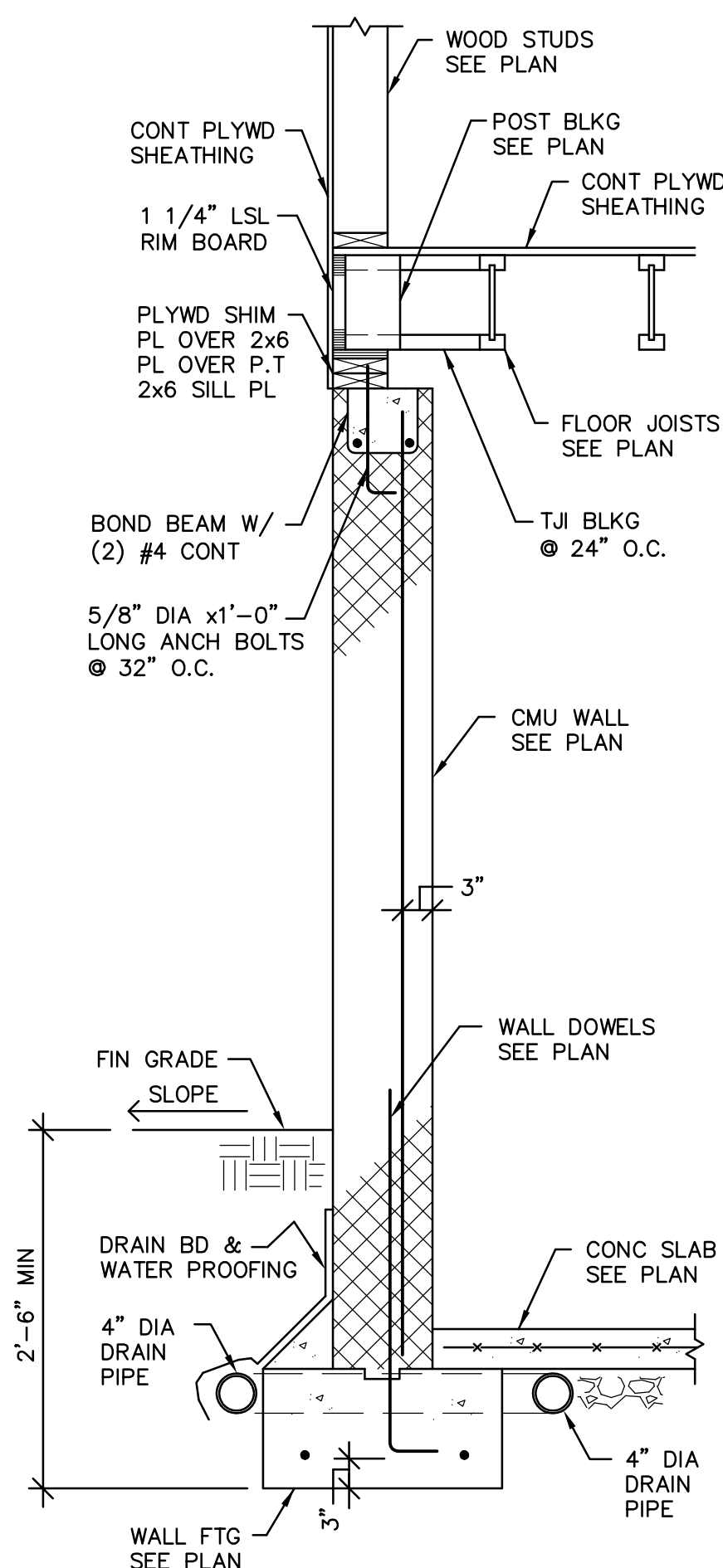
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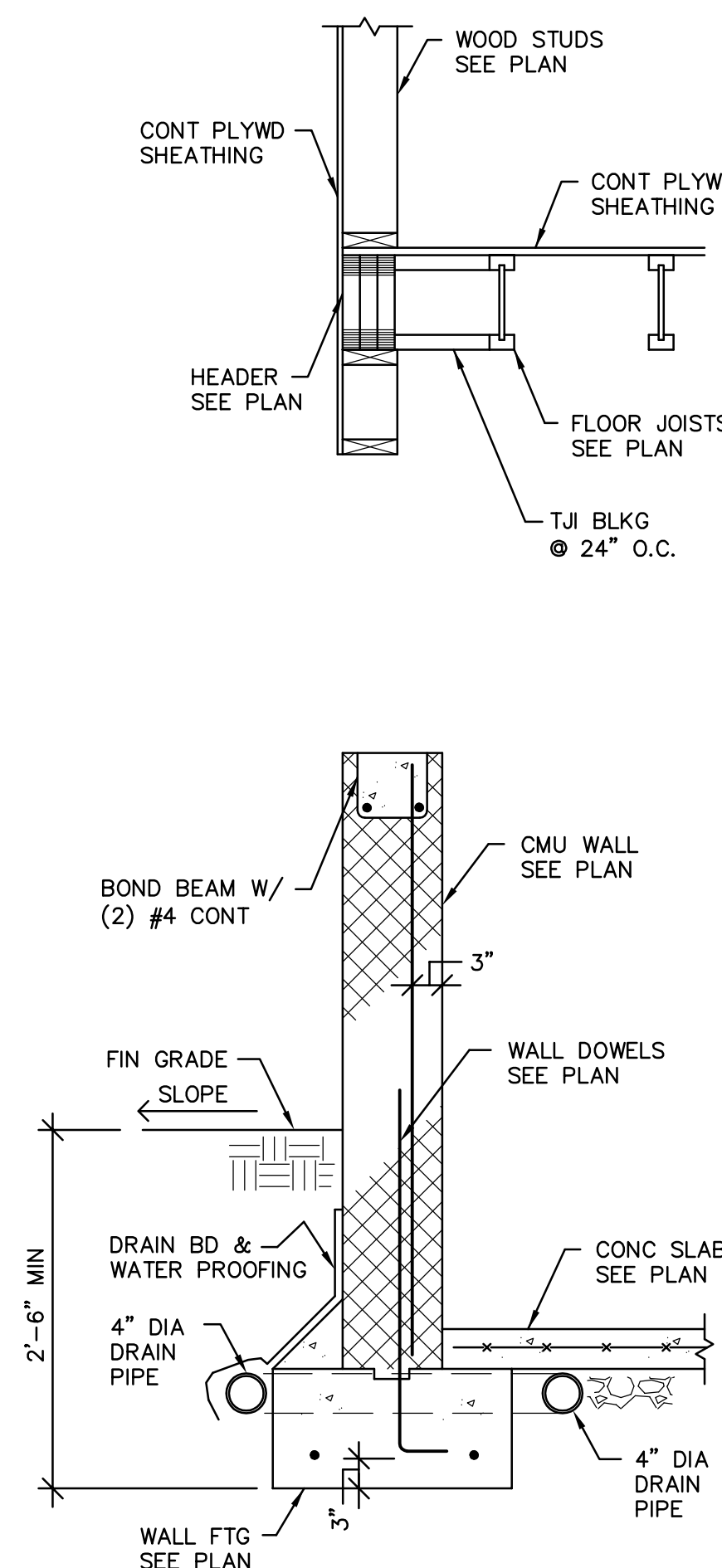
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