



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Sandra I. Heiler  
*Chairman*

Date: February 9, 2021

### MEMORANDUM

TO: Mitra Pedoeem  
Department of Permitting Services

FROM: Michael Kyne  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #934708: Partial demolition and new rear addition

---

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved with one (1) condition** at the December 16, 2020 HPC meeting.

- 1. Staff will be consulted in the field on the viability of preserving any existing/historic siding that may be present, once the aluminum siding is removed from the existing addition/rear porch enclosure. If there is any existing/historic siding present, it will be preserved. If the siding is severely deteriorated, it will be replaced in-kind with wood of matching dimensions. The specifications of any required replacement siding will be reviewed and approved by staff.**

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Stacey Katz & Robert Fegley (Paul Treseder, Architect)  
Address: 7409 Baltimore Avenue, Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or [michael.kyne@montgomeryplanning.org](mailto:michael.kyne@montgomeryplanning.org) to schedule a follow-up site visit.



**Statements for 7409 Baltimore Avenue, Takoma Park, Maryland  
Revised to reflect conditions of approval**

**a.) Description of existing resource and its environmental setting:**

This house is a 1-1/2 story bungalow, a contributing resource in the Takoma Park historic district. The house, built in the 1920's, is in original form; it is distinguished by its wide front porch and original stucco, shingle and block exterior, which remains in very good condition. An 8' deep rear addition was added on sometime in the 1980's for a family room and kitchen. It is a simple shed roof structure similar in shape and scale to many original back porches on houses of the era.

The house is on a block of Baltimore Avenue which retains almost all of its original houses, and the historic effect is reinforced by many mature oak trees, both at the street and in the yards.

**b.) Description of the project and its impact:**

The proposed work is a 5' x 13' rear addition to the existing non-historic rear addition. The owners feel that this will extend the usefulness of what is now a somewhat long and narrow space and, with additional windows and transoms, open up the house to its backyard views. Energy saving improvements will also be undertaken.

The proposed addition has been indented from both sides of the original house to ensure that it will not be visible from the street, and the roof, though raised for more light and views, will not impact the rear of the historic structure.

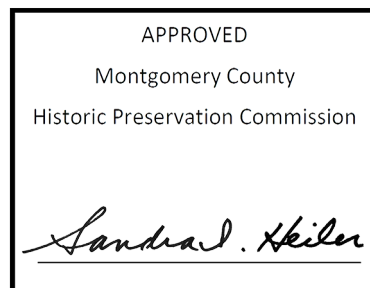
As part of this work, the owners also propose to remove the aluminum siding of the old addition and to replace it with narrow clapboards, more like what would have been used in the 1920's.

*If, upon removal of the aluminum siding, original material is found and is in condition to be restored, the owner will attempt such restoration.*

No existing trees will be affected by this work.

**REVIEWED**

**By Michael Kyne at 1:52 pm, Feb 09, 2021**



REVIEWED

By Michael Kyne at 1:49 pm, Feb 09, 2021

APPROVED  
Montgomery County  
Historic Preservation Commission

Sandra Heiler

RESERVED FOR D.P.S.

RESERVED FOR H.P.C.

PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF MARYLAND.  
LICENSE #G283.R EXP. DATE: 11/28/2022

