



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Robert K. Sutton
Chairman

Date: December 14, 2022

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services
FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission Historic Area Work Permit
SUBJECT: #1008960 - Partial Demo, Building Addition, Skylight Installation, and New Railing

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the December 7, 2022 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Kim and Arthur Newmyer
Address: 7209 MacArthur Blvd., Bethesda

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



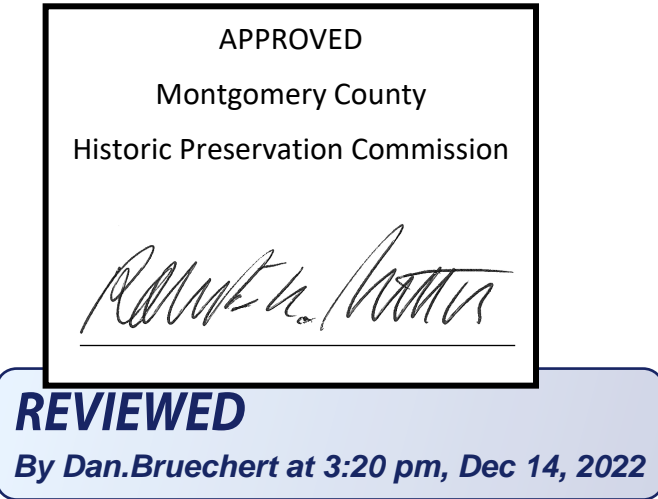
RENOVATION & ADDITION TO:

NEWMYER RESIDENCE

7209 MACARTHUR BLVD
BETHESDA, MD

ISSUED FOR PRICING: 7-07-2022
ISSUED FOR HAWP APPLICATION: 10-04-2022
ISSUED FOR HAWP APPLICATION II: 11-12-2022

ISSUED FOR PERMIT: 11-12-2022
ISSUED FOR CONSTRUCTION:



DRAWING SYMBOLS

- EXISTING PARTITION TO BE DEMOLISHED
- EXISTING PARTITION TO REMAIN
- NEW PARTITION
- DEMISING PARTITION
- DOOR NUMBER
SEE DR SCHEDULE
- WINDOW TYPE
SEE WDW SCHEDULE
- ROOM NUMBER
- NON-RATED WALL TYPE
SEE WALL TYPES SCHEDULE
- 1HR-RATED WALL TYPE
SEE WALL TYPES SCHEDULE
- 2HR-RATED WALL TYPE
SEE WALL TYPES SCHEDULE
- BLDG ELEVATION OR INTERIOR ELEVATION
- DETAIL
- BLDG OR WALL SECTION
- LEVEL LINE OR DATUM POINT
- REVISION
- ENLARGED DETAIL
- CENTERLINE OF MATERIAL OR ITEM
- DETAIL NO ON REFERENCED DWG
- DWG NO WHERE DETAIL IS LOCATED

CONSTRUCTION NOTES ON REGULATIONS AND STANDARDS OF CARE

WORK SHALL COMPLY WITH APPLICABLE LAWS, CODES, ORDINANCES AND REGULATIONS OF AUTHORITIES HAVING JURISDICTION.

THE BUILDING IS DESIGNED IN ACCORDANCE WITH THE: 2018 INTERNATIONAL RESIDENTIAL CODE & LOCAL AMENDMENTS

VERIFY DETAILED REQUIREMENTS TO ENSURE THAT MATERIALS, PRODUCTS, ASSEMBLIES AND THEIR INSTALLATION MEET OR EXCEED REGULATORY REQUIREMENTS. IF DISCREPANCIES OCCUR AMONG CONSTRUCTION DOCUMENTS, CODES, UTILITY COMPANY REQUIREMENTS, ETC., THE MOST STRINGENT REQUIREMENTS SHALL APPLY. NOTIFY ARCHITECT IMMEDIATELY UPON DISCOVERY OF ANY DISCREPANCIES FOR CLARIFICATION AND WAIT FOR CLARIFICATION AND/OR INSTRUCTIONS FROM THE ARCHITECT PRIOR TO PROCEEDING WITH ANY RELATED WORK.

PERFORMANCE:

THE CONTRACTOR IS RESPONSIBLE FOR THE SCOPE OF WORK IDENTIFIED OR IMPLIED BY THE CONTRACT DOCUMENTS. THE APPOINTMENT AMONG SUBCONTRACTORS AND PROCUREMENT OF MATERIALS, LABOR AND SERVICES NECESSARY TO COMPLETE THE SCOPE OF WORK ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. FAILURE TO RECOGNIZE AND PROCURE THE ENTIRE SCOPE OF WORK SHALL NOTE RELIEVE THE CONTRACTOR OF HIS RESPONSIBILITY.

THE GENERAL CONTRACTOR SHALL VISIT THE SITE BY ARRANGING AN APPOINTMENT WITH OWNER AND FAMILIARIZE THEMSELVES WITH THE EXISTING CONDITIONS. FAILURE TO VISIT SITE SHALL NOT RELIEVE THE GENERAL CONTRACTOR FROM NECESSITY OF FURNISHING MATERIALS OR PERFORMING WORK THAT MAY BE REQUIRED TO COMPLETE WORK IN ACCORDANCE WITH DRAWINGS.

THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THAT SUBCONTRACTORS PERFORM THEIR DUTIES IN A TIMELY, CORRECT AND COMPREHENSIVE MANNER. THE GENERAL CONTRACTOR IS ULTIMATELY RESPONSIBLE FOR THE PERFORMANCE OF ALL WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. EACH INSTALLER SHALL INSPECT THE SUBSTRATE TO RECEIVE WORK AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND VERIFY LAYOUT OF WORK BEFORE BEGINNING INSTALLATION AND SHALL NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED TO SATISFACTION OF INSTALLER. BEGINNING OF WORK MEANS ACCEPTANCE OF EXISTING CONDITIONS BY INSTALLER.

THE CONTRACTOR SHALL PLAN IN ADVANCE AND COORDINATE ALL ACTIVITIES RELATED TO THE WORK, INCLUDING BUT NOT LIMITED TO THE FOLLOWING:

1. MATERIALS, SERVICES AND EQUIPMENT PROCUREMENT – INCLUDING THE TIMELY FIELD VERIFICATION OF DIMENSIONS AND SUBMISSION OF SHOP DRAWINGS FOR APPROVAL
2. TIMELY ORDERING, SHIPPING, RECEIPT AND STORAGE AT SITE;
3. INSTALLATION – INCLUDING INTERFACE WITH RELATED ITEMS;
4. INSPECTION AND TESTING TO THE EXTENT REQUIRED BY APPLICABLE CODES AND REGULATIONS;
5. INITIAL START-UP OF EQUIPMENT AND OPERATIONAL TESTS.

WHERE ITEMS ARE INDICATED ON THE CONTRACT DOCUMENTS TO BE "BY OTHERS", THE GENERAL CONTRACTOR SHALL REFER TO THE PROJECT SPECIFICATIONS OR NOTES ON THE DRAWINGS FOR REQUIREMENTS AND RESPONSIBILITIES. WORK CALLED FOR ON CONSTRUCTION DOCUMENTS, THAT IS NOT PART OF THE STANDARD CONNECTIONS SERVICE PROVIDED BY UTILITY COMPANIES, OR IN NOT INDICATED SPECIFICALLY AS "BY OTHERS" OR "NIC" SHALL BE BY GENERAL CONTRACTOR. THE CONTRACTOR SHALL NOT BE RELIEVED OF THE DUTY TO PROVIDE A COMPLETE SUB-STRUCTURE AND PREPARED SURFACE SUITABLE FOR THE WORK "BY OTHERS" TO PROCEED WITHOUT THE NEED FOR RE-BUILDING OR RE-FORMING A SUITABLE SUBSTRATE.

ANY SPECIFIED ITEMS WITH LONG LEAD TIMES THAT MAY CAUSE A DELAY IN THE CONSTRUCTION SCHEDULE SHALL BE IDENTIFIED BY THE CONTRACTOR AT THE TIME OF BIDDING OR CONTRACT NEGOTIATION. THE TIMELY PURCHASE AND DELIVERY OF ITEMS NOT IDENTIFIED AS SUCH, SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

SUBSTITUTION REQUESTS, INCLUDING THOSE IMPLICIT BY SUBMITTALS, SHALL NOT BE ACCEPTED AFTER CONTRACT EXECUTION UNLESS MUTUALLY AGREEABLE BY OWNER AND ARCHITECT. THE ARCHITECT SHALL HAVE A MINIMUM OF 7 DAYS, OR AS OTHERWISE PROVIDED IN THE CONTRACT DOCUMENTS, TO CONSIDER AND EVALUATE EACH AND ALL REQUESTS FOR SUBSTITUTIONS.

NO MATERIAL OR PRODUCT THAT COULD HAVE AN ADVERSE EFFECT ON THE INDOOR AIR QUALITY BEYOND APPROVED LEVELS AFTER THE BUILDING IS OCCUPIED, SHALL BE USED.

THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY WARNINGS BY THE MANUFACTURER REGARDING ANY ADVERSE EFFECT ON THE INDOOR AIR QUALITY AND ANY POTENTIAL HEALTH HAZARD TO OCCUPANTS PRIOR TO PLACING THE ORDER FOR SPECIFIED MATERIAL OR PRODUCTS.

IF, IN THE ARCHITECTS SOLE JUDGEMENT, A SUBSTITUTION REQUEST INVOLVING A SIGNIFICANT ELEMENT OF THE DESIGN AND/OR MULTIPLE ITEMS WILL REQUIRE AND EVALUATION WHICH EXCEEDS THE MINIMUM TIME THUS PROVIDED ABOVE, THE ARCHITECT SHALL NOTIFY THE CONTRACTOR AND OWNER AND FOR A DECISION BY THE CONTRACTOR TO AGREE OR WITHDRAW THE REQUEST FOR SUBSTITUTION.

THE CONTRACTOR SHALL NOT BE RELIEVED OF THE OBLIGATION TO MEET THE PROJECT SCHEDULE AS A RESULT OF ANY REQUEST FOR SUBSTITUTION, OR THE REVIEW AND EVALUATION THEREOF, WHETHER THE SUBSTITUTION IS ACCEPTED OR NOT.

THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN WRITING BY THE CONTRACTOR OF ANY CIRCUMSTANCES THAT MAY DEVELOP DURING THE PROCESS OF WORK THAT MAY EFFECT THE CONTRACTORS ABILITY TO COMPLETE THE PROJECT ON SCHEDULE. THE OBLIGATION TO MEET THE PROJECT SCHEDULE DOES NOT RELIEVE THE CONTRACT OF THE RESPONSIBILITY TO FULLY COMPLY WITH ALL REQUIREMENTS OF THE CONTRACT DOCUMENTS.

HAZARDOUS MATERIALS SHALL BE HANDLED IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS AND MANUFACTURERS RECOMMENDATIONS, EXCESS MATERIALS, LEFTOVERS AND/OR BI-PRODUCTS SHALL BE DISPOSED OF IN ACCORDANCE WITH APPLICABLE REGULATIONS AND SHALL NOT BE BURIED OR LEFT ON SITE.

NO PART OF THE CONSTRUCTION DOCUMENTS SHALL BE COPIED OR REPRODUCED FOR USE AS SHOP DRAWINGS. SHOP DRAWINGS PRODUCED AS SUCH SHALL BE REJECTED.

THE ARCHITECT SHALL BE NOTIFIED IMMEDIATELY IN WRITING, OF ANY CIRCUMSTANCES THAT MAY DEVELOP DURING THE PROCESS OF WORK THAT MAY AFFECT THE GENERAL CONTRACTORS ABILITY TO COMPLETE THE PROJECT ON SCHEDULE.

THE OBLIGATION TO MEET THE PROJECT SCHEDULE DOES NOT RELIEVE THE GENERAL CONTRACTOR OF THE RESPONSIBILITY TO FULLY COMPLY WITH ALL REQUIREMENTS ON THE CONTRACT DOCUMENTS.

SUBSTITUTION REQUESTS SHALL NOT BE ACCEPTED AFTER THE SIGNING OF THE CONTRACT UNLESS CIRCUMSTANCES THAT HAVE CHANGED SINCE THE SIGNING OF THE CONTRACT HAS NECESSITATED THE SUBSTITUTION.

CLARIFICATIONS:

NO WORK SHALL BE PERFORMED WITHOUT A CLEAR UNDERSTANDING OF THE DESIGN INTENT. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REQUEST CLARIFICATION FROM THE ARCHITECT.

IF THE DESIGN INTENT ON THE DOCUMENTS IS NOT CLEAR, THE MATTER SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT A MINIMUM OF 5 DAYS PRIOR TO BID DUE DATE OF BEFORE CONTRACT EXECUTION, WHICHEVER OCCURS EARLIER.

ANY DISCREPANCIES BETWEEN DIFFERENT PORTIONS OF THE CONTRACT DOCUMENTS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IN A TIMELY MANNER BEFORE CONTRACT EXECUTION, BEFORE DUE DATES, AND BEFORE EXECUTION RELATIVE TO THE FINDING OF DISCREPANCY. THE VALUATION OF THE BIDDERS' INTERPRETATIONS OF DISCREPANCIES THAT ARE BROUGHT TO THE ATTENTION OF THE ARCHITECT AFTER CONTRACT EXECUTION SHALL BE ASSUMED TO BE INCLUSIVE OF ALL WORK AND COSTS FOR THE INTENDED INTERPRETATION.

ALL ITEMS SHOWN ARE TO BE FURNISHED AND INSTALLED UNLESS NOTED OTHERWISE.

ON DRAWINGS THE TERM "PROVIDE" SHALL BE INTERPRETED TO MEAN "FURNISH AND INSTALL".

ALL DRAWINGS, DIMENSIONS, NOTES, FINISHES AND FIXTURES INDICATED AS TYPICAL SHALL APPLY TO ALL SIMILAR, SYMMETRICAL OR OPPOSITE CONDITIONS UNLESS OTHERWISE NOTED.

ALL DIMENSIONS CONCERNING MANUFACTURED ITEMS ARE NOMINAL. THE CONTRACTOR SHALL COORDINATE ALL DIMENSIONS CONCERNING ALL ITEMS FABRICATED OFF-SITE, BUILT-IN EQUIPMENT, DOORS AND DOOR OPENINGS AND WINDOWS AND WINDOW OPENINGS PRIOR TO FABRICATION AND INSTALLATION.

THE "PLAN NORTH" IS NOT NECESSARILY THE TRUE GEOGRAPHICAL NORTH.

EXISTING CONDITIONS:

THE CONTRACTOR SHALL VISIT THE SITE BY ARRANGING AN APPOINTMENT WITH OWNER AND BECOME FAMILIAR WITH EXISTING CONDITIONS. FAILURE TO VISIT SITE SHALL NOT RELIEVE THE CONTRACTOR FROM THE NECESSITY OF FURNISHING MATERIAL OR PERFORMING THE WORK THAT MAY BE REQUIRED TO COMPLETE WORK IN ACCORDANCE WITH DRAWINGS. THE GENERAL CONTRACTOR SHALL LOCATE, IDENTIFY AND VERIFY THE PRESENCE OF EXISTING STRUCTURAL, ELECTRICAL, PLUMBING AND MECHANICAL ELEMENTS, LINES AND SYSTEMS INCLUDING THOSE THAT MAY BE CURRENTLY NOT IN USE AND/OR CONCEALED IN THE EXISTING CONSTRUCTION PRIOR TO DISTURBING THE EXISTING CONSTRUCTION AND DEMOLITION. ANY DAMAGE, INJURY OR INTERRUPTION OF EXISTING BUILDING SERVICES RESULTING FROM ACCIDENTAL DAMAGE TO EXISTING SYSTEMS SHALL BE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR. THE GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ARCHITECT OF ANY DISCOVERED CONCEALED BUILDING SYSTEM THAT MAY AFFECT THE INDICATED WORK OR WHOSE PRESENCE OF DISTURBANCE MAY BE HAZARDOUS TO THE OCCUPANTS OR MAY CAUSE A CODE VIOLATION, AND WAIT FOR CLARIFICATION OR INSTRUCTIONS PRIOR TO PROCEEDING WITH THE WORK. THE GENERAL CONTRACTOR SHALL DEMOLISH THE EXISTING CONSTRUCTION TO THE EXTENT REQUIRED FOR PERFORMING THE WORK SHOWN, WHETHER OR NOT SPECIFIC DEMOLITION ITEMS ARE INDICATED ON DRAWINGS.