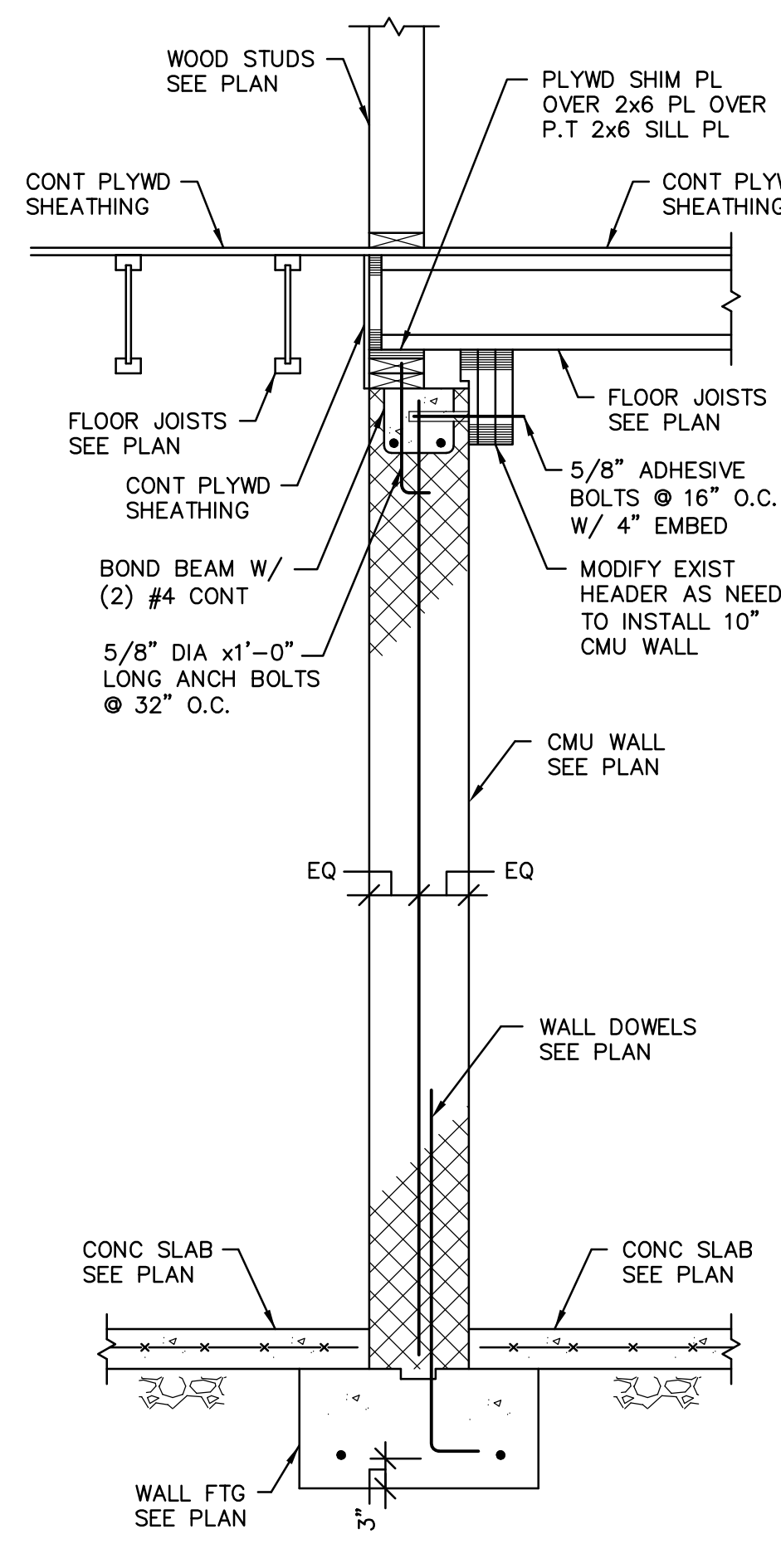
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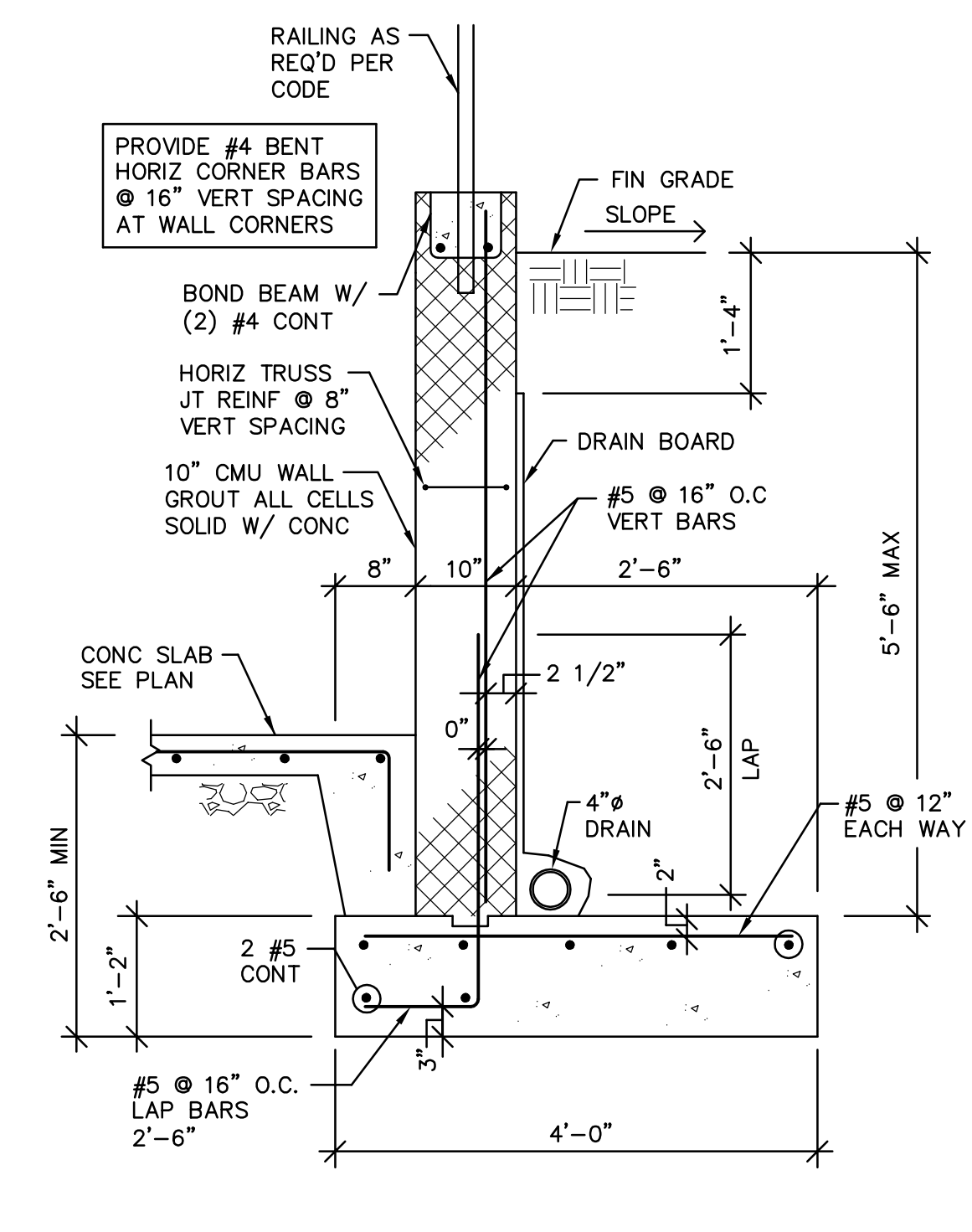
12 SECTION
N.T.S.