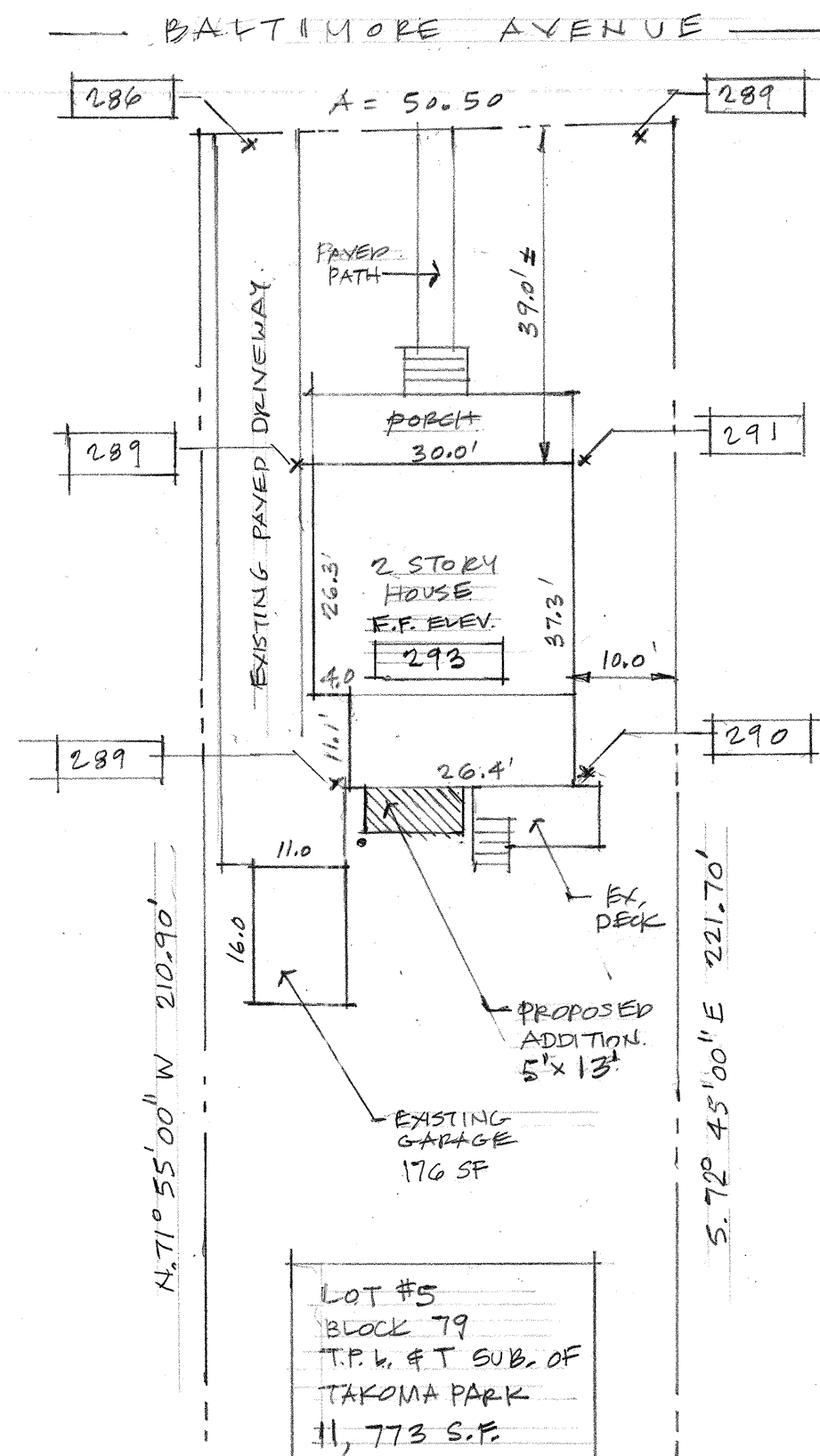


INDEX TO DRAWINGS

- C.001 COVER SHEET, SITE PLAN, SCHEDULES & NOTES
- A.001 DEMOLITION PLAN, FLOOR PLAN
- A.002 EXTERIOR ELEVATIONS
- A.003 EXTERIOR ELEVATION, WINDOW SCHEDULE
- A.004 BUILDING SECTION, WALL DETAILS, LINE OF BUILDING THERMAL ENVELOPE
- S.001 FOUNDATION PLAN & DETAILS, FOUNDATION NOTES
- S.002 FLOOR & ROOF FRAMING PLANS, STRUCTURAL LOADS & NOTES.

