



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: August 15, 2023

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #1013352 - Partial Demo and Building Addition

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the December 7, 2022 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Greg Dalfonzo
Address: 7209 Holly Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.





REVIEWED
By Dan.Bruechert at 9:25 am, Aug 15, 2023

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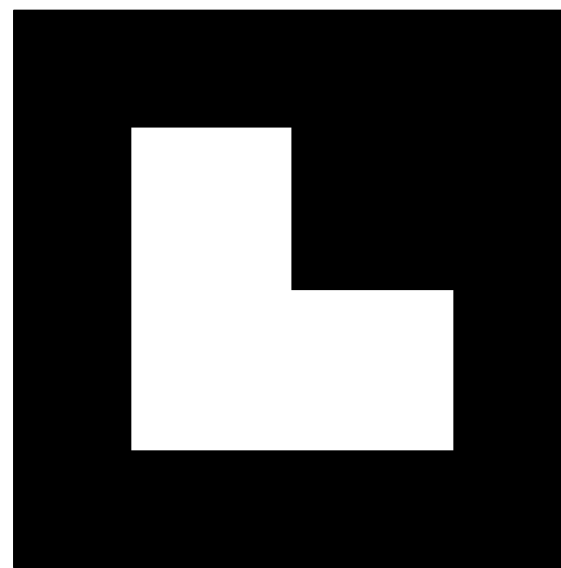
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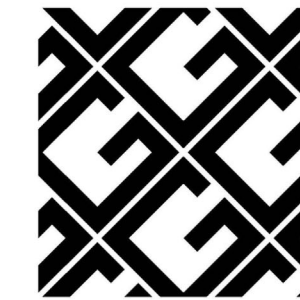
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DESIGN

5236 44th Street NW #3

Washington, DC 20015

O 202.537.0060

Grossmuellers.com

SHEET LIST	
SHEET NUMBER	SHEET NAME
G-001	COVER
S-001	FOUNDATION PLAN
S-002	FIRST FLOOR FRAMING PLAN
S-003	SECOND FLOOR FRAMING PLAN
S-200	STRUCTURAL NOTES & DETAILS
S-201	STRUCTURAL DETAILS
S-202	STRUCTURAL DETAILS
S-203	STRUCTURAL NOTES

SHEET LIST	
SHEET NUMBER	SHEET NAME
E-001	BASEMENT ELECTRICAL PLAN
E-002	FIRST FLOOR ELECTRICAL PLAN
M-001	BASEMENT MECHANICAL PLAN

AD-001	BASEMENT DEMOLITION
AD-002	FIRST FLOOR DEMOLITION
AD-003	DEMO ELEVATION
AD-004	DEMO ELEVATION
AD-005	DEMO ELEVATION
AD-006	DEMO ELEVATION

A-001	BASEMENT PLAN
A-002	FIRST FLOOR PLAN
A-004	PROPOSED ELEVATION
A-005	PROPOSED ELEVATION
A-006	PROPOSED ELEVATION
A-007	PROPOSED ELEVATION
A-008	WINDOW AND DOOR SCHEDULE
A-010	SECTIONS
A-011	SECTIONS
A-012	MAIN STAIR DETAILS
A-013	SMALL STAIR DETAIL
A-014	FINISH SCHEDULE

GENERAL NOTES

NOTE: ALL WORK AND MATERIALS TO COMPLY WITH THE REQUIREMENTS OF THE 2018 IRC, THE MONTGOMERY COUNTY CODE CHAPTER 8- BUILDINGS, AND ALL OTHER APPLICABLE CODES.

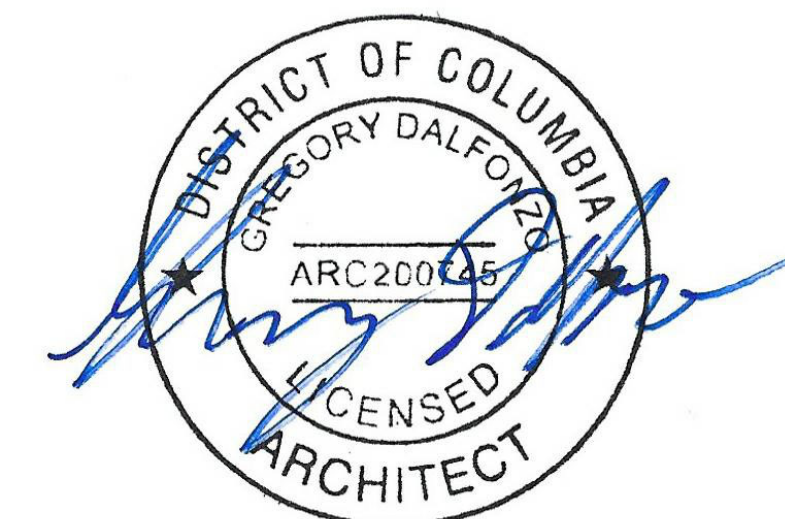
1. NOTIFY MISS UTILITY 48 HOURS PRIOR TO DIGGING: 1-800-257-7777.
2. REGULATORY COMPLIANCE: COMPLY WITH ALL LOCAL CONSTRUCTION CODES AND ZONING ORDINANCES. OBTAIN ALL NECESSARY TRADE AND BUILDING PERMITS, WALL CHECKS, INSPECTIONS, AND CERTIFICATES OF OCCUPANCY.
3. CONDITIONS: THOROUGHLY REVIEW FIELD CONDITIONS, DIMENSIONS, AND CONTRACT DOCUMENTS. NOTIFY THE DESIGNER IMMEDIATELY OF CONFLICTS, DEFICIENCIES OR OMISSIONS. REQUEST CLARIFICATION AS NEEDED. DO NOT SCALE THE DRAWINGS. CHANGE ORDERS WILL NOT BE ISSUED DUE TO THE CONTRACTOR'S FAILURE TO REVIEW THE DRAWINGS, SPECS., OR EXISTING CONDITIONS. DEVIATIONS FROM PLANS AND PRODUCT SUBSTITUTIONS MUST BE APPROVED BY THE OWNER.
4. SUPERVISION: CONTRACTOR IS RESPONSIBLE FOR SUPERVISION, COORDINATION AND SCHEDULING OF EACH SUBCONTRACTOR AND SUPPLIER. PROJECT MUST PROCEED IN A TIMELY AND WORKMANLIKE MANNER. REQUIRE ALL SUBCONTRACTORS & INSTALLERS TO INSPECT AREAS TO RECEIVE WORK AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND TO REPORT TO CONTRACTOR ANY UNSATISFACTORY CONDITIONS. CHANGE ORDERS WILL NOT BE ISSUED DUE TO CONTRACTOR'S FAILURE TO REVIEW AND COORDINATION OF SUBCONTRACTORS.
5. SITE CONTROLS: CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. PROVIDE TEMPORARY PEDESTRIAN AND VEHICULAR BARRIERS AS REQUIRED TO PROTECT WORKERS AND PUBLIC. MAINTAIN JOB SITE NEAT AND FREE FROM ACCUMULATION OF TRASH AND BUILDING MATERIAL WASTE.
6. PRODUCTS: FURNISH ITEMS SPECIFIED AND INSTALL PER MANUFACTURER'S INSTRUCTIONS. INSPECT DELIVERIES FOR COMPLIANCE WITH SPECIFIED PRODUCT, MATERIAL AND QUANTITY. STORE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
7. TEMPORARY PROTECTION: PROVIDE ADEQUATE TEMPORARY PROTECTION AGAINST WEAR FOR ALL NEW AND EXISTING CONSTRUCTION. REPAIR, PATCH, PAINT, ETC.. ALL AREAS WHERE NEW CONSTRUCTION DAMAGES EXISTING CONDITIONS. ALL LANDSCAPING DESIGNATED TO REMAIN OR REASONABLE BEYOND LIMITS OF OPERATIONS TO BE PROTECTED FROM DAMAGE.
8. SEDIMENT CONTROL: PRIOR TO EXCAVATION AND THROUGHOUT COURSE OF WORK, PROVIDE CONTROL MEASURES AS NECESSARY TO PREVENT SEDIMENT DISCHARGE BEYOND THE PROPERTY LINES. MEASURES SHALL BE FOLLOWED BY ALL STATE AND LOCAL COUNTY REQUIREMENTS. MAINTAIN SEDIMENT CONTROL FEATURES UNTIL LANDSCAPING IS IN PLACE AND STABILIZED.
9. DEFECTIVE WORK: PROMPTLY CORRECT WORK REJECTED BY DESIGNER OR FOUND NOT IN COMPLIANCE WITH THE CONTRACT, INCLUDING DEFECTIVE WORK DISCOVERED AFTER THE DATE OF SUBSTANTIAL COMPLETION.

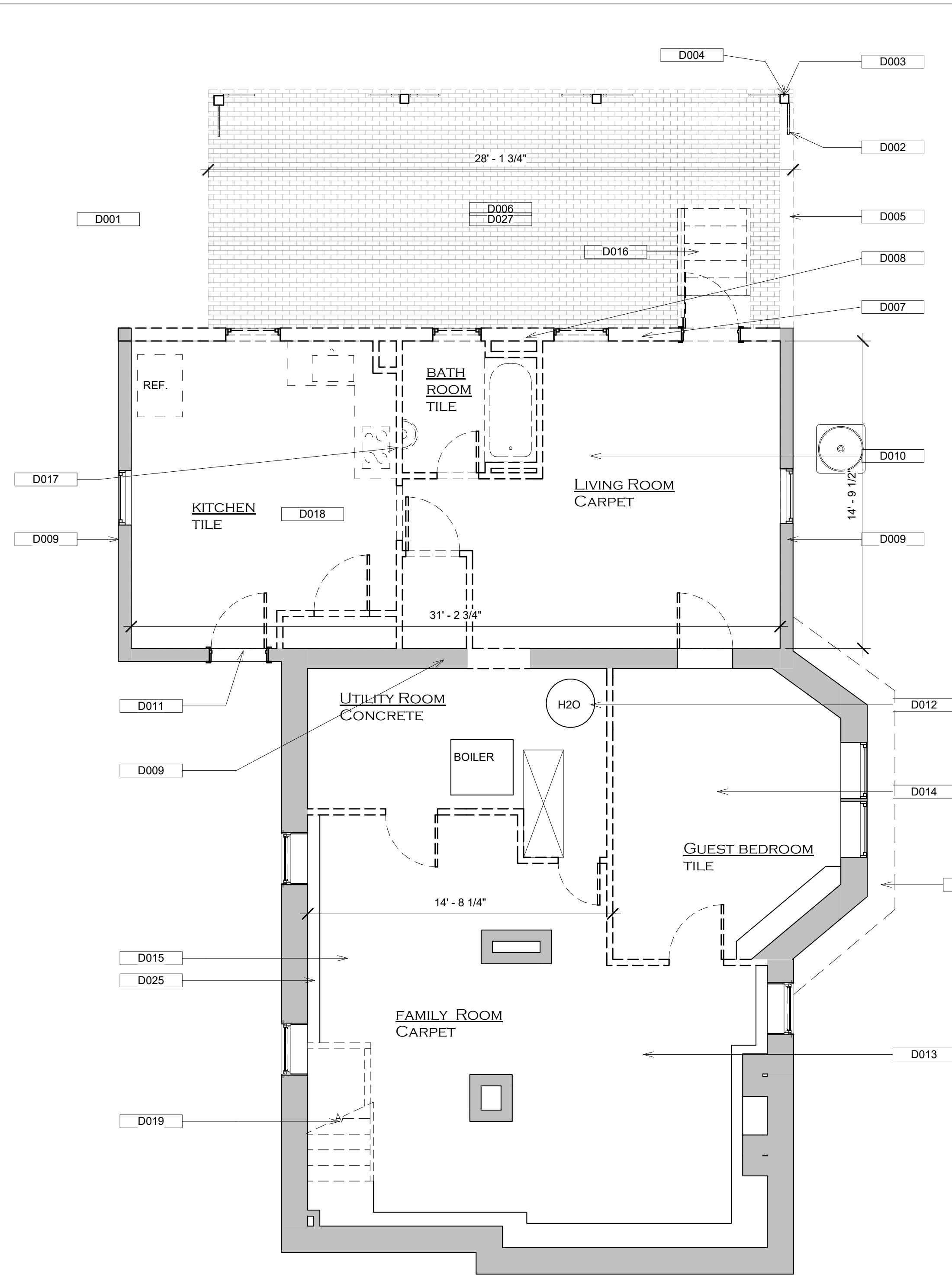
SCOPE OF WORK

Underpin existing basement, relocate basement bathroom, new rear screened porch.

REVISION	DATE
CONTRACT	7.5.23
PERMIT	7.24.23

Drawings, specifications, and all other instruments of service are and shall remain the property of Grossmuellers Design Consultants, Inc. whether the projects for which they are made are executed or not. This is an original design and may not be used or copied under penalty of law.





Keynote Legend	
Key Value	Keynote Text
D001	REMOVE STONE PATH AND SAVE FOR REINSTALLAION
D002	REMOVE EXISTING CORBEL BRACKETS AND SAVE FOR REINSTALLATION
D003	REMOVE EXISTING POSTS. SUPPORT THE EXISTING FIRST FLOOR PER THE STRUCTURAL ENGINEER
D004	CUT EXISTING CONCRETE PIERS TO BELOW THE LEVEL OF THE PORCH FRAMING
D005	REMOVE EXISTING BRICK WALL
D006	REMOVE EXISTING BRICK PATIO AND EXCAVATE SOIL AS NEEDED TO CREATE SPACE FOR THE NEW PORCH FRAMING
D007	REMOVE EXISTING REAR FRAME WALL OF HOUSE. SUPPORT THE EXISTING FIRST FLOOR PER THE STRUCTURAL ENGINEER. SAVE EXISTING SIDING FOR PATCH AT FRONT OF HOUSE.
D008	CUT THE REAR FOUNDATION WALL DOWN TO THE LEVEL SPECIFIED BY THE STRUCTURAL ENGINEER
D009	UNDERPIN THE EXISTING FOUNDATION WALLS PER THE STRUCTURAL ENGINEER
D010	REMOVE ALL FIXTURES, FINISHES, EQUIPMENT, ELECTRICAL, PLUMBING FROM THE BASEMENT KITCHEN, LIVING ROOM, AND BATHROOM
D011	REMOVE DOOR
D012	REMOVE HOT WATER HEATER AND SAVE FOR REINSTALLATION
D013	REMOVE CARPET FROM BASEMNET FAMILY ROOM
D014	REMOVE TILE FROM GUEST BEDROOM
D015	BREAK UP CONCRETE AS NEEDED FOR NEW BATHROOM WASTE LINE
D016	REMOVE EXISTING REAR STAIRS
D017	RELOCATE GAS LINE TO COOKTOP INTO JOIST CAVITY, CONTINUE TO FEED ABOVE
D018	CAP ALL UNUSED RADIATOR LINES AT THE CEILING LEVEL
D019	REMOVE EXISTING STAIR AND WALL FRAMING
D025	EXISTING HALF WALL FOR WASTE LINE. 7" WIDE, 52" TALL
D026	REMOVE CONCRETE APRON. SLOPE REMAINING GRADE AWAY FROM HOUSE
D027	REMOVE PORCH CEILING

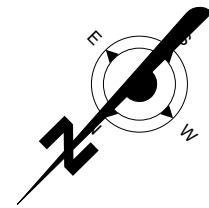
TREE PROTECTION NOTES:

1. NO HEAVY EQUIPMENT MAY BE USED.
2. ALL WORK TO BE DONE BY HAND TOOLS AND FOOT TRAFFIC.
3. EXCAVATION MUST EXTEND NO FURTHER THAN ONE FOOT ON EACH SIDE OF THE EXISTING PATIO PIERS.
4. MATERIAL STORAGE SHOULD OCCUR ONLY ON FLAT DURABLE AREAS IN THE BACK YARD, NOT OVER SOIL AREAS.
5. IT IS RECOMMENDED TO LAY DOWN SIX INCHES OF WOODCHIPS OVER ANY SOIL AREAS THAT WILL EXPERIENCE SUBSTANTIAL FOOT TRAFFIC.

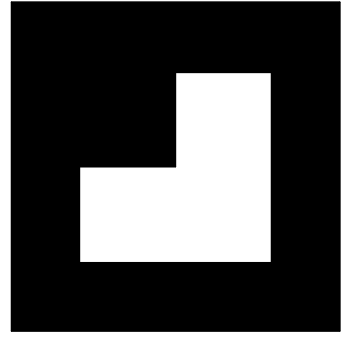
APPROVED
 Montgomery County
 Historic Preservation Commission



REVIEWED
 By Dan.Bruechert at 9:25 am, Aug 15, 2023



① BASEMENT DEMO PLAN
 1/4" = 1'-0"



The above drawings and specifications, and the ideas, designs and arrangements represented thereby are and shall remain the property of the architect. No part thereof shall be copied, disclosed to others or used in connection with any work or project or by any other person without the written consent of the architect. Visual contact with these drawings or specifications shall constitute conclusive evidence and acceptance of these restrictions.

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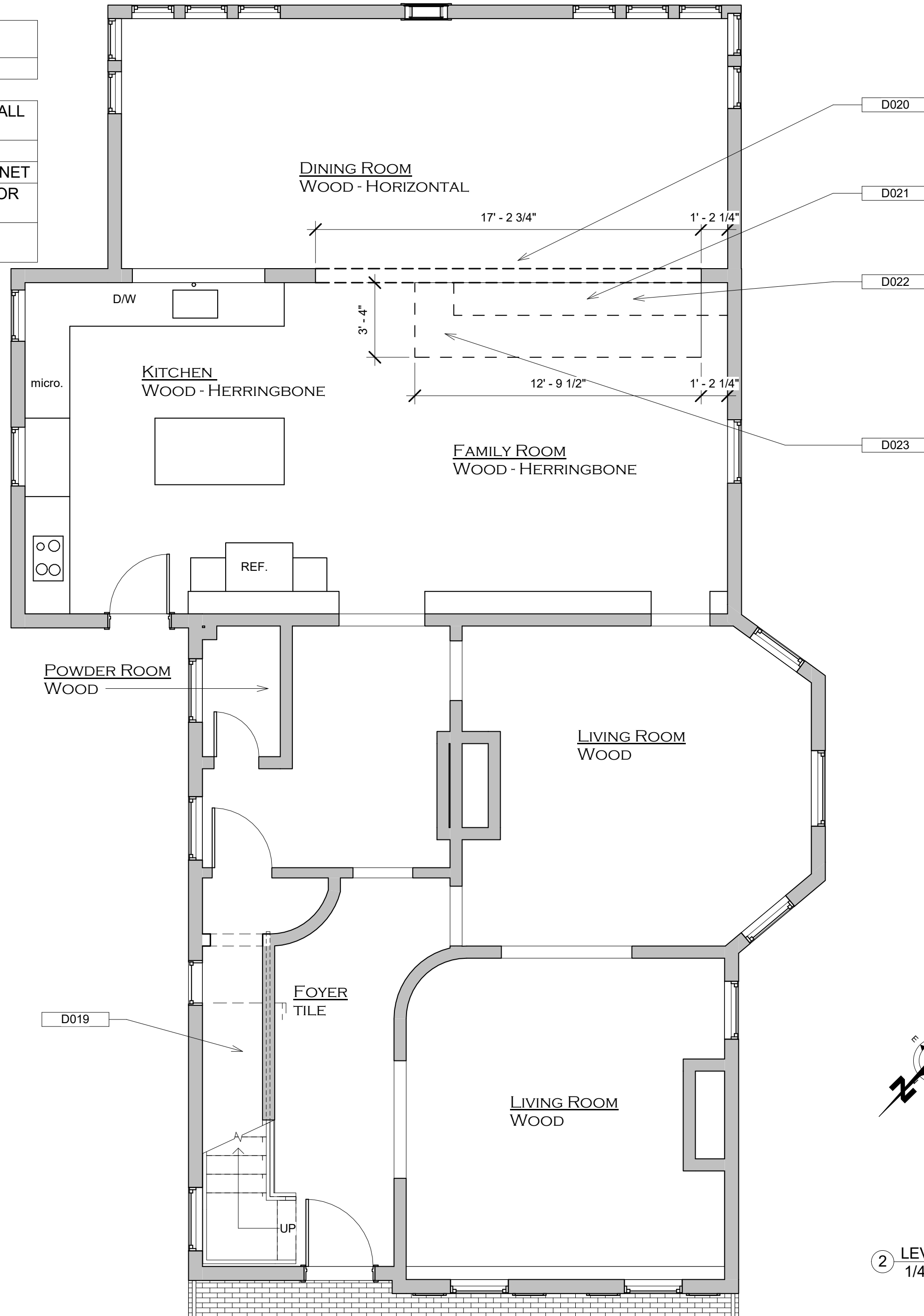
Phase	Contract
Date	JULY 24, 2023
Scale	1/4" = 1'-0"
Drawn By	Author
Revision	

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**BASEMENT
 DEMOLITION**

AD-001

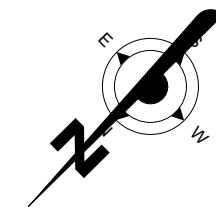
Keynote Legend	
Key Value	Keynote Text
D019	REMOVE EXISTING STAIR AND WALL FRAMING
D020	CUT NEW WALL OPENING
D021	REMOVE RADIATOR COVER CABINET
D022	REMOVE RADIATOR AND SAVE FOR REINSTALLATION
D023	CUT NEW FLOOR OPENING FOR STAIR



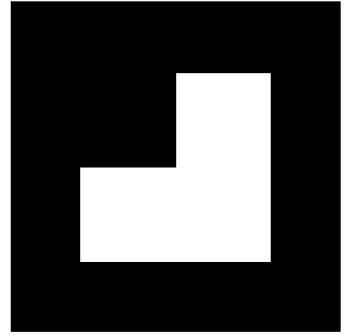
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② LEVEL 1 DEMO PLAN
 1/4" = 1'-0"



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FIRST
 FLOOR
 DEMOLITION

AD-002

Keynote Legend	
Key Value	Keynote Text
D002	REMOVE EXISTING CORBEL BRACKETS AND SAVE FOR REINSTALLATION
D003	REMOVE EXISTING POSTS. SUPPORT THE EXISTING FIRST FLOOR PER THE STRUCTURAL ENGINEER
D004	CUT EXISTING CONCRETE PIERS TO BELOW THE LEVEL OF THE PORCH FRAMING
D006	REMOVE EXISTING BRICK PATIO AND EXCAVATE SOIL AS NEEDED TO CREATE SPACE FOR THE NEW PORCH FRAMING
D007	REMOVE EXISTING REAR FRAME WALL OF HOUSE. SUPPORT THE EXISTING FIRST FLOOR PER THE STRUCTURAL ENGINEER. SAVE EXISTING SIDING FOR PATCH AT FRONT OF HOUSE.
D008	CUT THE REAR FOUNDATION WALL DOWN TO THE LEVEL SPECIFIED BY THE STRUCTURAL ENGINEER
D016	REMOVE EXISTING REAR STAIRS

ATTIC
21' - 10"

LEVEL 2
10' - 11"

LEVEL 1
0' - 0"

BASEMENT
-8' - 10"

D002

D007

D003

D016

D008

D004

D006

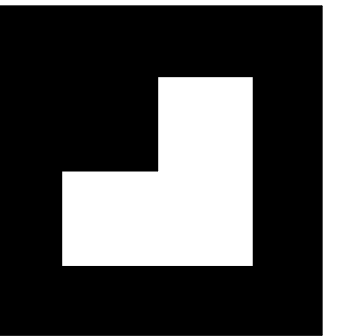
1 EAST ELEVATION DEMO
1/4" = 1'-0"



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DEMO ELEVATION

AD-003

Keynote Legend	
Key Value	Keynote Text
D002	REMOVE EXISTING CORBEL BRACKETS AND SAVE FOR REINSTALLATION
D003	REMOVE EXISTING POSTS. SUPPORT THE EXISTING FIRST FLOOR PER THE STRUCTURAL ENGINEER
D004	CUT EXISTING CONCRETE PIERS TO BELOW THE LEVEL OF THE PORCH FRAMING
D005	REMOVE EXISTING BRICK WALL
D016	REMOVE EXISTING REAR STAIRS

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DEMO ELEVATION

AD-004

① SOUTH ELEVATION DEMO
 1/4" = 1'-0"

Keynote Legend	
Key Value	Keynote Text



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 Montgomery County
 Historic Preservation Commission

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REVIEWED
 By Dan.Bruechert at 9:26 am, Aug 15, 2023

① WEST ELEVATION DEMO
 1/4" = 1'-0"

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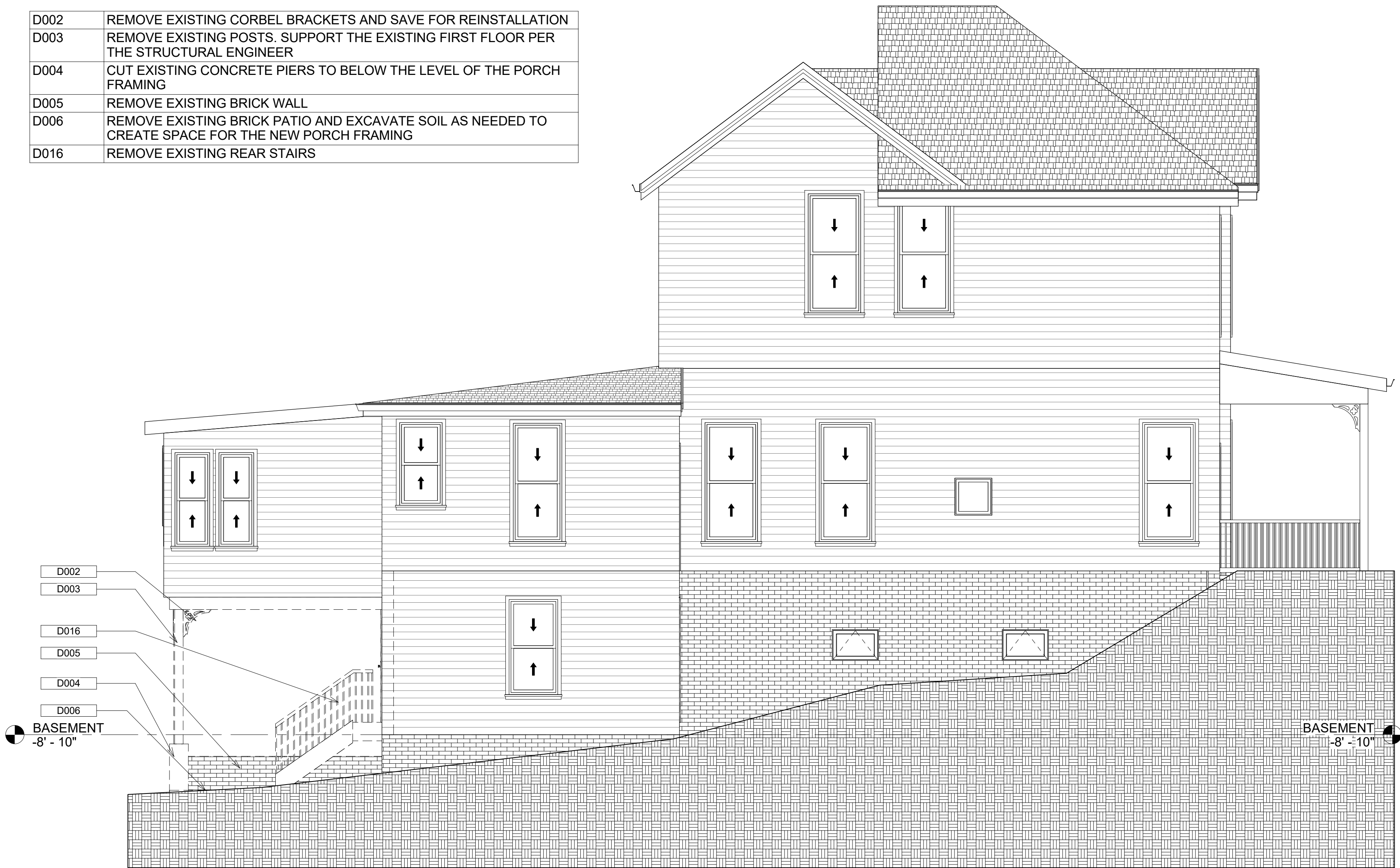
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Drawn By	Author
Revision	