13 SECTION
N.T.S.



14 SECTION
N.T.S.



15 SECT @ CMU RETAINING WALL
N.T.S.

APPROVED
Montgomery County
Historic Preservation Commission

REVIEWED
By Dan.Bruechert at 3:14 pm, Jan 09, 2024

Seal
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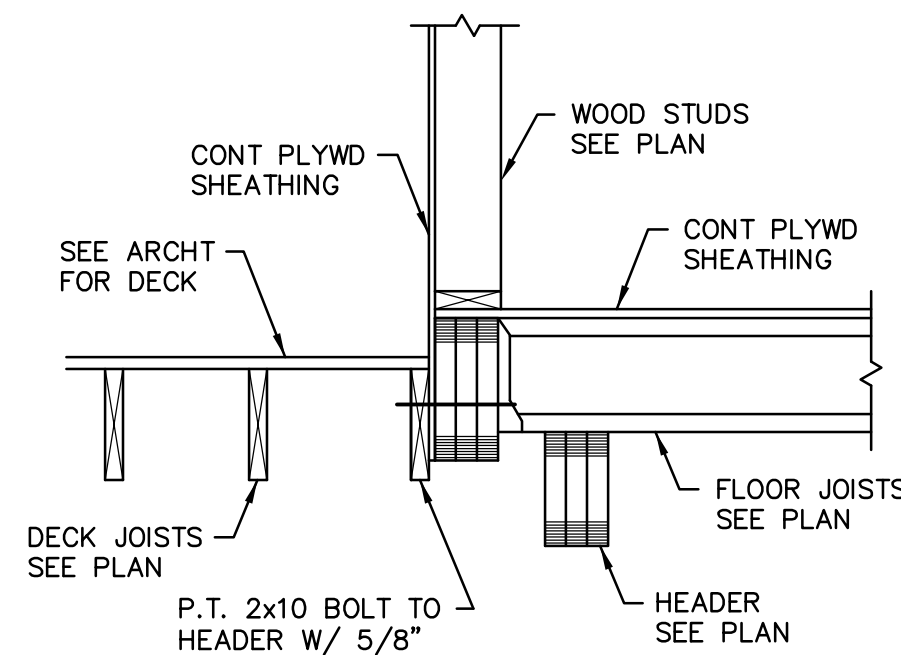
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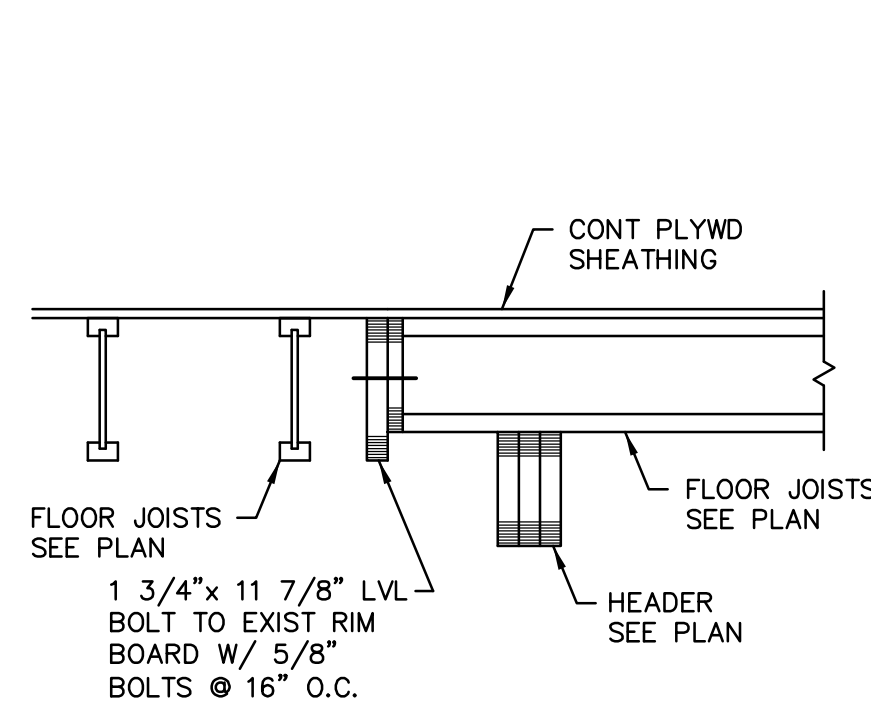
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Issue Description	Date
RAI Project No.	RA-23-116
Checked By	GR
Drawn By	GR
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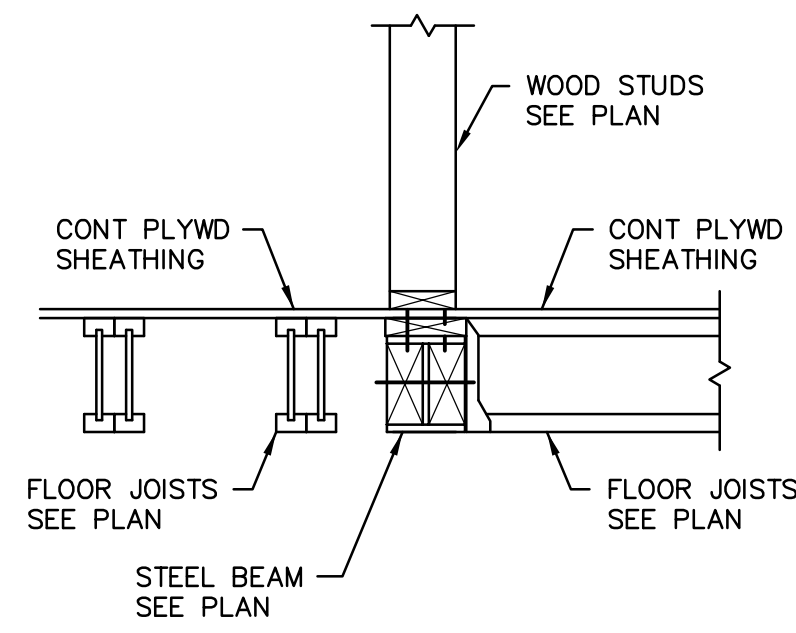
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STRUCTURAL
DETAILS
Sheet No.
S200
SHEET 7 OF 10