ON CONSTRUCTION DOCUMENTS, "EXISTING" DOES NOT DENOTE "AS-BUILT". DIMENSIONS DIRECTLY OR INDIRECTLY RELATED TO EXISTING CONDITIONS ARE APPROXIMATE. THE ACTUAL AS-BUILT DIMENSIONS AND THE FULL EXTENT OF ANY EXISTING CONCEALED CONSTRUCTION SHALL BE VERIFIED IN THE FIELD BY THE CONTRACTOR PRIOR TO STARTING THE WORK.

LAYOUT:

THE CONTRACTOR SHALL EMPLOY A COMPETENT PERSON TO SURVEY THE EXISTING DIMENSIONS, ESTABLISH A PERMANENT BENCHMARK AND GENERAL REFERENCE POINTS TO WHICH EASY ACCESS IS AVAILABLE BY SUBCONTRACTORS FOR LAYING OUT THEIR WORK AND VERIFICATION OF LINES, GRADES, BOUNDARIES, ETC., THROUGHOUT THE PROGRESS OF THE WORK. THE CONTRACTOR SHALL LAY OUT THE PARTITIONS ON THE FORMS OR ROUGH FLOORS AS A GUIDE TO THE TRADES.

IT IS THE DUTY OF EACH SUBCONTRACTOR TO LAY OUT HIS OWN WORK, TAKE THEIR OWN FIELD MEASUREMENTS OF DIMENSIONS, GRADES AND LEVELS PRIOR TO FABRICATION AND TO COORDINATED WITH OTHER TRADES AND THE CONTRACTOR THROUGHOUT THE PROJECT. THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING LAYOUTS THAT THE SUBCONTRACTORS HAVE PERFORMED THEIR DUTIES IN A TIMELY, CORRECT AND COMPREHENSIVE MANNER.

THE CONTRACTOR SHALL NOTIFY ARCHITECT OF ANY MISSING DIMENSIONS OR DISCREPANCIES AND SHALL NOT PROCEED WITH THE WORK THAT MAY BE DIRECTLY OR INDIRECTLY AFFECTED UNTIL THE DIMENSIONS IN QUESTIONS ARE SUPPLIED OR CLARIFIED BY THE ARCHITECT.

EXTERIOR BUILDING DIMENSIONS REFERENCE THE FINISH FACE OF MASONRY OR OTHER FINISHES. INTERIOR DIMENSIONS REFERENCE THE FACE OF STUDS AND STRUCTURAL GRID LINES.

NOTED DIMENSIONS GOVERN OVER SCALE. DRAWINGS SHALL NOT BE SCALED.

PREPARATION:

EACH INSTALLER SHALL INSPECT THE SUBSTRATE TO RECEIVE WORK AND CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED AND VERIFY LAYOUT OF WORK BEFORE BEGINNING INSTALLATION. THE INSTALLER SHALL NOT PROCEED WITH WORK UNTIL UNSATISFACTORY CONDITIONS HAVE BEEN CORRECTED TO THE SATISFACTION OF THE INSTALLER. BEGINNING OF WORK BY THE INSTALLER MEANS ACCEPTANCE OF EXISTING CONDITIONS BY THE INSTALLER.

DEMOLITION:

THE CONTRACTOR SHALL DEMOLISH THE EXISTING CONSTRUCTION TO THE EXTENT REQUIRED FOR PERFORMING THE WORK SHOWN, WHETHER OR NOT SPECIFIC DEMOLITION ITEMS ARE INDICATED ON DRAWINGS.

CUTTING & PATCHING:

ALL CUTTING, PATCHING AND RESHAPING REQUIRED FOR THE EXECUTION OF NEW WORK SHALL BE DONE WHETHER OR NOT SPECIFICALLY INDICATED ON THE CONSTRUCTION DOCUMENTS OR AS A RESULT OF HIS SUBCONTRACTORS ACTIONS.

WHERE PIPING, DUCTS, CONDUITS, OR OTHER MECHANICAL, PLUMBING, AND ELECTRICAL ITEMS ARE REMOVED FROM EXISTING CONSTRUCTION, SUCH EXISTING CONSTRUCTION SHALL BE PATCH TO MATCH THE SURROUND CONDITIONS.

WHERE OUTLETS ARE REMOVED, WIRE SHALL BE PULLED BACK TO PANEL.

CLEANUP:

THE CONTRACTOR SHALL PROMPTLY REMOVED ALL DEBRIS, REFUSE AND BY-PRODUCTS PROMPTLY FROM THE JOB SITE. COMPLIANCE WITH ALL APPLICABLE RULES, REGULATIONS, COVENANTS, CODES AND LAWS MANDATORY. MAINTAIN THE CONSTRUCTION SITE DAILY IN A SAFE, CLEAN AND ORDERLY MANNER.

STANDARDS:

FOR MATERIALS, PRODUCTS, ASSEMBLIES OR WORKMANSHIP SPECIFIED OR INDICATED BY ASSOCIATION, TRADE OR FEDERAL STANDARDS, COMPLY WITH REQUIREMENTS OR STANDARD, UNLESS NOTED OTHERWISE ON THE CONTRACT DOCUMENTS OR WHEN MORE RIGID REQUIREMENTS ARE REQUIRED BY APPLICABLE REGULATIONS.

EFFECTIVE DATE OF STANDARD IS THAT IN EFFECT AS OF BID OR NEGOTIATED CONTRACT DATE EXCEPT WHEN SPECIFIC DATES IS SPECIFIED OR WHEN STANDARD IS PART OF APPLICABLE CODE WHICH INCLUDES AS EDITION DATE.

SEE "UL" PUBLICATIONS FOR FULL DESCRIPTION AND DETAILS OF THE "UL" RATED ASSEMBLIES.

PROVIDE CONSTRUCTION, CONTROL AND EXPANSION JOINTS, SEALANTS, FLASHING, AIR BARRIERS, AND WATER BARRIERS IN ACCORDANCE WITH CODES, INDUSTRY STANDARDS AND MANUFACTURERS RECOMMENDATIONS. IN NOT INDICATED IN THE CONSTRUCTION DOCUMENTS, SUBMIT LOCATIONS OF SUCH PROPOSED FITTING OR MATERIAL AND TECHNIQUES FOR APPROVAL BY ARCHITECT. PROVIDE UNIFORM JOINT WIDTH AND ARRANGE JOINTS TO OBTAIN BEST VISUAL EFFECT. WHERE A JOINT PATTERN OR MATERIAL EXPOSURE IS NOT SPECIFIED OR CANNOT BE READILY INFERRED FROM THE CONSTRUCTION DOCUMENTS REQUEST CLARIFICATION FROM THE ARCHITECT.

ISOLATE DISSIMILAR MATERIALS TO PREVENT GALVANIC ACTION – WHETHER SPECIFICALLY INDICATED BY THE CONTRACT DOCUMENTS OR NOT.

PROVIDE DRAFT-STOPPING AND FIRE-STOPPING AT ALL LOCATIONS REQUIRED BY APPLICABLE CODES, AND RATED ASSEMBLY DESIGNS.

PROVIDE CONCEALED BLOCKING FOR PROPER INSTALLATION OF ALL SURFACE OR RECESSED MOUNTED ITEMS – WHETHER SPECIFICALLY INDICATED BY THE CONTRACT DOCUMENTS OR NOT. WOOD BLOCKING SHALL BE FIRE TREATED WHERE REQUIRED BY CODES. PROVIDE METAL PLATES IN LIEU OF CONCEALED WOOD BLOCKING IN STAIRCASE AND SHAFT ENCLOSURES.

WHEN NON-RATED WALLS INTERSECT OTHER FIRE AND SOUND RATED WALLS, THE CONSTRUCTION OF THE RATED WALLS SHALL CARRY THROUGH. ALL PENETRATIONS THRU RATED WALLS SHALL BE SEALED AS APPROVED FOR THE REQUIRED RATING BY TESTING AGENCIES.

FINISH ACCESS PANELED TO MATCH ADJACENT SURFACES. ALL ACCESS PANELS, RECESSED CABINETS AND EQUIPMENT IN RATED ASSEMBLIES SHALL BE RATED TO MAINTAIN THE DESIGN RATING OF THE ASSEMBLY THEY ARE INSTALLED IN.

PROVIDE PLASTIC GROMMET COVERS AT ALL GROMMETS. COLOR SHALL BE THE CLOSEST MATCHING STANDARD COLOR TO THE ADJACENT SURFACE. SUBMIT SAMPLES FOR APPROVAL.

INTERIOR FINISH MATERIALS SHALL MEET THE FLAME SPREAD AND SMOKE DEVELOPED RATINGS REQUIREMENTS OF ALL APPLICABLE CODES.

ALL UNFINISHED WOOD IN CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE PRESERVATIVE TREATED.

MATERIAL SAFETY:

NO MATERIAL OR PRODUCT THAT MAY HAVE AN ADVERSE EFFECT ON THE INDOOR AIR QUALITY BEYOND APPROVED LEVELS AFTER THE BUILDING IS OCCUPIED, SHALL BE USED. THE CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY WARNINGS BY THE MANUFACTURER REGARDING ANY ADVERSE EFFECT ON THE INDOOR AIR QUALITY AND ANY POTENTIAL HEALTH HAZARD TO OCCUPANTS PRIOR TO PLACING THE ORDER SPECIFIED MATERIALS OR PRODUCTS.

NO MATERIAL OR PRODUCT THAT MAY POSE ANY POTENTIAL HEALTH HAZARD TO OCCUPANTS, THAT DOES NOT COMPLY WITH THE SPECIFICATIONS AND/OR APPLICABLE REGULATIONS SHALL BE SUBSTITUTED IN LIEN OF ANY SPECIFIED MATERIAL OR PRODUCT.

IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO IDENTIFY ALL HAZARDOUS MATERIALS ENCOUNTERED IN THE EXISTING CONSTRUCTION AND NOTIFY THE OWNER FOR ABATEMENT OR DISPOSAL IN THE MANNER PRESCRIBED BY THE APPLICABLE LAWS AND REGULATIONS.

ALL NEW HAZARDOUS MATERIAL SHALL BE HANDLED IN ACCORDANCE WITH APPLICABLE LAWS AND REGULATIONS AND MANUFACTURERS RECOMMENDATIONS, EXCESS MATERIALS, LEFTOVERS AND /OR BI-PRODUCTS SHALL BE DISPOSED OF.

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S202	WIND BRACING PLAN

PROJECT DATA:

OWNER:
KIM AND TORY NEWMYER
7209 MACARTHUR BLVD
BETHESDA, MD

ARCHITECT:
Robert C. Black, AIA
ROBERT BLACK 5 design, LLC
8604 TIMBER HILL LN
POTOMAC, MD 20854
robert@rb5design.com
202 255 6474

STRUCTURAL ENGINEER:
NORTON CONSULTING ENGINEERS
nortonengineer@gmail.com
240 393 3672

APPLICABLE DESIGN CODES:

- CHAPTER 59 ZONING ORDINANCE
- 2018 INTERNATIONAL RESIDENTIAL CODE WITH MONTGOMERY COUNTY AMENDMENTS
- POTOMAC OVERLOOK HISTORIC DISTRICT

AREAS:

SEE FLOOR PLANS

SCOPE OF WORK:

ROBERT BLACK 5 design
ARCHITECTURE

8604 Timber Hill Ln
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202 255 6474

www.robertblack5design.com

HDC - HAWP APPLICATION II 11-12-2022
HDC - HAWP APPLICATION 10-04-2022
PRICING PACKAGE 07-07-2022

RENOVATION &
ADDITION TO:

NEWMYER RESIDENCE
7209 MACARTHUR BLVD
BETHESDA, MD
POTOMAC OVERLOOK HISTORIC DISTRICT

DRAWING TITLE

COVER SHEET

SHEET NUMBER

A001

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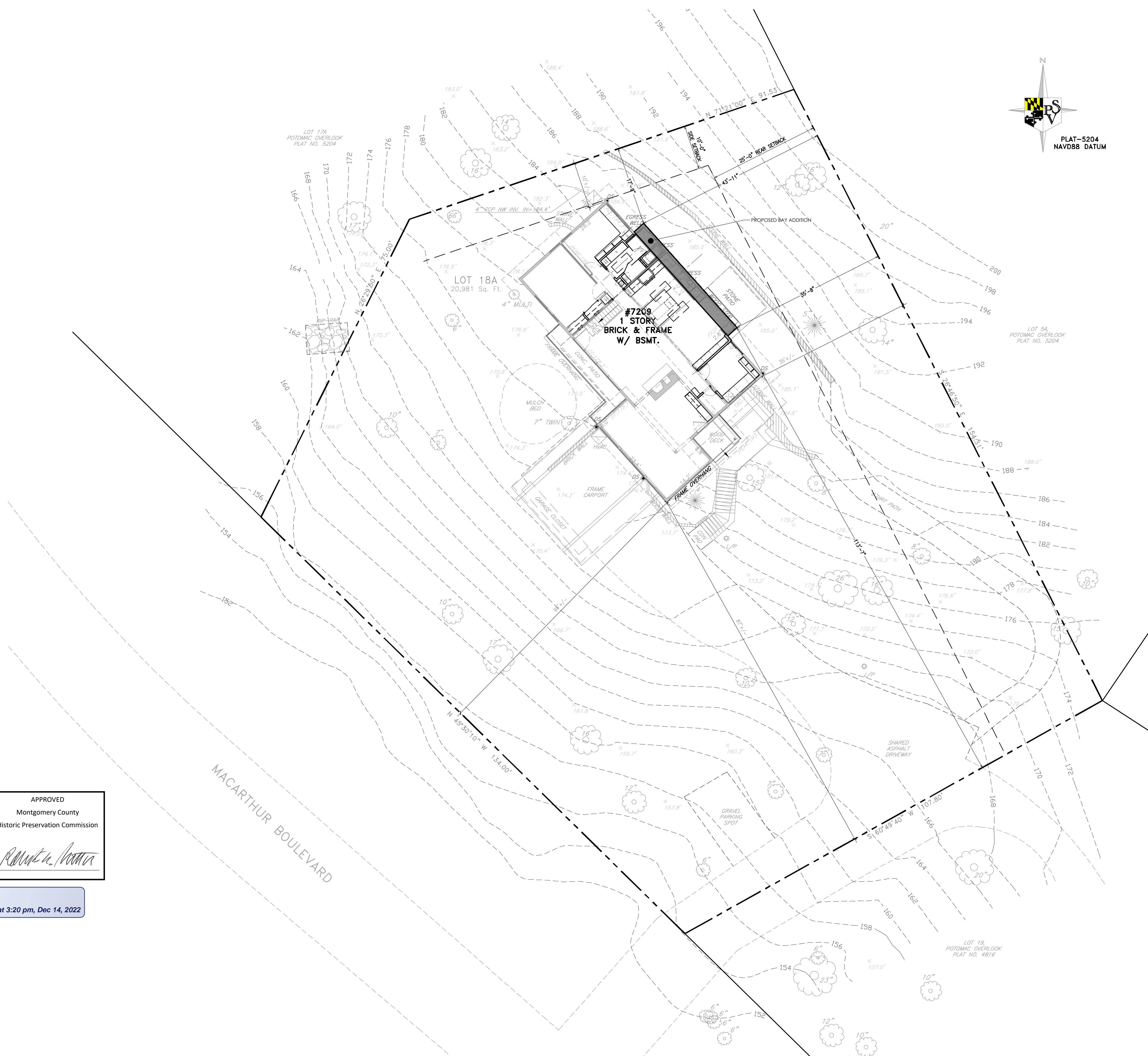
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NEWMYER RESIDENCE
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 POTOMAC OVERLOOK HISTORIC
 DISTRICT