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**DEMO
 ELEVATION**

AD-005

Keynote Legend	
Key Value	Keynote Text
D002	REMOVE EXISTING CORBEL BRACKETS AND SAVE FOR REINSTALLATION
D003	REMOVE EXISTING POSTS. SUPPORT THE EXISTING FIRST FLOOR PER THE STRUCTURAL ENGINEER
D004	CUT EXISTING CONCRETE PIERS TO BELOW THE LEVEL OF THE PORCH FRAMING
D005	REMOVE EXISTING BRICK WALL
D006	REMOVE EXISTING BRICK PATIO AND EXCAVATE SOIL AS NEEDED TO CREATE SPACE FOR THE NEW PORCH FRAMING
D016	REMOVE EXISTING REAR STAIRS

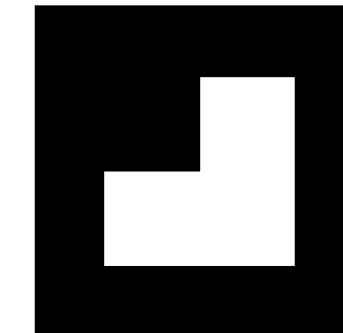


1 NORTH ELEVATION DEMO
1/4" = 1'-0"

APPROVED
Montgomery County
Historic Preservation Commission

Ronald L. Adams

REVIEWED
By Dan.Bruechert at 9:26 am, Aug 15, 2023



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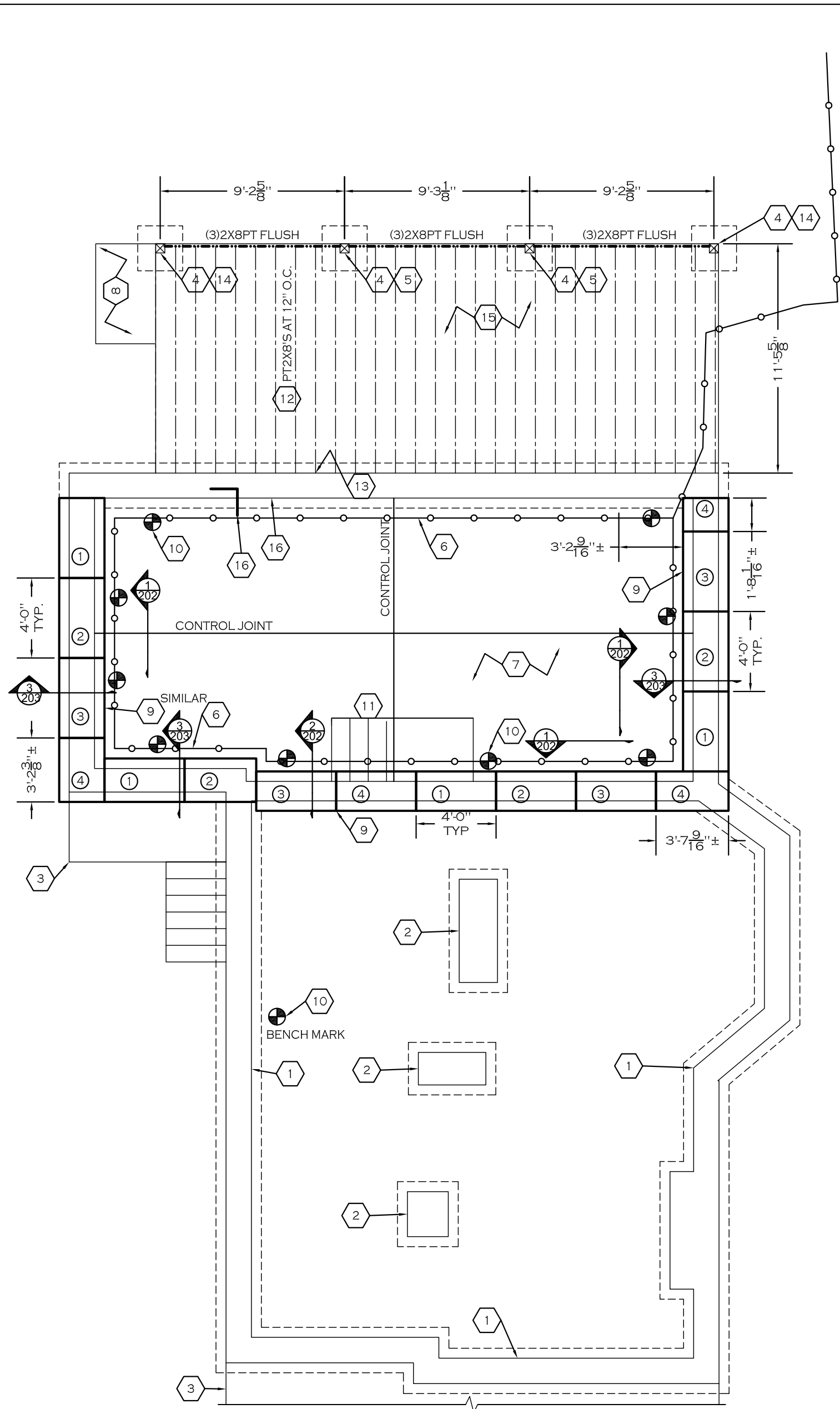
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Revision	

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**DEMO
ELEVATION**

AD-006



Foundation Plan

Scale: $\frac{3}{16}'' = 1'-0''$

APPROVED
 Montgomery County
 Historic Preservation Commission

Robert A. [Signature]

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 By Dan.Bruechert at 9:26 am, Aug 15, 2023

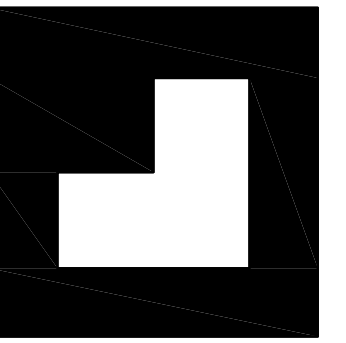
FRAMING NOTES:

1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF $\frac{1}{2}''$ Ø BOLTS AT 16" O.C. STAGGERED.
5. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
6. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
7. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
8. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
9. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI AND HAVE 6%±1% AIR ENTRAINMENT.
10. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
11. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
12. TYPICAL JOIST HANGER SHALL BE A SIMPSON LUS HANGER.
13. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
14. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
15. TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS 15 ON EACH SIDE.
16. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
17. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
18. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC. . . .
19. USE TYPE "N" LIME BASED MORTAR FOR ALL WORK ON THE EXISTING MASONRY WALL. USE CLAY BRICKS THAT MATCH THE STRENGTH AND PORSITY OF THE EXISTING WALL.
20. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT ARE PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE JOISTS BELOW THE WALLS AT 16" O.C.

- 1 EXISTING FOUNDATION WALL AND FOOTING.
- 2 EXISTING PIER OR CHIMNEY AND FOOTING.
- 3 EXISTING FRONT PORCH OR EXISTING SIDE STOP ABOVE UNCHANGED. THE EXISTING POSTS AND PIERS AND FOOTINGS SHALL REMAIN UNCHANGED.
- 4 EXISTING CONCRETE PIER AND FOOTING. CUT DOWN THE PIER SO THAT IT IS BELOW THE DECK. SET THE NEW BEAM ON THE EXISTING CONCRETE PIER. ATTACH THE BEAM TO THE PIER WITH A SIMPSON ABA66. FILL THE GAPS BETWEEN THE BEAM AND THE CONNECTOR WITH PT BLOCKING. VERIFY THAT THE EXISTING FOOTING IS A MINIMUM - 27" SQUARE FOOTING OR A MINIMUM 33" Ø FOOTING. IF THE FOOTING IS SMALLER REPLACE THE FOOTING WITH A 27" SQUARE FOOTING X 10" THICK X 30" BELOW GRADE BELOW THE PIER. REINFORCE THE FOOTING WITH (3)#4 BARS IN EACH DIRECTION.
- 5 TRUE PT6X6 POST UP. ATTACH THE POST TO THE EXTERIOR SIDE OF THE BEAM WITH A SIMPSON LTP4 PLATE. ATTACH THE POST TO THE BEAM WITH A SIMPSON MTS 12 ON THE LEFT AND RIGHT SIDE OF THE INTERIOR FACE OF THE CONNECTION.
- 6 4" Ø PERFORATED DRAIN WRAPPED WITH FILTER FABRIC. EXIT THE DRAIN TO DAYLIGHT.
- 7 4" CONCRETE SLAB ON A 6 MIL POLY VAPOR BARRIER PLACED ON 4" GRAVEL ON STABLE SOIL. REINFORCE THE SLAB WITH 6X6 W2.0XW2.0 WWF. SEE THE ARCHITECTURAL DRAWINGS FOR INSULATION REQUIREMENTS.
- 8 6" CONCRETE SLAB ON 4" GRAVEL LANDING. REINFORCE THE SLAB WITH (3)#4 BARS IN EACH DIRECTION. SLOPE THE SLAB TO SHED WATER AWAY FROM THE DECK.
- 9 NEW UNDERPINNING. THE NUMBER IN THE CIRCLE REPRESENTS THE SEQUENCE.
- 10 VERTICAL MONITOR POINTS AT 8'-0" O.C. PROVIDE A BENCH MARK AWAY FROM THE UNDERPINNING. SET THE POINTS SO READINGS CAN BE MADE AFTER CONSTRUCTION IS COMPLETE.
- 11 BUILD THE NEW STAIR AND LANDING ON THE NEW BASEMENT SLAB. PLACE A 6 MIL POLY VAPOR BARRIER BETWEEN THE WOOD FRAMING AND THE NEW SLAB.
- 12 PLACE BLOCKING BETWEEN THE JOISTS AT THE MID POINT OF THE SPAN.
- 13 PT2X12 LEDGER. ATTACH THE LEDGER TO THE EXISTING WALL WITH $\frac{1}{2}''$ Ø GALVANIZED THRU BOLTS AT 12" O.C. TOP AND BOTTOM STAGGERED. ATTACH EACH JOIST TO THE LEDGER WITH A SIMPSON LUS HANGER. CAULK THE JOINT BETWEEN THE DECK BOARDS AND THE WALL. PLACE THE LEDGER BEFORE POURING THE NEW BASEMENT SLAB.
- 14 TRUE PT6X6 POST UP. ATTACH THE POST TO THE DECK FRAMING WITH A SIMPSON LCE IN EACH DIRECTION.
- 15 ALL DECK LUMBER SHALL BE RATED FOR GROUND CONTACT.
- 16 EXISTING FOUNDATION WALL AND FOOTING. CUT DOWN THE EXISTING FOUNDATION WALL SO THAT IT IS 4" BELOW THE TOP OF THE NEW SLAB. PLACE #4 BAR DOWELS BETWEEN THE WALL AND THE SLAB AT 24" O.C. EACH LEG SHALL BE 16" LONG. FILL ALL CELLS SOLID IN THE WALL. PLACE THE NEW SLAB ON THE EXISTING WALL. PLACE A PT2X6 SILL PLATE ON THE SLAB. ATTACH THE SILL PLATE TO THE SLAB WITH $\frac{1}{2}''$ Ø KWIK BOLT 3'S AT 48" O.C. WITH 7" EMBEDMENT.

UNDERPINNING NOTES:

1. CONTRACTOR SHALL CONDUCT A SURVEY OF THE HOME BEFORE CONSTRUCTION BEGINS. THE SURVEY SHALL DOCUMENT ANY EXISTING CRACKING IN THE STRUCTURE AND ANY EXISTING FLOOR SLOPING OR OTHER DEFECTS IN THE STRUCTURE.
2. CALL MISS UTILITY (800)257-7777 BEFORE ANY EXCAVATION BEGINS.
3. PRIOR TO UNDERPINNING: EXAMINE THE EXISTING MASONRY WALLS AND POINT ANY DETERIORATED JOINTS AND REPLACE ANY DETERIORATED BRICKS.
4. ESTABLISH A MONITORING SYSTEM TO MEASURE VERTICAL MOVEMENT IN THE FOUNDATION WALL. THE SYSTEM SHOULD BE SET UP SO THAT MEASUREMENTS CAN BE TAKEN EVERY 8 FEET. MEASUREMENTS SHOULD BE TAKEN ON A DAILY BASIS DURING CONSTRUCTION. IF VERTICAL SETTLEMENT IN EXCESS OF $\frac{1}{2}''$ IS RECORDED, PLACE TEMPORARY SHORING. STOP WORK AND CONTACT STRUCTURAL ENGINEER OF RECORD (SER) SO THAT THE UNDERPINNING CAN BE INSPECTED TO DETERMINE THE CAUSE OF THE MOVEMENT AND DESIGN TEMPORARY SHORING AND REVISE THE UNDERPINNING DESIGN AS NEEDED.
5. DO NOT EXCAVATE FOR THE NEW BASEMENT UNTIL THE UNDERPINNING IS COMPLETE.
6. PROVIDE TEMPORARY SHORING PER OSHA REGULATIONS FOR ALL PITS DEEPER THEN 4'-0".
7. EXCAVATE AND POUR THE UNDERPINNING FOOTINGS PER THE SEQUENCE SHOWN ON THE PLANS. EXCAVATE UNDERPINNING PITS MARKED SEQUENCE 1 FIRST. POUR THE FOOTING AND ALLOW THE CONCRETE TO SET FOR A MINIMUM OF 24 HOURS. ONCE THE CONCRETE HAS SET, PLACE DRY PACK BETWEEN THE UNDERPINNING AND EXISTING FOOTING. FOLLOW THE MANUFACTURES RECOMMENDATIONS FOR ALLOWABLE SET TIME IN DRY PACK. ONCE DRY PACK HAS SET EXCAVATE THE PITS MARKED SEQUENCE 2 AND REPEAT THE SAME PROCESS AS IN SEQUENCE 1. ALLOW DRY PACK TO SET PER THE MANUFACTURES RECOMMENDATIONS AND REPEAT PROCESS FOR SEQUENCE 3-4. ONCE THE UNDERPINNING IS COMPLETE THE NEW BASEMENT CONSTRUCTION MAY PROCEED.



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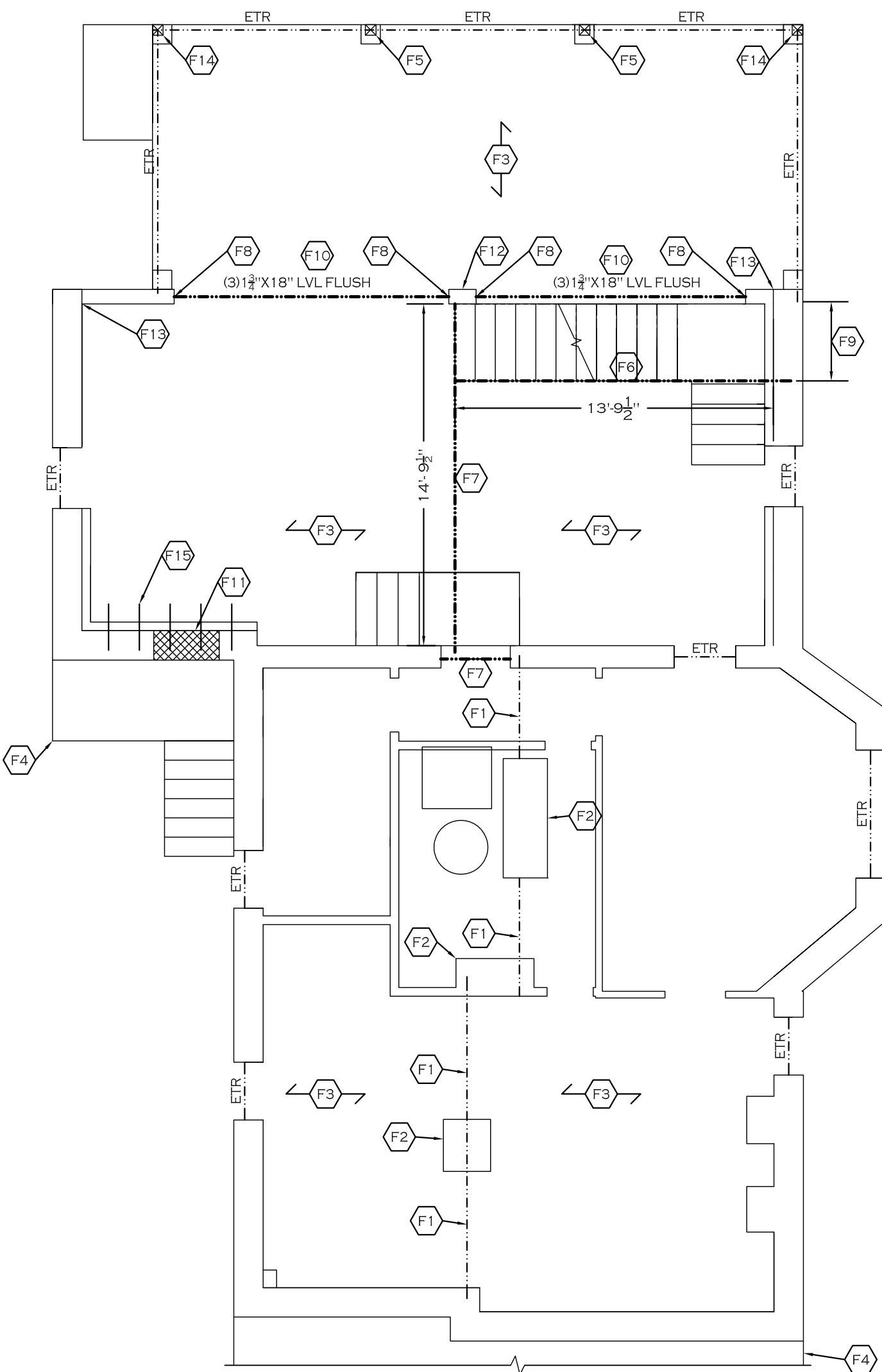
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FOUNDATION PLAN

SOO 1



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1st Floor Framing Plan

Scale: $\frac{3}{16}'' = 1'-0''$

FRAMING NOTES:

1. THE BOTTOM OF ALL FOOTINGS SHALL BE 30" MINIMUM BELOW GRADE.
2. ALL HEADERS ARE ASSUMED TO BE SUPPORTED BY A DOUBLE JACK AND SINGLE KING STUD, UNLESS NOTED OTHERWISE.
3. PROVIDE SQUASH BLOCKING AS NEEDED BELOW ALL POSTS, COLUMNS, AND MULTIPLE STUDS.
4. ATTACH ALL QUADRUPLE AND QUINTUPLE BEAMS TOGETHER WITH 2 ROWS OF $\frac{1}{2}''$ Ø BOLTS AT 16" O.C. STAGGERED.
5. CONTRACTOR SHALL PROVIDE TEMPORARY SHORING DURING CONSTRUCTION AS NEEDED FOR THE EXISTING STRUCTURAL ELEMENTS THAT WILL REMAIN.
6. ALL NAILS USED FOR EXTERIOR APPLICATIONS SHALL BE RING SHANK NAILS.
7. ALL NAILS, HANGERS, BOLTS, AND SCREWS EXPOSED TO THE EXTERIOR SHALL BE GALVANIZED.
8. ALL LUMBER EXPOSED TO EXTERIOR CONDITIONS SHALL BE TREATED SOUTHERN PINE #2.
9. ALL SLAB CONCRETE SHALL HAVE A 28 DAY COMPRESSIVE STRENGTH OF 4500PSI AND HAVE $6\% \pm 1\%$ AIR ENTRAINMENT.
10. WHEN ATTACHING EXISTING JOISTS TO FLUSH BEAMS USE OVERSIZED SIMPSON LUS HANGERS. ADD BLOCKING AS NEEDED TO FILL THE GAPS BETWEEN THE JOIST AND THE HANGER.
11. THE CONTRACTOR SHALL SURVEY ALL EXPOSED MASONRY IN THE HOME AND POINT ANY DETERIORATED JOINT THAT IS DISCOVERED AND REPLACE ANY DETERIORATED BRICKS OR BLOCKS.
12. TYPICAL JOIST HANGER SHALL BE A SIMPSON LUS HANGER.
13. TYPICAL POST TO BEAM CONNECTOR SHALL BE A SIMPSON LPC ON EACH SIDE.
14. TYPICAL POST TO FLOOR PLATE CONNECTOR SHALL BE A SIMPSON L30 ON EACH SIDE OF THE POST.
15. TYPICAL STRINGER TO FRAMING CONNECTOR SHALL BE A SIMPSON MTS 15 ON EACH SIDE.
16. TYPICAL DIMENSIONAL BEAM TO BEAM HANGER SHALL BE A SIMPSON HU MAX.
17. TYPICAL LVL TO LVL BEAM HANGER SHALL BE A SIMPSON HHUS.
18. SEE THE MONTGOMERY COUNTY TYPICAL DECK DETAILS FOR ITEMS NOT SHOWN ON THESE PLANS SUCH AS GUARD RAILS, STAIRS, LEDGER BOARD ATTACHMENTS ETC. . .
19. USE TYPE "N" LIME BASED MORTAR FOR ALL WORK ON THE EXISTING MASONRY WALL. USE CLAY BRICKS THAT MATCH THE STRENGTH AND POROSITY OF THE EXISTING WALL.
20. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT ARE PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE JOISTS BELOW THE WALLS AT 16" O.C.

- F1 EXISTING BEAM.
- F2 EXISTING PIER OR CHIMNEY
- F3 EXISTING 1ST FLOOR FRAMING. SISTER ANY DAMAGED JOIST THAT IS FOUND WITH A 2X10 OR A DOUBLE 2X8.
- F4 EXISTING FRONT PORCH AND SIDE STOOP UNCHANGED.
- F5 REPLACE THE EXISTING POST WITH A TRUE 6X6 WOOD POST. ATTACH THE POST TO THE EXISTING BEAM WITH A SIMPSON LTP4 PLATE ON THE EXTERIOR SIDE AND A SIMPSON MTS 12 ON THE LEFT AND RIGHT SIDE OF THE INTERIOR FACE.
- F6 FLUSH QUADRUPLE LVL HEADER. RIP THE HEADER TO MATCH THE HEIGHT OF THE EXISTING FLOOR JOISTS. THE MINIMUM HEIGHT OF THE HEADER SHALL BE 9 $\frac{1}{2}$ ".
- F7 FLUSH TRIPLE LVL HEADER OR BEAM. RIP THE HEADER TO MATCH THE HEIGHT OF THE EXISTING FLOOR JOISTS. THE MINIMUM HEIGHT OF THE LVL SHALL BE 9 $\frac{1}{2}$ ".
- F8 SET THE HEADER ON A DOUBLE JACK STUD AND SINGLE KING STUD.
- F9 VERIFY THAT THE EXISTING SILL PLATE IS A 6X6 AND THAT IT IS CONTINUOUS AT THE NEW STAIR OPENING TO PROVIDE LATERAL STABILITY FOR THE TOP OF THE EXISTING WALL.
- F10 ALTERNATE BEAM 1 - 1"X12" STEEL FLITCH BEAM BETWEEN TWO 1 $\frac{1}{2}$ "X1 $\frac{1}{2}$ " LVL'S. SEE THE FRAMING ELEVATION FOR THE BOLTING PATTERN BETWEEN THE LVL'S AND THE STEEL PLATE. ALTERNATE BEAM 2 - W8X48 STEEL BEAM.
- F11 INFILL THE EXISTING WALL WITH SOLID CMU. USE CMU THAT MATCHES THE WIDTH OF THE EXISTING WALL. ATTACH THE NEW CMU TO THE EXISTING WALL WITH METAL TIES AT 16" O.C. CAULK THE JOINT BETWEEN THE NEW WALL AND THE EXISTING WALL WITH WATERSTOP RX BY CETCO.
- F12 REBUILD THE REAR WALL WITH 2X6 STUDS AT 16" O.C. CONTINUOUS FROM THE SILL PLATE TO THE EXISTING 1ST FLOOR FRAMING.
- F13 ATTACH THE 1ST STUD TO THE EXISTING WALL WITH $\frac{1}{4}''$ Ø SIMPSON TITEN SCREWS AT 12" O.C. AT THE EXISTING MASONRY WALL AND (2)#10 SCREWS AT 6" O.C. AT THE EXISTING WOOD WALL.
- F14 REPLACE THE EXISTING POST WITH A TRUE 6X6 WOOD POST. ATTACH THE POST TO THE EXISTING FRAMING WITH A SIMPSON LCE IN EACH DIRECTION.
- F15 PLACE SOLID BLOCKING AT 16" O.C. IN THE 1ST BAY.

APPROVED
Montgomery County
Historic Preservation Commission

Andrew W. ...