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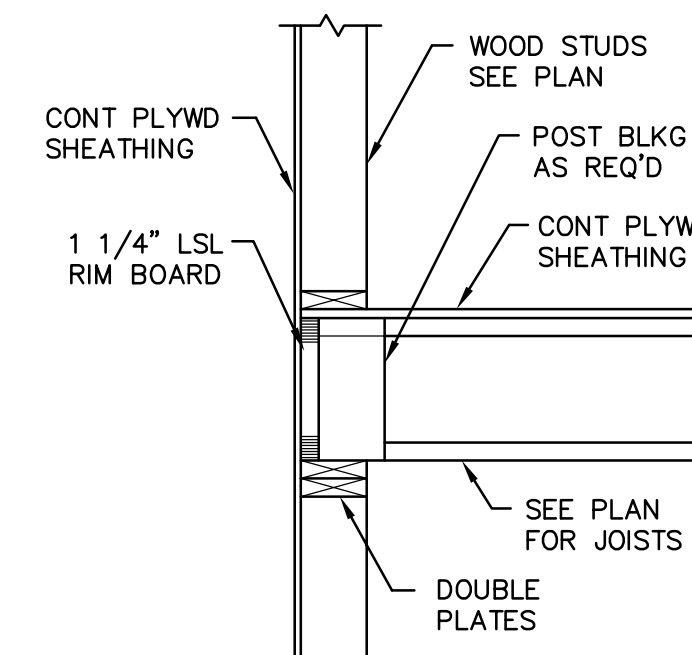
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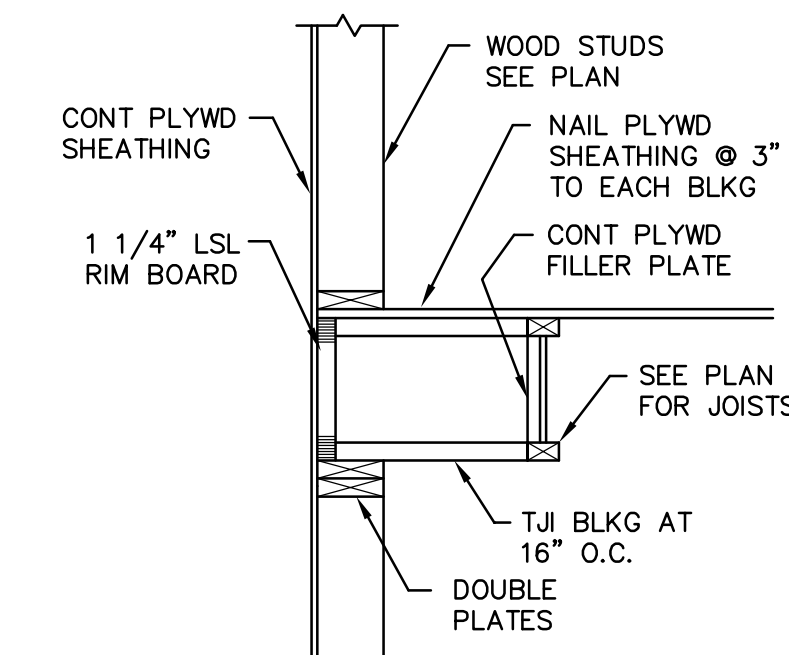
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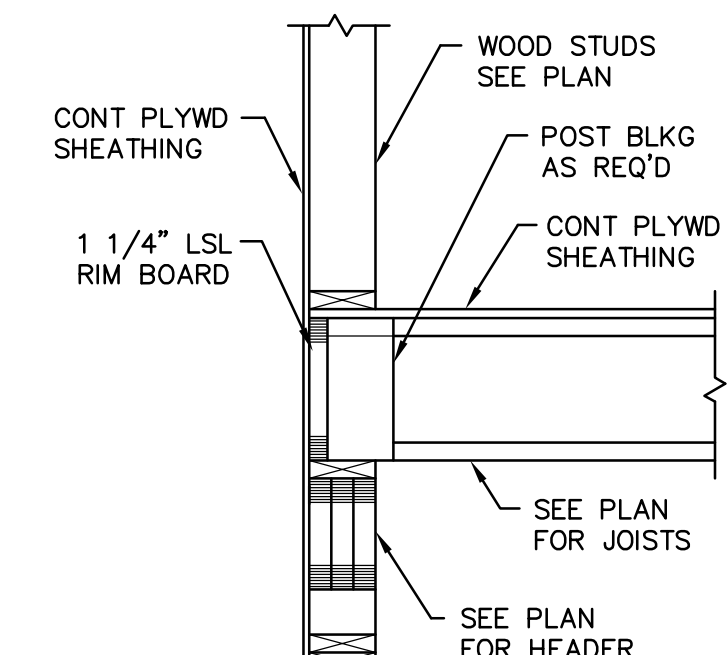
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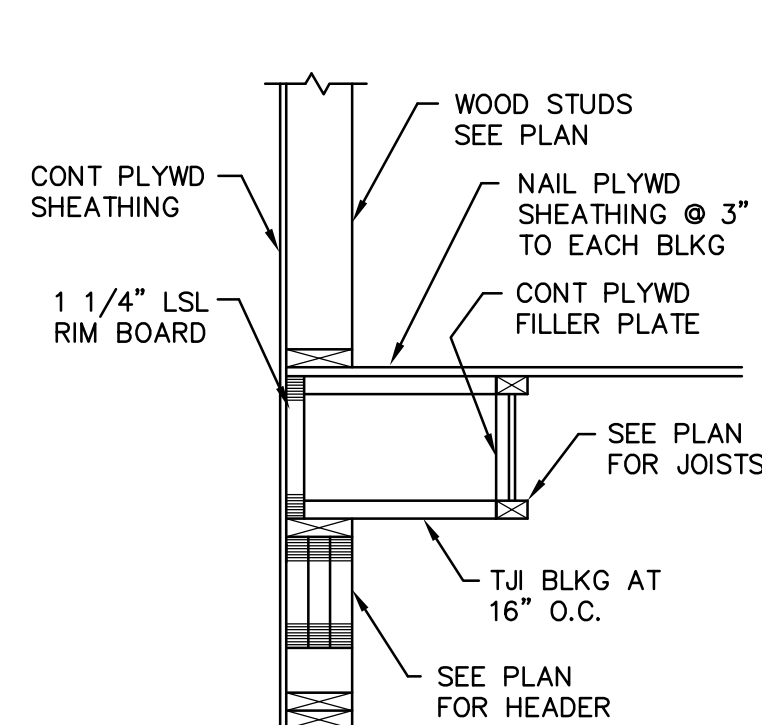
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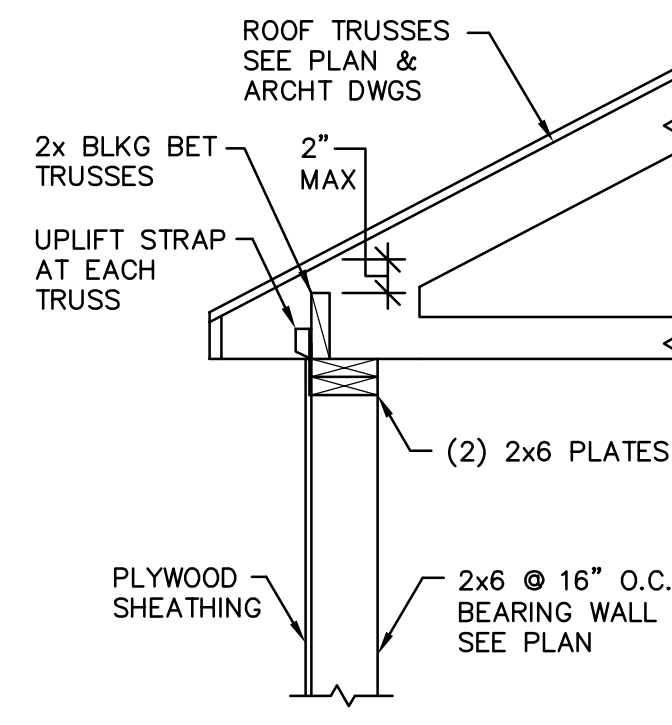
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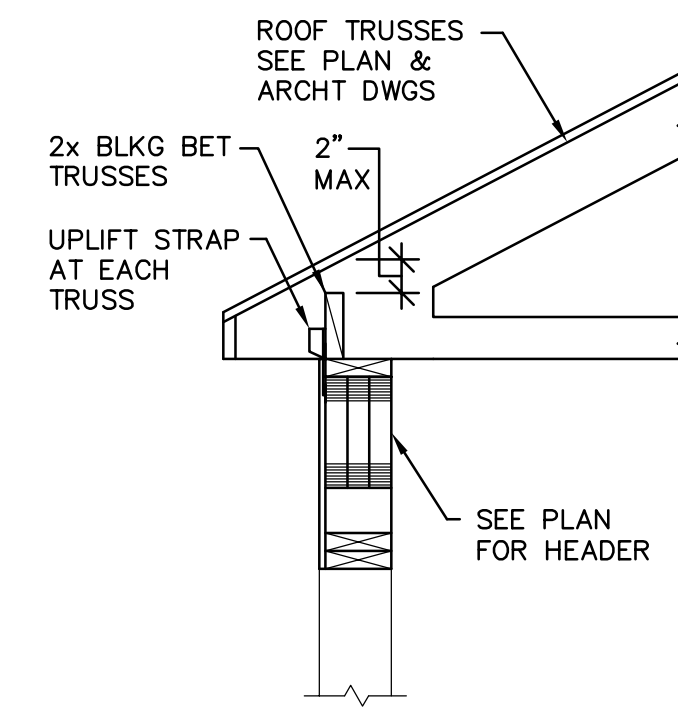
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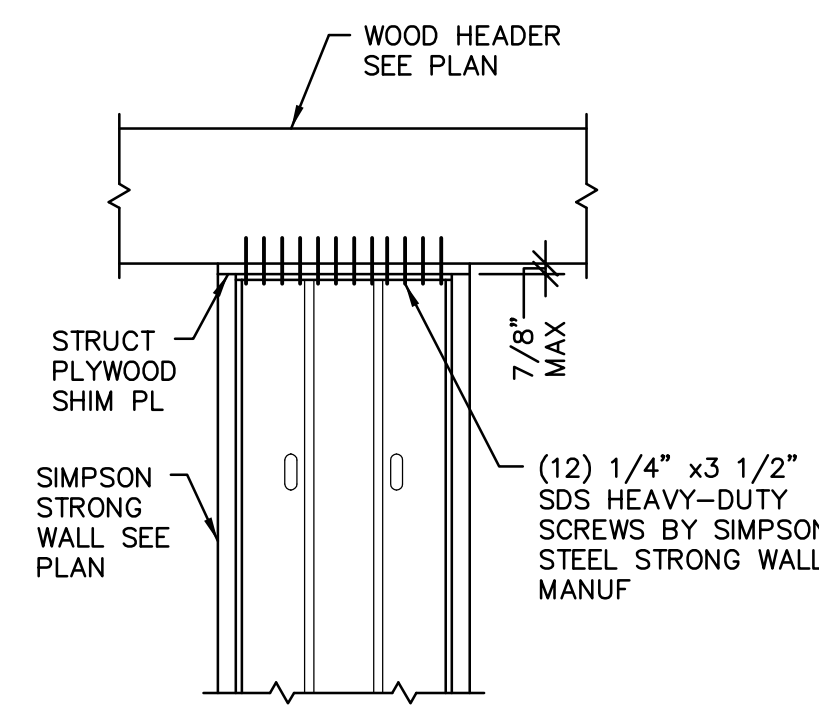
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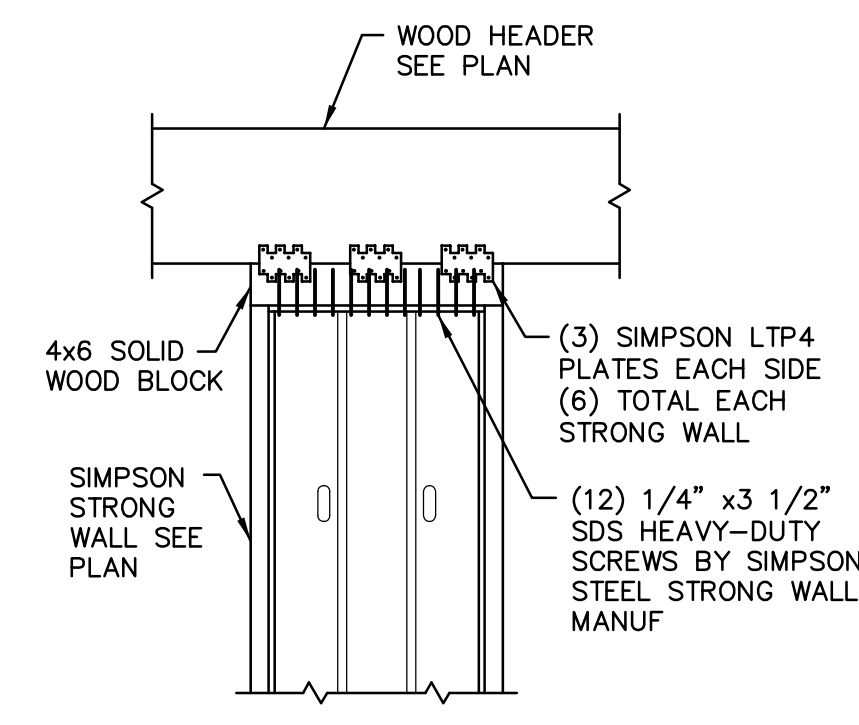
8 SECTION
N.T.S.