ENERGY NOTES

- The building thermal envelope is shown on the building section, page #A004. Insulation levels are indicated on the drawings and on the schedule on this page.
- The building envelope shall be sealed durably to limit infiltration. Sealing methods between dissimilar materials shall allow for differential expansion and contraction. The following shall be sealed, caulked, weather stripped, gasketed or otherwise sealed with an air barrier material:
  - All joints, seams and penetrations
  - Openings between window and door assemblies and their jabs and framing
  - Utility penetrations
  - Dropped ceilings or chases adjacent to the building envelope.
  - Knee walls
  - Behind tubs and showers on exterior walls
  - Attic access openings
  - Rim joist junctions
  - Other sources of infiltration
- The maximum weighted U value of the new vertical fenestration shall be 0.28 max, SHGC shall be 0.34 max.
- The addition will be served by the existing forced air heating and cooling system. All ducts are within the conditioned envelope.



DRAINAGE NOTES

1. IMPERVIOUS AREA CALCULATION
- LOT AREA = 11,773 S.F.
- EXISTING IMPERVIOUS AREA, INCLUDING DRIVEWAY & WALK = 3,362 S.F.
- PROPOSED NEW IMPERVIOUS AREA = 65 S.F. < 400 S.F.
- TOTAL PROPOSED IMPERVIOUS AREA = 3,427 S.F.
- PERCENTAGE IMPERVIOUS AREA = 29.1 %
- NOTE: NO NEW DOWNSPOUTS. NEW ROOF GUTTERS DISCHARGE ONTO EXISTING ROOF AND UTILIZE EXISTING DOWNSPOUTS.

INSULATION SCHEDULE

BUILDING ELEMENT	TYPE & THICKNESS	RATING
CEILING	FIBERGLAS BATT, 12"	R = 49
WALLS	FIBERGLAS BATT, 3 1/2"	R = 20
CRAWL SPACE WALLS	SPRAY FOAM (CLOSED CELL) 2"	R = 14
WINDOWS	INSUL. LOW E GLASS	U = 0.28 SHGC = 0.27

SCOPE OF WORK

NOTE: SEE ALSO PRESCRIPTIVE WORKSHEET, METHOD 1, OPTION 1

CODE NOTE

- ALL NEW CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE I.R.C., 2018 EDITION, AND THE I.E.E.C., 2015 EDITION, AS AMENDED BY MONTGOMERY COUNTY, MD.
- SEE SHEETS S.001 AND S.002 FOR DESIGN LOADS AND STRUCTURAL NOTES

SCOPE OF WORK

- BUILD A ONE-STORY, 5'x13' EXTENSION TO THE REAR OF AN EXISTING ONE STORY REAR ADDITION TO A 2 STORY WOOD FRAME BUNGALOW.
- THE ADDITION WILL BE BUILT OVER A CONDITIONED CRAWL SPACE

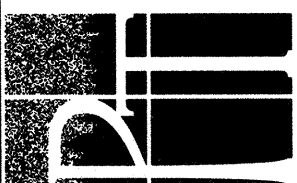
ZONING NOTES

SITE PLAN  
Scale: 1" = 20'-0"

ZONING NOTES

- LOT COVERAGE CALCULATIONS
- EXISTING HOUSE FOOTPRINT, INCLUDING PORCH, NOT INCLUDING GARAGE (GARAGE IS LESS THAN 350 S.F.) = 1,322 SF
- PROPOSED ADDITION FOOTPRINT = 65 S.F.
- TOTAL = 1,387 S.F.
- LOT AREA COVERAGE = 1,387 ÷ 11,773 = 11.78 %
- NOTE: SEE SH. # A002 FOR HEIGHT CALCULATION.

ADDITION TO KATZ - FEGEY RESIDENCE  
1409 BALTIMORE AVENUE  
TAKOMA PARK, MD. 20912



6320 Wisconsin Road  
Bethesda, MD 20816  
301-320-1580  
301-320-1581  
Paul.Treseder@verizon.net

Paul Treseder  
Architect AIA

DATE | 1.28.2021

SCALE | 1" = 20'-0"

DRAWN | P.T.

JOB | KATZ

SHEET

001

OF SHEETS

REVIEWED

By Michael Kyne at 1:49 pm, Feb 09, 2021

APPROVED  
Montgomery County  
Historic Preservation Commission

Sandra L. Heiler

RESERVED FOR D.P.S.

RESERVED FOR H.P.U.