REVIEWED
By Dan.Bruechert at 9:26 am, Aug 15, 2023



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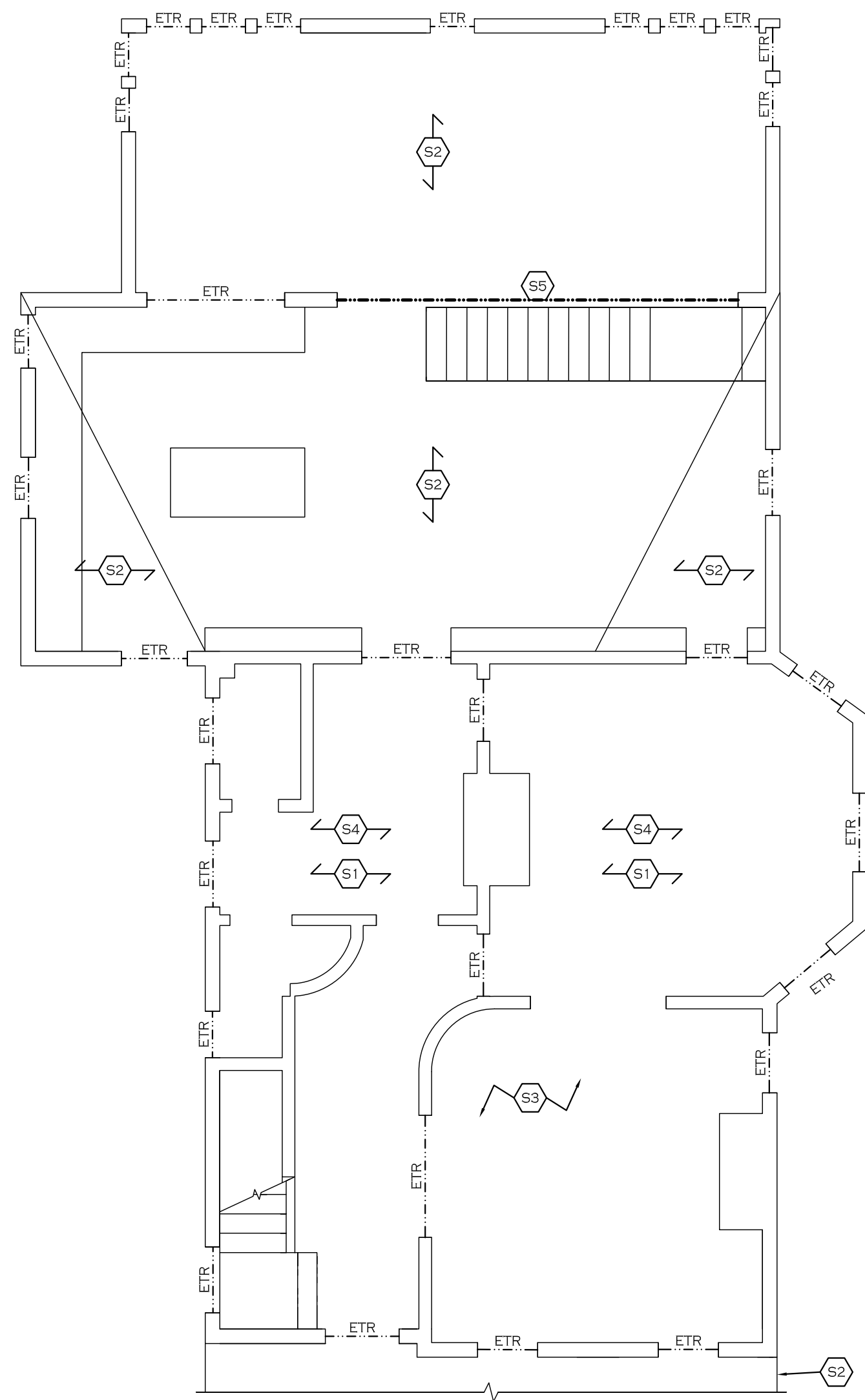
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Raskin Library
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1ST FLOOR
FRAMING PLAN

S002



2nd Floor Framing Plan

Scale: 1/8" = 1'-0"

- (S1) EXISTING 2ND FLOOR FRAMING UNCHANGED.
- (S2) EXISTING ROOF FRAMING UNCHANGED.
- (S3) EXISTING HIP ROOF AND GABLE ROOF FRAMING ABOVE UNCHANGED.
- (S4) EXISTING ATTIC FRAMING ABOVE UNCHANGED.
- (S5) NEW DROPPED 1"x9" STEEL FLITCH BEAM BETWEEN TWO 1 1/2"x9 1/2" LVL'S. SEE THE FRAMING ELEVATION FOR THE BOLTING PATTERN BETWEEN THE STEEL PLATE AND THE LVL'S. WHEN APPLICABLE, ATTACH THE EXISTING RAFTERS TO THE NEW BEAM WITH A SIMPSON H2.5A HURRICANE TIE.

FRAMING NOTES:

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20. PLACE A DOUBLE JOIST BELOW ALL WALLS THAT ARE PARALLEL TO THE FLOOR FRAMING. ALTERNATE: PLACE BLOCKING BETWEEN THE JOISTS BELOW THE WALLS AT 16" O.C.

APPROVED
 Montgomery County
 Historic Preservation Commission



REVIEWED
 By Dan.Bruechert at 9:26 am, Aug 15, 2023



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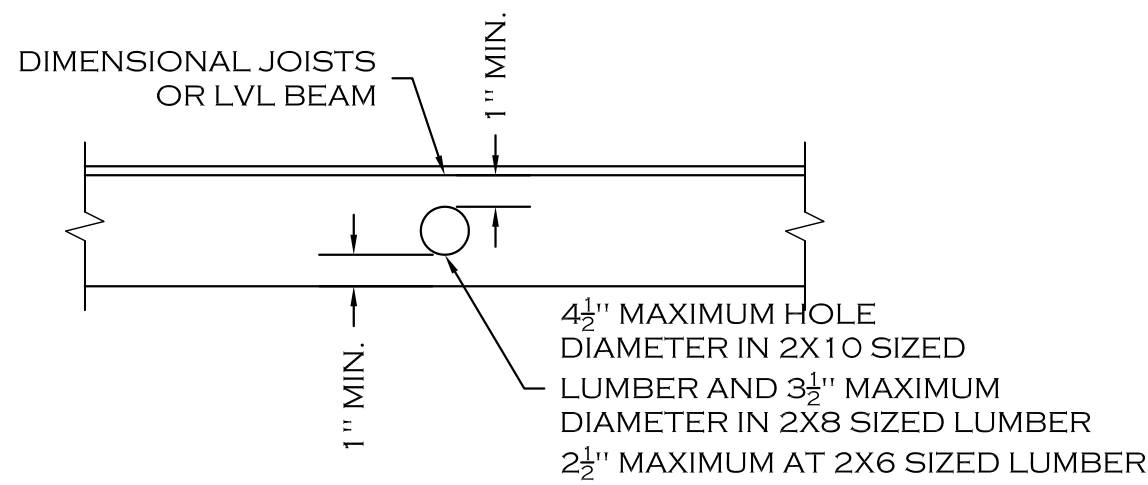
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2ND FLOOR
 FRAMING PLAN

S003



Typical Detail at Floor Joist/LVL Beam Holes

Scale: 3/4" = 1'-0"

Structural Notes

- All work and materials to comply with the requirements of the 2018 IBC and IRC codes as revised by Montgomery County
- Codes: the following design standards are applicable by reference:
TMS 402-2016 Building Code Requirements for Masonry Structures.
AWC NDS -2018 - Wood Frame Construction Manual for One and Two Family Dwellings.
ACI 318-14 Building Code Requirements for Reinforced Concrete
AISC - 360-16 Specifications for Steel Buildings.
- Foundations: footings, underpinning and slab on grades are designed to bear on native soil type SM or SC with an allowable bearing pressure of 2000 psf. A qualified soil-bearing inspector prior to placement of concrete shall verify all bearing values.
- Structural steel:
 - All structural steel, including detail material shall conform to ASTM A572 Fy = 50ksi, U.N.O.
 - All structural tubing shall conform to ASTM A500, grd.B
 - All steel pipe shall be ASTM A53, type E or S, grade B
 - All welders shop and field, shall be certified. Use E70xx electrodes only.
 - All steel exposed to weather and exterior masonry support shall receive one shop coat of corrosion-inhibiting primer.
 - Detailing, fabrication and erection shall be in accordance with AISC. Adequately brace all steel against lateral loads during erection.
 - All exterior structural steel shall receive rust preventative paint.
 - Connections:
 - All beam connections shall be simple shear connections, U.N.O. Where no reaction is provided, the beam shall be assumed to carry 120 % of the allowable uniform load in Kips for beams laterally supported, as given in the AISC steel construction manual.
 - Except as noted, all fasteners shall be 3/4" diameter ASTM A325 bolts, designed to act in bearing type connections with threads included.
- Lumber:
 - Lumber shall be SPF #2 with a min. Fb = 875psi Min. Fv = 135psi and min. E = 1,400,000psi.
 - LVL and PSL shall have a min. Fb = 2850psi; Fv = 285psi; E = 2,000,000psi.
 - Floor decking shall be 3/4" APA rated decking. Roof decking shall be 5/8" APA rated decking. Wall sheathing shall be 1/2" APA rated sheathing. Glue and screw the floor decking to the joists.
 - Interior wood walls shall be 2x4 studs at 16" O.C. and exterior walls shall be 2x6 studs at 16" O.C. with a double top plate and single bottom plate. Provide solid blocking at the midheight of each wall and at a minimum of 48" O.C. vertically.
 - Provide double joists under all walls that run parallel to floor framing.
 - Nail all multiple members together per the manufacturer's recommendations and at a minimum use 2-10d nails at 6" O.C. stagger sides that nails are driven from.
 - Provide bridging at center of all joist spans Exceeding 8'-0" and at 1/3 points of all joist spans exceeding 16'-0". Provide solid blocking at all bearing points on top of walls or beams.
 - Provide solid blocking below all wood posts.
 - All posts shall have Simpson Cap and Base Plates top.
 - All joists shall have Simpson Hangers where applicable.
 - Glue all multiple studs together. Nail together with 2-10d nails at 3" O.C. Stagger the sides of the studs that the nails are driven from.
 - All lumber in contact with masonry or concrete or within 8" of soil shall be pressure treated. All lumber to conform to IRC R317 and R318 for protection against corrosion and termite damage.
 - All lumber shall be kiln dried. Store lumber on site in such a manner as to prevent the seepage of water into the wood.
 - Wood Lintels shall be as follows:

Opening ≤ 3'-0" - 2-2x6
3'-0" < Opening ≤ 5'-0" - 2-2x8
5'-0" < Opening ≤ 8'-0" - 2-2x10
Greater than 8'-0" - See plans
- Fasteners:
 - All prefabricated angles, bearing plates, and joist hangers shall be installed per the manufacturer recommendations.
 - Concrete masonry units shall be hollow load bearing units (ASTM C90) grade n-1 with a net strength of 2000psi and F'm - 1500psi.
 - Masonry:
 - Masonry construction shall be in conformance with the applicable sections of TMS 402-2016, "Building Code Requirements for Masonry Structures."
 - Concrete masonry units shall be hollow load bearing units (ASTM C90) grade n-1 with a net strength of 2000psi and F'm - 1500psi.
 - All joints to be filled solid with mortar.
 - Mortar to comply with ASTM C270 (type M or S).
 - Provide corrugated masonry ties between brick facia and wood walls or cmu walls at 16" O.C. in each direction.
 - Provide 9ga truss style joint reinforcement @ 16" O.C. vertically.
 - Lintels shall be as follows:

Opening ≤ 3'-0" - L4x3 1/2 x 1/4 LLV/ 4" of wall
3'-0" < Opening ≤ 7'-0" - L6x3 1/2 x 5/16 LLV/ 4" of wall.
Opening > 7'-0" - See Plan
 - Cast in place concrete:
 - Concrete construction shall be in conformance with the applicable sections of ACI 318-14, "Part 3 - Construction Requirements."
 - Concrete shall have a minimum compressive strength at 28 days of 3000psi, UNO (unless noted otherwise).
 - All concrete shall be placed with a slump of 4" (± 1/2")
 - All concrete shall be normal weight, UNO.
 - All concrete exposed to weather shall have 6% +1% entrained air.
 - Contractor shall pour extra concrete to account for the deflection of the formwork to provide a flat finished surface.
 - Concrete cover for reinforcement shall be:

Columns and beams	1 1/2"
Slabs	3/4"
Footings	3"
- Reinforcement:
 - Reinforcing bars shall be deformed bars conforming to ASTM A615, grade 60 (Fy = 60ksi)
 - Welded wire fabric (wvf) shall conform to ASTM a185. Lap edges of wire fabric at least 6" in each direction.
- Dimensions: The contractor shall field verify all dimensions prior to fabrication of structural components.
- Coordination: The contractor shall coordinate all sleeves, duct openings and holes between trades. Any conduits or pipes embedded in concrete must be in accordance with ACI 318-14, chapter 6. Where sleeves are closely spaced in a group, the group shall be treated as an opening and reinforced accordingly. Submit drawings showing all opening sizes and locations for the approval by the structural engineer.

Dead Loads:

SPF #2 -	25 PCF
1/2" Decking -	1.7 PSF
3/4" Decking -	2.5 PSF
Asphalt Shingles -	2.5 PSF
Slate Shingles -	15 PSF
1/2" Drywall -	2.2 PSF
Insulation -	1.5 PSF
Siding -	2.0 PSF
CMU -	87 PCF
Brick -	130 PCF

LIVE LOADS:

DECK:	40PSF
ATTIC:	20PSF
FLOOR:	40PSF
BALCONY	60PSF
BEDROOM	40PSF
ROOF:	30PSF
WIND LOADS	
WIND SPEED:	Vult = 115mph; Vasd = 89mph
WIND LOAD IMPORTANCE FACTOR:	1.0
WIND EXPOSURE FACTOR:	B
WIND DESIGN PRESSURE:	11PSF
SNOW LOADS:	
GROUND SNOW LOAD (PG):	30PSF
FLAT ROOF SNOW LOAD (PF):	30PSF
SNOW EXPOSURE FACTOR (CE):	0.9
SNOW IMPORTANCE FACTOR (I):	1.0
Deflection Limitations:	
Rafters:	L/240
Interior Walls and Partitions:	H/180
Floors and Plastered Ceilings:	L/360
All Other Structural Members:	L/240
Ext. Walls with plaster or stucco finishes:	L/360
Ext. Walls - Wind Loads with Brittle Finishes:	L/240
Ext. walls - Wind Loads with Flexible Finishes:	L/120
SEISMIC DESIGN DATA:	
SEISMIC IMPORTANCE FACTOR (Ie):	1.0
SPECTRAL RESPONSE ACCELERATIONS:	
(Ss):	20.0%
(S1):	8.0%
SPECTRAL RESPONSE COEFFICIENTS:	
(Sds):	33%
(Sd1):	18.7%
SEISMIC DESIGN CATEGORY:	B
SEISMIC SITE CLASSIFICATION:	D
SEISMIC COEFFICIENT (Cs):	0.05
SEISMIC MODIFICATION FACTOR (R):	6.5
BASE SHEAR:	1.8k
ANALYSIS PROCEDURE:	EQUIV. LATERAL FORCE
BASIC SFRS:	LIGHT FRAMED WALLS

APPROVED
Montgomery County
Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 9:26 am, Aug 15, 2023

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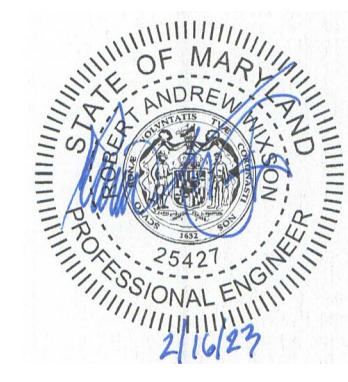
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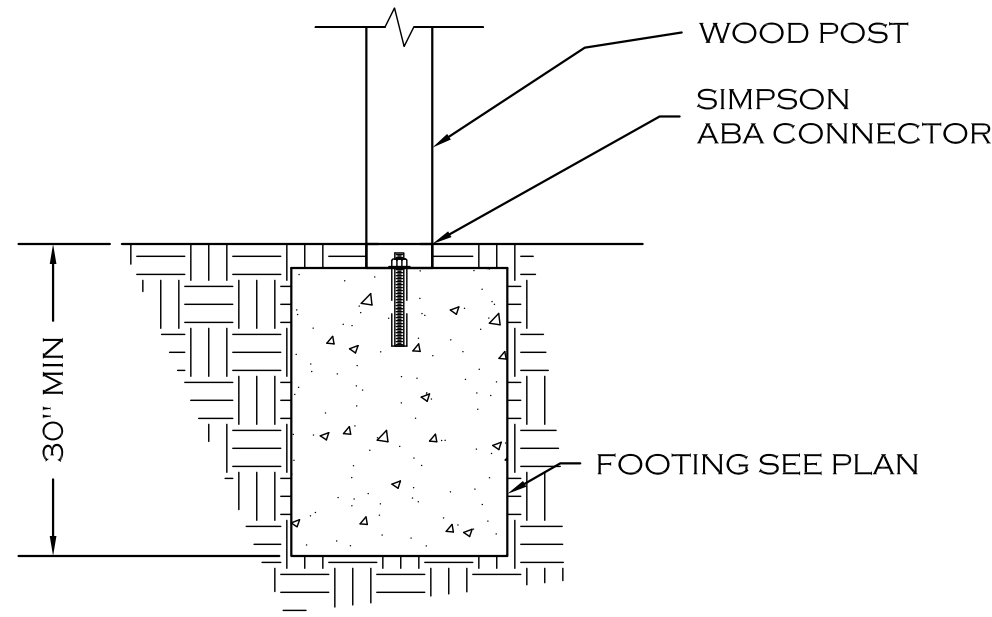
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STRUCTURAL
NOTES AND
DETAILS

S200

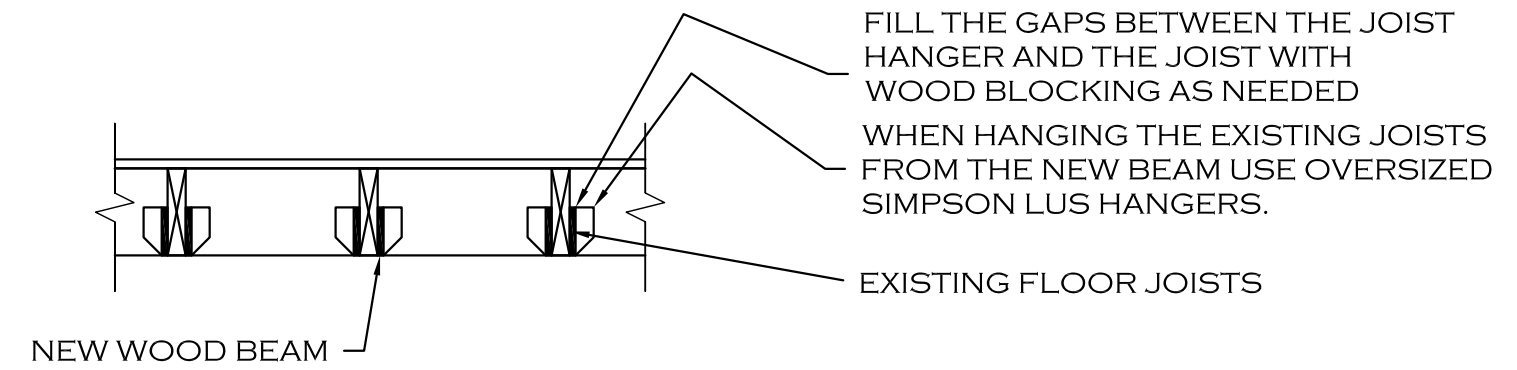


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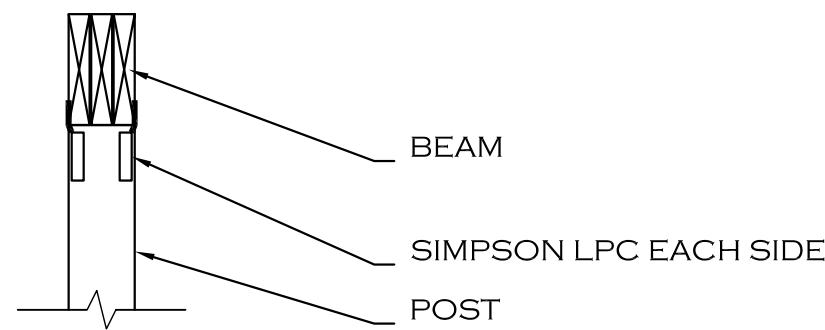
Typical Post to Footing Detail