9 SECTION
N.T.S.



10 ELEVATION
N.T.S.

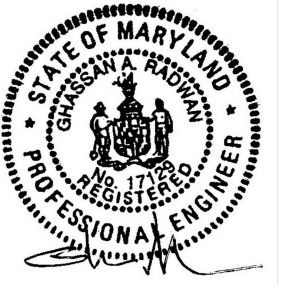


11 ELEVATION
N.T.S.

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[Signature]

REVIEWED
By Dan.Bruechert at 3:14 pm, Jan 09, 2024

Seal



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HERMAN RESIDENCE

22 WEST IRVING STREET
CHEVY CHASE, MD 20815

Developer

PERMIT 01-05-2024

Issue Description Date

RAI Project No. RA-23-116

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Sheet Title

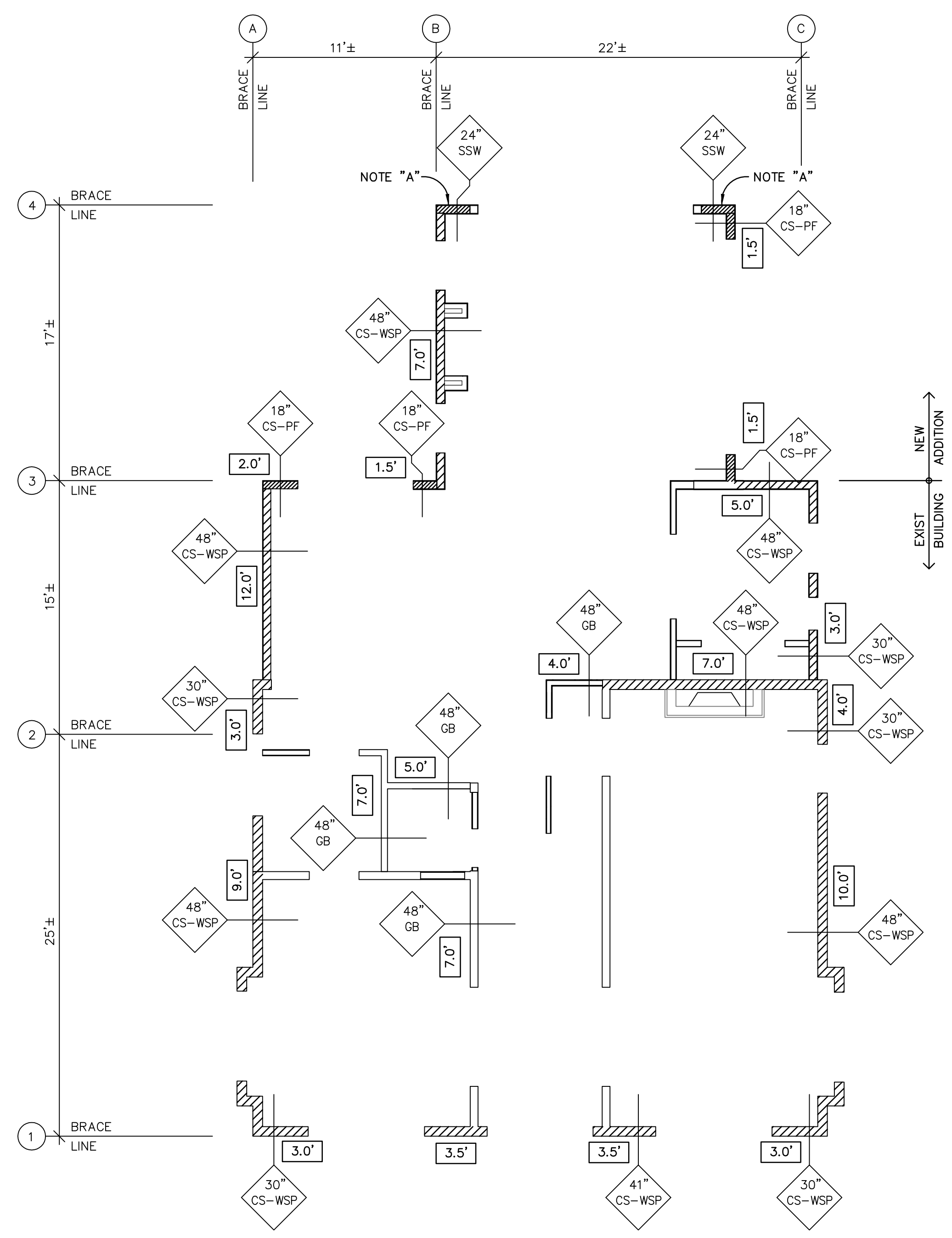
STRUCTURAL DETAILS

Sheet No.

S201

SHEET 8 OF 10

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1 1ST FLOOR WALLS PLAN
3/16"=1'-0"

1ST FLR TOTAL BRACE WALL LINE LENGTH 115 MPH WIND - EXPOSURE "B"				
BWL	MULT FACTOR	BWL SPACING	LENGTH REQ'D	LENGTH PROVIDED
1	1.25	25'	9.7'	13'
2	1.25	25'	20' GB	23' GB
3	1.25	17'	7'	8'
4	1.25	17'	7'	NOTE "A"
A	1.3	11'	4.9'	24'
B	1.3	22'	9.1'	14'
C	1.3	22'	9.1'	20'

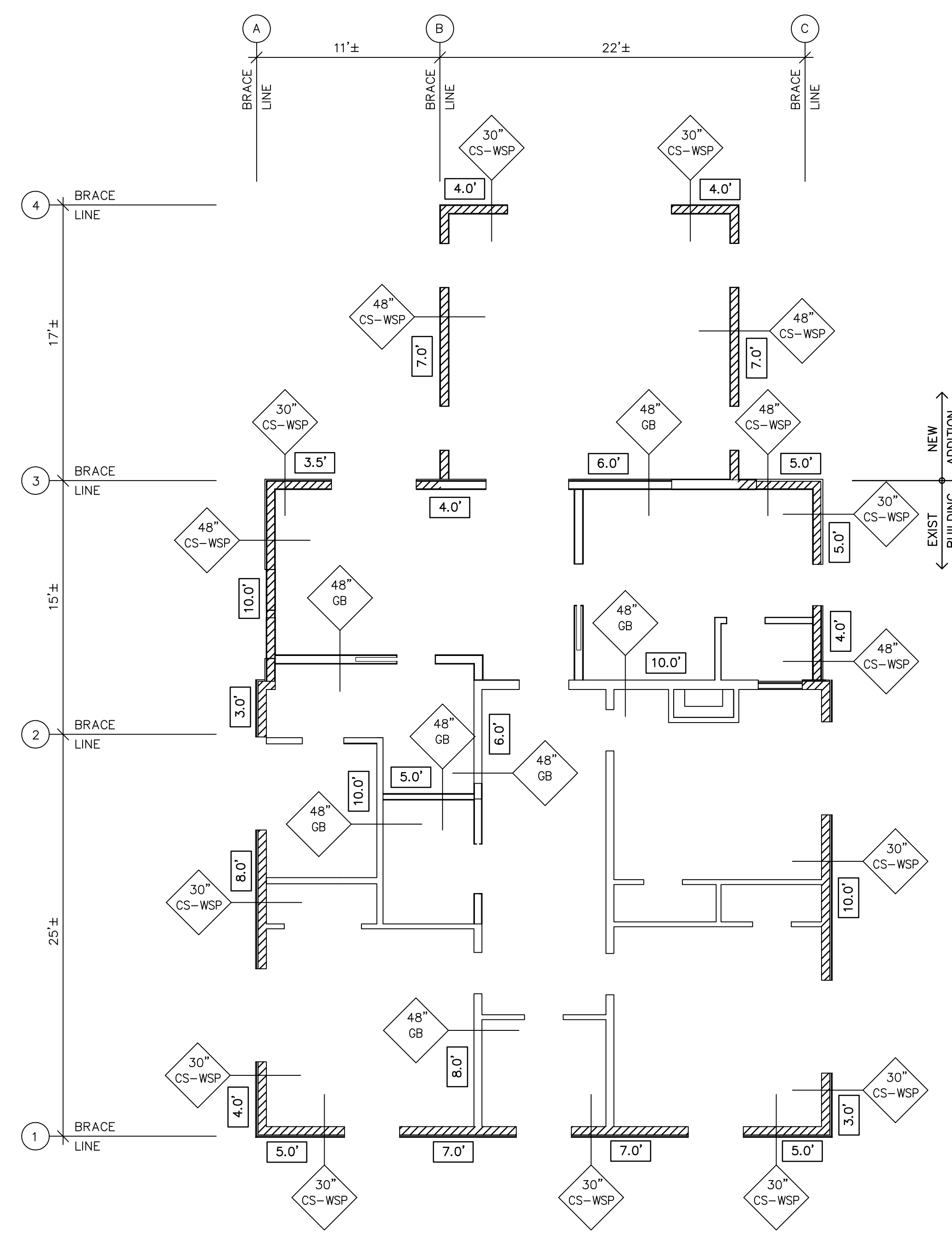
REFER TO S301 FOR WALL BRACING ADD'L INFO

NOTE "A": PROVIDE (2) SSW24x8 SIMPSON STEEL STRONG WALL SHEAR WALL PANELS. REFER TO THE FRAMING PLANS FOR MORE INFO.