A003

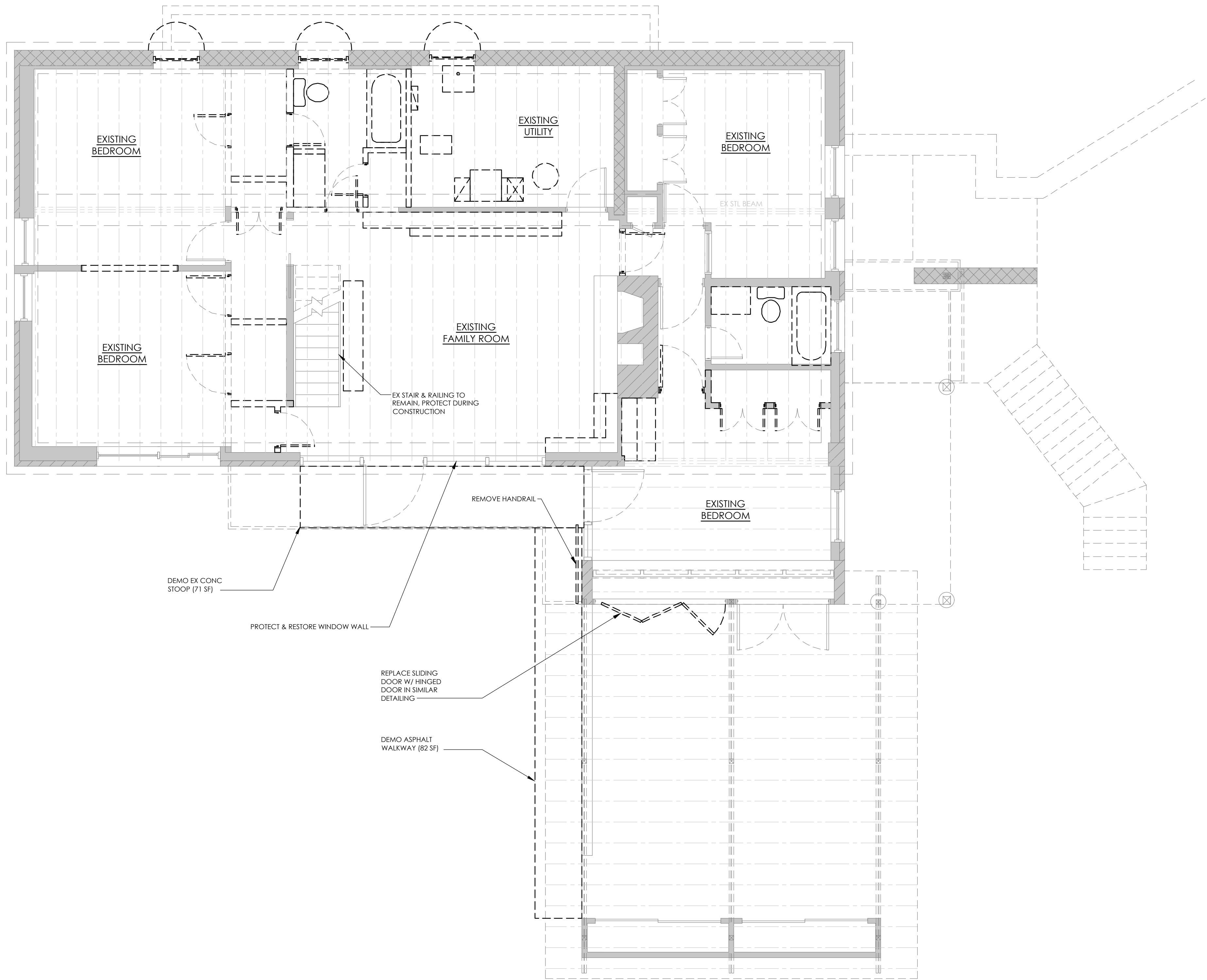
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REVIEWED
By Dan.Bruechert at 3:20 pm, Dec 14, 2022



LEGEND

- EXISTING WALL TO REMAIN
- EXISTING BRICK VENEER WALL
- EXISTING WALL TO BE REMOVED
- NEW STUD WALL
- EXISTING DOOR TO BE REMOVED
- EXISTING/NEW DOOR TO REMAIN
- EXISTING WINDOW TO BE REMOVED
- NEW WINDOW



APPROVED

Montgomery County
Historic Preservation Commission

[Signature]

REVIEWED

By Dan.Bruechert at 3:20 pm, Dec 14, 2022

1
A100

LOWER LEVEL DEMO PLAN

1/4"=1'-0"

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DRAWING TITLE

DEMOLITION PLANS

SHEET NUMBER

A100

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LEGEND

EXISTING WALL TO REMAIN

EXISTING BRICK VENEER WALL

EXISTING WALL TO BE REMOVED

NEW STUD WALL

EXISTING DOOR TO BE REMOVED

EXISTING/NEW DOOR TO REMAIN

EXISTING WINDOW TO BE REMOVED

NEW WINDOW

APPROVED

Montgomery County
Historic Preservation Commission

REVIEWED

By Dan.Bruechert at 3:20 pm, Dec 14, 2022

1
A101

1/4"=1'-0"

MAIN LEVEL DEMO PLAN

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DRAWING TITLE

DEMOLITION PLANS

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LEGEND

EXISTING WALL TO REMAIN

EXISTING BRICK VENEER WALL

EXISTING WALL TO BE REMOVED

NEW STUD WALL

EXISTING DOOR TO BE REMOVED

EXISTING/NEW DOOR TO REMAIN

EXISTING WINDOW TO BE REMOVED

NEW WINDOW

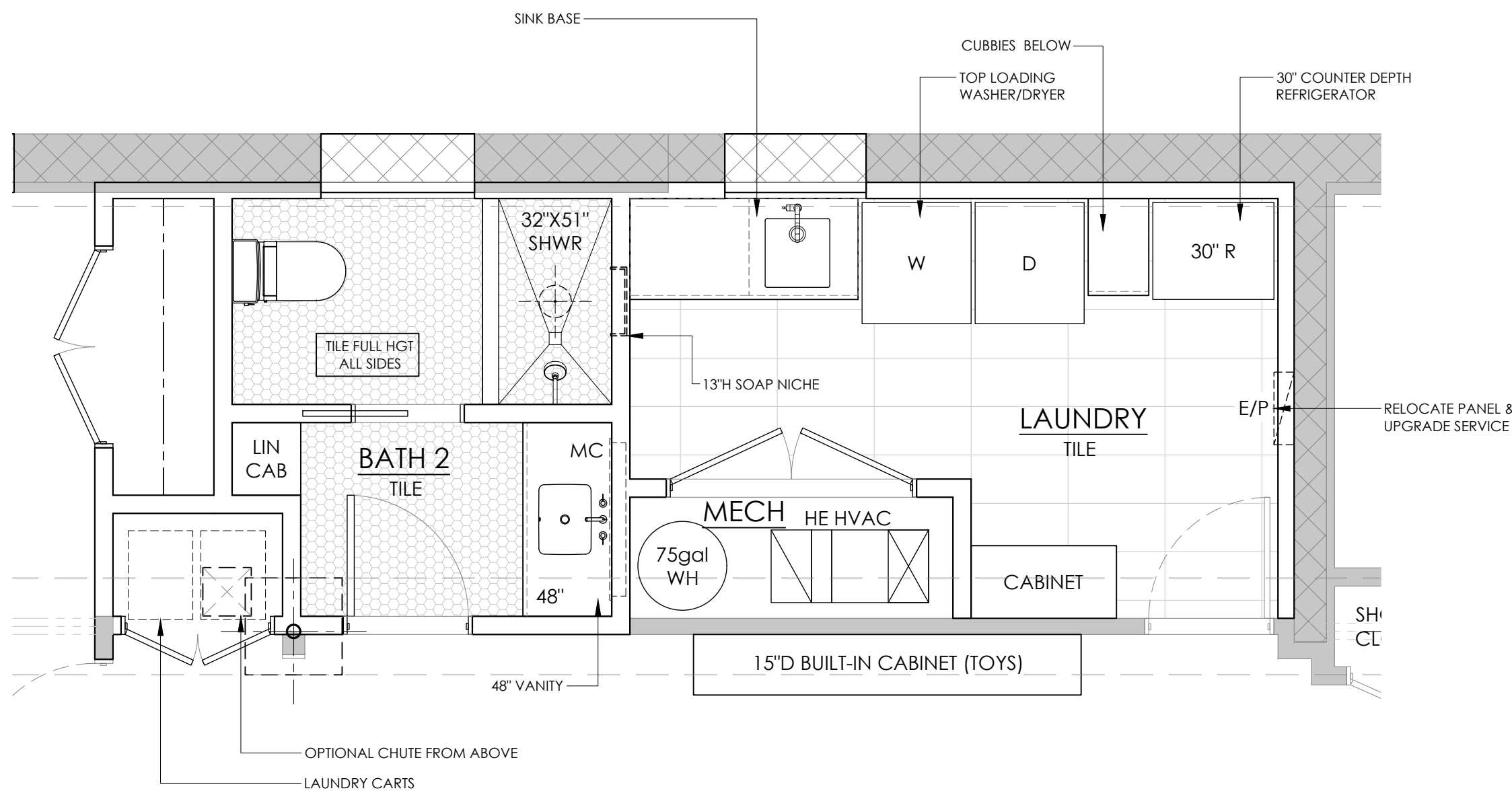
APPROVED

Montgomery County

Historic Preservation Commission

REVIEWED

By Dan.Bruechert at 3:21 pm, Dec 14, 2022

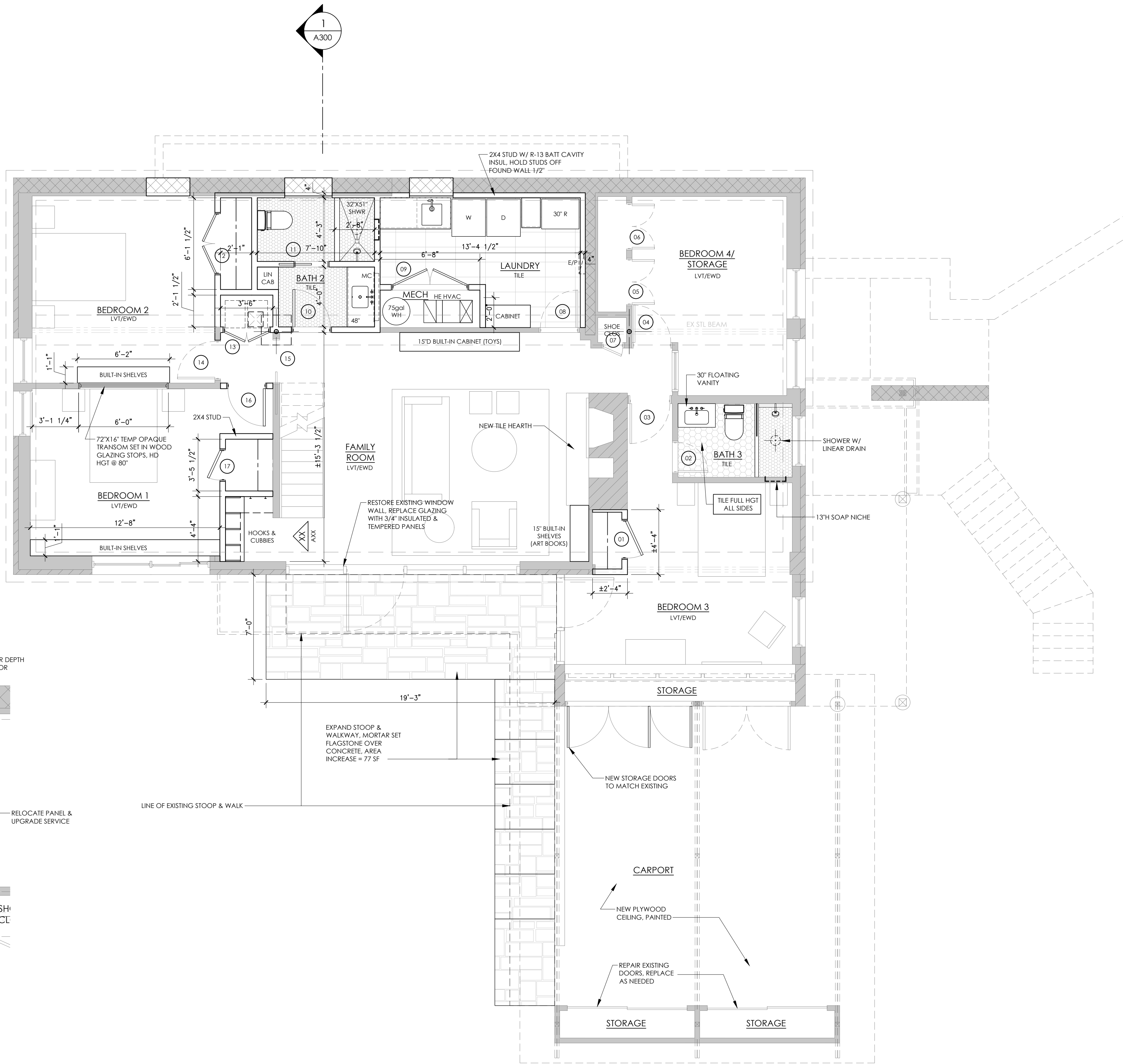


2

A102

PLAN DETAIL

3/8"=1'-0"



1

A102

PROPOSED LOWER LEVEL PLAN

1/4"=1'-0"

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7209 MACARTHUR BLVD
BETHESDA, MD
POTOMAC OVERLOOK HISTORIC
DISTRICT

DRAWING TITLE

LOWER LEVEL PLAN

SHEET NUMBER

A102

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SEE INTERIOR ELEVATION ON CD SET

PROPOSED MAIN LEVEL PLAN



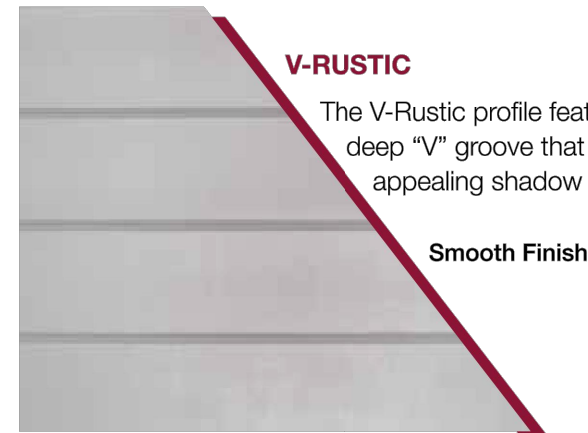
EXISTING ELEVATION

A200

APPROVED
Montgomery County
Historic Preservation Commission

Robert H. Bruechert

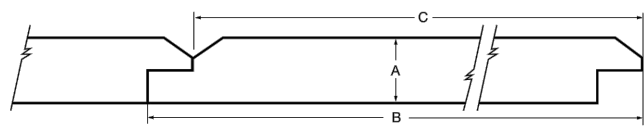
REVIEWED
By Dan.Bruechert at 3:21 pm, Dec 14, 2022



V-RUSTIC
The V-Rustic profile features a deep "V" groove that creates an appealing shadow line effect.

Smooth Finish

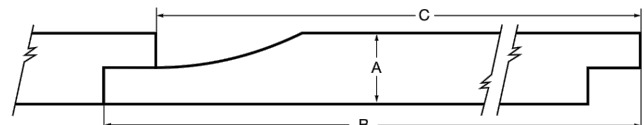
Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	5"
1 x 8	11/16"	7-1/2"	7"
1 x 10	11/16"	9-1/2"	9"



COVE/DUTCH LAP
The Cove/Dutch Lap profile features a subtle curve that creates a unique, eased appearance.

Smooth Finish

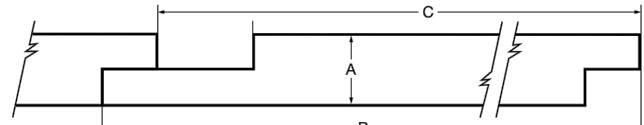
Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/4"	6-23/32"
1 x 10	11/16"	9-1/4"	8-23/32"



CHANNEL
The Channel profile's wide groove creates a rich shadow line effect.

Smooth Finish

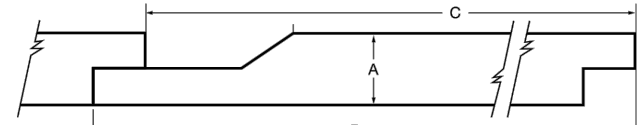
Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/4"	6-23/32"
1 x 10	11/16"	9-1/4"	8-23/32"



CHANNEL BEVEL
The Channel Bevel profile features a channel-style joint with an angled edge.