Scale: $\frac{3}{4}" = 1'-0"$

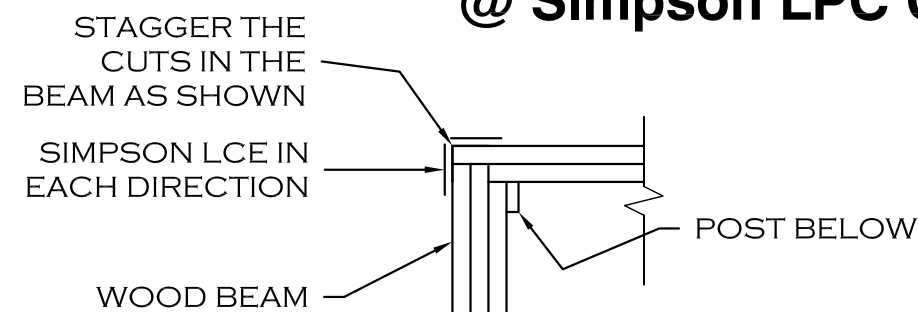


Typical Ex. Joist to New Beam Detail

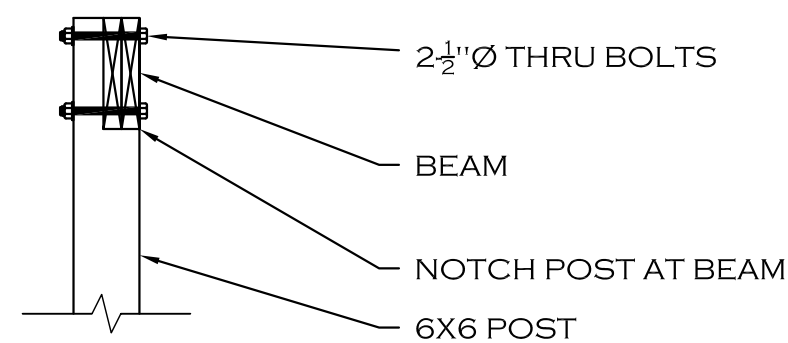
Scale: $\frac{3}{4}" = 1'-0"$



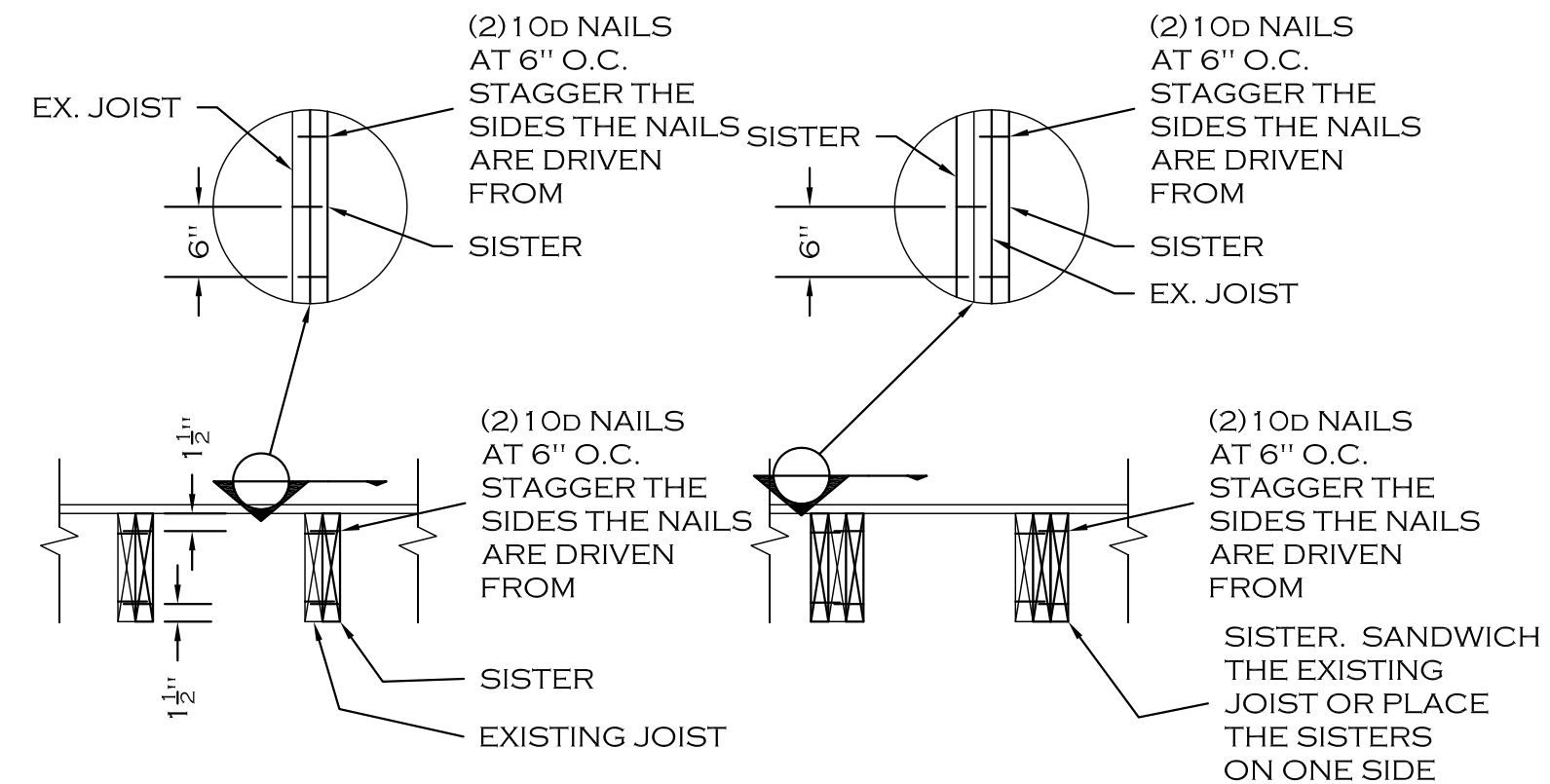
@ Simpson LPC Connectors



@ Corners



@ Simpson Notched and Bolted



@Single Sister

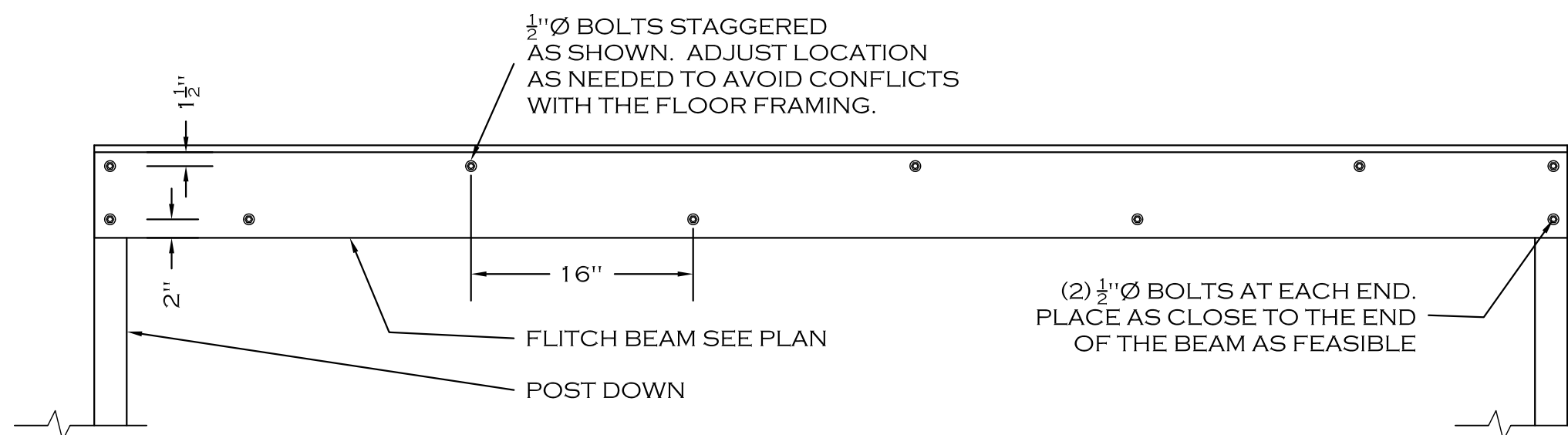
@Double Sister

Typical Sistering Details

Scale: NTS

Typ. Wood Post To Beam Details

Scale: $\frac{3}{4}" = 1'-0"$



Typical Fitchbeam Framing Elevation

Scale: NOT TO SCALE



REVIEWED
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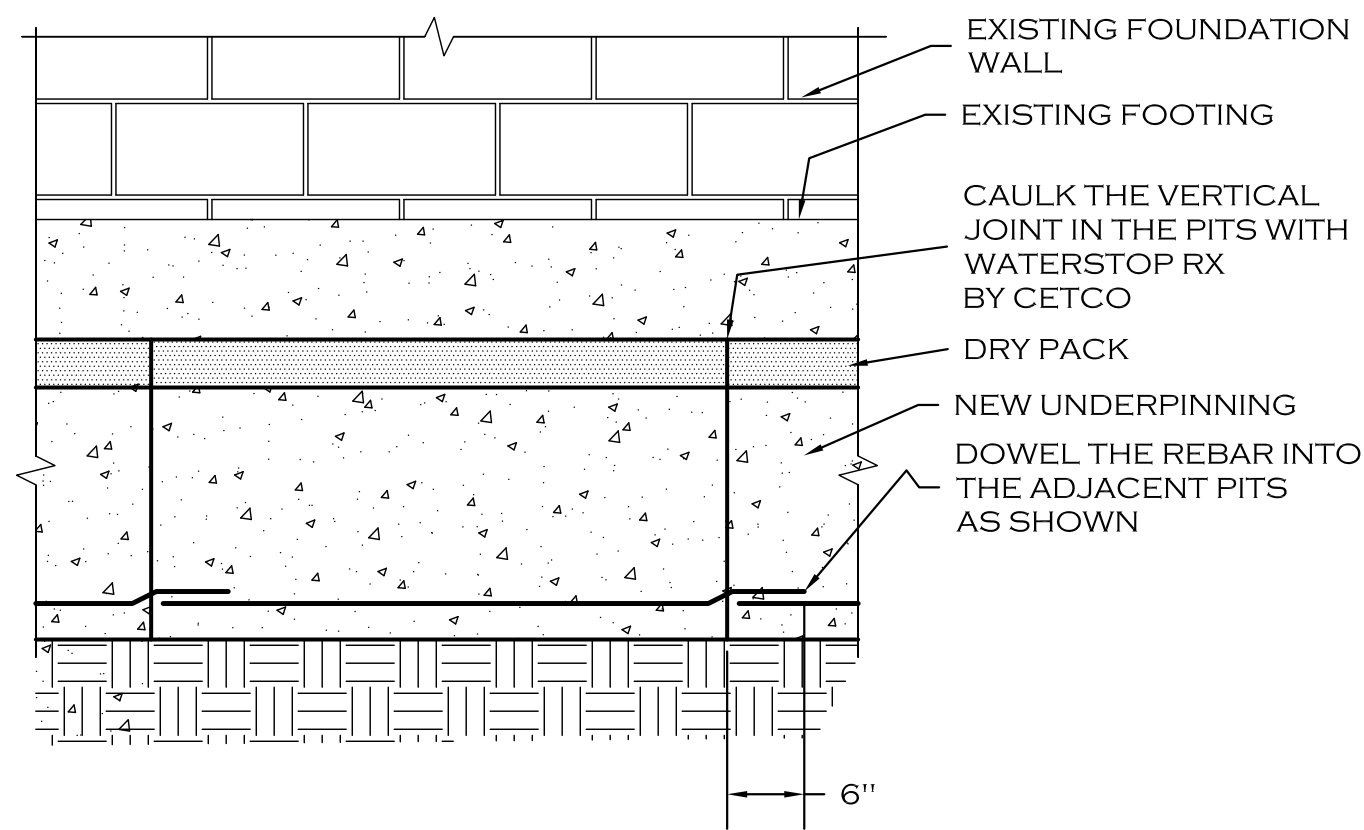
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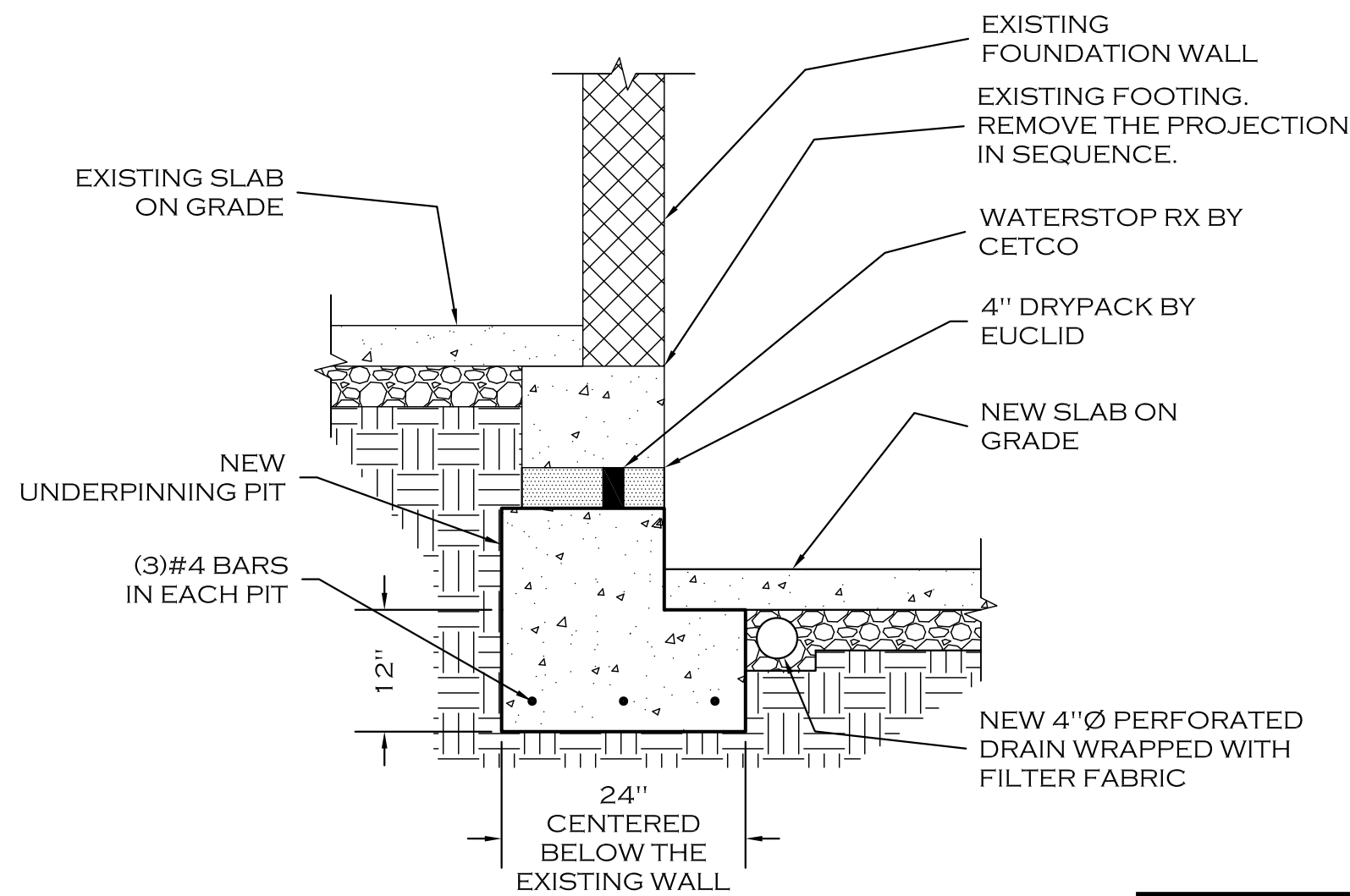
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STRUCTURAL
DETAILS

S201



SECTION 1
SCALE: 3/4" = 1'-0" S202

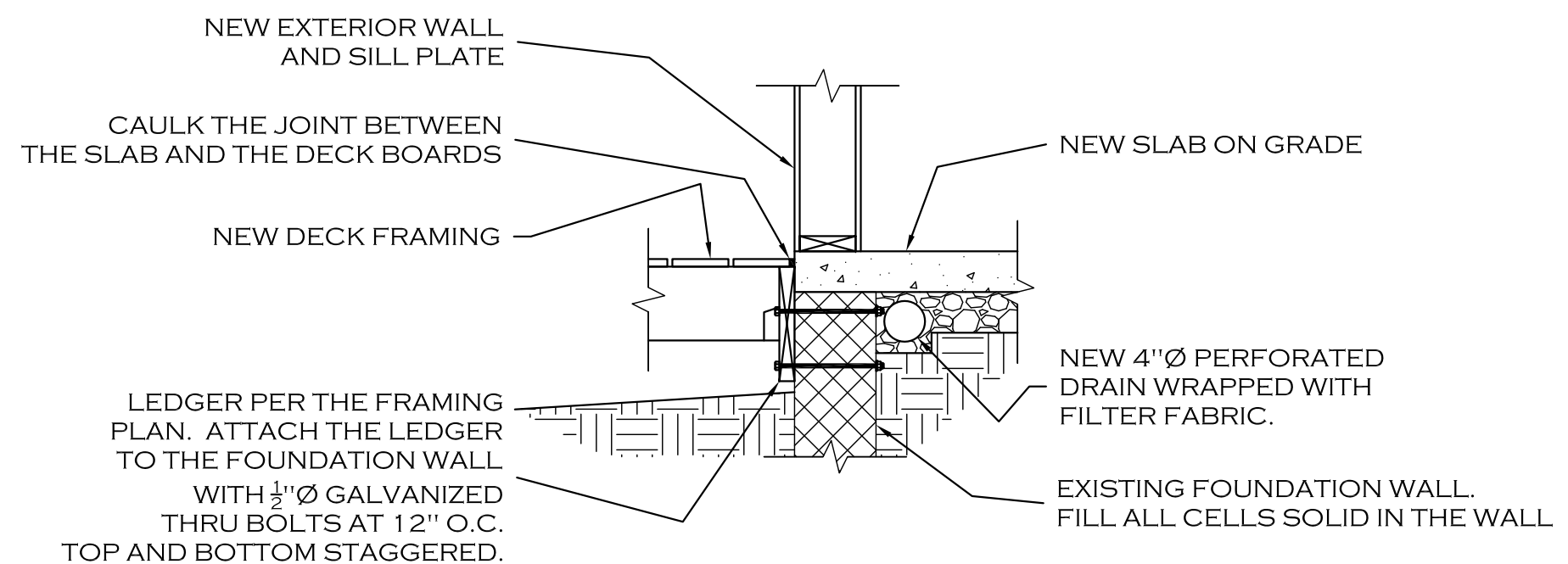


SECTION 2
SCALE: 3/4" = 1'-0" S202

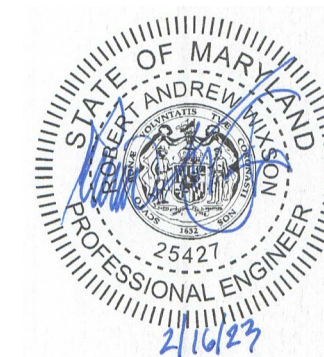
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REVIEWED
By Dan.Bruechert at 9:26 am, Aug 15, 2023



Detail at Key Note 13
Scale: 3/4" = 1'-0"



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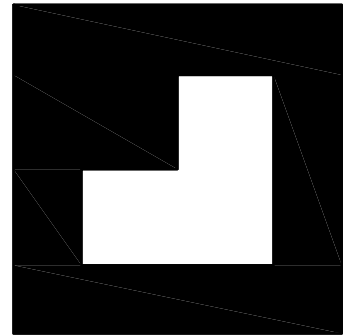
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STRUCTURAL
DETAILS

S202



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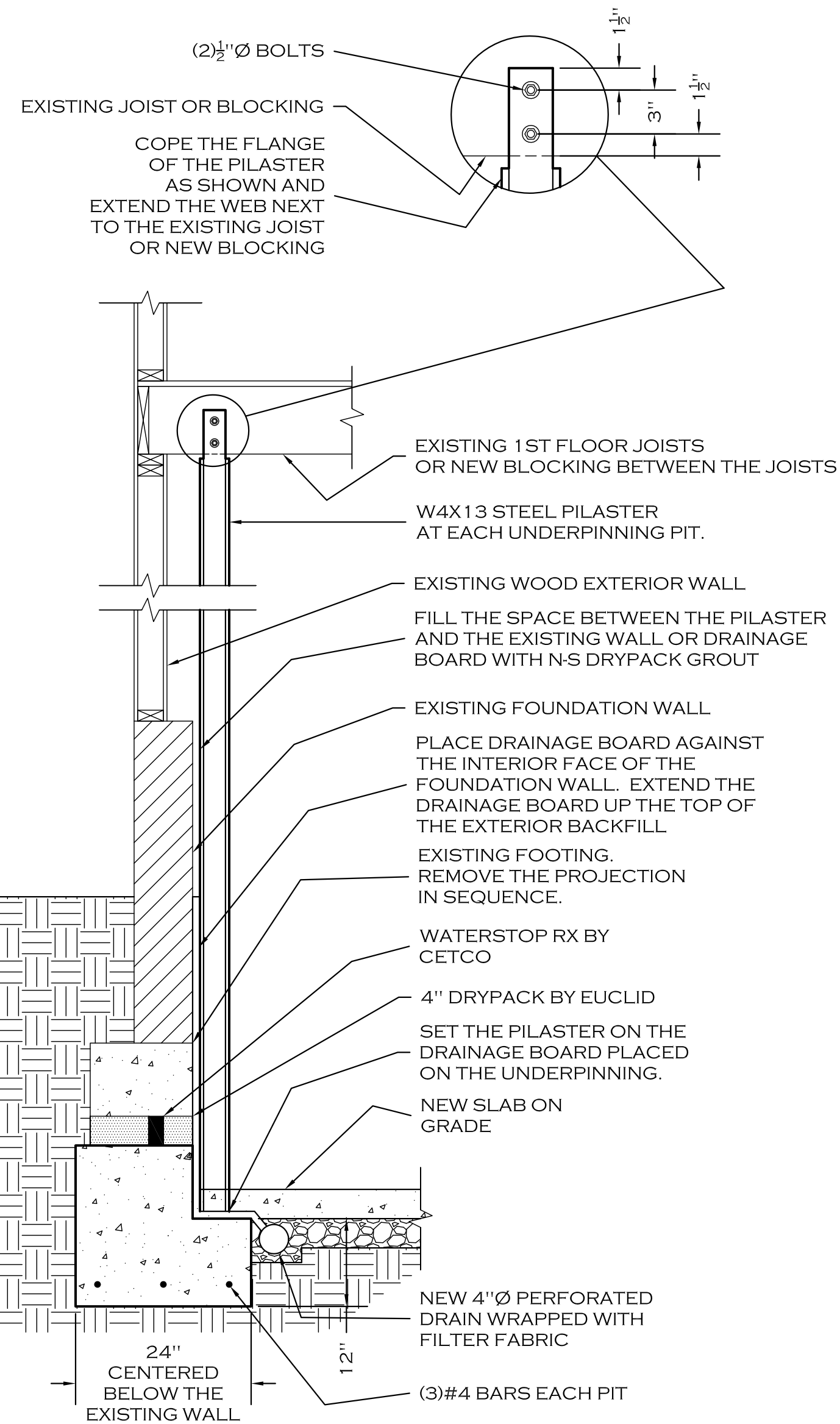
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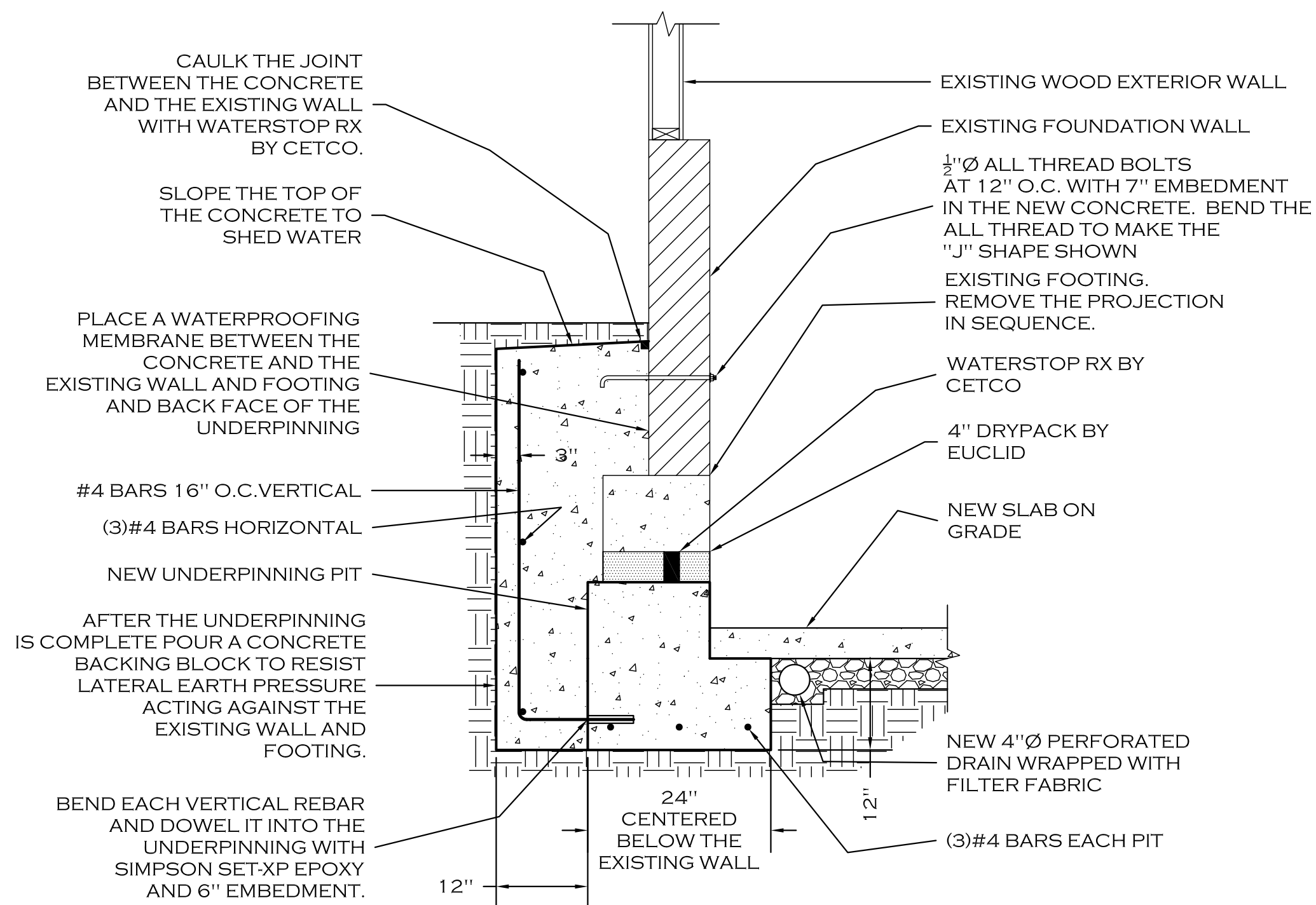
S203



ALTERNATE
 SECTION 3
 SCALE: 3/4" = 1'-0" S203



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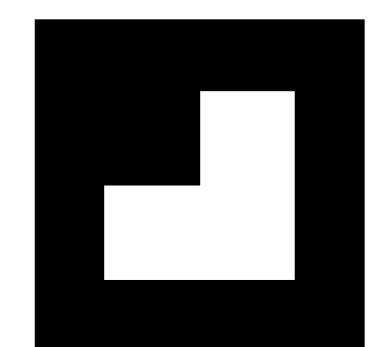
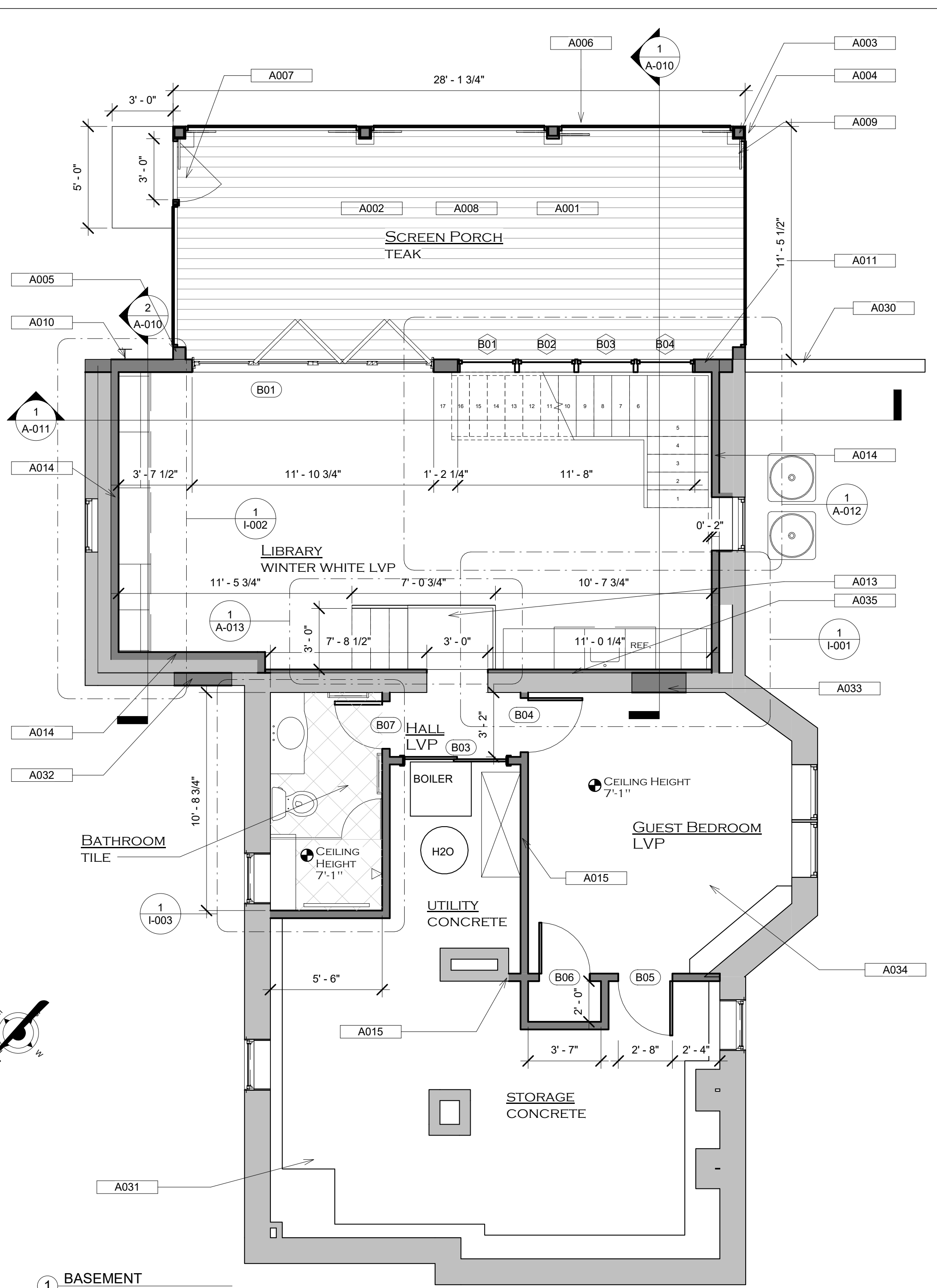
SECTION 3
 SCALE: 3/4" = 1'-0" S203

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Robert A. Votaw

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 By Dan.Bruechert at 9:26 am, Aug 15, 2023

Keynote Legend	
Key Value	Keynote Text
A001	PORCH FRAMING TO HAVE 4" AIR GAP AND 2" LOOSE GRAVEL
A002	NEW 1X BEADED T&G CEILING, COLOR TBD
A003	NEW 6X6 COLUMN. ATTACHMENT PER STRUCTURAL ENGINEER
A004	NEW AZEK COMPOSITE COLUMN WRAP AT ALL COLUMNS
A005	FALSE COLUMNS TO ATTACH SCREENS WHERE PORCH MEETS HOUSE
A006	NEW INSECT SCREENING. PANELS TO FILL OPENING WITH NO MULLIONS
A007	NEW 36"x81" LARSEN 360-48 HINGED PREMIUM SCREEN DOOR, WHITE ALUMINUM, STANDARD SCREEN.
A008	NEW WOOD DECKING, SPECIES TBD. LAY INSECT SCREENING BETWEEN THE DECKING AND THE FRAMING.
A009	REINSTALL EXISTING CORBELL BRACKETS
A010	RELOCATE HOSE BIB
A011	NEW 2X6 REAR WALL OF HOUSE. INSULATE TO R20 W/ OPEN CELL SPRAY FOAM
A013	NEW CLOSED RISER STAIR. SEE STAIR DETAILS ON SHEET A013
A014	FRAME SIDE AND FRONT EXTERIOR WALLS OF LIBRARY WITH NEW 2X4 FRAMING TO INSIDE OF EXPOSED FOUNDATION WALL, CREATING AN AIR GAP BETWEEN THE NEW FRAMING AND THE EXISING WOOD FRAME WALL. INSULATE NEW WALL ASSEMBLY TO R20 W/ OPEN CELL SPRAY FOAM INSULATION.
A015	ALIGN EDGE OF WALL WITH EDGE OF CHIMNEY
A030	NEW DRY STACK RETAINING WALL TO MITIGATE CHANGE IN GRADE. REGRADE AREA TO DIRECT WATER AWAY FROM HOUSE AND NEW DECK
A031	NEW CEILING/FLOOR FRAMING AT EXISTING STAIR OPENING. PATCH DRYWALL AS NEEDED.
A032	INFILL WALL AND PATCH SIDING AT DOOR OPENING. USE EXISTING SIDING FROM REAR WALL OF BASEMENT IF POSSIBLE.
A033	INFILL MASONRY WALL WITH NEW FRAMING
A034	NEW GWB AT ALL WALLS OF GUEST BEDROOM
A035	NEW 2X4 FRAMING W/ NEW GWB