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 3:14 pm, Jan 09, 2024



2 2ND FLOOR WALLS PLAN
3/16"=1'-0"

2ND FLR TOTAL BRACE WALL LINE LENGTH 115 MPH WIND - EXPOSURE "B"				
BWL	MULT FACTOR	BWL SPACING	LENGTH REQ'D	LENGTH PROVIDED
1	1.13	25'	4.5'	24'
2	1.13	25'	9' GB	30' GB
3	1.13	17'	4'	18'
4	1.13	17'	4'	8'
A	1.01	11'	4'	25'
B	1.01	22'	4'	19'
C	1.01	22'	4'	29'

REFER TO S301 FOR WALL BRACING ADD'L INFO

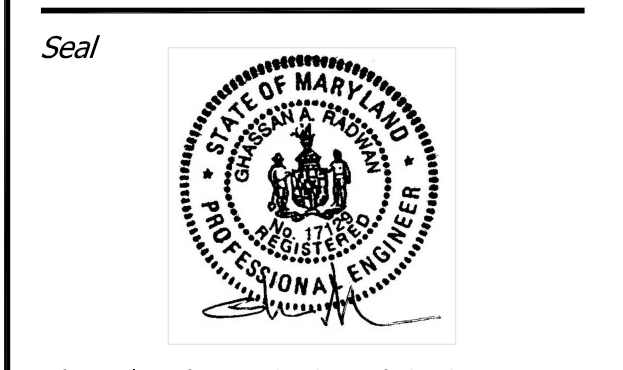
BRACE PANEL LENGTH NOTES:

- 14.0' INDICATES TOTAL LENGTH OF PANEL
- 27" CS-WSP INDICATES MIN PANEL LENGTH REQ'D SEE SHEET S301

LENGTH CONVERSION WSP LENGTH = 0.5 x (GB) LENGTH
GB LENGTH = 2 x (WSP) LENGTH

WALL BRACING NOTES:

- REFER TO FRAMING PLANS FOR INFORMATION ON ADD'L PLYWOOD REQUIRED AT INTERIOR WALLS.
- REFER TO FRAMING PLANS FOR LOCATION OF PORTAL FRAME EXTENDED HEADERS TO BACK END OF WALL PANEL
- REFER TO S301 FOR WALL BRACING INFORMATION, PANEL CONSTRUCTION & TYPICAL DETAILS.
- "HD" INDICATES HOLD DOWN ANCHOR, "ST" INDICATES TENSION STRAP REQUIRED AT THAT LOCATION. REFER TO FRAMING PLANS FOR INFORMATION.
- "SSW" INDICATES SIMPSON STRONG WALL SHEAR WALL PANELS. REFER TO FRAMING PLANS FOR INFORMATION.
- "SMF" INDICATES STEEL MOMENT FRAME. REFER TO FRAMING PLANS FOR INFORMATION.



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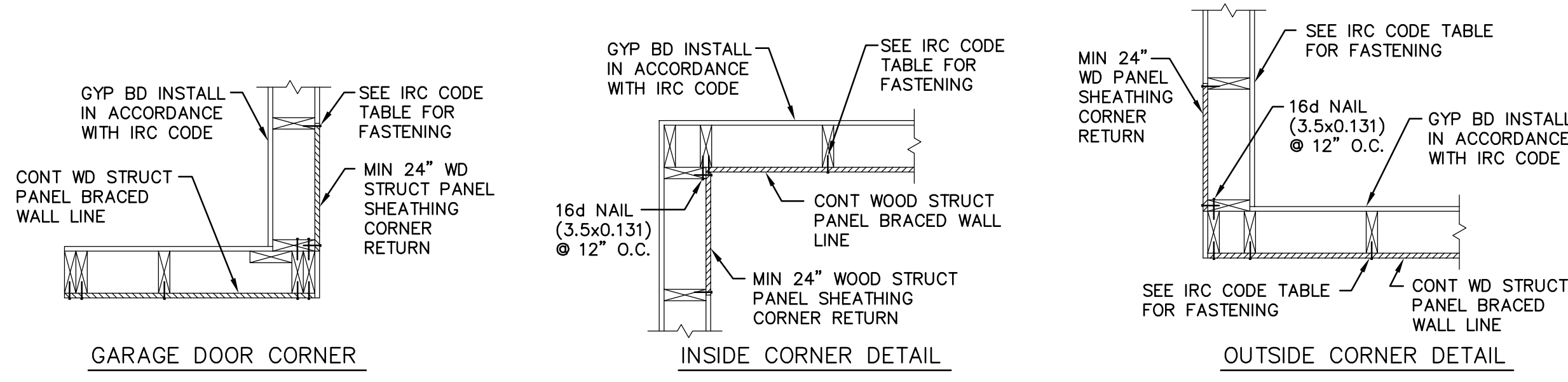
WALL BRACING PLANS

Sheet No.