Smooth Finish

Nominal Size	Actual Thickness (A)	Actual Width (B)	Reveal (C)
1 x 6	11/16"	5-1/2"	4-31/32"
1 x 8	11/16"	7-1/2"	6-31/32"
1 x 10	11/16"	9-1/2"	8-31/32"

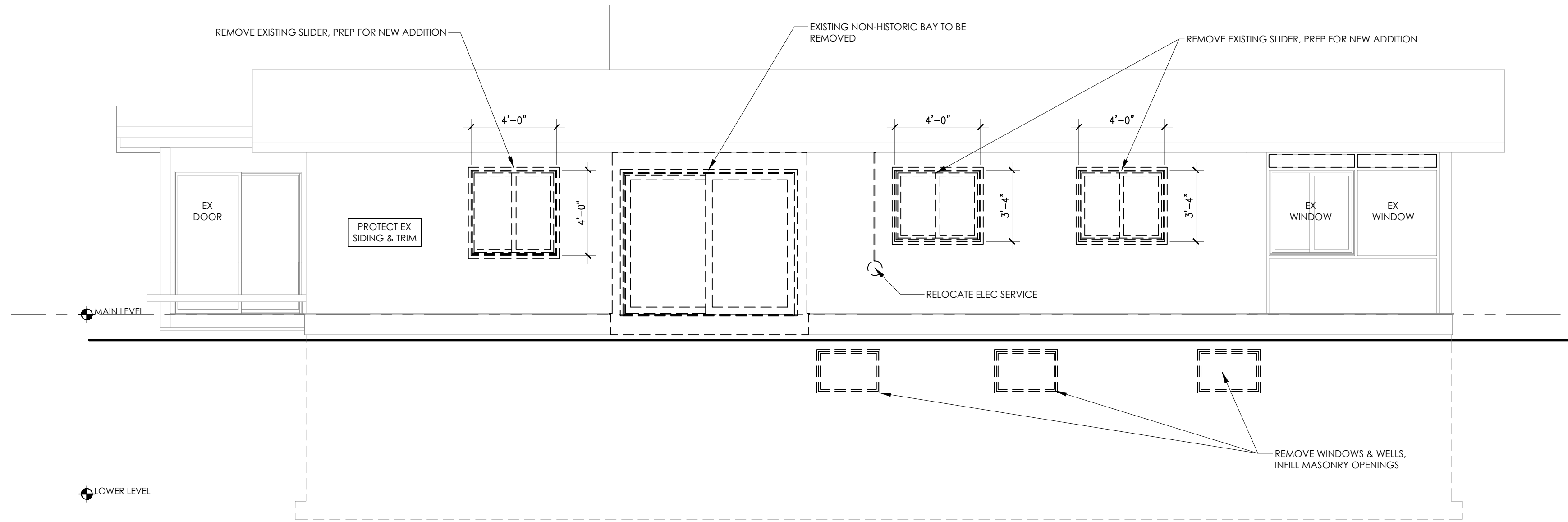


TruExterior Siding comes pre-primed and does require paint.

10

SIDING SPEC

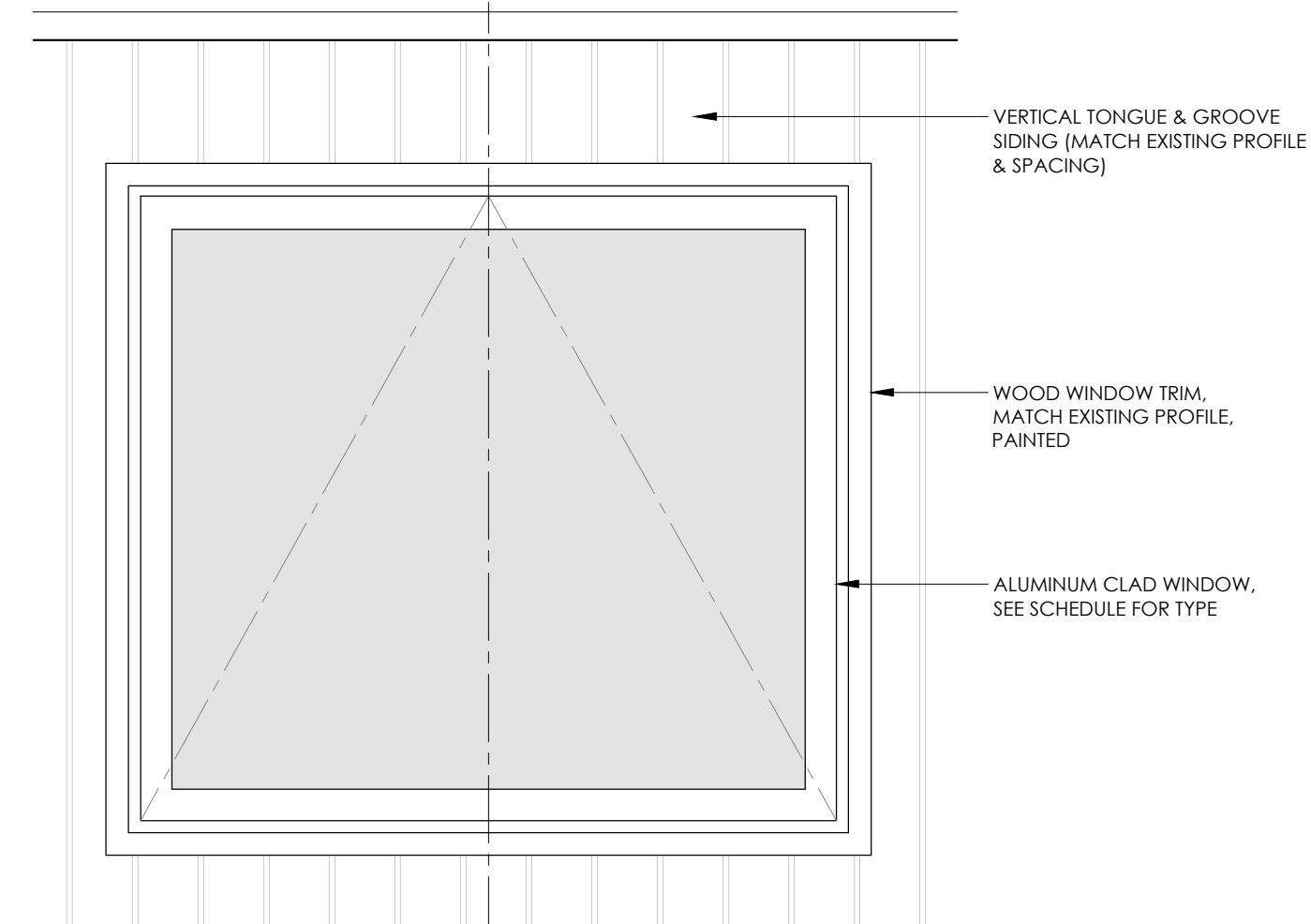
A200



1 NORTH EAST ELEVATION - DEMOLITION

A200

1/4"=1'-0"

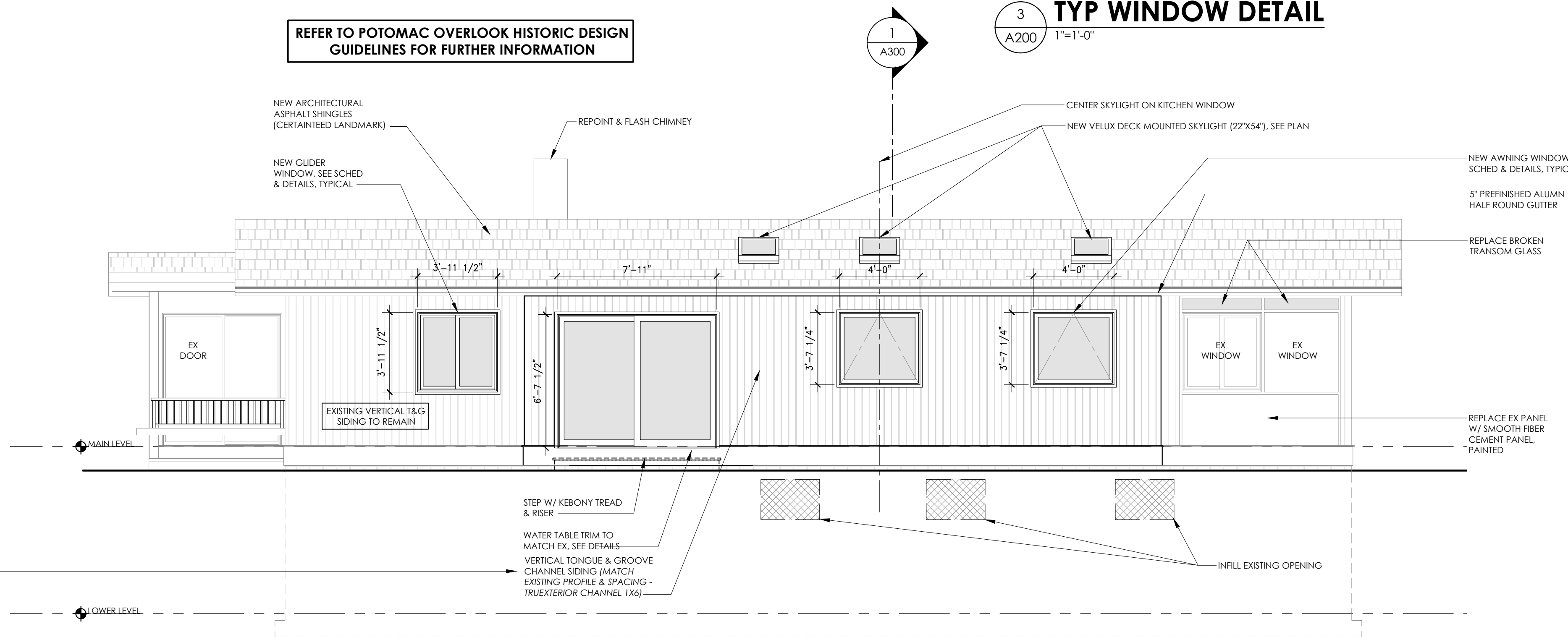


3 TYP WINDOW DETAIL

A200

1"=1'-0"

REFER TO POTOMAC OVERLOOK HISTORIC DESIGN GUIDELINES FOR FURTHER INFORMATION



2 NORTH EAST ELEVATION - PROPOSED

A200

1/4"=1'-0"

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HDC - HAWP
APPLICATION 10-04-2022
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BETHESDA, MD
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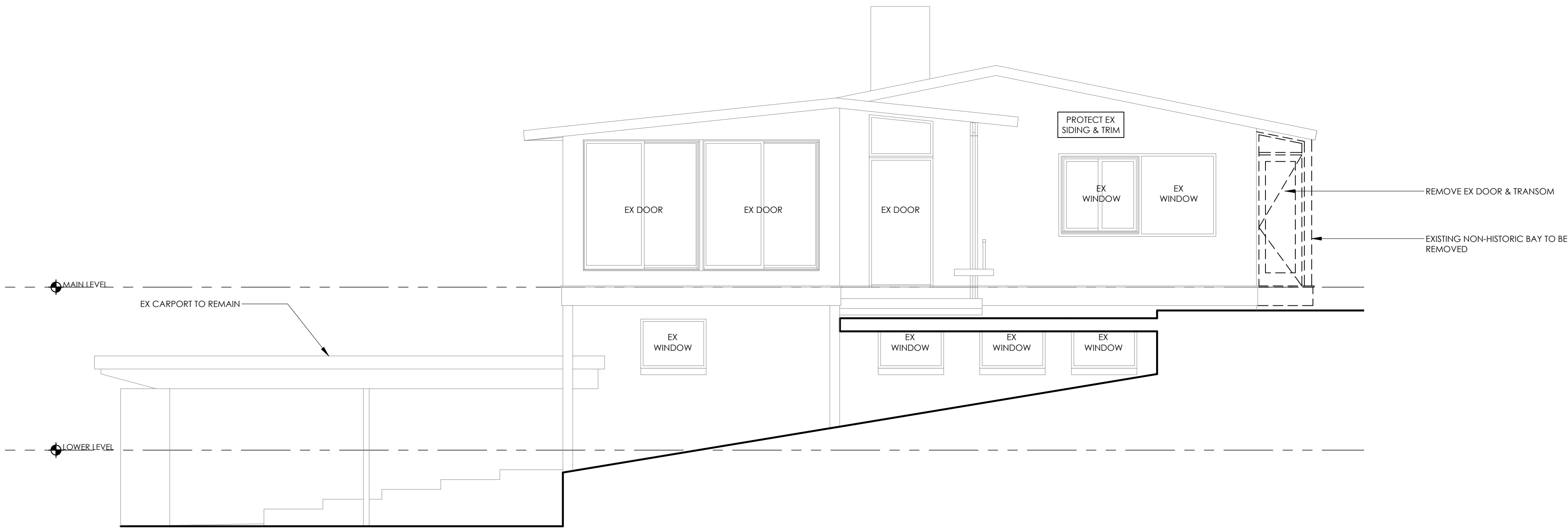
ELEVATIONS

SHEET NUMBER

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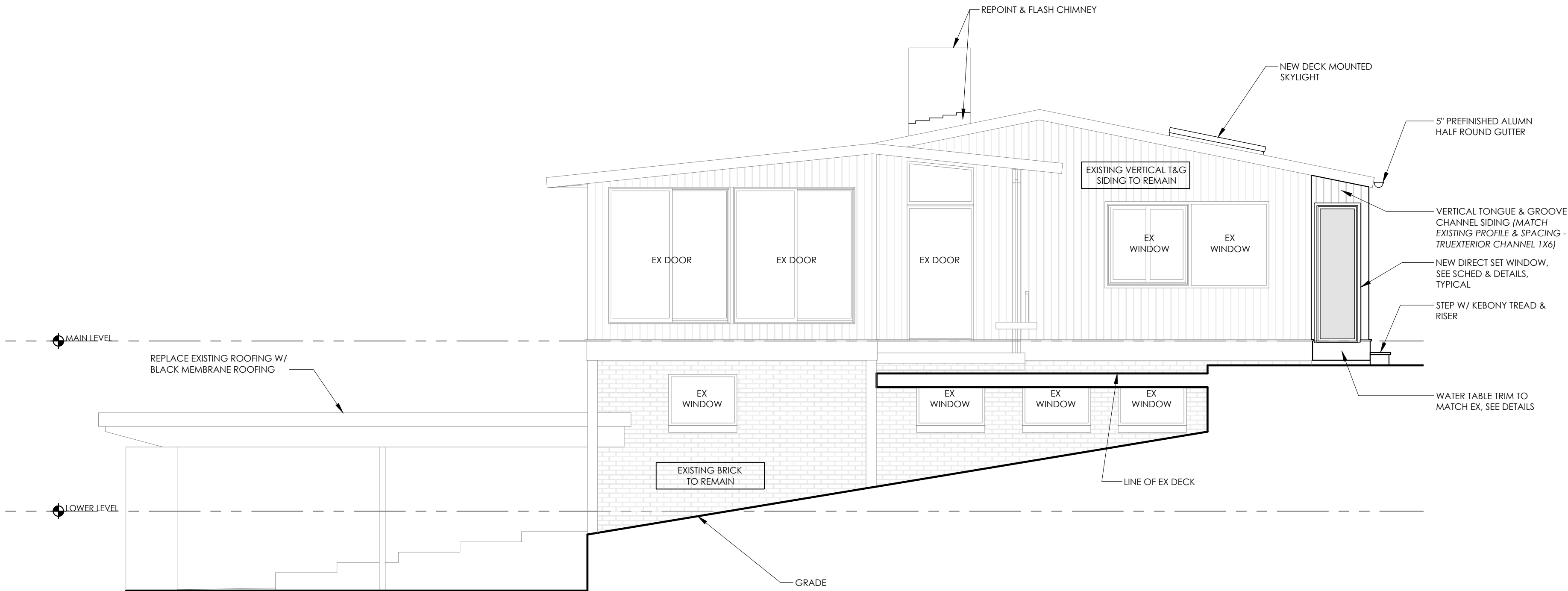


1 SOUTH EAST ELEVATION - DEMOLITION
A201 1/4"=1'-0"

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GUIDELINES FOR FURTHER INFORMATION