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BASEMENT PLAN

A-001

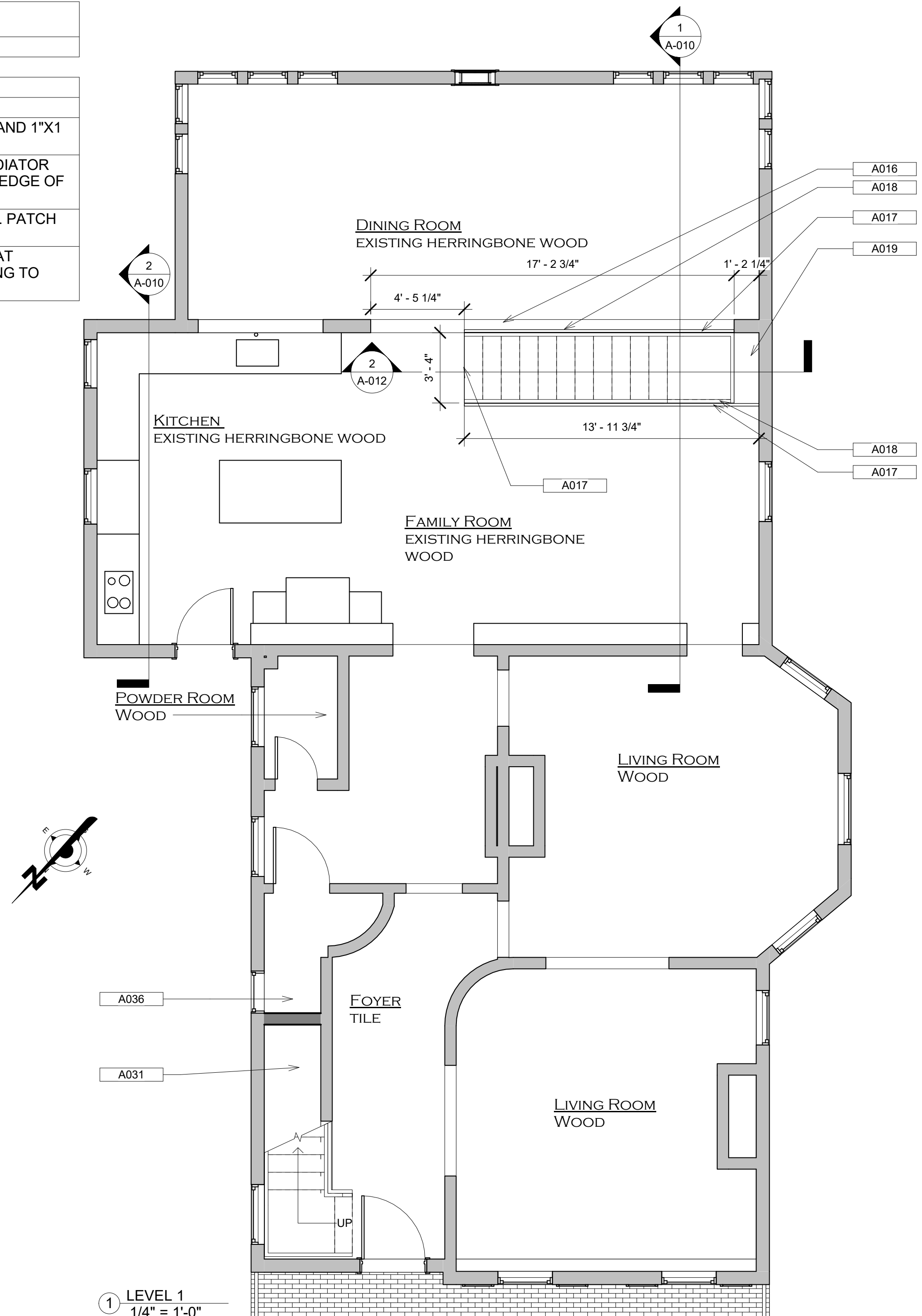
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1 BASEMENT
 1/4" = 1'-0"

Keynote Legend	
Key Value	Keynote Text
A016	ENLARGED WALL OPENING
A017	NEW NOSING AT STAIR OPENING
A018	NEW FRRAMELESS GLASS RAILING W/ WHITE BOTTOM RAIL AND 1"X1 1/2" WHITE OAK WOOD CAP
A019	EXISTING FLOOR W/ NEW NOSING TO HOLD RELOCATED RADIATOR AND COVER NEW WALL FURRING BELOW. ALIGN NOSING W/ EDGE OF NEW GWB
A031	NEW CEILING/FLOOR FRAMING AT EXISTING STAIR OPENING. PATCH DRYWALL AS NEEDED.
A036	INSTALL NEW PREFINISHED TURNBOARD WOOD FLOORING AT EXPOSED PORTION OF NEW FLOOR FRAMING. NEW FLOORING TO RESEMBLE EXISTING AS CLOSELY AS POSSIBLE.

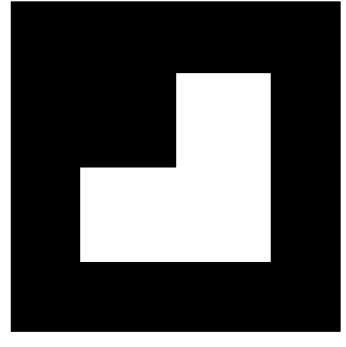


① LEVEL 1
1/4" = 1'-0"

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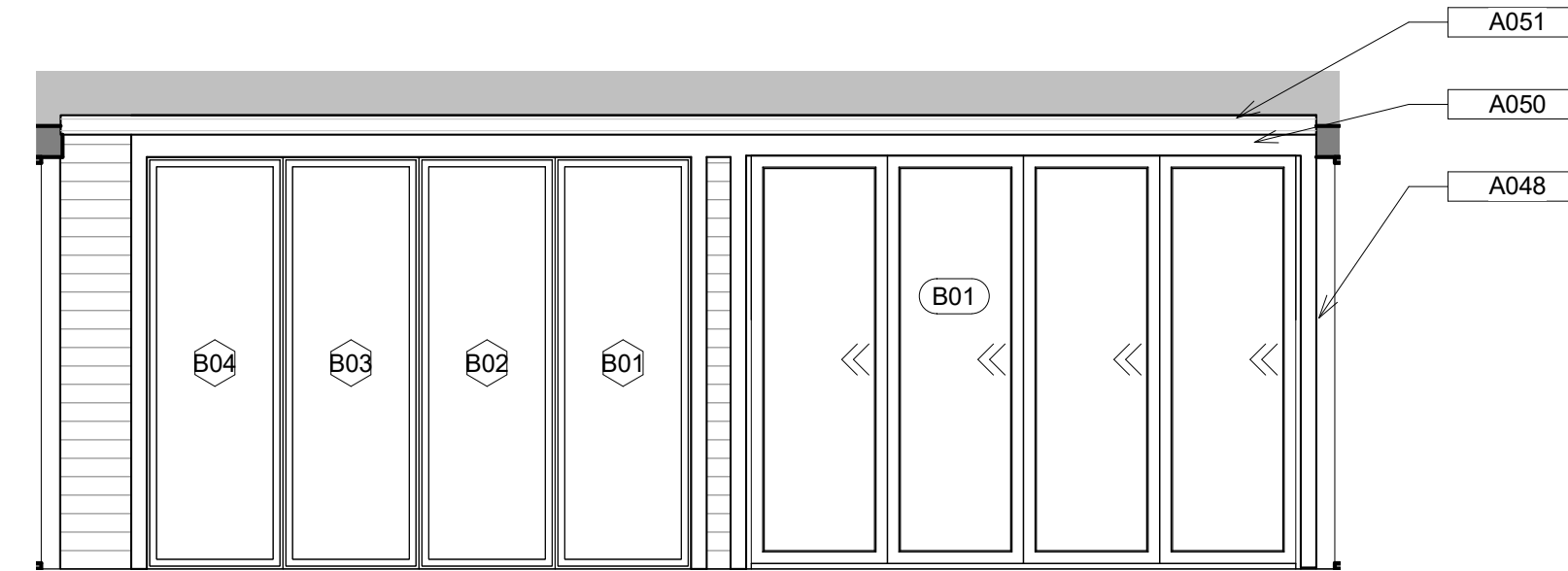
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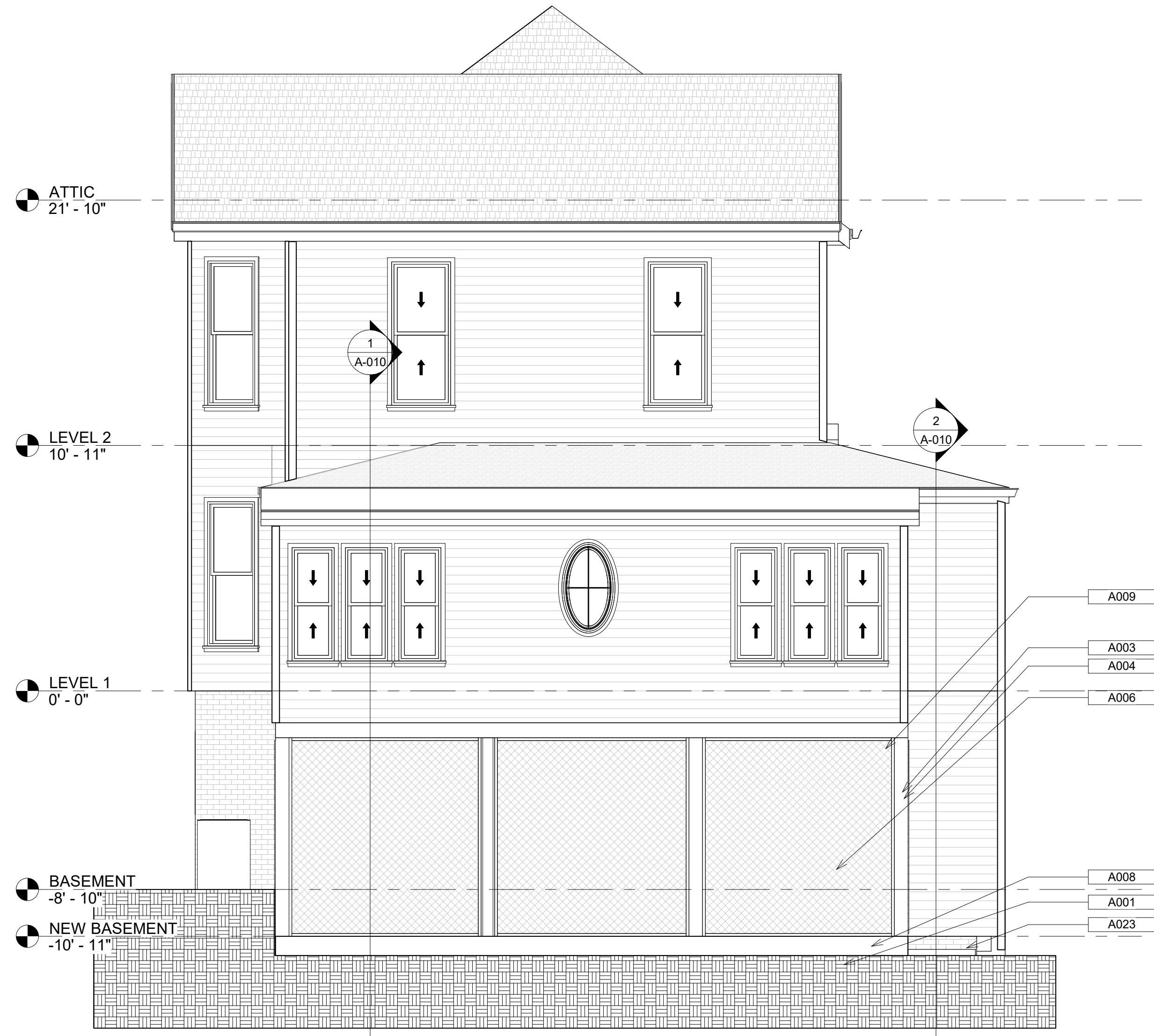
FIRST FLOOR PLAN

A-002

Keynote Legend	
Key Value	Keynote Text
A001	PORCH FRAMING TO HAVE 4" AIR GAP AND 2" LOOSE GRAVEL
A003	NEW 6X6 COLUMN. ATTACHMENT PER STRUCTURAL ENGINEER
A004	NEW AZEK COMPOSITE COLUMN WRAP AT ALL COLUMNS
A006	NEW INSECT SCREENING. PANELS TO FILL OPENING WITH NO MULLIONS
A008	NEW WOOD DECKING, SPECIES TBD. LAY INSECT SCREENING BETWEEN THE DECKING AND THE FRAMING.
A009	REINSTALL EXISTING CORBELL BRACKETS
A023	NEW SLAB STEP FOR SCREENED PORCH
A048	5/4"x4" AZEK WINDOW & DOOR TRIM
A050	5/4"AZEK TRIM BOARD CUT DOWN TO FILL SPACE BETWEEN DOOR/WINDOWS AND CEILING
A051	AZEK AZM-45 6" CROWN



② EAST ELEVATION DETAIL
1/4" = 1'-0"

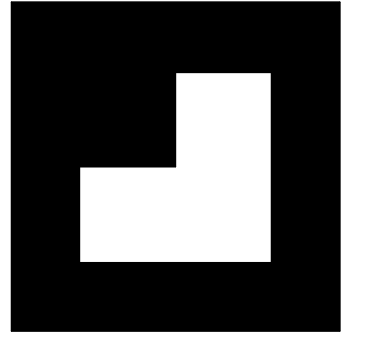


① EAST ELEVATION
1/4" = 1'-0"

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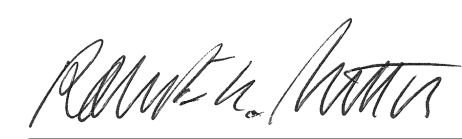
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PROPOSED ELEVATION

A-004

Keynote Legend	
Key Value	Keynote Text
A001	PORCH FRAMING TO HAVE 4" AIR GAP AND 2" LOOSE GRAVEL
A003	NEW 6X6 COLUMN. ATTACHMENT PER STRUCTURAL ENGINEER
A004	NEW AZEK COMPOSITE COLUMN WRAP AT ALL COLUMNS
A005	FALSE COLUMNS TO ATTACH SCREENS WHERE PORCH MEETS HOUSE
A006	NEW INSECT SCREENING. PANELS TO FILL OPENING WITH NO MULLIONS
A008	NEW WOOD DECKING, SPECIES TBD. LAY INSECT SCREENING BETWEEN THE DECKING AND THE FRAMING.
A009	REINSTALL EXISTING CORBELL BRACKETS
A030	NEW DRY STACK RETAINING WALL TO MITIGATE CHANGE IN GRADE. REGRADE AREA TO DIRECT WATER AWAY FROM HOUSE AND NEW DECK
A049	5/4"x10" AZEK TRIM BOARD AT EXISTING BEAM

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1 SOUTH ELEVATION
 1/4" = 1'-0"

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PROPOSED ELEVATION

A-005

Keynote Legend	
Key Value	Keynote Text



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**PROPOSED
 ELEVATION**

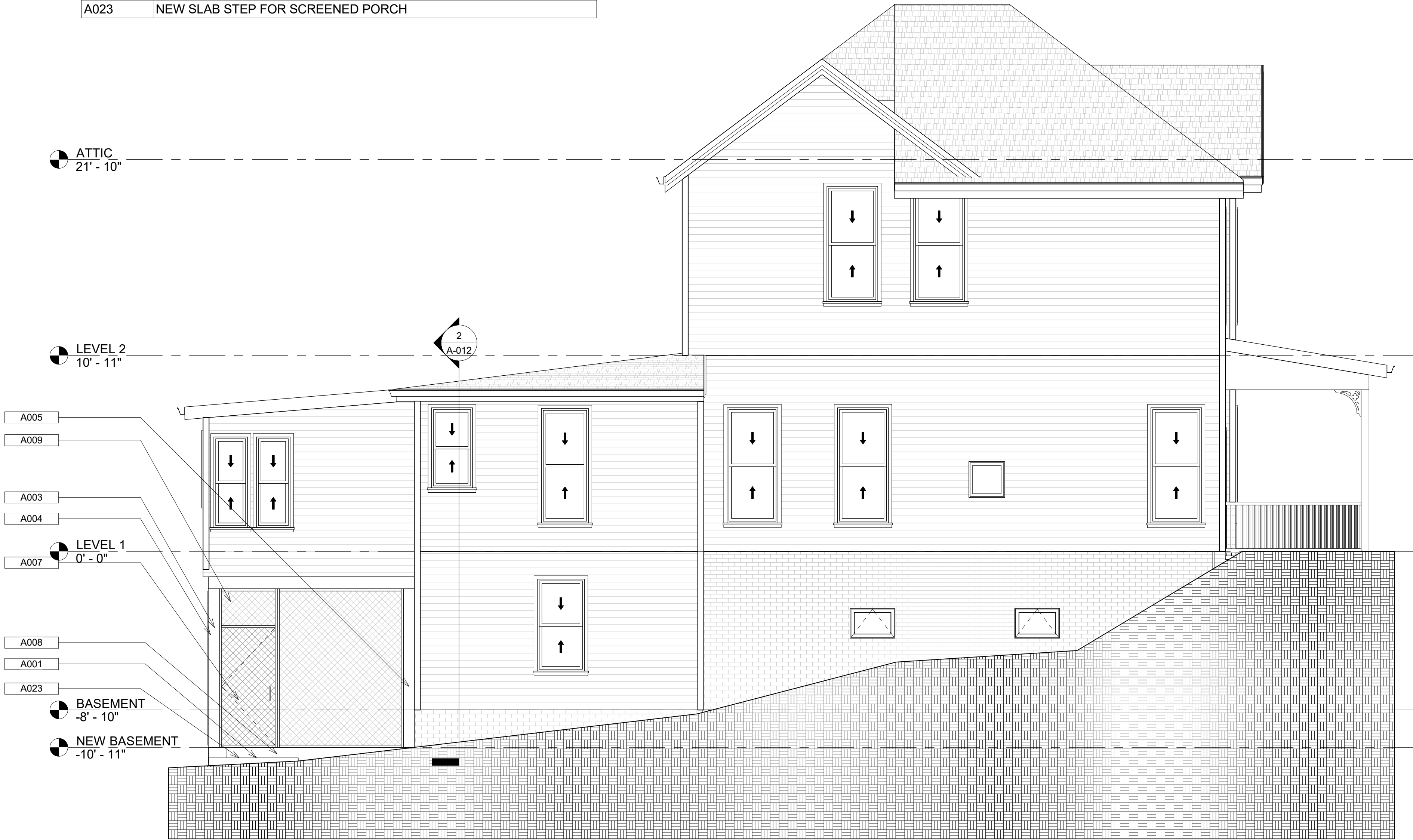
A-006

Keynote Legend	
Key Value	Keynote Text
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A003	NEW 6X6 COLUMN. ATTACHMENT PER STRUCTURAL ENGINEER
A004	NEW AZEK COMPOSITE COLUMN WRAP AT ALL COLUMNS
A005	FALSE COLUMNS TO ATTACH SCREENS WHERE PORCH MEETS HOUSE
A007	NEW 36"x81" LARSEN 360-48 HINGED PREMIUM SCREEN DOOR, WHITE ALUMINUM, STANDARD SCREEN.
A008	NEW WOOD DECKING, SPECIES TBD. LAY INSECT SCREENING BETWEEN THE DECKING AND THE FRAMING.
A009	REINSTALL EXISTING CORBELL BRACKETS
A023	NEW SLAB STEP FOR SCREENED PORCH

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1 NORTH ELEVATION
 1/4" = 1'-0"

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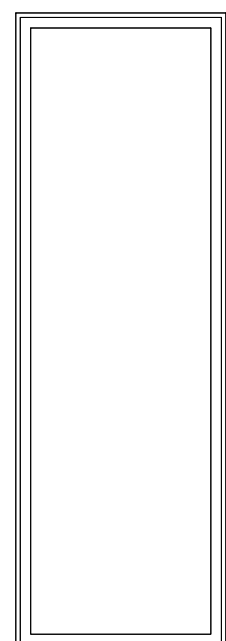
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PROPOSED ELEVATION

A-007

Window Schedule

Mark	Type Mark	Window Location	Width	Height	Sill Height	Type Comments	Manufacturer	Model	Finish	HARDWARE	U Value	SHG C	Egress	Tempered	GRILLS
B01	A	LIBRARY	2' - 11"	8' - 10"	0' - 0"	FIXED	WEATHERSHEILD	PREMIUM SERIES	WHITE	N/A			No		
B02	A	LIBRARY	2' - 11"	8' - 10"	0' - 0"	FIXED	WEATHERSHEILD	PREMIUM SERIES					No		
B03	A	LIBRARY	2' - 11"	8' - 10"	0' - 0"	FIXED	WEATHERSHEILD	PREMIUM SERIES					No		
B04	A	LIBRARY	2' - 11"	8' - 10"	0' - 0"	FIXED	WEATHERSHEILD	PREMIUM SERIES					No		

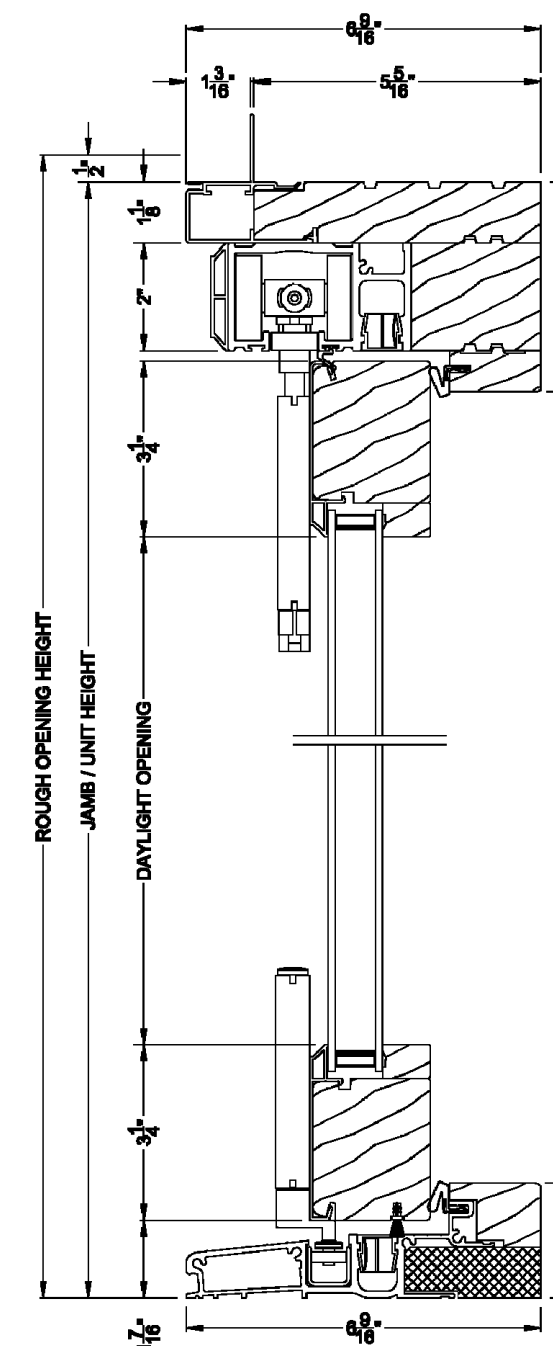


WINDOW LEGEND
3/8" = 1'-0"

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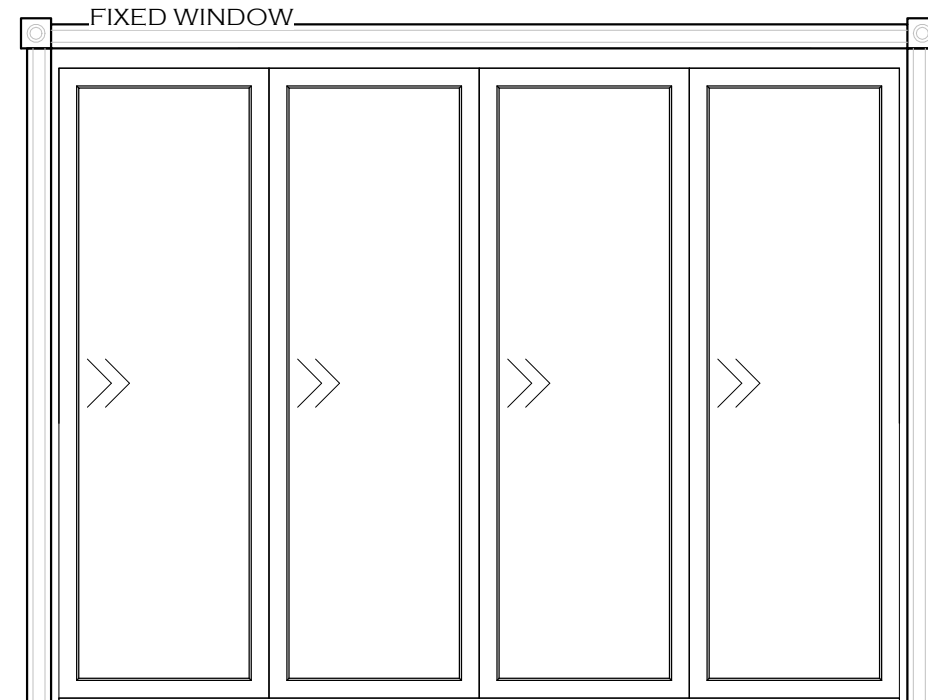


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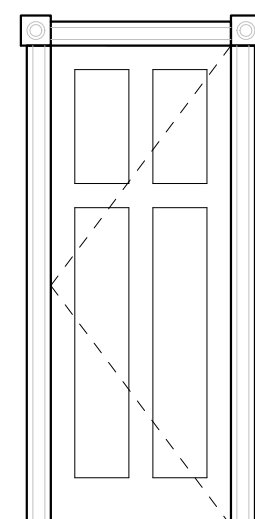