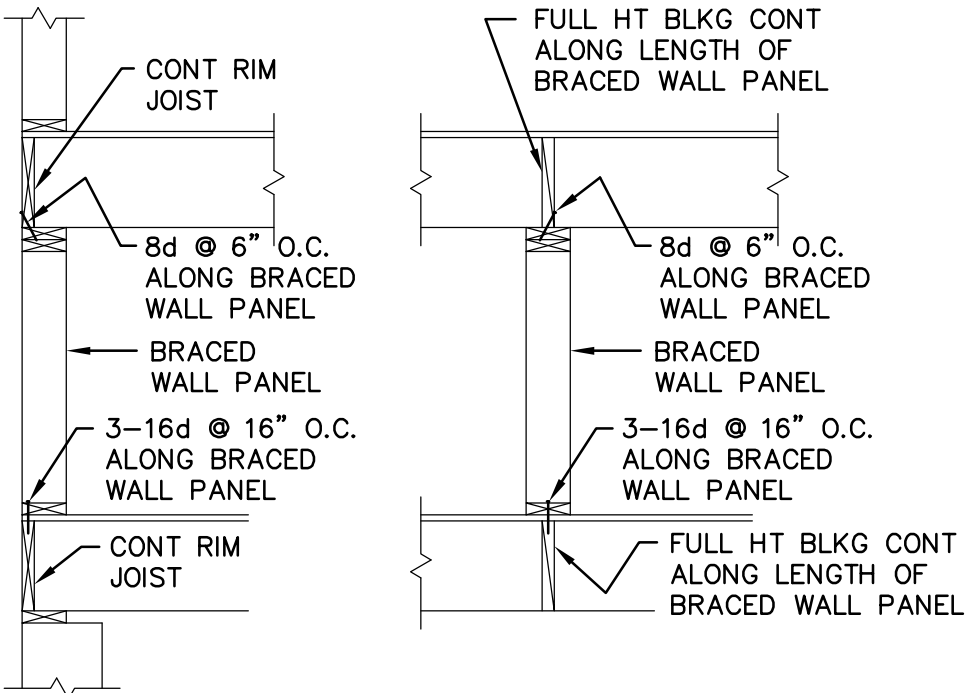
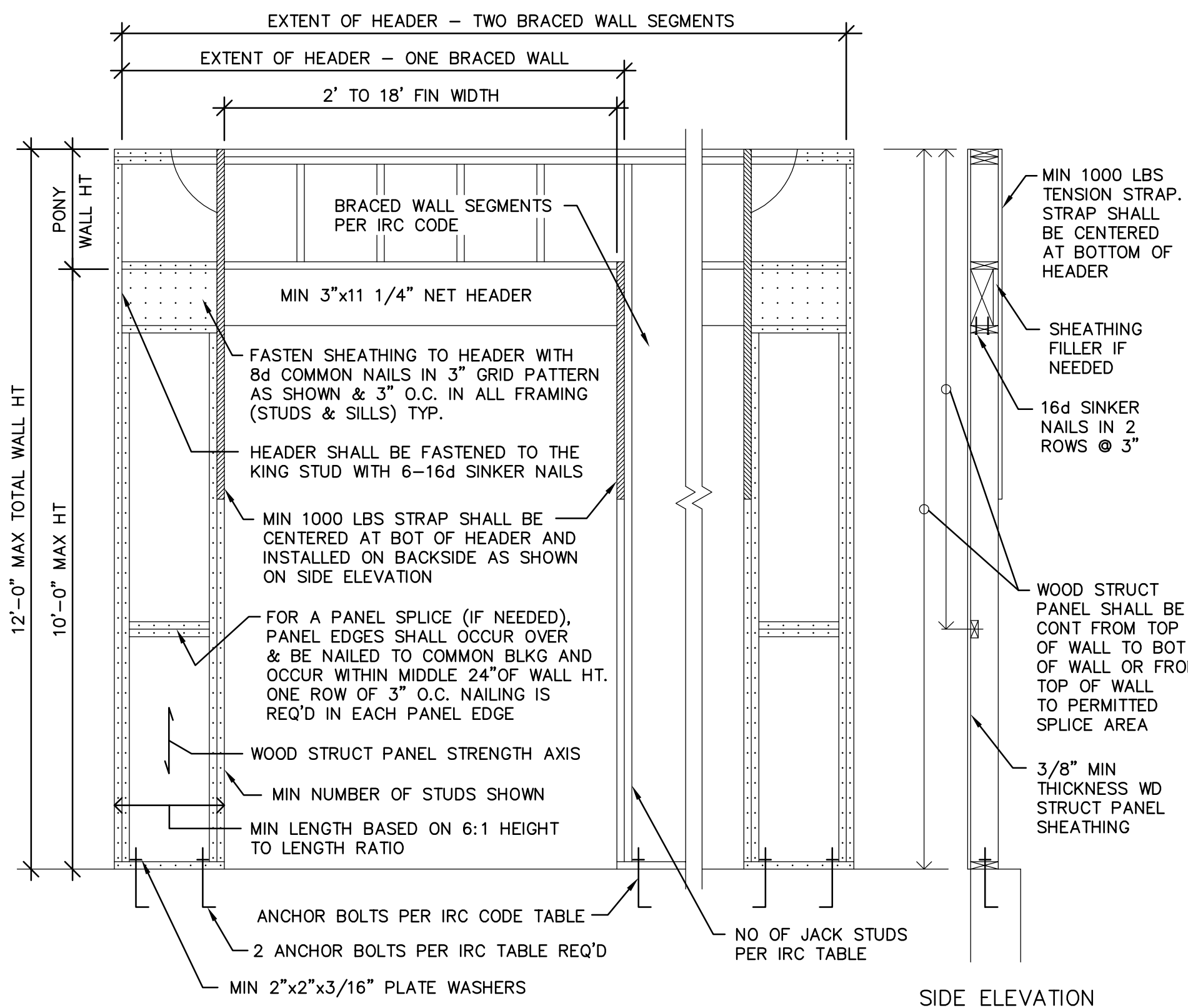
S300

SHEET 9 OF 10

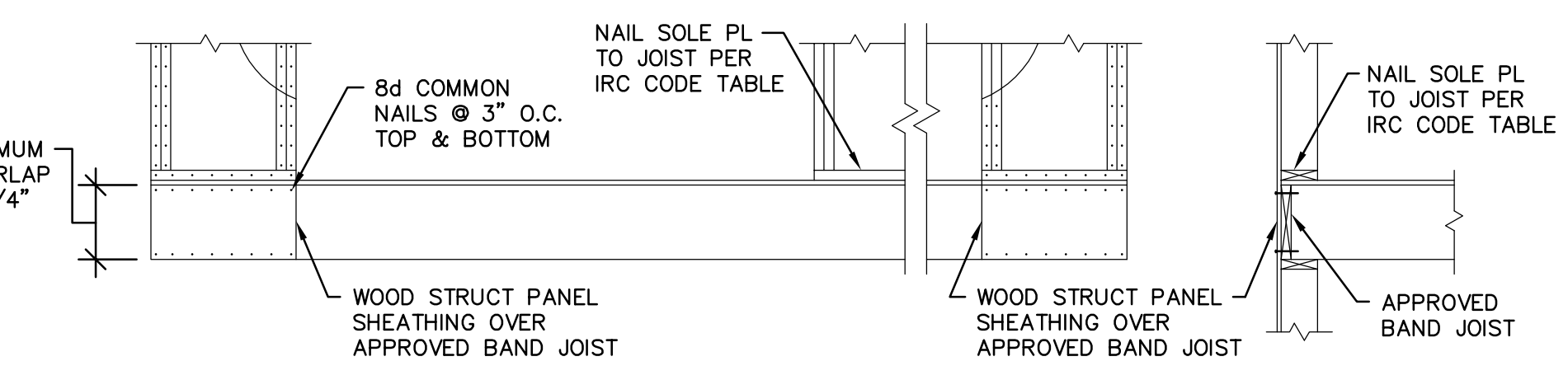
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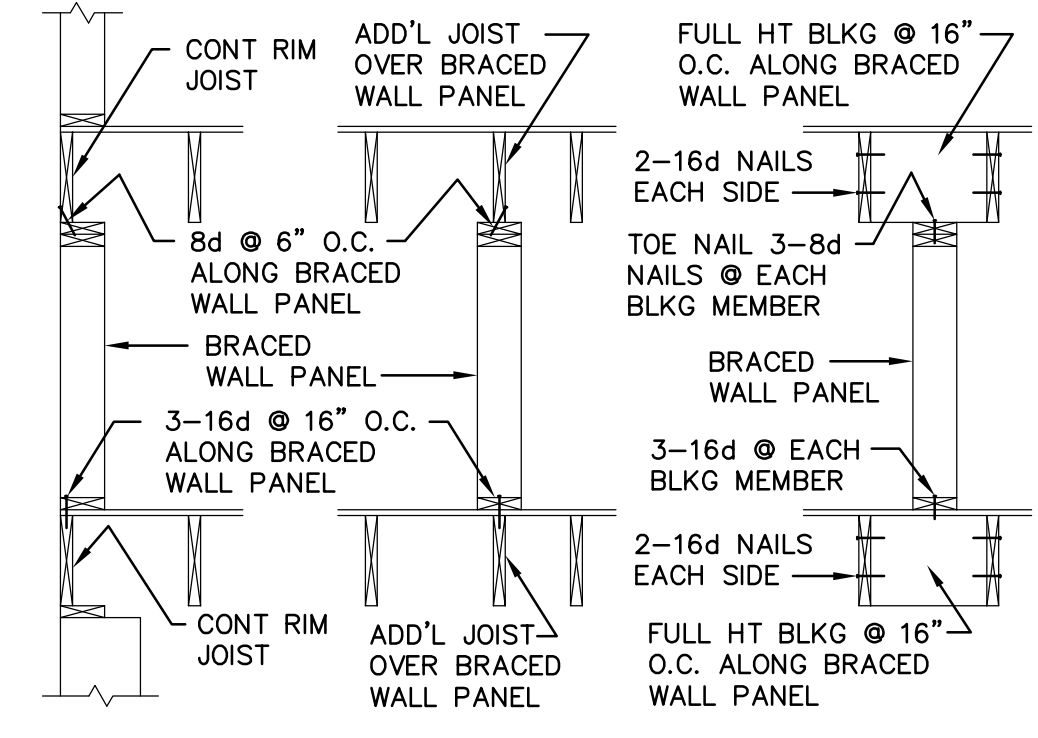
1 TYPICAL CORNER WALL BRACING DETAILS
N.T.S.