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2 SOUTH EAST ELEVATION - PROPOSED
A201 1/4"=1'-0"

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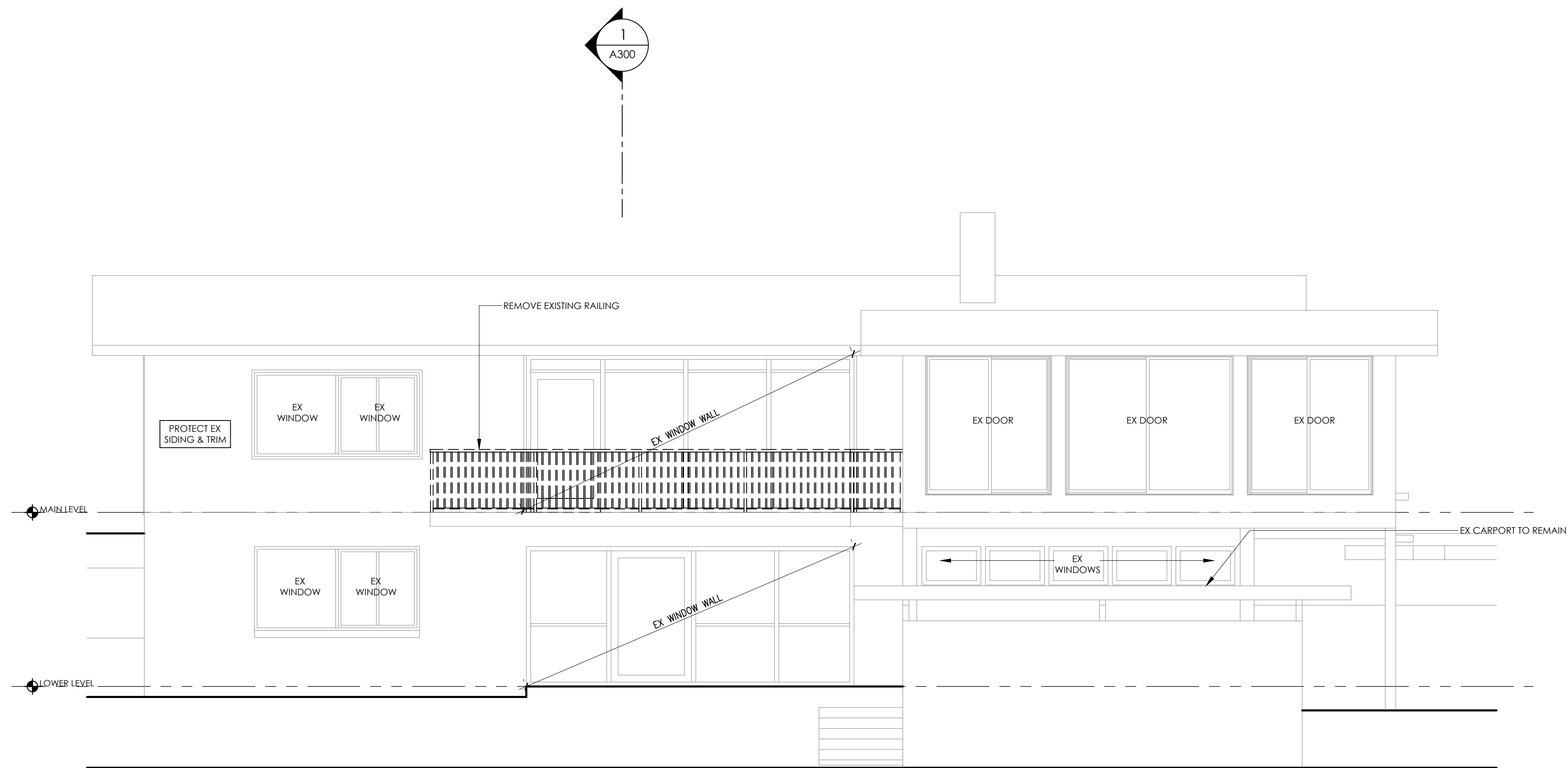
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ELEVATIONS

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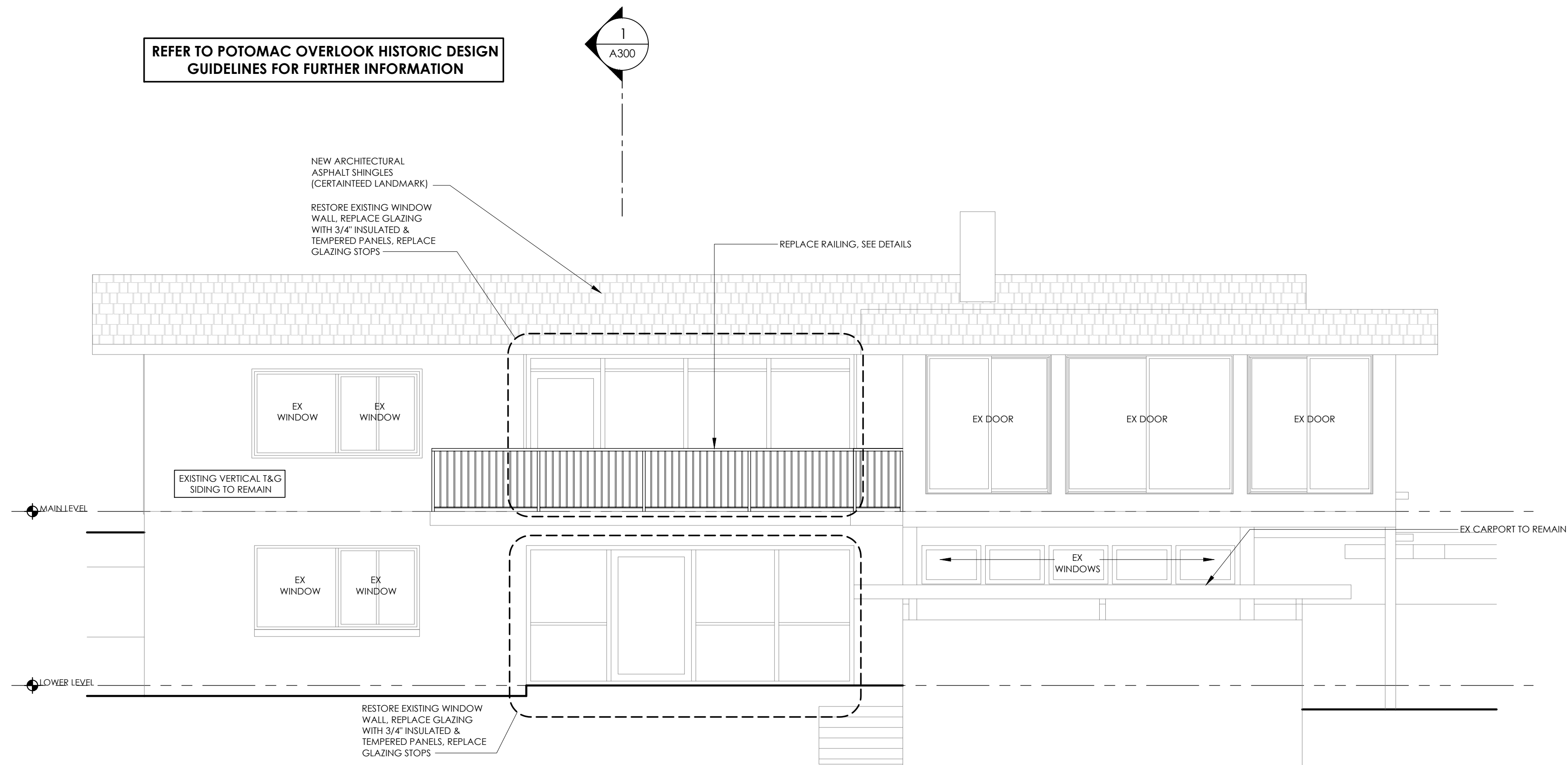
A201

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1 SOUTH WEST ELEVATION - DEMOLITION
A202 1/4"=1'-0"

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2 SOUTH WEST ELEVATION - PROPOSED
A202 1/4"=1'-0"

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Historic Preservation Commission

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1 NORTH WEST ELEVATION - DEMOLITION
A202 1/4"=1'-0"

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2 NORTH WEST ELEVATION - PROPOSED
A202 1/4"=1'-0"

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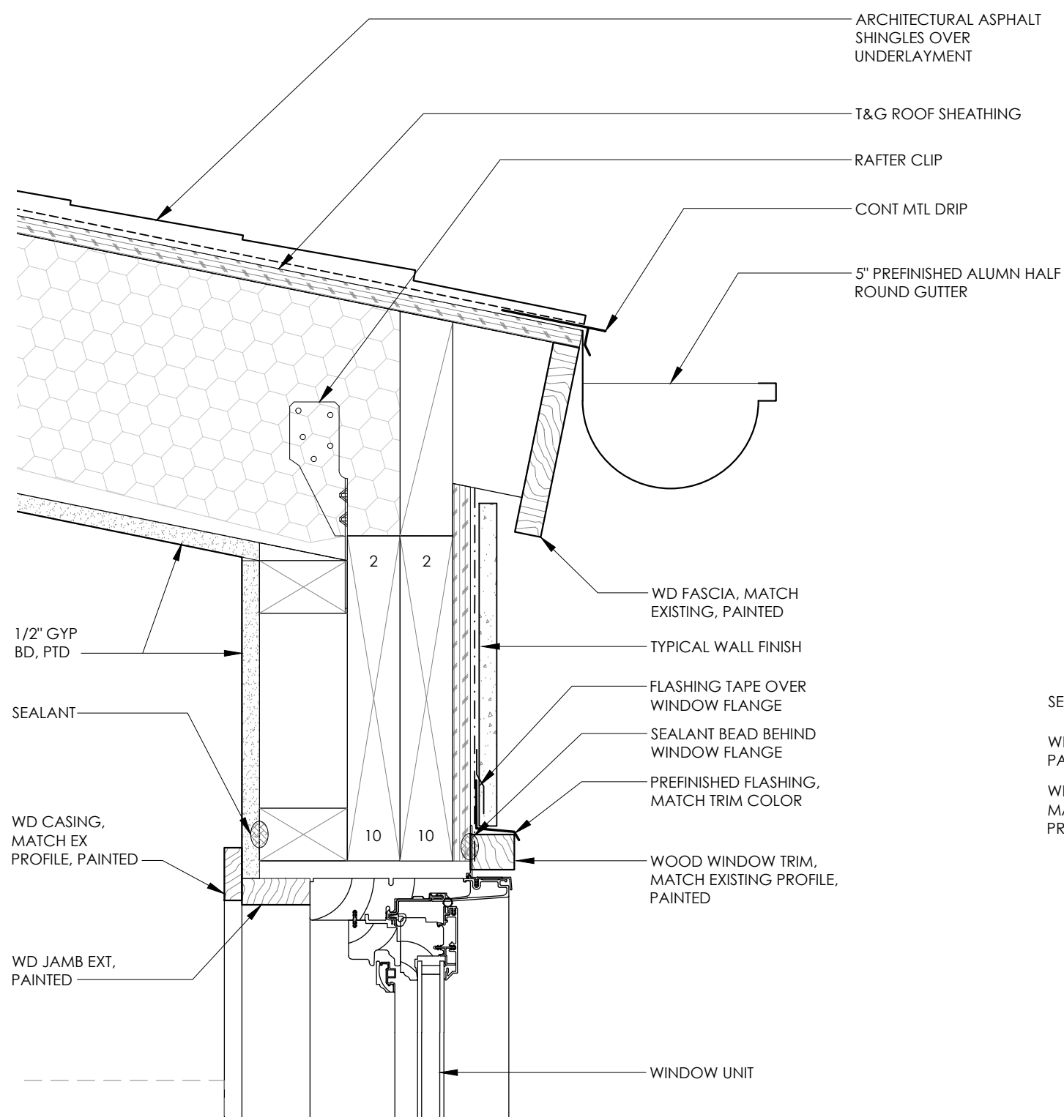
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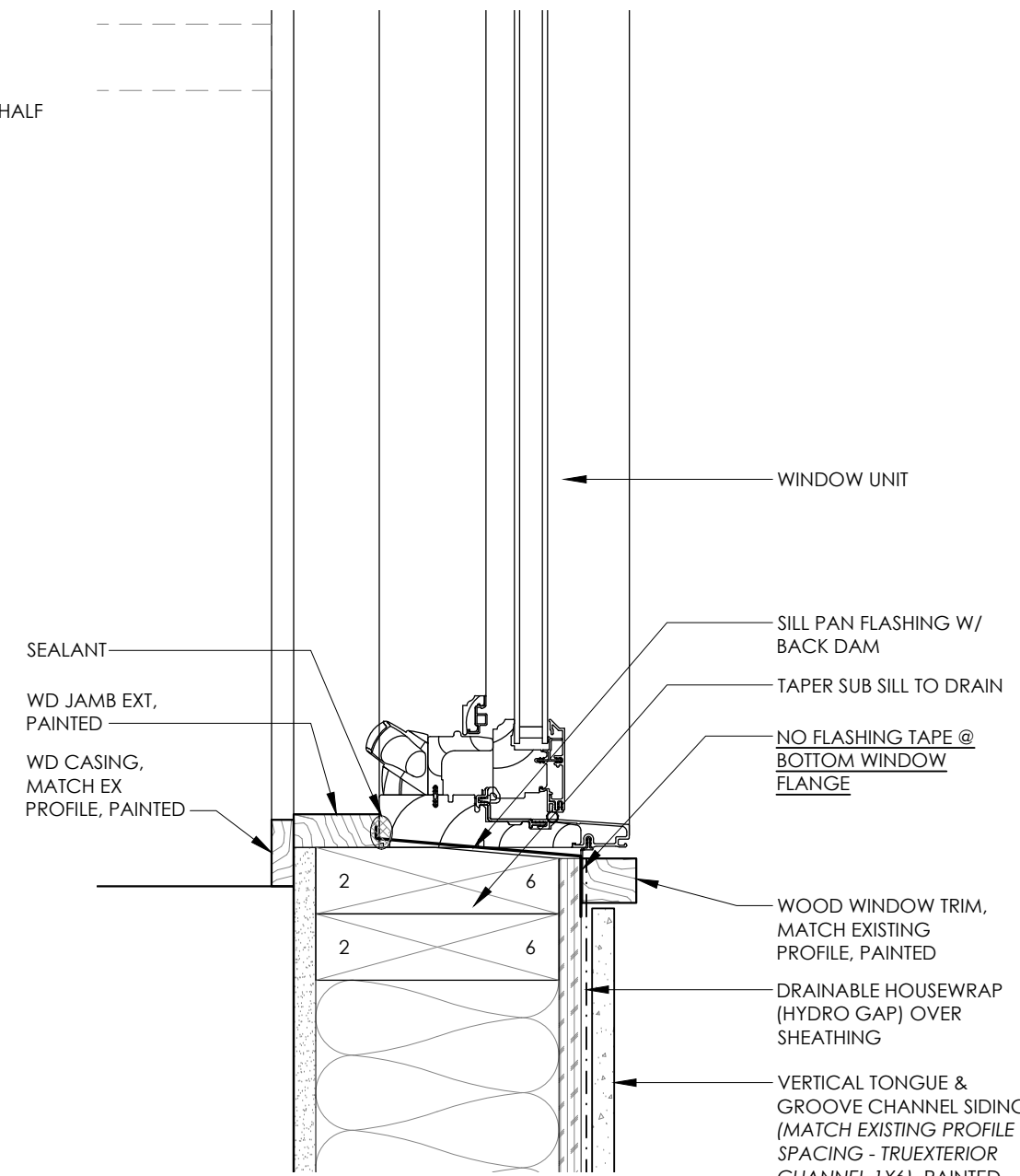
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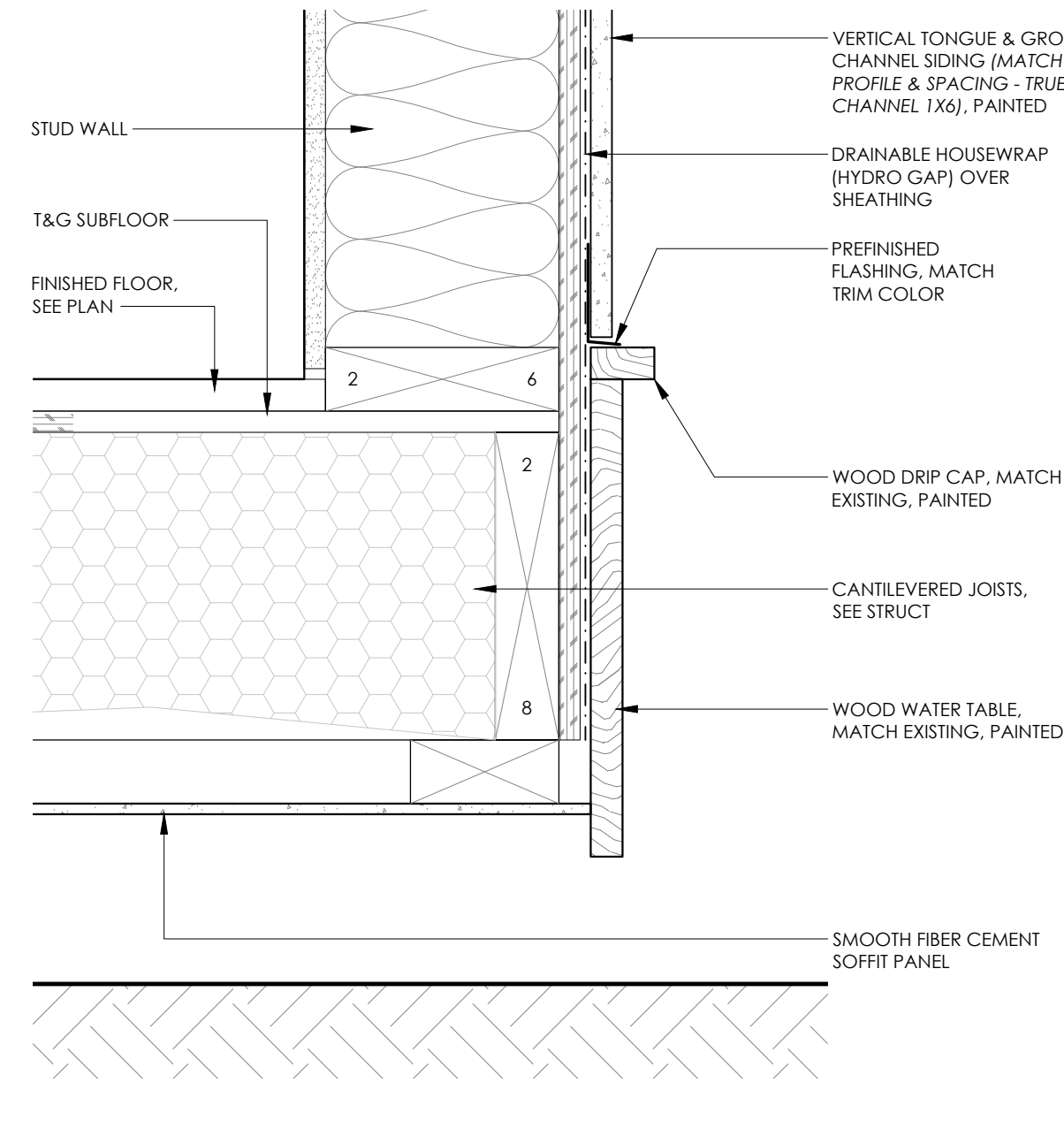
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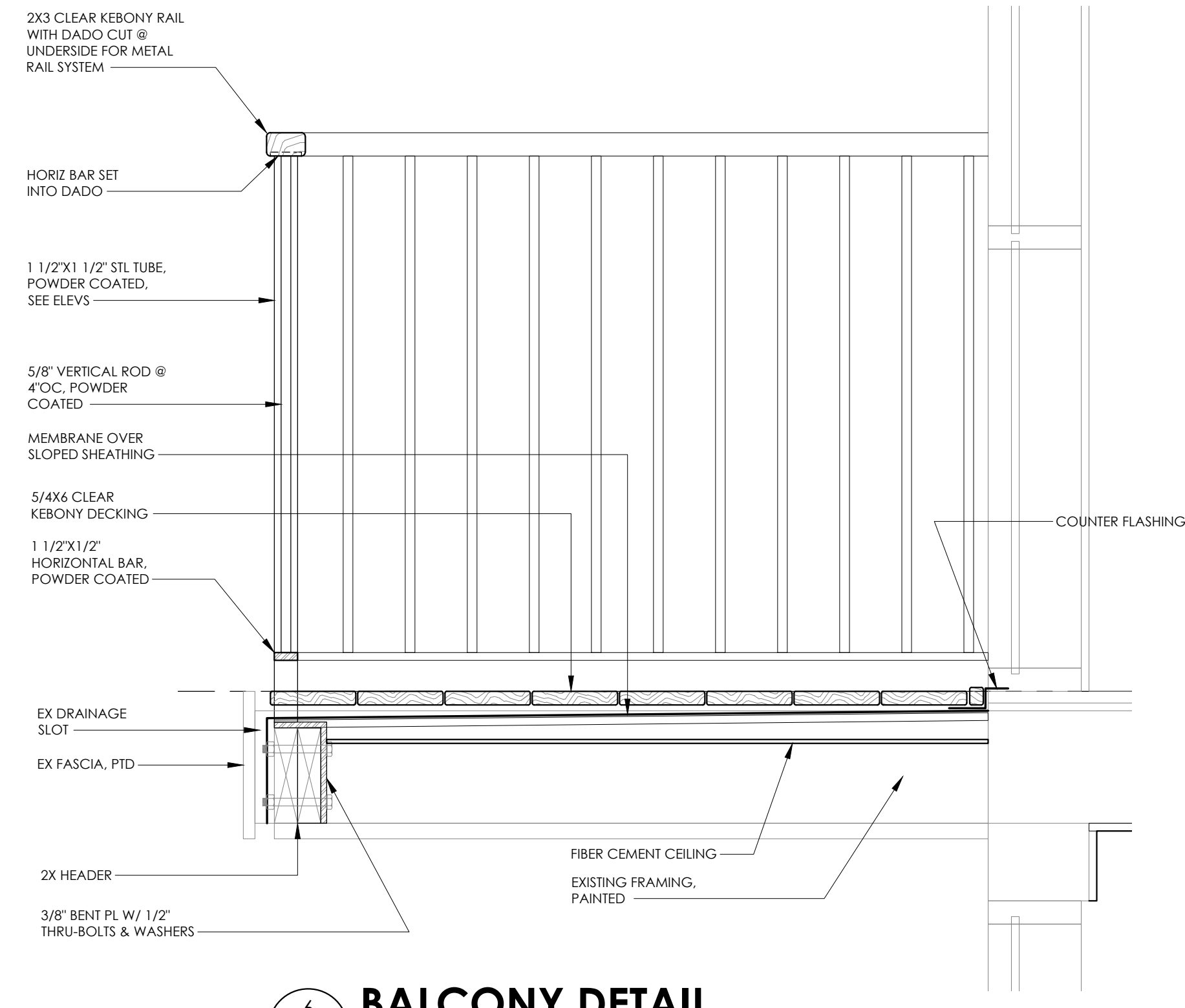
3 HEAD DETAIL
A300 3"=1'-0"