CONTEMPORARY BI-FOLD DOOR (8623)
Vertical Section - Standard Sill - 3-1/4" Bottom Rail

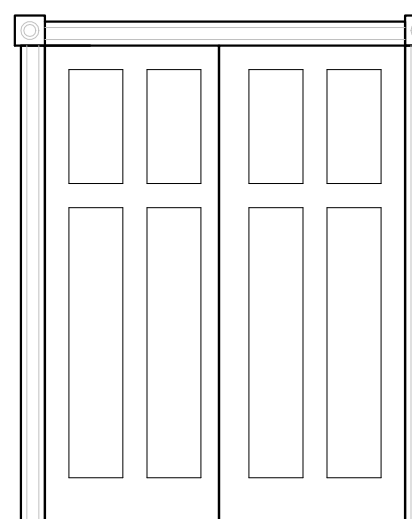
TYPE A
FIXED WINDOW



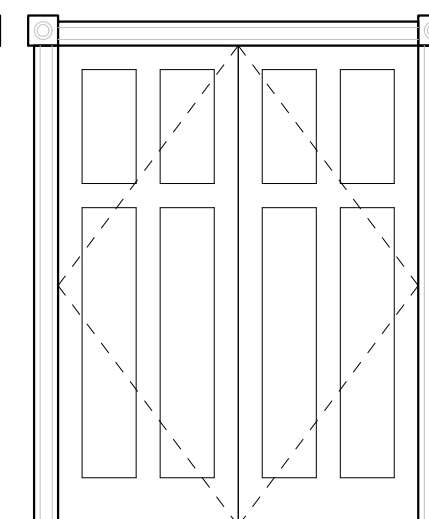
TYPE A
OUTSWING BIFOLD DOOR



TYPE B
4 PANEL SWING DOOR
SWING PER PLAN



TYPE C
4 PANEL BIFOLD DOOR



TYPE D
4 PANEL DOUBLE SWING DOOR

DOOR LEGEND
3/8" = 1'-0"

PER WEATHERSHIELD, THE PREMIUM SERIES DOORS MEET OR EXCEED THE AIR INFILTRATION STANDARD OF >.3CFM/FT2

Door Schedule

Mark	Type Mark	Location	Type Comments	Swing	Width	Height	Thickness	Manufacturer	Model	Door Finish	Hardware Manufacturer	Handle Type	Handle Model	Handle Finish	U Factor	SHGC-	Notes
B01	A	LIBRARY	BI-FOLD DOOR	RIGHT OUTSWING	11' - 10 21/32"	9' - 1 11/16"	0' - 6 9/16"	Weather Shield Mfg. Inc.	Bi-Fold Doors (8618)	UNSTAINED PINE/ WHITE	WEATHERSHEILD	INTEGRAL	ASHLAND SQUARE	BRIGHT BRASS			
B03	C	HALL	BYPASS DOOR	N/A	5' - 0"	6' - 8"	0' - 1 3/8"	MASONITE	4 PANEL ALTERNATE 4 (C422)	WHITE	EMTEK	DOOR PULL	ROUND FLUSH DOOR PULL 2011US4	SATIN BRASS			SQUARE STICKING
B04	B	BEDROOM	SWING DOOR	LEFT	2' - 8"	6' - 8"	0' - 1 3/8"	MASONITE	4 PANEL ALTERNATE 4 (C422)	WHITE	EMTEK	PRIVACY	WINDSOR KNOB W/ MODERN RECTANGULAR BACKPLATE	SATIN BRASS			SQUARE STICKING
B05	B	BEDROOM	SWING DOOR	LEFT	2' - 8"	6' - 8"	0' - 1 3/8"	MASONITE	4 PANEL ALTERNATE 4 (C422)	WHITE	EMTEK	PRIVACY	WINDSOR KNOB W/ MODERN RECTANGULAR BACKPLATE	SATIN BRASS			SQUARE STICKING
B06	B	BEDROOM	SWING DOOR	N/A	2' - 6"	6' - 8"	0' - 1 3/8"	MASONITE	C55 - 5 EQUAL PANEL	WHITE	EMTEK	DUMMY WITH BALL CATCH	WINDSOR KNOB W/ MODERN RECTANGULAR BACKPLATE	SATIN BRASS			SQUARE STICKING
B07	B	BATHROOM	SWING DOOR	RIGHT	2' - 4"	6' - 8"	0' - 2"	MASONITE	4 PANEL ALTERNATE 4 (C422)	WHITE	EMTEK	PRIVACY	WINDSOR KNOB W/ MODERN RECTANGULAR BACKPLATE	SATIN BRASS			SQUARE STICKING

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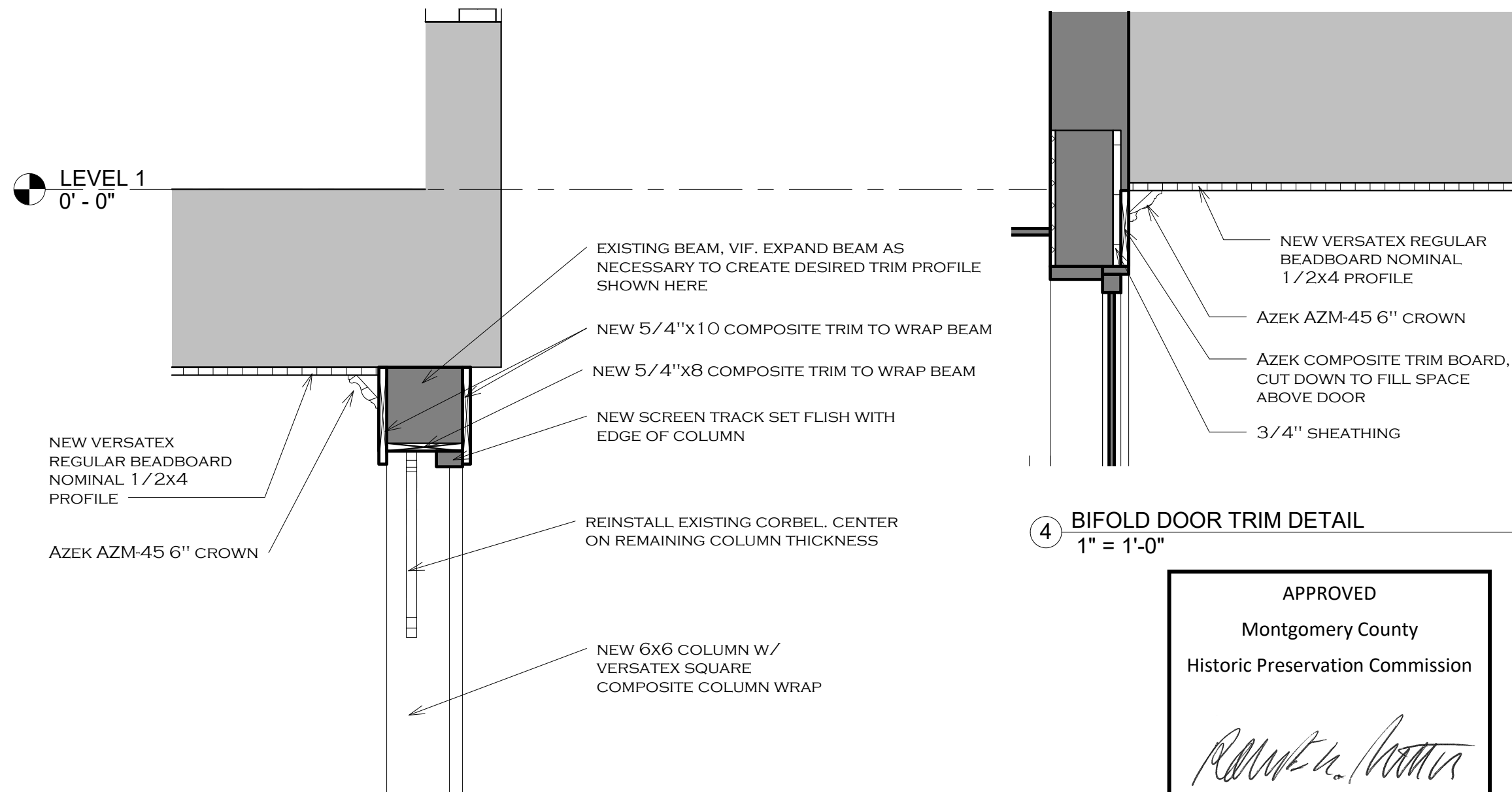
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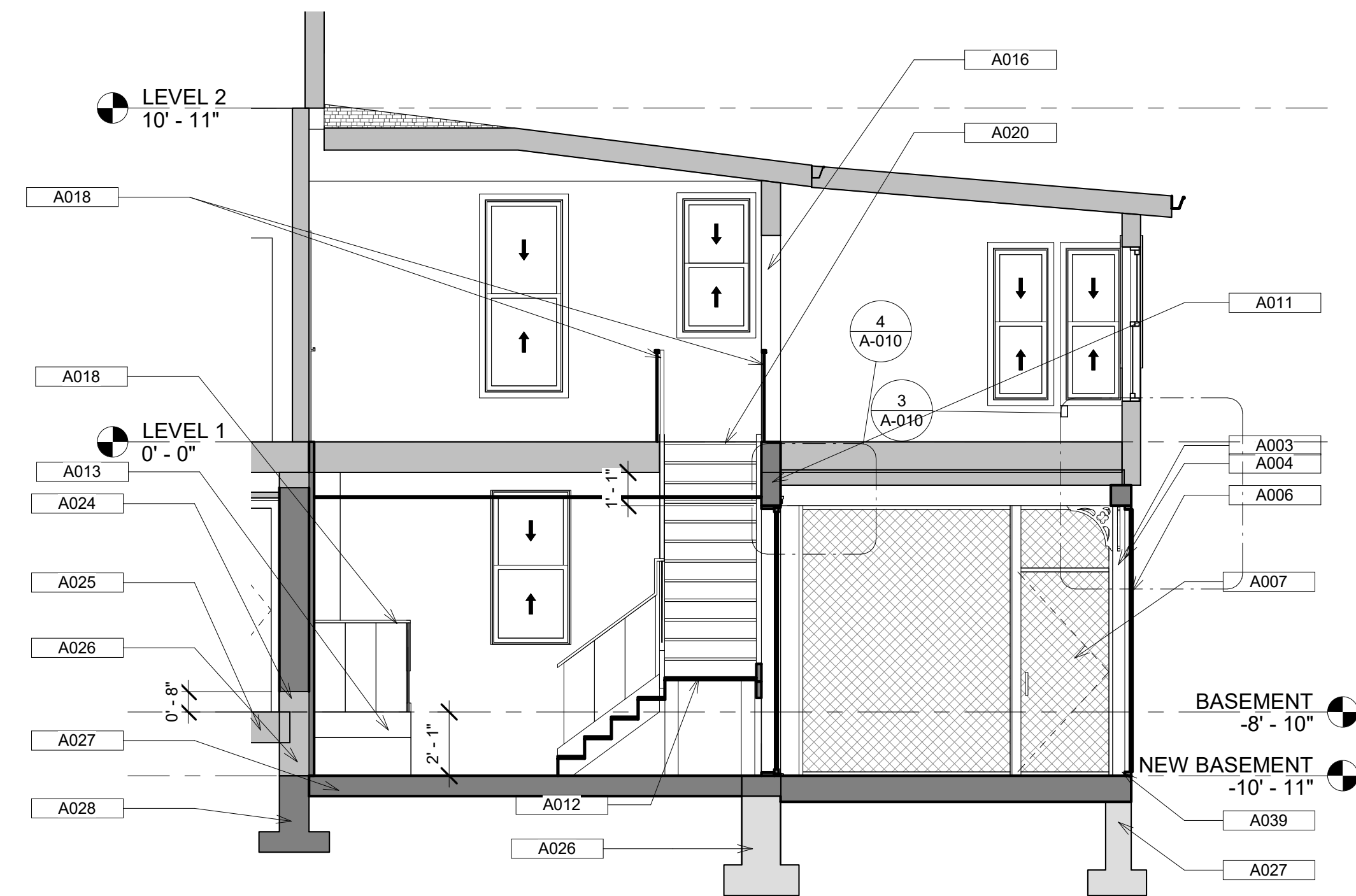
WINDOW AND DOOR SCHEDULE

A-008



3 SCREEN PORCH BEAM DETAIL
1" = 1'-0"

4 BIFOLD DOOR TRIM DETAIL
1" = 1'-0"



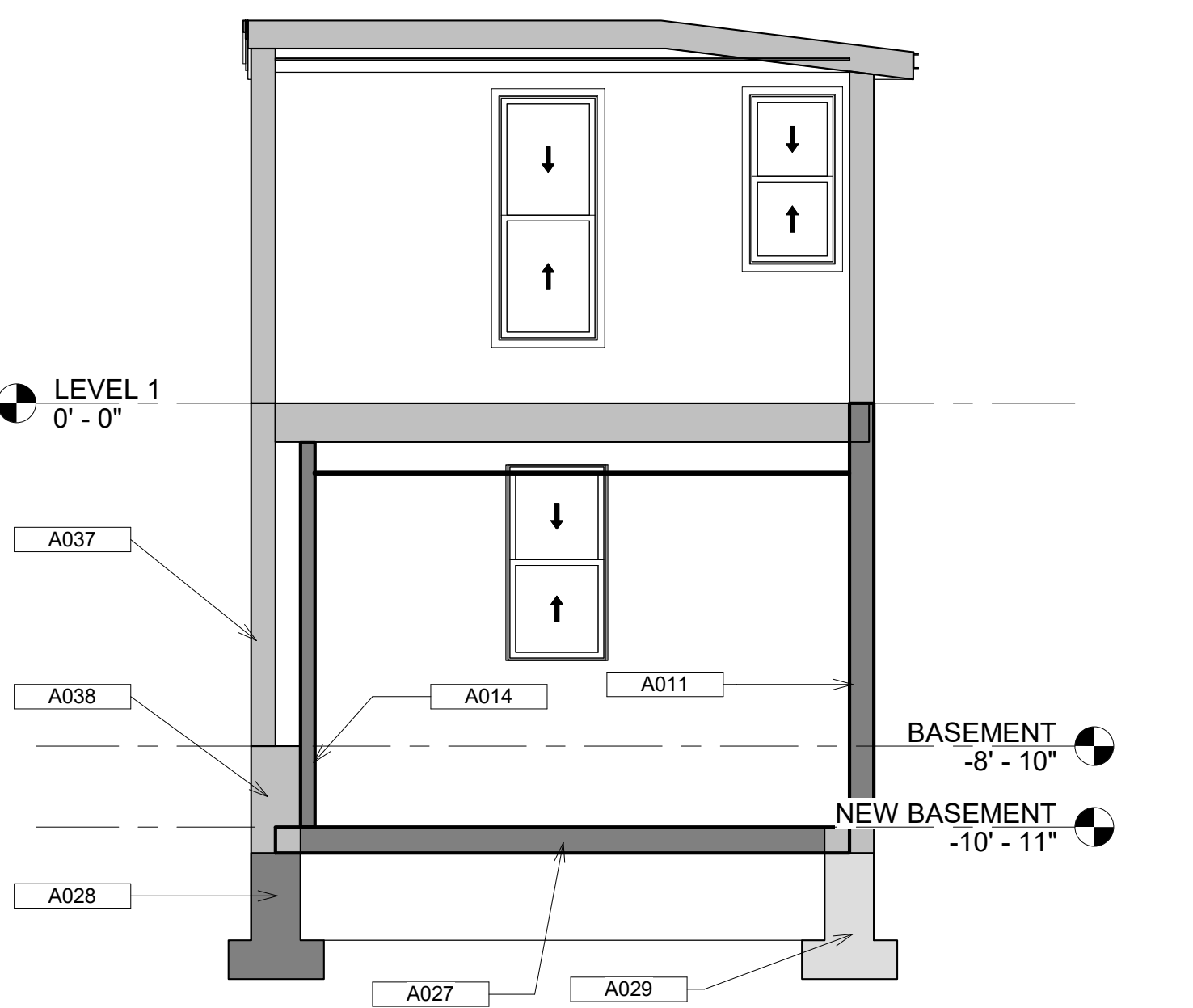
1 REAR CROSS SECTION
1/4" = 1'-0"

Keynote Legend	
Key Value	Keynote Text
A003	NEW 6X6 COLUMN. ATTACHMENT PER STRUCTURAL ENGINEER
A004	NEW AZEK COMPOSITE COLUMN WRAP AT ALL COLUMNS
A006	NEW INSECT SCREENING. PANELS TO FILL OPENING WITH NO MULLIONS
A007	NEW 36"x81" LARSEN 360-48 HINGED PREMIUM SCREEN DOOR, WHITE ALUMINUM, STANDARD SCREEN.
A011	NEW 2X6 REAR WALL OF HOUSE. INSULATE TO R20 W/ OPEN CELL SPRAY FOAM
A012	2" OAK STRINGER, PAINTED WHITE
A013	NEW CLOSED RISER STAIR. SEE STAIR DETAILS ON SHEET A013
A014	FRAME SIDE AND FRONT EXTERIOR WALLS OF LIBRARY WITH NEW 2X4 FRAMING TO INSIDE OF EXPOSED FOUNDATION WALL, CREATING AN AIR GAP BETWEEN THE NEW FRAMING AND THE EXISING WOOD FRAME WALL. INSULATE NEW WALL ASSEMBLY TO R20 W/ OPEN CELL SPRAY FOAM INSULATION.
A016	ENLARGED WALL OPENING
A018	NEW FRRAMELESS GLASS RAILING W/ WHITE BOTTOM RAIL AND 1"X1 1/2" WHITE OAK WOOD CAP
A020	NEW STAIR OPENING
A024	EXISTING REAR BASEMENT SLAB IS 8" ABOVE FRONT BASEMENT SLAB
A025	EXISTING FRONT BASEMENT SLAB TO REMAIN
A026	EXISTING FOUNDATION WALL
A027	NEW BASEMENT SLAB PER STRUCTURAL ENGINEER
A028	UNDERPINNING PER STRUCTURAL ENGINEER
A029	EXISTING POST FOOTING. CONFIRM POST FOOTING MEETS STRUCTURAL ENGINEER'S SPECIFICATIONS
A037	EXISTING 2X6 SIDING WALL OF HOUSE
A038	EXISTING BRICK AND BLOCK FOUNDATION WALL OF HOUSE. CUT EXISTING FOOTER WHERE IT PROTRUDES INTO THE NEW LOWER BASEMENT AREA (PER STRUCTURAL ENGINEER)
A039	NEW 1X COMPOSITE TRIM ABOVE DECKING TO ANCHOR SCREEN PORCH INTO

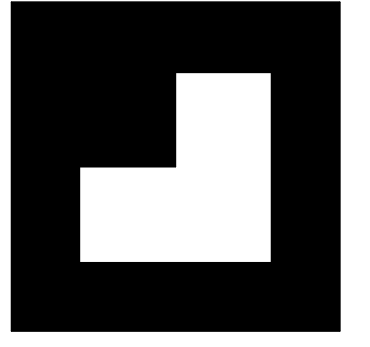
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Historic Preservation Commission



REVIEWED
By Dan.Bruechert at 9:27 am, Aug 15, 2023



2 LIBRARY CROSS SECTION
1/4" = 1'-0"



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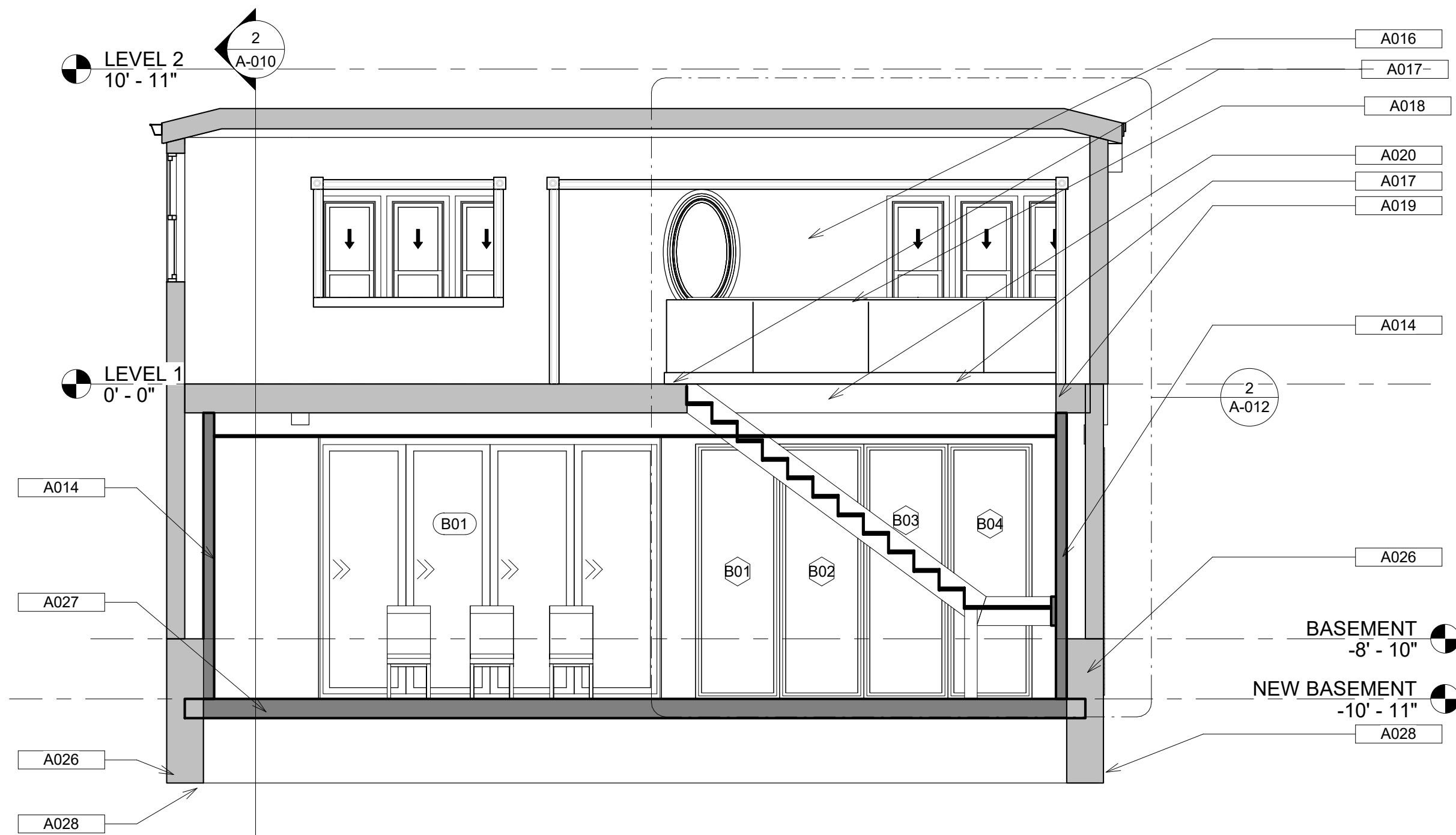
Phase	CONTRACT
Date	JULY 24, 2023
Scale	As indicated
Drawn By	Author
Revision	

Raskin Library
7209 Holly Ave, Takoma Park, MD
20912

SECTIONS

A-010

Keynote Legend	
Key Value	Keynote Text
A014	FRAME SIDE AND FRONT EXTERIOR WALLS OF LIBRARY WITH NEW 2X4 FRAMING TO INSIDE OF EXPOSED FOUNDATION WALL, CREATING AN AIR GAP BETWEEN THE NEW FRAMING AND THE EXISING WOOD FRAME WALL. INSULATE NEW WALL ASSEMBLY TO R20 W/ OPEN CELL SPRAY FOAM INSULATION.
A016	ENLARGED WALL OPENING
A017	NEW NOSING AT STAIR OPENING
A018	NEW FRAMELESS GLASS RAILING W/ WHITE BOTTOM RAIL AND 1"X1 1/2" WHITE OAK WOOD CAP
A019	EXISTING FLOOR W/ NEW NOSING TO HOLD RELOCATED RADIATOR AND COVER NEW WALL FURRING BELOW. ALIGN NOSING W/ EDGE OF NEW GWB
A020	NEW STAIR OPENING
A026	EXISTING FOUNDATION WALL
A027	NEW BASEMENT SLAB PER STRUCTURAL ENGINEER
A028	UNDERPINNING PER STRUCTURAL ENGINEER

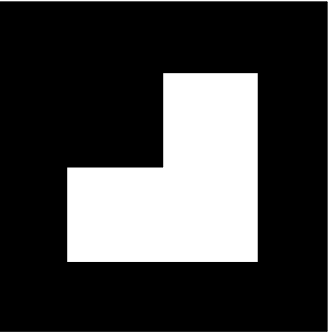


① REAR LOGINTUDINAL SECTION
1/4" = 1'-0"

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Robert H. Adams

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By Dan.Bruechert at 9:28 am, Aug 15, 2023