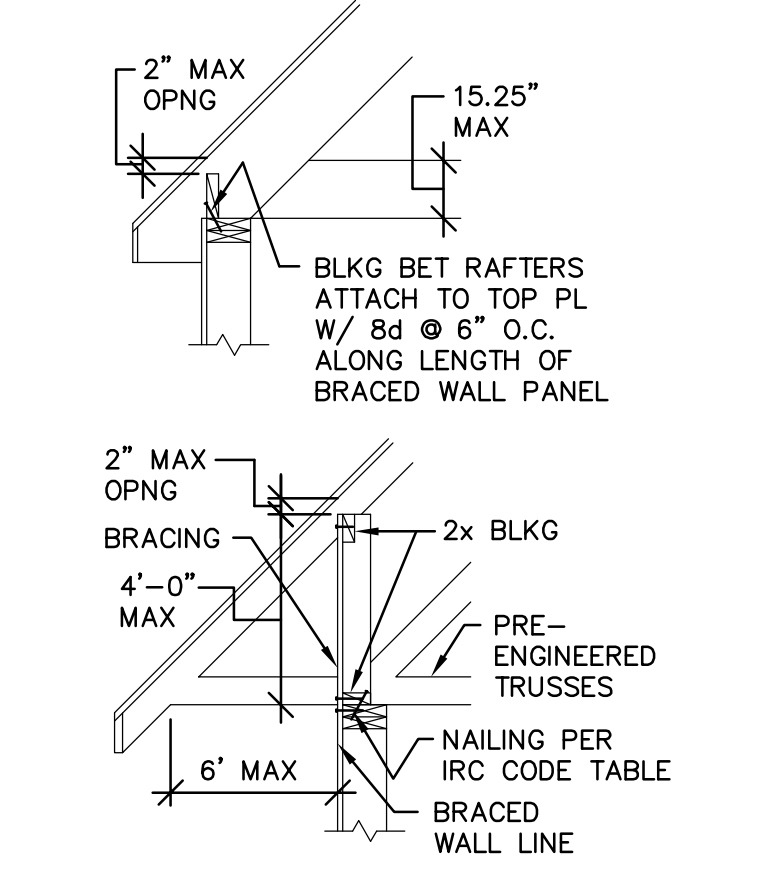
2 PANEL CONN WHEN PERPENDICULAR TO FRAMING
N.T.S.



5 METHOD CS-PF CONT PORTAL FRAME PANEL CONSTRUCTION
N.T.S.



3 PANEL CONN WHEN PARALLEL TO FRAMING
N.T.S.



4 RAFTER & TRUSS CONNECTION DETAILS
N.T.S.

LEGEND	
	MIN REQ'D LENGTH (INCHES) OF BRACED WALL PANEL
	BRACED WALL PANEL TYPE
BRACED WALL PANEL TYPES	
	2x6 WD STUDS @ 16" O.C. W/ 7/16" OSB SHEATHING ON EXTERIOR. ATTACH SHEATHING TO STUDS W/ 8d COMMON NAILS @ 6" O.C. AT PANEL EDGES AND @ 12" O.C. AT INTERMEDIATE SUPPORTS OR W/ 16 GA x 1 3/4 STAPLES @ 3" O.C. AT PANEL EDGES AND @ 6" O.C. AT INTERMEDIATE SUPPORTS.
	2x6 WD STUDS @ 16" O.C. W/ 1/2" GYP BD EA SIDE. ATTACH GYP BD TO STUDS AT PANEL EDGES W/ NAILS OR SCREWS @ 7" O.C. INCL TOP & BOT PLATES. SEE IRC CODE TABLE FOR NAIL OR SCREW SIZES AND SPACING AT INTERMEDIATE SUPPORTS.
	CONT PORTAL FRAME PANEL CONSTRUCTION PER IRC CODE SEE ELEV 5/S301
	SIMPSON WOOD STRONG-WALL SHEAR WALL SEE FLOOR PLAN FOR SIZE, HEIGHT & TYPE. SEE SIMPSON MANUF SHEET FOR MORE INFO.
	SIMPSON STEEL STRONG-WALL SHEAR WALL SEE FLOOR PLAN FOR SIZE, HEIGHT & TYPE. SEE SIMPSON MANUF SHEET FOR MORE INFO.
	EXISTING 8" COMPOSITE MASONRY WALL CONSTRUCTION WITH FULL WIDTH BRICK TIE COURSES @ 32" O.C. VERT SPACING

BRACING REQUIREMENTS EXP. CATEGORY B, 30' MEAN ROOF HT, 10' EAVE-TO-RIDGE HT, 10' WALL HT, 2 BRACED WALL LINES, ≤ 115 MPH WIND SPEED			
STORY LOCATION	BRACED WALL SPACING (FT)	CONTINUOUS SHEATHING	METHOD GB (DOUBLE SIDED)
	10	2.0	3.5
	20	3.5	6.5
	30	4.5	9.5
	40	6.0	12.5
	50	7.5	15.0
	60	9.0	18.0
	10	3.5	7.0
	20	6.5	12.5
	30	9.0	18.0
	40	11.5	23.5
	50	14.0	29.0
	60	17.0	34.5
	10	5.0	10.0
	20	9.0	18.5
	30	13.0	27.0
	40	17.0	35.0
	50	21.0	43.0
	60	25.0	51.0

ADJUSTMENT FACTORS TO AMOUNT OF BRACING REQUIRED			
EXPOSURE/HEIGHT FACTORS			
NO OF STORIES	EXPOSURE B	EXPOSURE C	EXPOSURE D
1	1.0	1.2	1.5
2	1.0	1.3	1.6
3	1.0	1.4	1.7

EAVE-TO-RIDGE HEIGHT				
SUPPORT CONDITION	5' OR LESS	10'	15'	20'
ROOF ONLY	0.7	1.0	1.3	1.6
ROOF + FLOOR	0.85	1.0	1.15	1.3
ROOF + 2 FLOORS	0.9	1.0	1.1	NP

WALL HEIGHT	
8' MAX	0.9
9' MAX	0.95
10' MAX	1.0
11' MAX	1.05
12' MAX	1.1

NUMBER OF BRACED WALL LINES	
2	1.0
3	1.3
4	1.45
≥ 5	1.6

BRACED WALL PANEL LENGTH REQUIREMENTS (IN INCHES) METHOD CS-WSP				
ADJ CLEAR OPNG HT (IN)	WALL HEIGHT (FEET)			
	8'	9'	10'	11'
64	24	27	30	33
68	26	27	30	33
72	27	27	30	33
76	30	29	30	33
80	32	30	30	33
84	35	32	32	33
88	38	35	33	33
92	43	37	35	35
96	48	41	38	36
100	-	44	40	38
104	-	49	43	40
108	-	54	46	43
112	-	-	50	45
116	-	-	55	48
120	-	-	60	52

BRACED WALL PANEL LENGTH REQUIREMENTS (IN INCHES) METHOD CS-PF				
ADJ CLEAR OPNG HT (IN)	WALL HEIGHT (FEET)			
	8'	9'	10'	11'
≤ 120	16	18	20	22

- NOTES:
- PROJECT LOCATED IS SEISMIC CATEGORY B.
 - BASIC WIND SPEED ≤ 115 MPH.
 - ALL EXTERIOR WALLS TO BE CONTINUOUSLY SHEATHED.
 - BUILDING IS BRACED IN ACCORDANCE WITH THE IRC CODE

1ST FLR BRACE WALL LINE MULT FACTOR 115 MPH WIND - EXPOSURE "B"		
EAST-WEST WALLS	MULT FACTOR	
NO OF BRACED WALLS	4	1.43
EAVE-TO-RIDGE HT	7'	0.91
WALL HEIGHT	9'	0.95
TOTAL MULT FACTOR	1.25	
NORTH-SOUTH WALLS	MULT FACTOR	
NO OF BRACED WALLS	3	1.3
EAVE-TO-RIDGE HT	7'	0.91
WALL HEIGHT	9'	0.95
TOTAL MULT FACTOR	1.12	

2ND FLR BRACE WALL LINE MULT FACTOR 115 MPH WIND - EXPOSURE "B"		
EAST-WEST WALLS	MULT FACTOR	
NO OF BRACED WALLS	4	1.45
EAVE-TO-RIDGE HT	7'	0.82
WALL HEIGHT	9'	0.95
TOTAL MULT FACTOR	1.13	
NORTH-SOUTH WALLS	MULT FACTOR	
NO OF BRACED WALLS	3	1.3
EAVE-TO-RIDGE HT	7'	0.82
WALL HEIGHT	9'	0.95
TOTAL MULT FACTOR	1.01	

GARAGE BRACE WALL LINE MULT FACTOR 115 MPH WIND - EXPOSURE "B"		
EAST-WEST WALLS	MULT FACTOR	
NO OF BRACED WALLS	2	1.0
EAVE-TO-RIDGE HT	5'	0.7
WALL HEIGHT	8'	0.9
TOTAL MULT FACTOR	1.0	
NORTH-SOUTH WALLS	MULT FACTOR	
NO OF BRACED WALLS	2	1.0
EAVE-TO-RIDGE HT	5'	0.7
WALL HEIGHT	8'	0.9
TOTAL MULT FACTOR	1.0	

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REVIEWED
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WALL BRACING DETAILS

Sheet No.

S301

SHEET 10 OF 10
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