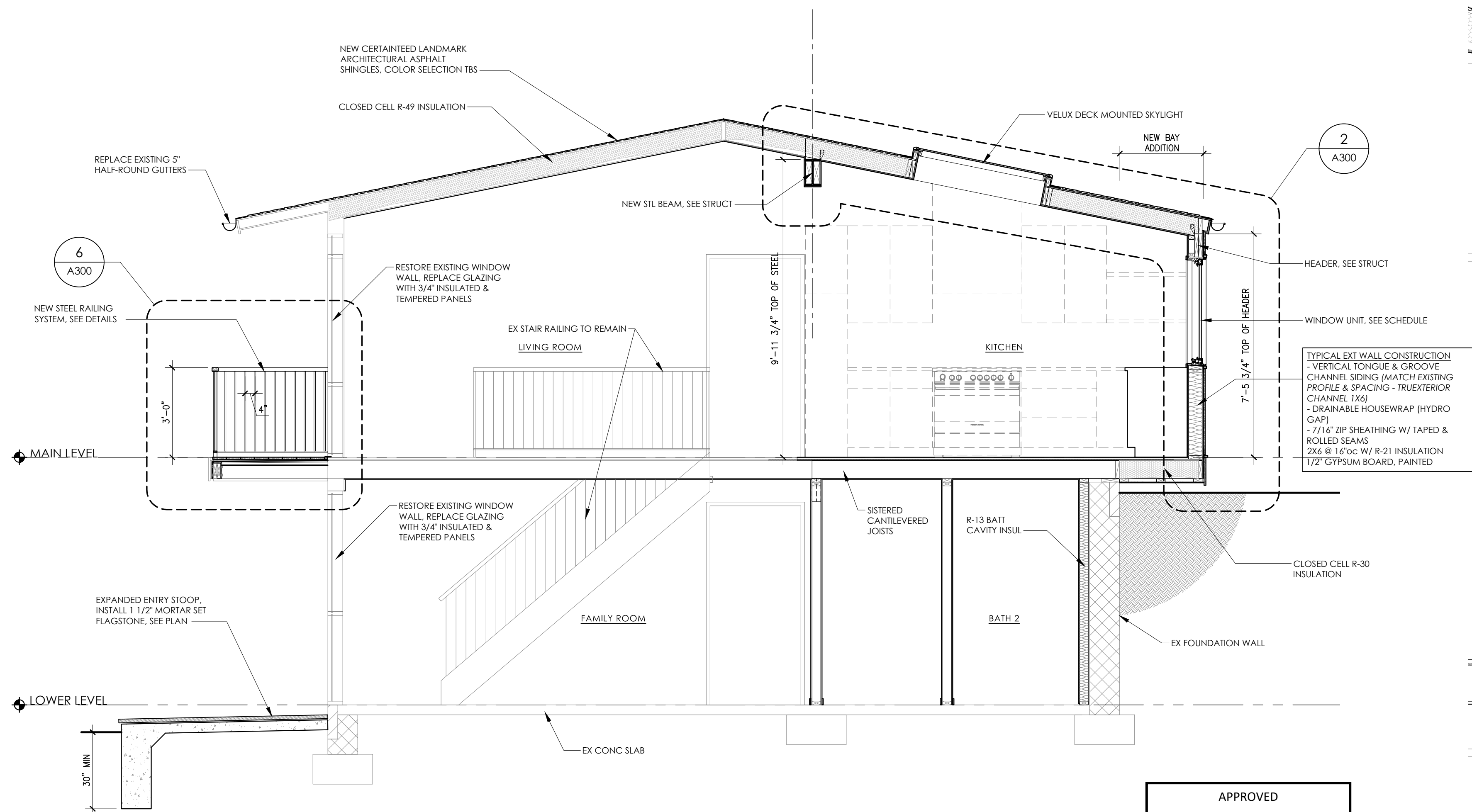
4 SILL DETAIL
A300 3"=1'-0"



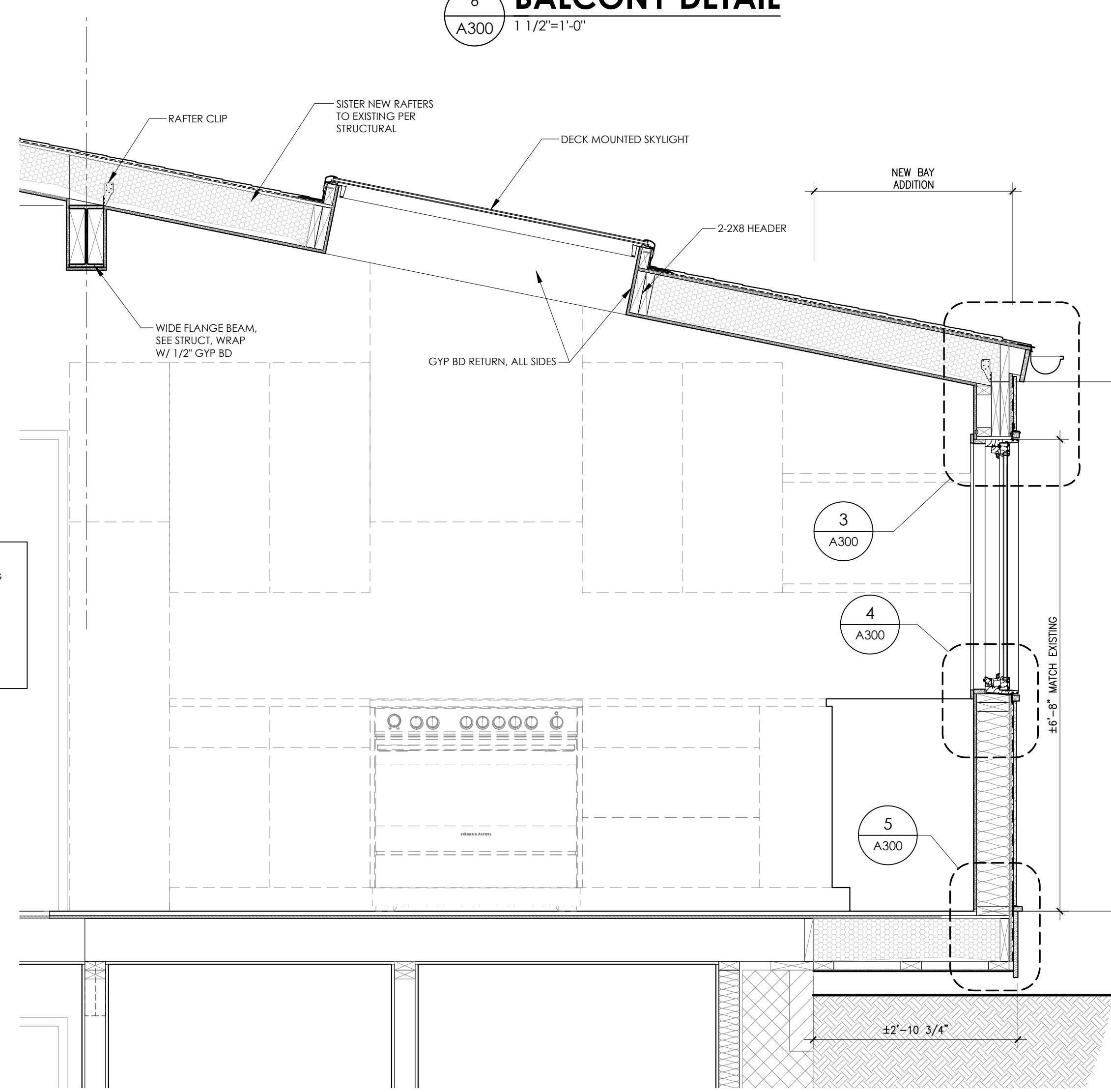
5 WATER TABLE DETAIL
A300 3"=1'-0"