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SECTIONS

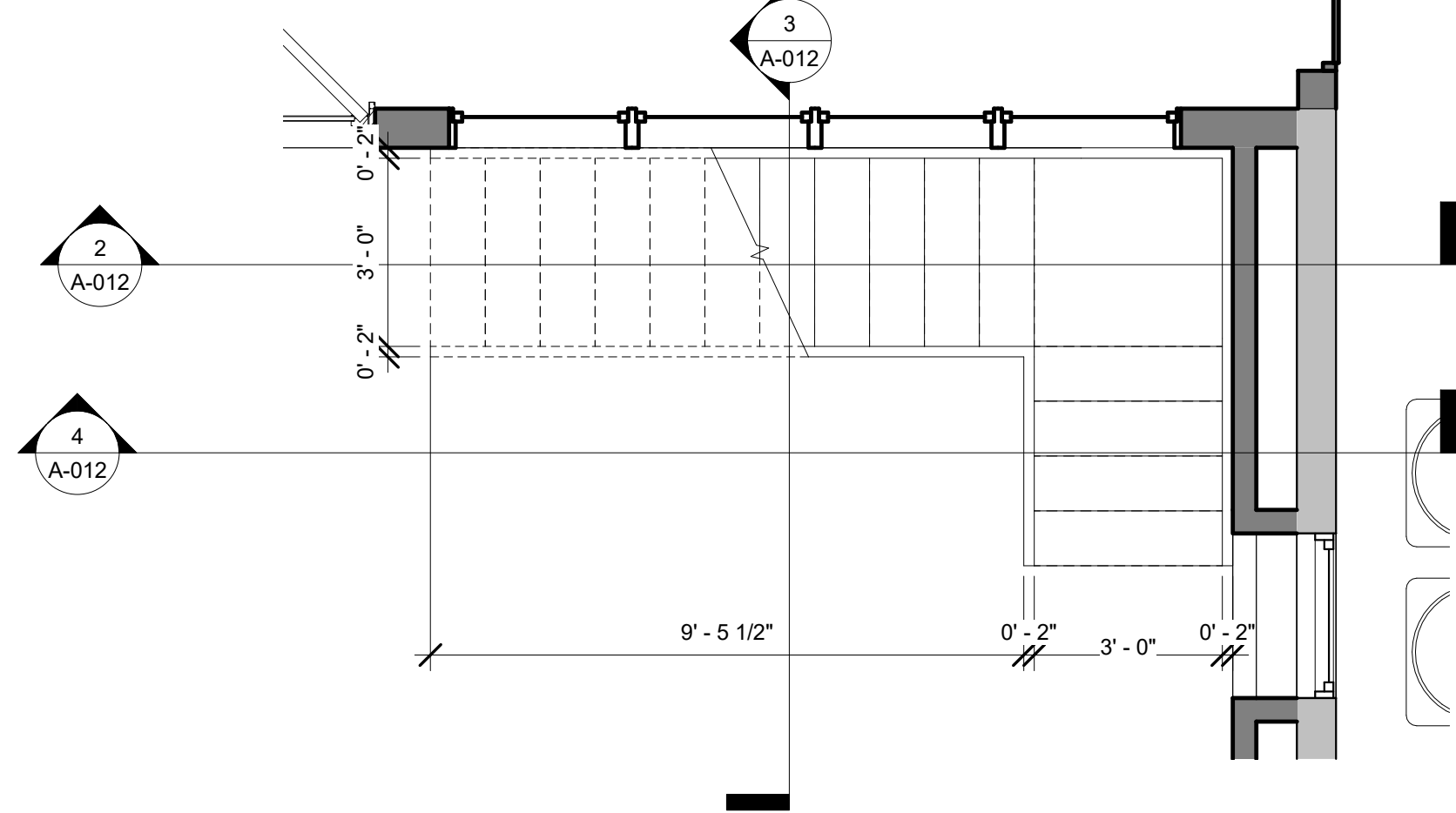
A-011

Keynote Legend	
Key Value	Keynote Text
A012	2" OAK STRINGER, PAINTED WHITE
A018	NEW FRFRAMELESS GLASS RAILING W/ WHITE BOTTOM RAIL AND 1"X1 1/2" WHITE OAK WOOD CAP
A045	ENCLOSE BOTTOM OF STAIR IN PAINTED WHITE MATERIAL TO HIDE STAIR CONSTRUCTION
A046	1/2" THICK TEMPERED GLASS RAILING
A047	PAINTED WHITE METAL RAILING BASE CHANNEL
A052	OAK STAIR TREAD, STAINED TO RESEMBLE EXISTING FIRST FLOOR FLOORS
A053	PAINTED WHITE STAIR RISER
A054	ADDITIONAL LANDING SUPPORT STRINGERS AS REQUIRED
A055	6X6 WOOD POST TO SUPPORT LANDING, PAINTED WHITE

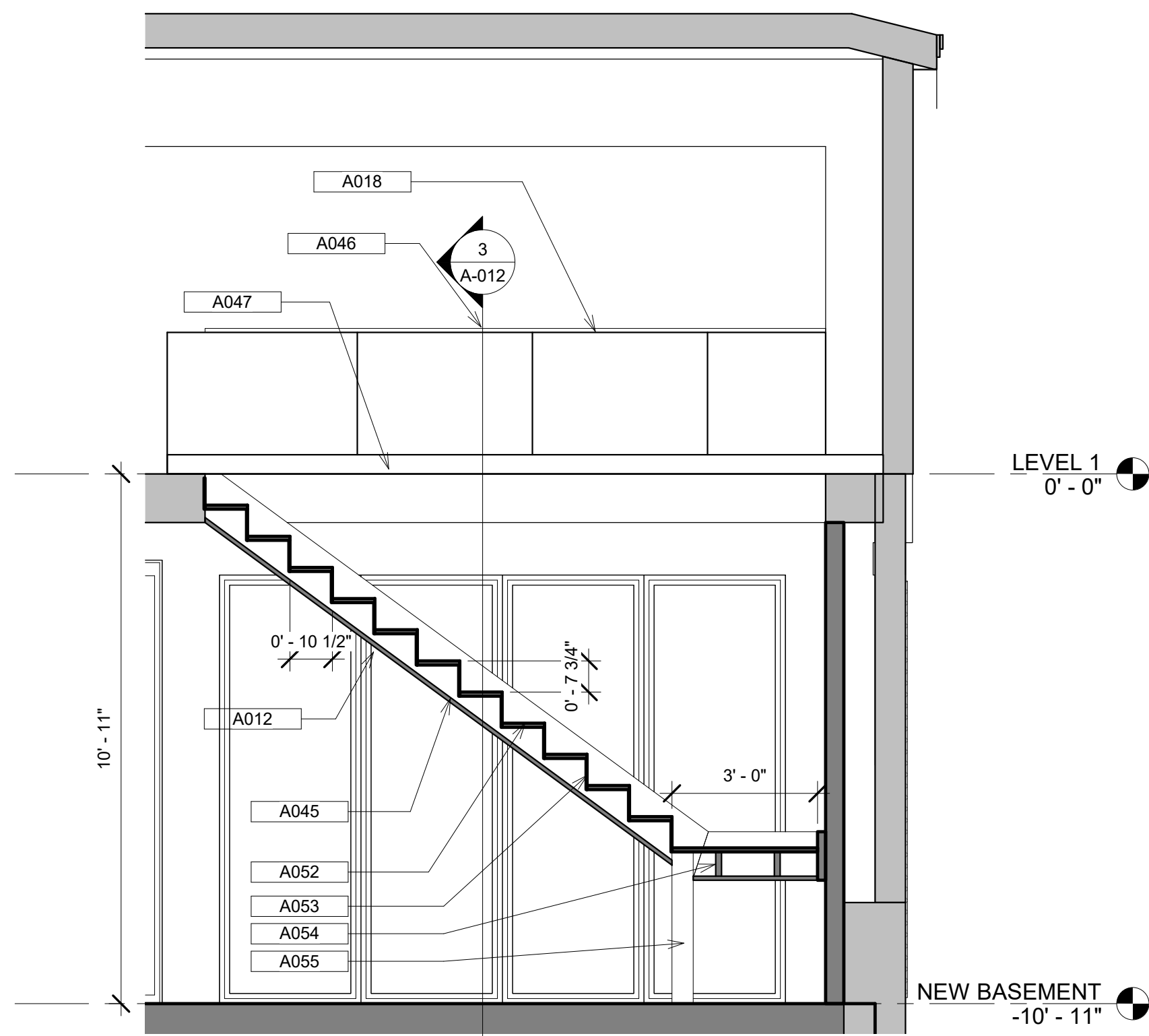
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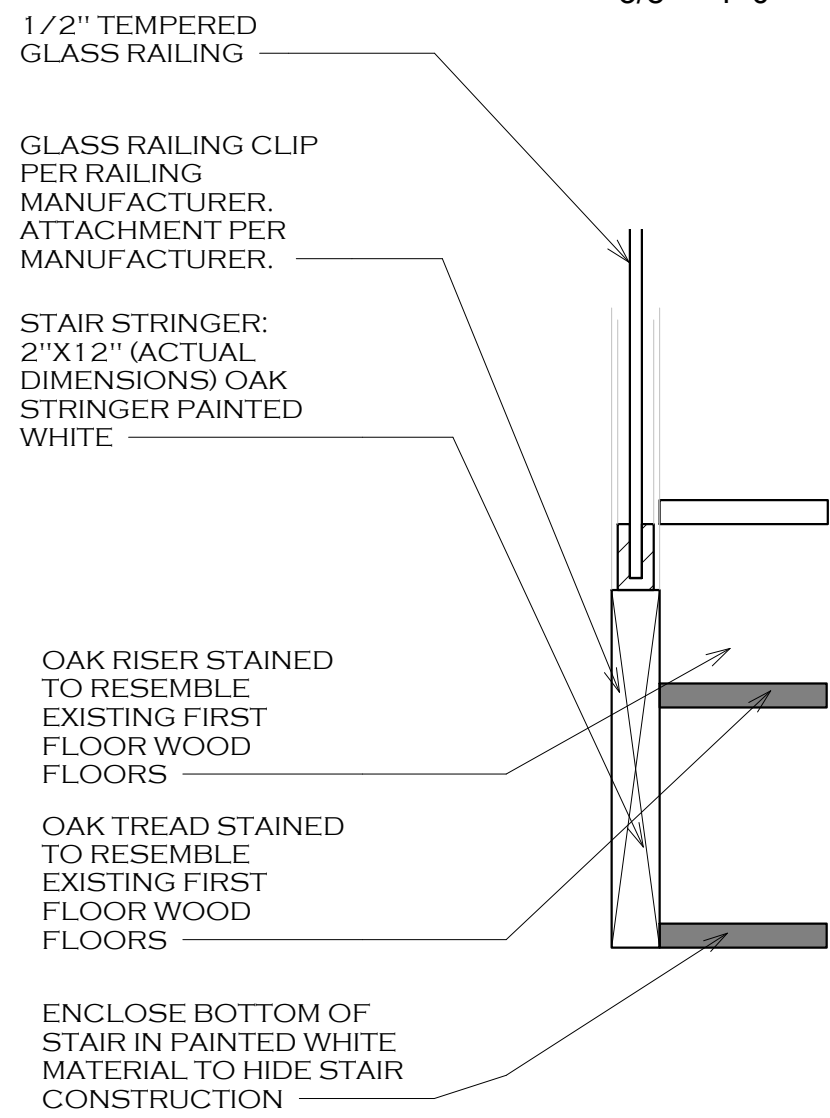
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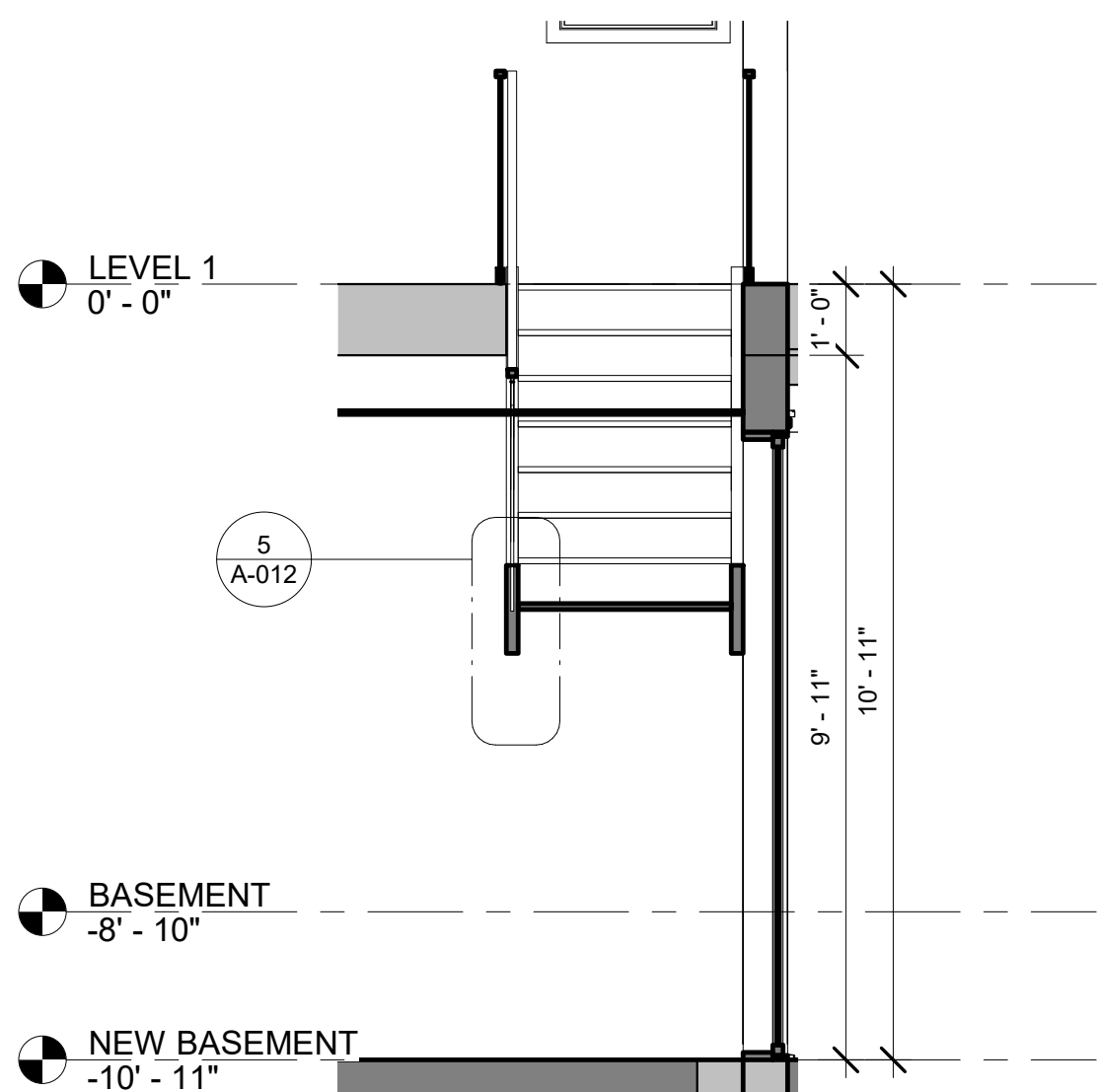
1 MAIN STAIR PLAN
3/8" = 1'-0"



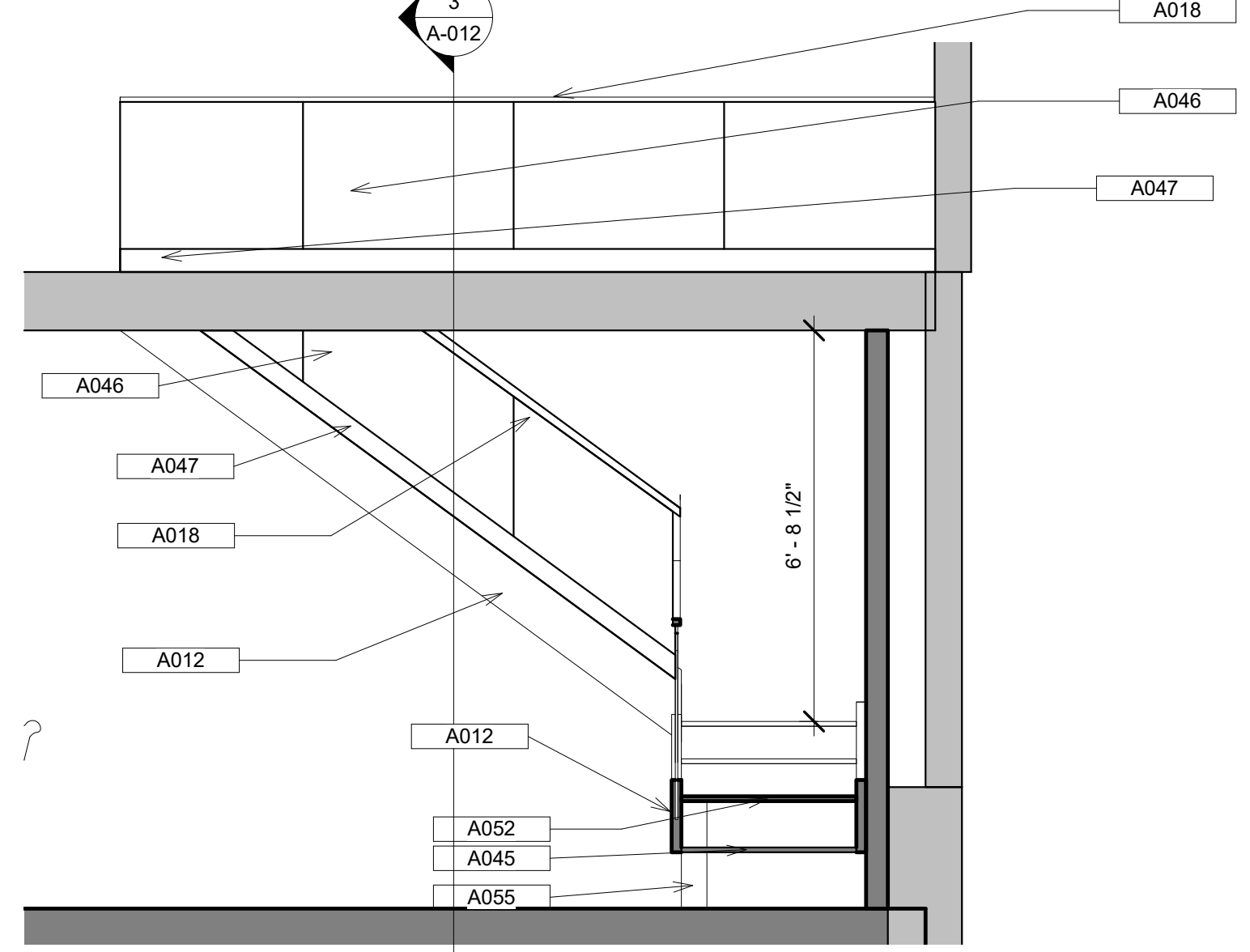
2 MAIN STAIR LONGITUDINAL SECTION
3/8" = 1'-0"



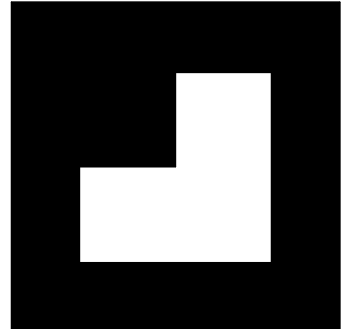
5 MAIN STAIR STRINGER DETAIL
1 1/2" = 1'-0"



3 MAIN STAIR CROSS SECTION A
3/8" = 1'-0"



4 MAIN STAIR CROSS SECTION B
3/8" = 1'-0"



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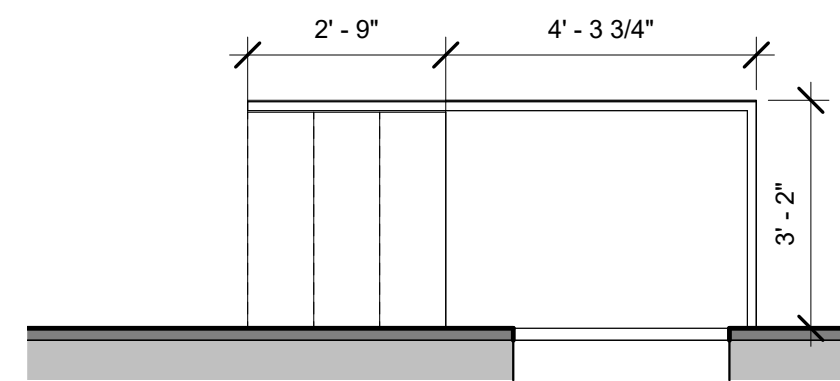
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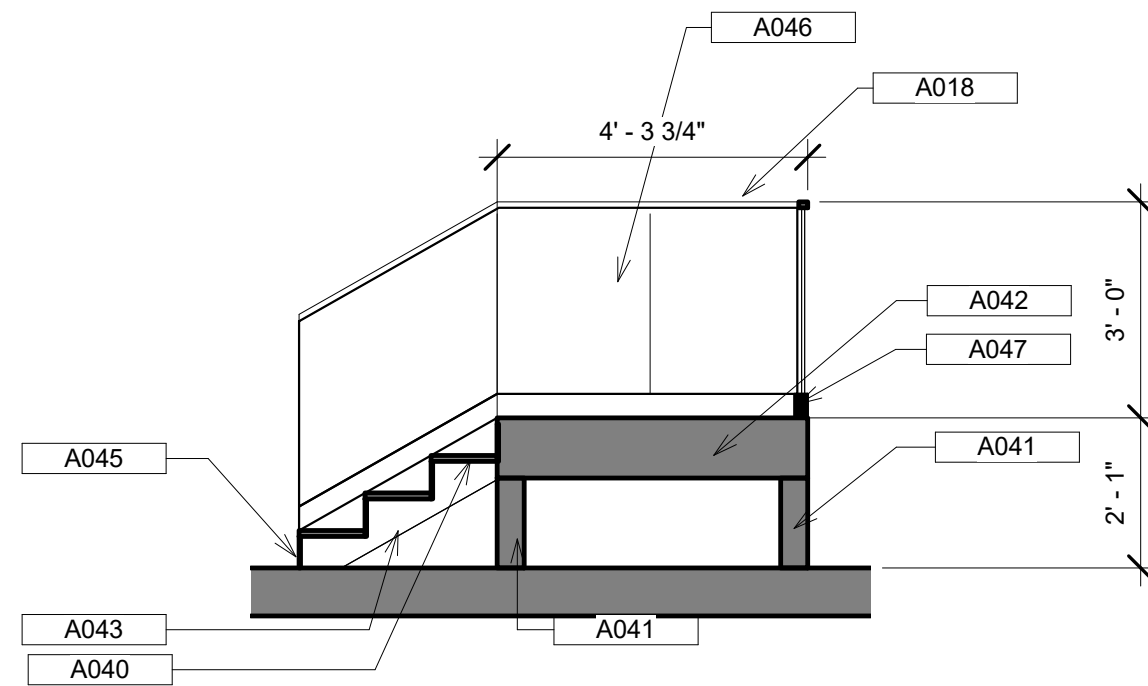
MAIN STAIR DETAILS

A-012

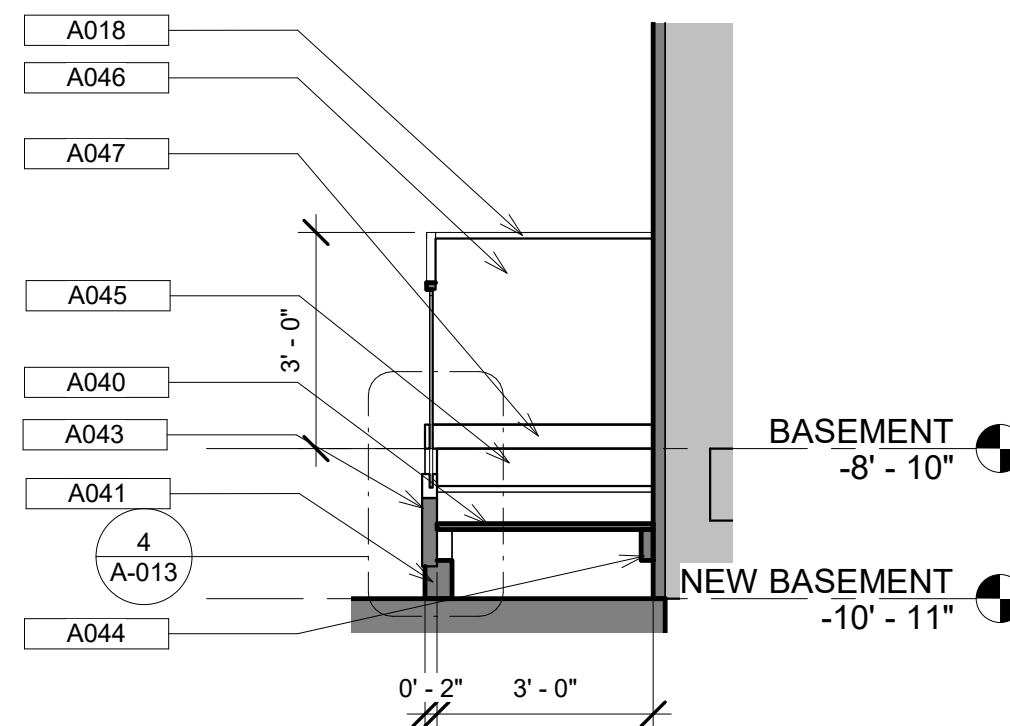
Keynote Legend	
Key Value	Keynote Text
A018	NEW FRRAMELESS GLASS RAILING W/ WHITE BOTTOM RAIL AND 1"X1 1/2" WHITE OAK WOOD CAP
A040	WHITE OAK STAIR TREAD. STAIN TO MATCH EXISTING FIRST FLOOR HARDWOODS.
A041	NEW 2X4 WALL FRAMING BELOW LANDING
A042	NEW 2X8 FRAMED LANDING W/ WHITE OAK FLOORING
A043	NEW 2" PAINTED STAIR STRINGER
A044	NEW CARRIAGE STYLE STAIR SUPPORT
A045	ENCLOSE BOTTOM OF STAIR IN PAINTED WHITE MATERIAL TO HIDE STAIR CONSTRUCTION
A046	1/2" THICK TEMPERED GLASS RAILING
A047	PAINTED WHITE METAL RAILING BASE CHANNEL



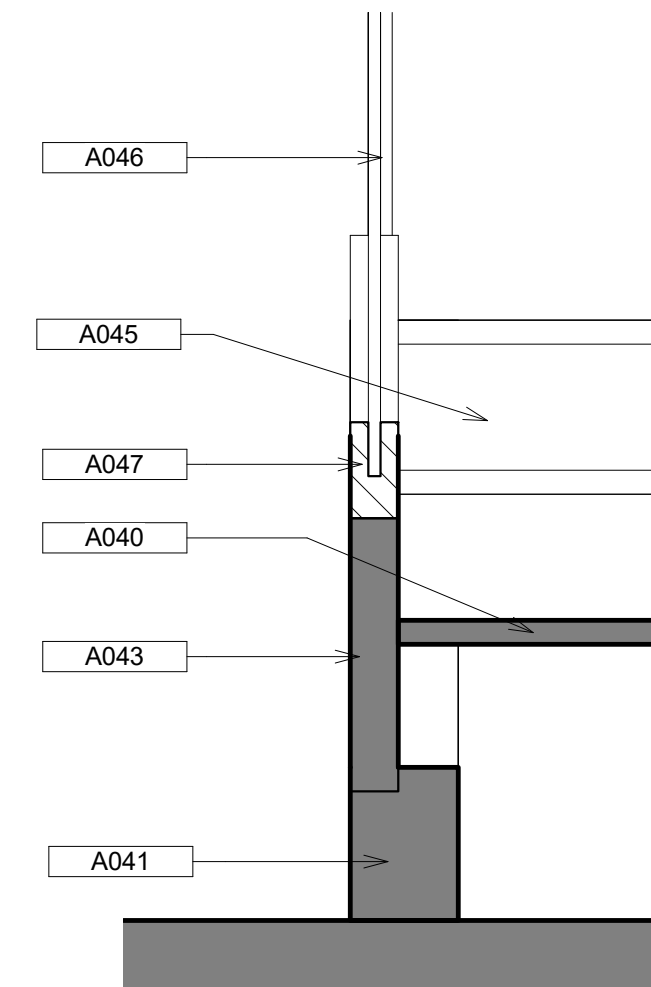
① BASEMENT - SMALL STAIR PLAN
3/8" = 1'-0"