6 BALCONY DETAIL
A300 1 1/2"=1'-0"



1 BUILDING SECTION
A300 3/8"=1'-0"



2 WALL SECTION
A300 3/4"=1'-0"

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SECTIONS

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A300

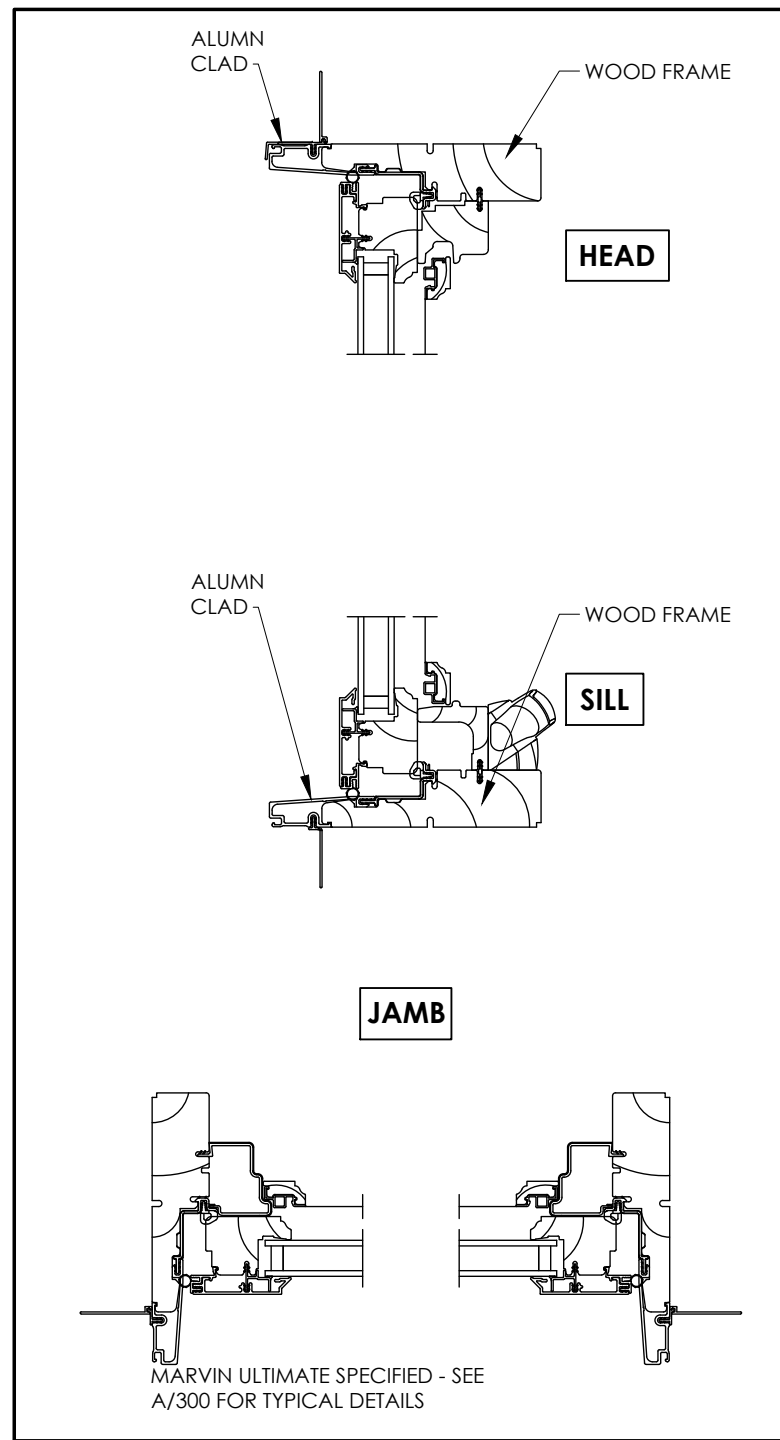
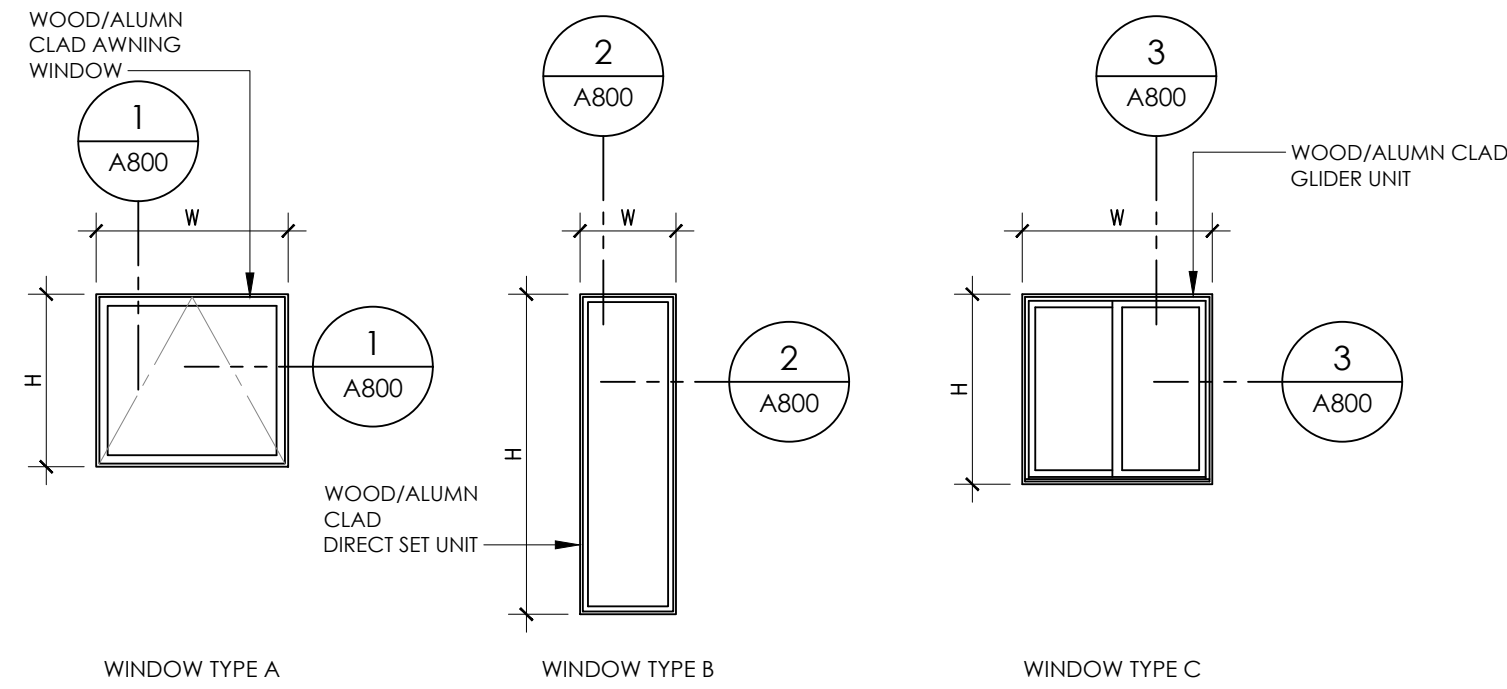
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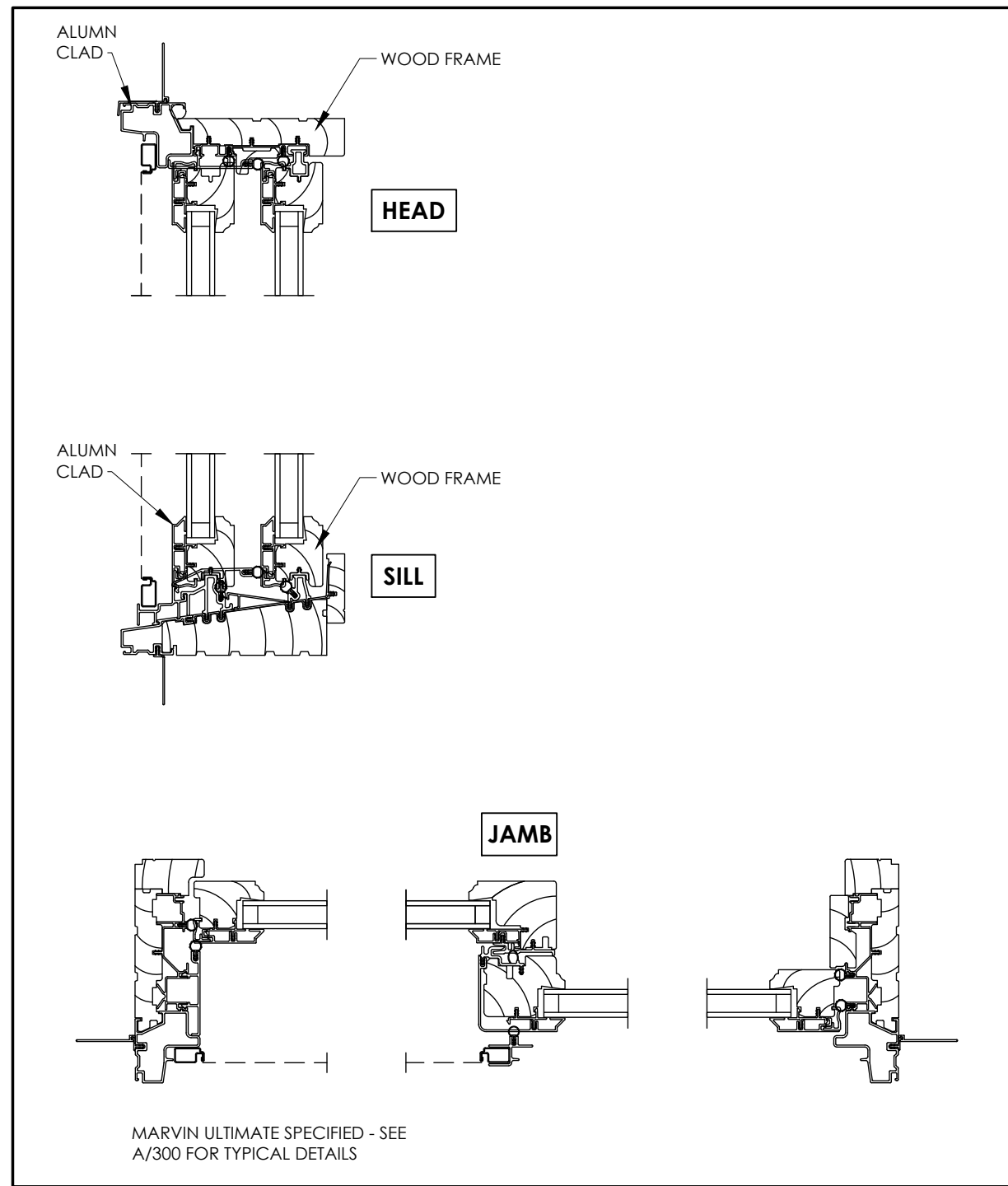
WINDOW SCHEDULE						
KEY	FRAME SIZE		TYPE	MANUFACTURER	COLOR	REMARKS
	W	H				
1	4'-0"	3'-8"	A	MARVIN ULTIMATE WOOD/ALUMN CLAD	WHITE	TEMPERED GLAZING
2	4'-0"	3'-8"	A	MARVIN ULTIMATE WOOD/ALUMN CLAD	WHITE	TEMPERED GLAZING
3	2'-0"	6'-8"	B	MARVIN ULTIMATE WOOD/ALUMN CLAD	WHITE	TEMPERED GLAZING
4	4'-0"	4'-0"	C	MARVIN ULTIMATE WOOD/ALUMN CLAD	WHITE	--

- NOTES:
- ALL WINDOWS TO HAVE SCREENS. CONFIRM SCREEN FRAME COLOR WITH ARCHITECT.
 - CONFIRM HARDWARE FINISH WITH ARCHITECT.
 - VERIFY WINDOW SCHEDULE WITH ARCHITECT PRIOR TO ORDER. SUBMIT WINDOW SUBMITTAL FOR ARCHITECT REVIEW AND APPROVAL.
 - ALL GLAZING TO BE DOUBLE PANE LOWE WITH A U-FACTOR OF 0.25 & SHGC OF .41
 - PROVIDE EGRESS HARDWARE IN EGRESS WINDOWS WINDOWS AS REQUIRED.
 - PROVIDE SAFETY GLASS AT ENTRIES, STAIRS, OVER BATHTUBS AND AS REQUIRED BY CODE.
 - GENERAL CONTRACTOR TO VERIFY ALL ROUGH/MASONRY OPENING DIMENSIONS WITH WINDOW MANUFACTURER PRIOR TO FRAMING.
 - SEE ELEVATIONS FOR WINDOW SWING
 - SOLS = SIMULATED DIVIDED LITE W/ SPACER BAR
 - *REFER TO HISTORIC DESIGN GUIDELINES FOR FURTHER INFORMATION



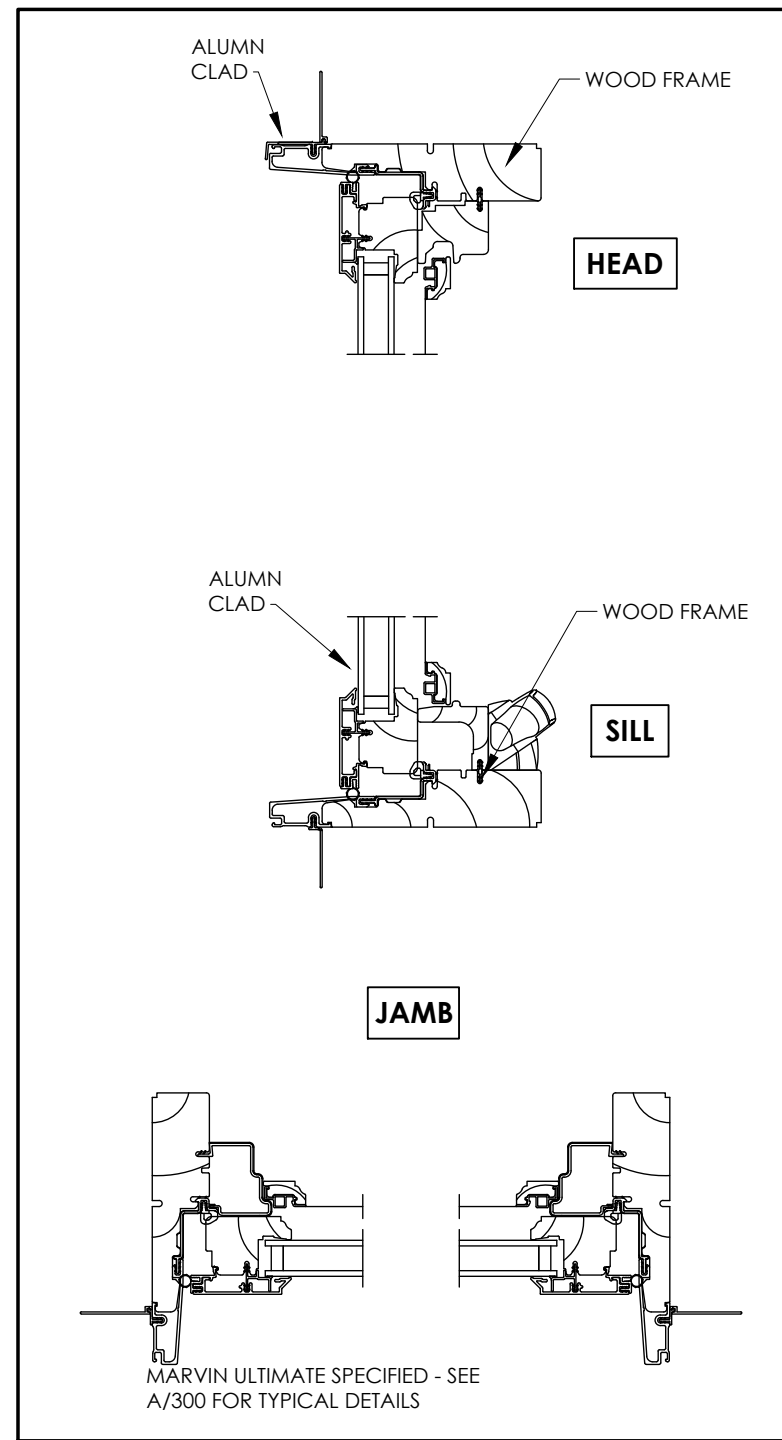
1
A800 3"=1'-0"

AWNING WINDOW DETAIL



2
A800 3"=1'-0"

GLIDER WINDOW DETAIL



3
A800 3"=1'-0"

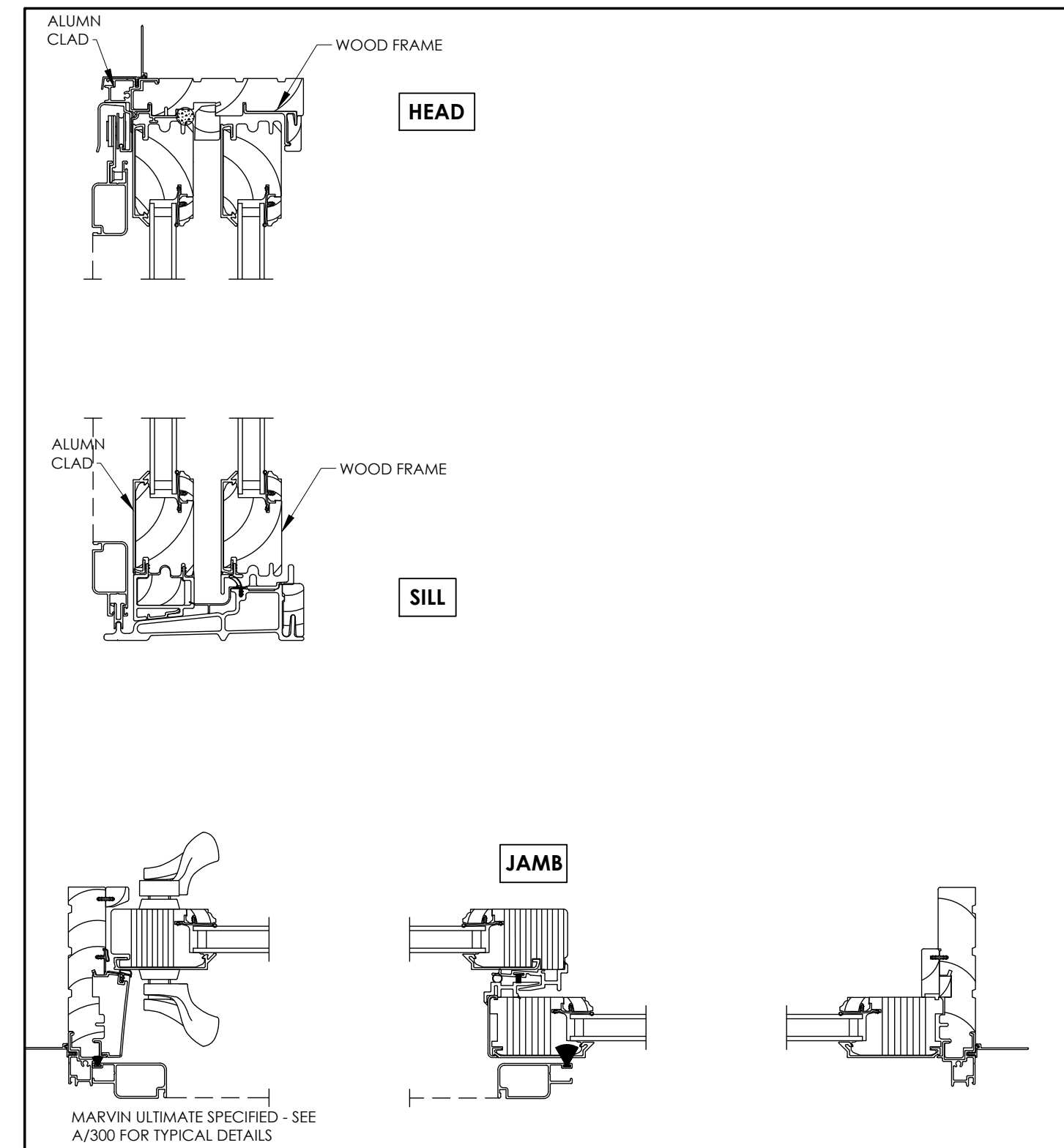
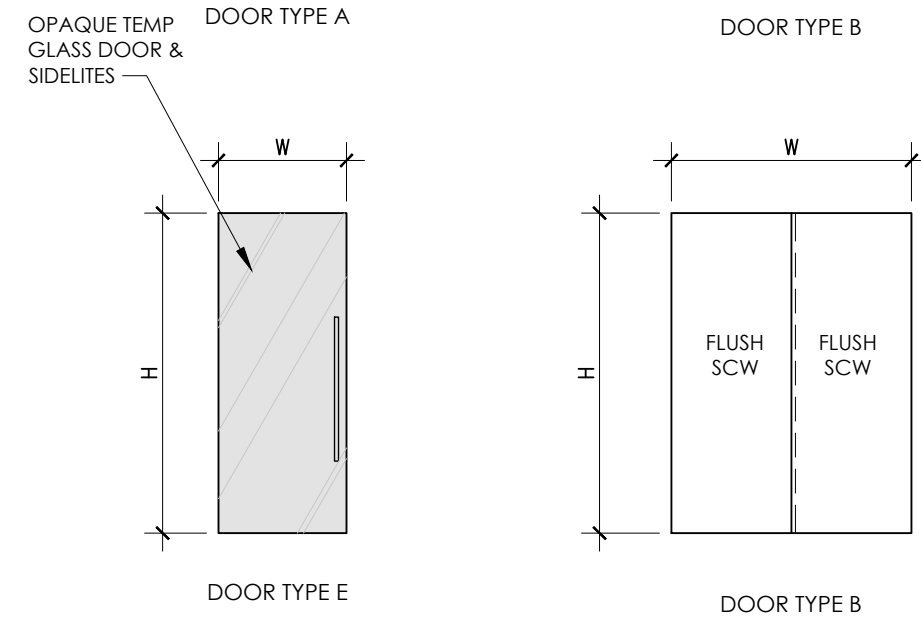
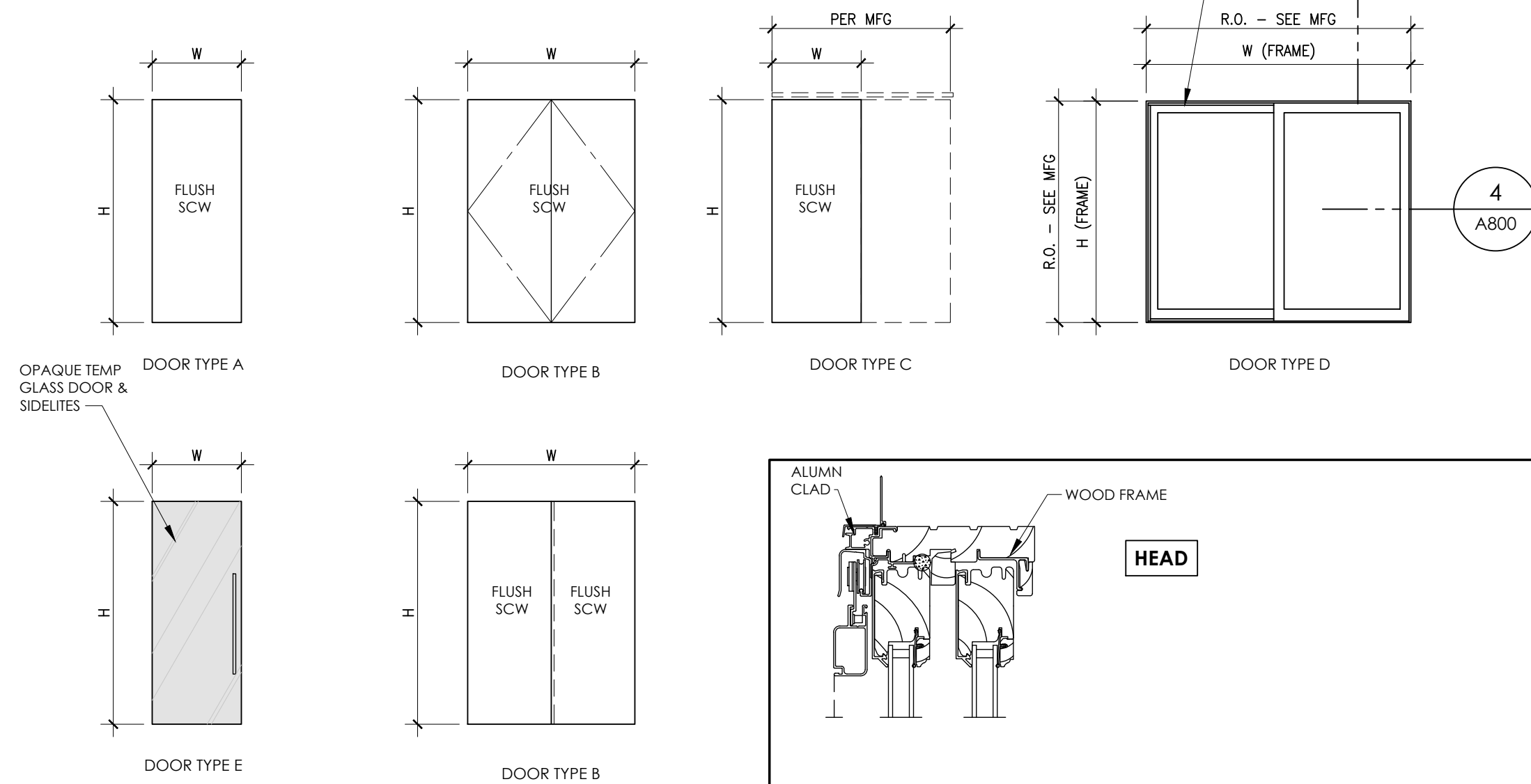
DIRECT SET DETAIL

DOOR SCHEDULE									
KEY	LOCATION	DOOR SIZE		TYPE	DOOR		FRAME		REMARKS
		W	H		MATERIAL	COLOR	MATERIAL	HARDWARE	
01	BEDROOM 3 CLOSET	2'-6"	6'-8"	A	SCW	--	--	HW-3	VIF
02	BATH 3	2'-0"	6'-8"	A	SCW	--	--	HW-1	VID
03	BEDROOM 3	2'-8"	6'-8"	A	SCW	--	--	HW-1	VIF
04	BEDROOM 4	2'-6"	6'-8"	A	SCW	--	--	HW-1	VIF
05	BEDROOM 4 CLOSETS	3'-0"	6'-8"	B	SCW	--	--	HW-3	VIF
06	BEDROOM 4 CLOSETS	3'-0"	6'-8"	B	SCW	--	--	HW-3	VIF
07	SHOE CLOSET	1'-6"	6'-8"	A	SCW	--	--	HW-3	VIF
08	LAUNDRY	2'-6"	6'-8"	A	SCW	--	--	HW-2	--
09	MECH	5'-0"	6'-8"	B	SCW	--	--	HW-3	--
10	BATH 2	2'-6"	6'-8"	A	SCW	--	--	HW-1	--
11	BATH 2 POCKET	2'-2"	6'-8"	C	SCW	--	--	HW-8	--
12	BEDROOM 2 CLOSET	4'-0"	6'-8"	B	SCW	--	--	HW-3	--
13	LINEN	3'-0"	6'-8"	B	SCW	--	--	HW-3	--
14	BEDROOM 2	2'-6"	6'-8"	A	SCW	--	--	HW-1	VIF
15	BEDROOM WING	2'-10"	6'-8"	C	SCW	--	--	HW-4	--
16	BEDROOM 1	2'-6"	6'-8"	A	SCW	--	--	HW-1	VIF
17	BEDROOM 1 CLOSET	2'-0"	6'-8"	A	SCW	--	--	HW-3	--
18	PR	2'-0"	6'-8"	A	SCW	--	--	HW-1	--
19	OFFICE	2'-6"	6'-8"	A	SCW	--	--	HW-1	--
20	DINING/KITCHEN	8'-0"	6'-8"	D	WOOD/ALUMN CLAD	WHITE	--	HW-5	--
21	PRIMARY SUITE WING	3'-0"	6'-8"	C	SCW	--	--	HW-4	--
22	PRIMARY BATH	2'-4"	6'-8"	C	SCW	--	--	HW-4	--
23	PRIMARY BATH TOILET	2'-2"	6'-8"	E	TEMP GLASS	--	--	HW-9	TEMPERED OPAQUE GLASS
24	PRIMARY BATH WET ROOM	2'-2"	6'-8"	E	TEMP GLASS	--	--	HW-9	TEMPERED OPAQUE GLASS
25	OFFICE/STUDIO	2'-6"	6'-8"	A	SCW	--	--	HW-1	VIF
26	PRIMARY BEDROOM	2'-6"	6'-8"	A	SCW	--	--	HW-1	VIF
27	PRIMARY BEDROOM CLOSET	4'-0"	6'-8"	F	SCW	--	--	HW-7	VIF
28	PRIMARY BEDROOM CLOSET	4'-0"	6'-8"	F	SCW	--	--	HW-7	VIF

- NOTES:
- GENERAL CONTRACTOR TO VERIFY ALL DIMENSIONS IN FILED
 - GENERAL CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR REVIEW
 - SEE PLAN FOR SWING
 - GENERAL CONTRACTOR TO VERIFY EXISTING R.O. IN FIELD
 - VERIFY HARDWARE SELECTION WITH OWNER
 - PROVIDE SAFETY GLAZING PER CODE

DOOR HARDWARE SCHEDULE:

- HW-1 PRIVACY LOCK | (TBD)
HW-2 PASSAGE SET | (TBD)
HW-3 DUMMY SET (CLOSET) | (TBD)
HW-4 POCKET DOOR PULL | (TBD) & HAFELE HAWA - SOFT CLOSE
HW-5 CONTEMPORARY PULL & LATCH | BY MFG (TBD)
HW-6 SINGLE CYLINDER ENTRANCE LOCK WITH DEADBOLT | (TBD)
HW-7 FINGER PULL | (TBD)
HW-8 FINGER PULL WITH LATCH (TBD)
HW-9 BAR PULL | CRL (TBD)



4
A800 3"=1'-0"

SLIDING DOOR DETAIL



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SCHEDULES

SHEET NUMBER

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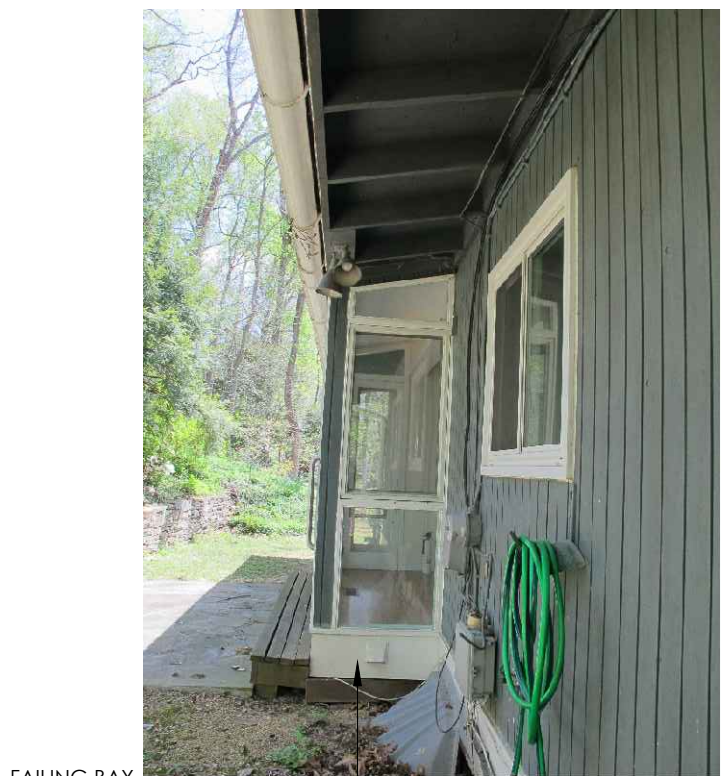
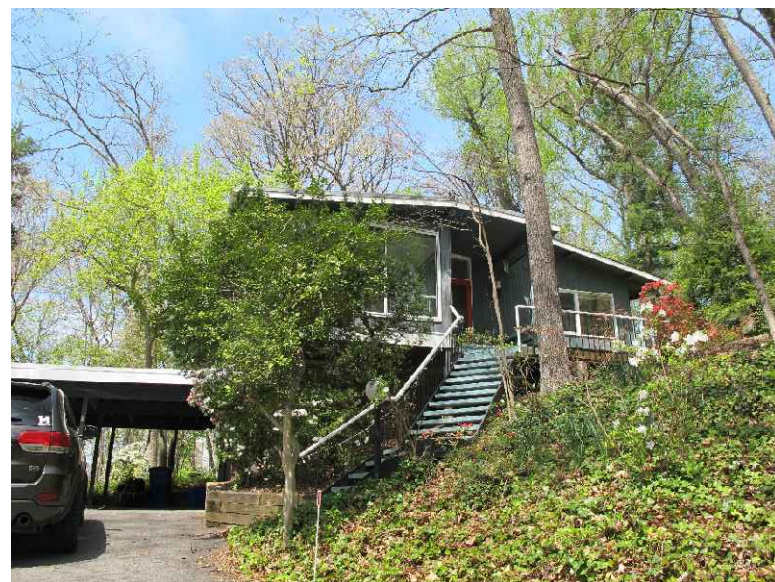
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Historic Preservation Commission

Robert A. Nott

REVIEWED
By Dan.Bruechert at 3:21 pm, Dec 14, 2022



SAFETY
CONCERN



FAILING BAY
INCORRECT
CANTILEVER DESIGN



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