② SMALL STAIR LONGITUDINAL SECTION
3/8" = 1'-0"



③ SMALL STAIR CORSS SECTION
3/8" = 1'-0"

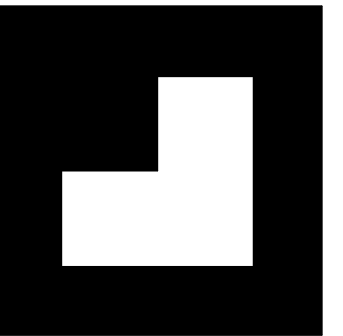


④ SMALL STAIR STRINGER DETAIL
1 1/2" = 1'-0"

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SMALL STAIR DETAIL

A-013

Room Finish Schedule						
Room and Room Number	Location	Material	Manufacturer	Item/Model #	Finish:	Comments:
LIBRARY	Floor	LVP	Mathews and Parlo	LXP100	LP01	
	Base	Pine	TW Perry	WM-618P	Semi-gloss, color tbd	Confirm style resembles existing molding
	Shoe	Oak	Flooring subcontractor	N/A	Stain to resemble floors	
	North Wall	New 1/2" drywall on new partitions			Matte, color tbd	
	East Wall	New 1/2" drywall on new partitions			Matte, color tbd	
	South Wall	New 1/2" drywall on new partitions			Matte, color tbd	
	West Wall	New 1/2" drywall on new partitions			Matte, color tbd	
	Ceiling	New 1/2" drywall			Matte, ceiling white	
	Door Casing	Pine	TW Perry	SM-7	Semi-gloss, color tbd	Confirm style resembles existing molding
	Plinth	Pine	TW Perry	Custom	Semi-gloss, color tbd	Custom plinth to resemble existing
	Rosette	Pine	TW Perry	SM-20	Semi-gloss, color tbd	Confirm style resembles existing molding
	Window Casing	Pine	TW Perry	SM-7	Semi-gloss, color tbd	Confirm style resembles existing molding
	Window Stool	Pine	TW Perry	WM-121	Semi-gloss, color tbd	Confirm style resembles existing molding
	BATHROOM	Floor	Tile	Mosaic Tile Co		
Base		Pine	TW Perry	WM-618P	Semi-gloss, color tbd	Confirm style resembles existing molding
Shoe		N/A	N/A	N/A	N/A	
North Wall		New drywall on new partitions, new tile per I-003			Matte, color TBD	See I-003 for details
East Wall		New 1/2" drywall on new partitions			Matte, color tbd	
South Wall		New drywall on new partitions, new tile per I-003			Matte, color tbd	
West Wall		New tile per I-003			See I-003	See I-003 for details
Ceiling		New 1/2" drywall			Matte, ceiling white	
Door Casing		Pine	TW Perry	SM-7	Semi-gloss, color tbd	Confirm style resembles existing molding
Plinth		Pine	TW Perry	Custom	Semi-gloss, color tbd	Custom plinth to resemble existing
Rosette		Pine	TW Perry	SM-20	Semi-gloss, color tbd	Confirm style resembles existing molding
Window Casing		Pine	TW Perry	SM-7	Semi-gloss, color tbd	Confirm style resembles existing molding
Window Stool		Pine	TW Perry	WM-121	Semi-gloss, color tbd	Confirm style resembles existing molding
HALL		Floor	LVP	Mathews and Parlo	LXP100	LP01
	Base	Pine	TW Perry	WM-618P	Semi-gloss, color tbd	Confirm style resembles existing molding
	Shoe	Oak	Flooring subcontractor	N/A	Stain to resemble floors	
	North Wall	New 1/2" drywall on new partitions			Matte, color tbd	
	East Wall	New 1/2" drywall on new partitions			Matte, color tbd	
	South Wall	New 1/2" drywall on new partitions			Matte, color tbd	
	West Wall	New 1/2" drywall on new partitions			Matte, color tbd	
	Ceiling	New 1/2" drywall			Matte, ceiling white	
	Door Casing	Pine	TW Perry	SM-7	Semi-gloss, color tbd	Confirm style resembles existing molding
	Plinth	Pine	TW Perry	Custom	Semi-gloss, color tbd	Custom plinth to resemble existing
	Rosette	Pine	TW Perry	SM-20	Semi-gloss, color tbd	Confirm style resembles existing molding
	Window Casing	Pine	TW Perry	SM-7	Semi-gloss, color tbd	Confirm style resembles existing molding
	Window Stool	Pine	TW Perry	WM-121	Semi-gloss, color tbd	Confirm style resembles existing molding

GUEST BEDROOM	Floor	LVP	Mathews and Parlo	LXP100	LP01	
	Base	Pine	TW Perry	WM-618P	Semi-gloss, color tbd	Confirm style resembles existing molding
	Shoe	Oak	Flooring subcontractor	N/A	Stain to resemble floors	
	North Wall	New 1/2" drywall on new partitions			Matte, color tbd	
	East Wall	New 1/2" drywall on new partitions			Matte, color tbd	
	South Wall	New 1/2" drywall on new partitions			Matte, color tbd	
	West Wall	New 1/2" drywall on new partitions			Matte, color tbd	
	Ceiling	New 1/2" drywall			Matte, ceiling white	
	Door Casing	Pine	TW Perry	SM-7	Semi-gloss, color tbd	Confirm style resembles existing molding
	Plinth	Pine	TW Perry	Custom	Semi-gloss, color tbd	Custom plinth to resemble existing
	Rosette	Pine	TW Perry	SM-20	Semi-gloss, color tbd	Confirm style resembles existing molding
	Window Casing	Pine	TW Perry	SM-7	Semi-gloss, color tbd	Confirm style resembles existing molding
	Window Stool	Pine	TW Perry	WM-121	Semi-gloss, color tbd	Confirm style resembles existing molding
	STORAGE ROOM	Floor	Existing concrete			Matte, color TBD
Base		Pine	TW Perry	WM-618P	Semi-gloss, color tbd	Confirm style resembles existing molding
Shoe		N/A	N/A	N/A		
North Wall		Existing to remain			Matte, color tbd	
East Wall		New 1/2" drywall on new partitions			Matte, color tbd	
South Wall		Existing to remain			Matte, color tbd	
West Wall		Existing to remain			Matte, color tbd	
Ceiling		Existing to remain, patch as needed			Matte, ceiling white	
Door Casing		Pine	TW Perry	SM-7	Semi-gloss, color tbd	Confirm style resembles existing molding
Plinth		Pine	TW Perry	Custom	Semi-gloss, color tbd	Custom plinth to resemble existing
Rosette		Pine	TW Perry	SM-20	Semi-gloss, color tbd	Confirm style resembles existing molding
Window Casing		Pine	TW Perry	SM-7	Semi-gloss, color tbd	Confirm style resembles existing molding
Window Stool		Pine	TW Perry	WM-121	Semi-gloss, color tbd	Confirm style resembles existing molding
FAMILY ROOM		Floor	ETR	ETR	ETR	ETR
	Base	Pine	TW Perry	WM-618P	Semi-gloss, color tbd	Confirm style resembles existing molding
	Shoe	Oak	Flooring subcontractor	N/A	Stain to resemble floors	
	North Wall	ETR			ETR	
	East Wall	New 1/2" drywall on new partitions			ETR	
	South Wall	ETR			ETR	
	West Wall	ETR			Matte, color tbd	
	Ceiling	Patch ceiling as needed			Matte, ceiling white	
	Door Casing	Pine	TW Perry	SM-7	Semi-gloss, color tbd	Confirm style resembles existing molding
	Plinth	Pine	TW Perry	Custom	Semi-gloss, color tbd	Custom plinth to resemble existing
	Rosette	Pine	TW Perry	SM-20	Semi-gloss, color tbd	Confirm style resembles existing molding
	Window Casing	Pine	TW Perry	SM-7	Semi-gloss, color tbd	Confirm style resembles existing molding
	Window Stool	Pine	TW Perry	WM-121	Semi-gloss, color tbd	Confirm style resembles existing molding
	DINING ROOM	Floor	ETR	ETR	ETR	ETR
Base		Pine	TW Perry	WM-618P	Semi-gloss, color tbd	Confirm style resembles existing molding
Shoe		Oak	Flooring subcontractor	N/A	Stain to resemble floors	
North Wall		ETR			ETR	
East Wall		ETR			ETR	
South Wall		ETR			ETR	
West Wall		Patch ceiling as needed			Matte, color tbd	
Ceiling		New 1/2" drywall			Matte, ceiling white	
Door Casing		Pine	TW Perry	SM-7	Semi-gloss, color tbd	Confirm style resembles existing molding
Plinth		Pine	TW Perry	Custom	Semi-gloss, color tbd	Custom plinth to resemble existing
Rosette		Pine	TW Perry	SM-20	Semi-gloss, color tbd	Confirm style resembles existing molding
Window Casing		Pine	TW Perry	SM-7	Semi-gloss, color tbd	Confirm style resembles existing molding
Window Stool		Pine	TW Perry	WM-121	Semi-gloss, color tbd	Confirm style resembles existing molding

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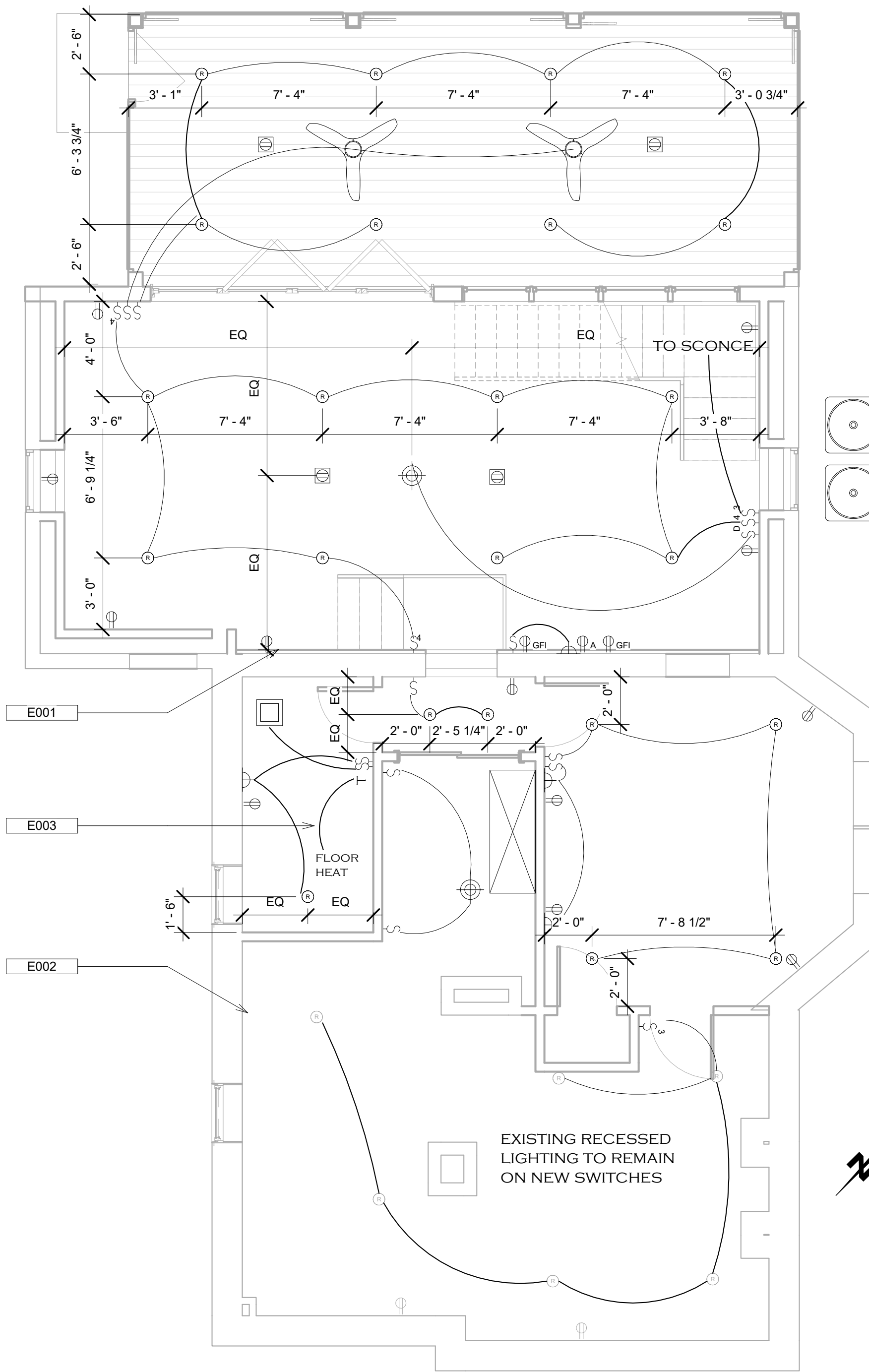
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Phase	CONTRACT
Date	JULY 24, 2023
Scale	
Drawn By	GAD
Revision	

Raskin Library
7209 Holly Ave, Takoma Park, MD
20912

FINISH SCHEDULE

A-014



- Electrical Legend**
1/4" = 1'-0"
- SD SMOKE DETECTOR
 - S/C SMOKE/CARBON SENSOR
 - R 4" RECESSED LED CAN
 - CUSTOMER PROVIDED CEILING MOUNT FIXTURE/ PENDANT
 - CUSTOMER PROVIDED WALL MOUNTED FIXTURE
 - EXHAUST FAN
 - LED UNDER COUNTER LIGHTING
 - CUSTOMER PROVIDED CEILING FAN
 - ⊕A APPLIANCE OUTLET - DEDICATED CIRCUIT
 - ⊕GFI GFI OUTLET
 - DUPLEX OUTLET
 - S SINGLE POLE SWITCH
 - S-D SINGLE POLE DIMMER SWITCH
 - S-D-D DUAL POLE DIMMER SWITCH
 - S-T TRIPLE POLE DIMMER SWITCH
 - ⊕ TV CABLE TV OUTLET
 - ⊕ FLOOR OUTLET

Keynote Legend

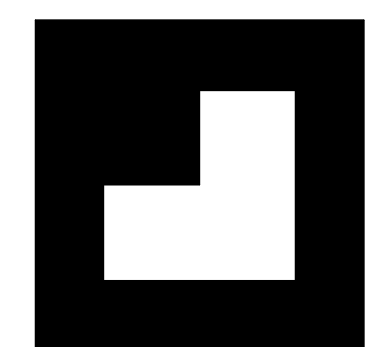
Key Value	Keynote Text
E001	RELOCATE EXISTING SUB PANEL HERE
E002	2 EXISTING ELECTRICAL PANELS TO REMAIN
E003	NEW HEATED ELECTRIC FLOOR MAT

NOTES
 1. ALL IC RATED LIGHTING FIXTURES TO BE SEALED AT HOUSING/INTERIOR AND LABELED TO INDICATE LESS THAN OR EQUAL TO 2.0 CFM LEAKAGE AT 75PA
 2. MORE THAN 85% OF ALL FIXTURES SHALL USE HIGH EFFICIENCY LED BULBS

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2 BASEMENT ELECTRICAL
 1/4" = 1'-0"



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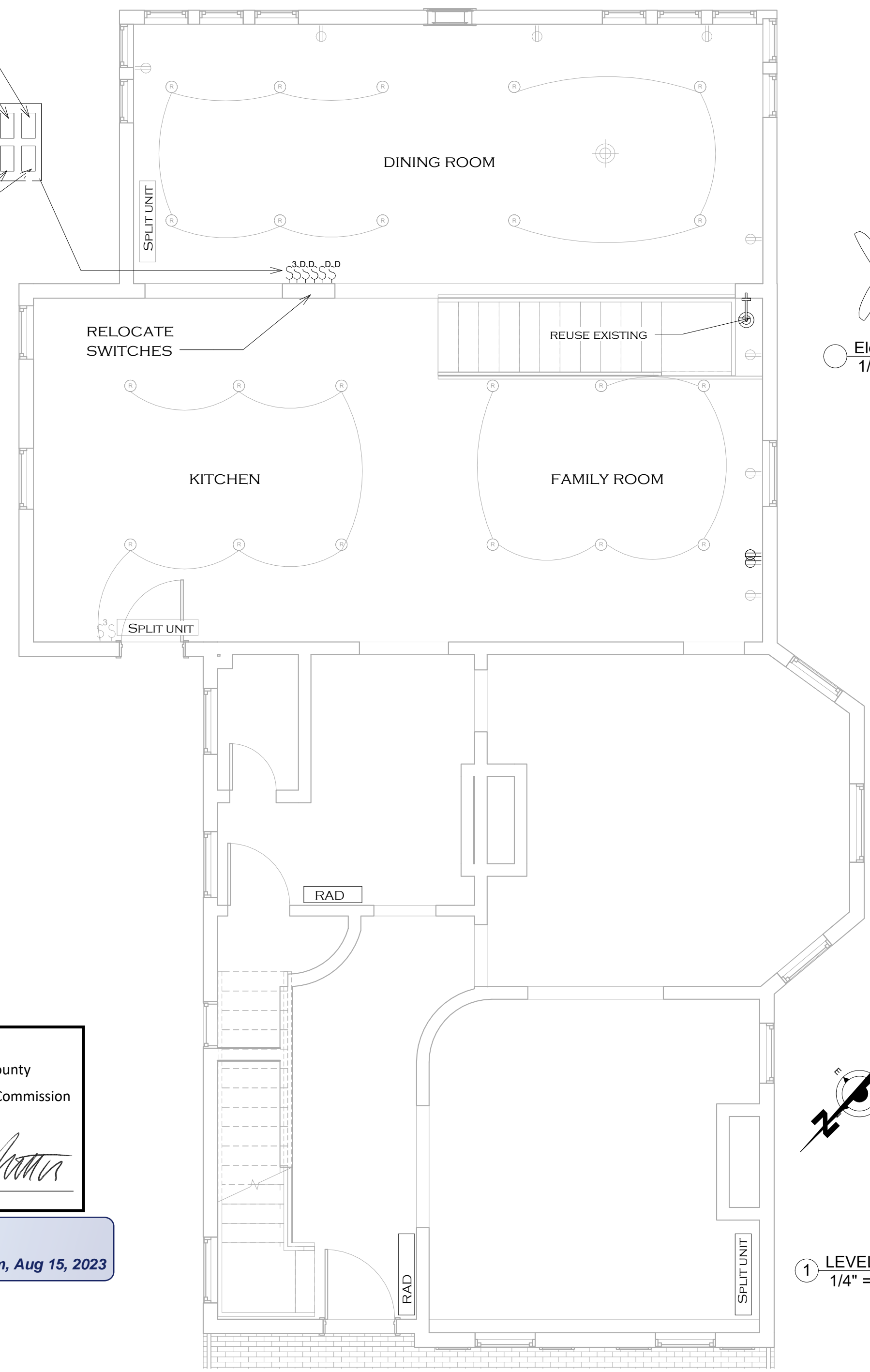
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 20912

BASEMENT ELECTRICAL PLAN

E-001

Keynote Legend	
Key Value	Keynote Text

- FAMILY ROOM RECESSED
- KITCHEN RECESSED
- STAIR SCONCE
- DINING ROOM CHANDELIER
- DINING ROOM RECESSED



- SMOKE DETECTOR
- SMOKE/CARBON SENSOR
- 4" RECESSED LED CAN
- CUSTOMER PROVIDED CEILING MOUNT FIXTURE/PENDANT
- CUSTOMER PROVIDED WALL MOUNTED FIXTURE
- EXHAUST FAN
- LED UNDER COUNTER LIGHTING
- CUSTOMER PROVIDED CEILING FAN
- APPLIANCE OUTLET - DEDICATED CIRCUIT
- GFI OUTLET
- DUPLEX OUTLET
- SINGLE POLE SWITCH
- SINGLE POLE DIMMER SWITCH
- DUAL POLE DIMMER SWITCH
- TRIPLE POLE DIMMER SWITCH
- CABLE TV OUTLET
- FLOOR OUTLET

Electrical Legend
1/4" = 1'-0"

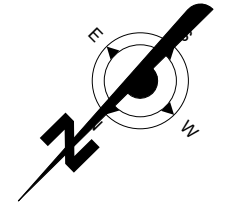
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1 LEVEL 1 ELECTRICAL
1/4" = 1'-0"

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FIRST FLOOR ELECTRICAL PLAN

E-002

Notes:

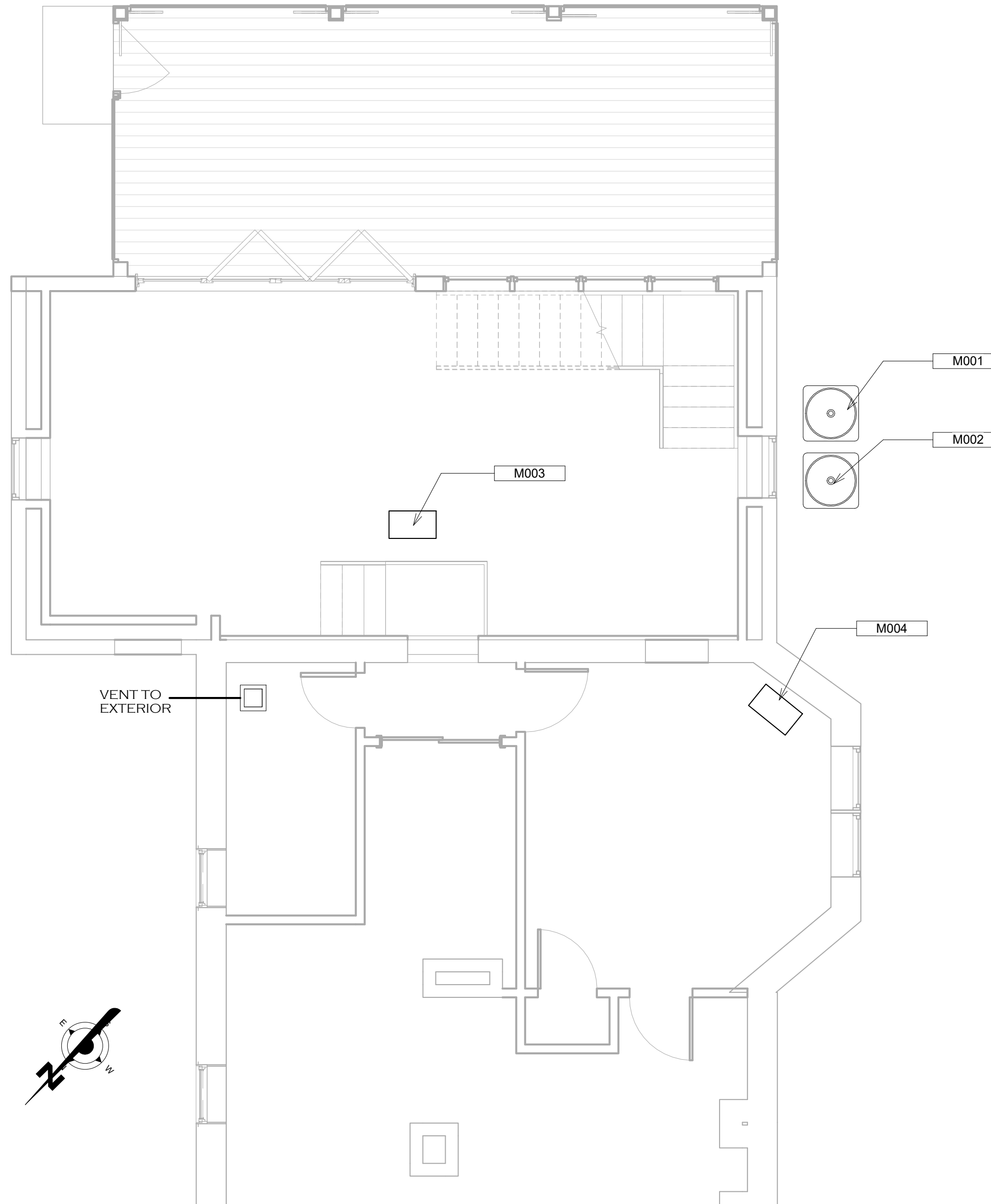
1. Building Cavities are not used as ducts or plenums.
2. Automatic gravity dampers are installed on all outdoor air intakes and exhausts per IECC403.5
3. All Mechanical ventilation system fans not part of tested and listed HVAC equipment meet efficacy and air flow limits.
4. Manufacturers Manuals for mechanical and water heating systems are provided and shall remain on site.
5. All joints & seams to be sealed per iecc 403.2.2
6. This project is required to submit at final inspection a whole-building blower door test showing a passing rating of <= 5 Air Changes per Hour at a Pressure of 50 Pascal. A written report of the results of the test shall be signed by the party conducting the test and provided to the code official upon request.
7. The whole house mechanical ventilation system shall provide outdoor air at a continuous rate of not less than 75 CFM as determined by table M1505.4.3(1) of the IRC 2015
8. All HVAC piping carrying fluids >105° or >55° to receive R-3 spray foam insulation
9. Total duct leakage to be less than 8cfm/ 100SF with AHU installed
10. Programmable thermostats to be installed for each system
11. Ducts in the attic shall be insulated to R8 or greater
12. Air handlers shall have a manufacturer's designation for an air leakage of no more than 2 percent of the design air flow rate.
13. Piping insulation exposed to weather shall be protected from damage
14. Fuel gas lighting systems shall not have continuously burning pilot lights.

HVAC EQUIPMENT INFORMATION

- PLEASE SEE MANUAL J & SUPPORTING DOCUMENTS FOR HVAC EQUIPMENT & INFORMATION
- (2) Panasonic WhisperCeiling™ Fan - Quiet, Spot Ventilation Solution, 110 CFM
- (1) STAINLESS GE Designer Wall Hood, 36"
Up to 600 cfm, make up air provided

Keynote Legend

Key Value	Keynote Text
M001	EXISTING CONDENSOR UNIT
M002	NEW CONDENSOR UNIT
M003	NEW CEILING MOUNTED HVAC CASSETTE
M004	NEW WALL MOUNTED HVAC CASSETTE

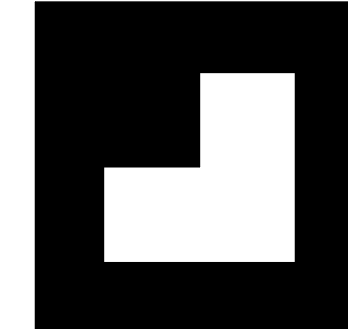


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[Signature]

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1 BASEMENT MECHANICAL PLAN
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Phase	CONTRACT
Date	JULY 24, 2023
Scale	1/4" = 1'-0"
Drawn By	Author
Revision	

Raskin Library
7209 Holly Ave, Takoma Park, MD
20912

BASEMENT MECHANICAL PLAN

M-001