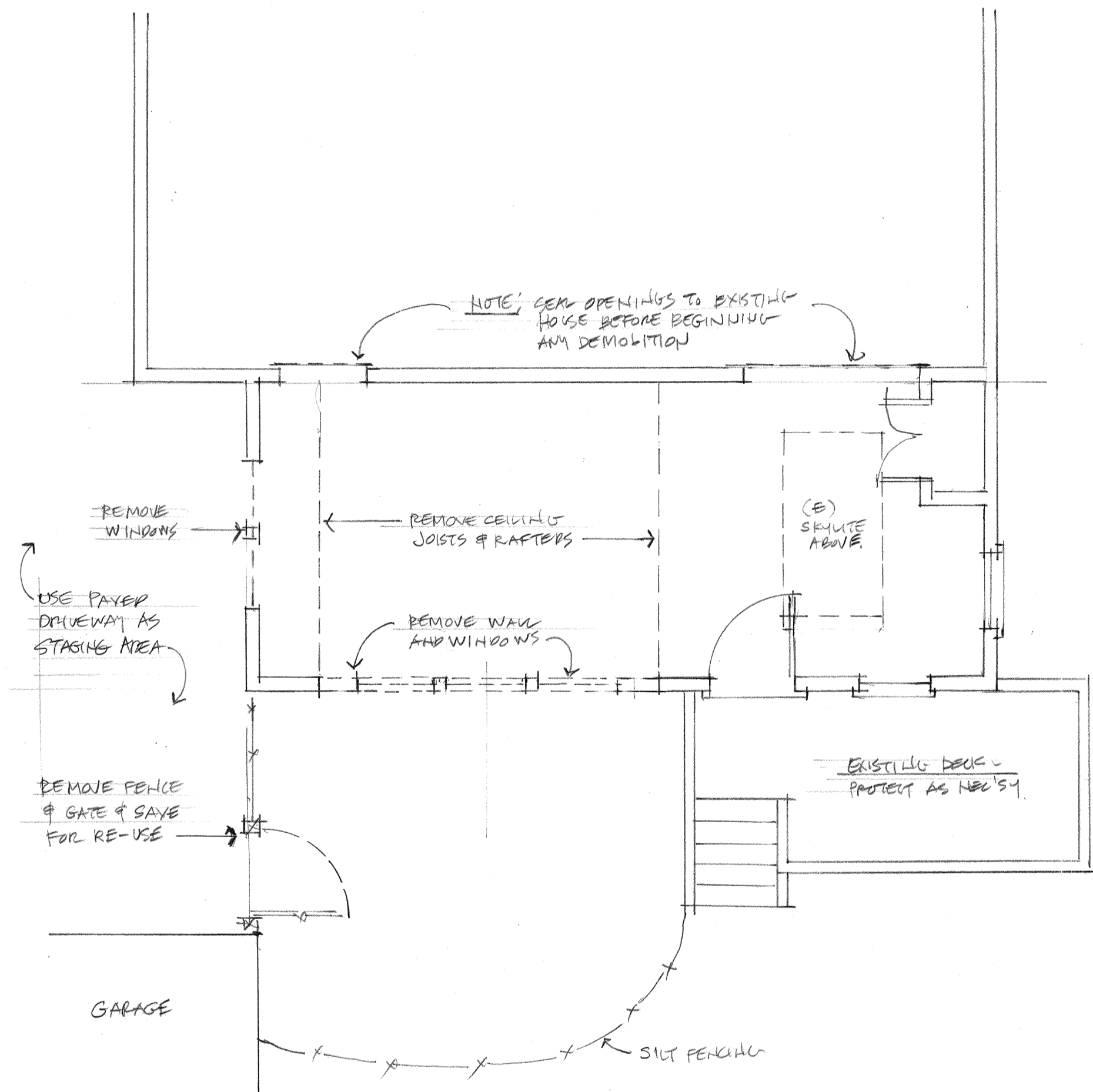
PROFESSIONAL CERTIFICATION

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF MARYLAND

LICENSE # 6283-R EXP. DATE: 11-28-2022

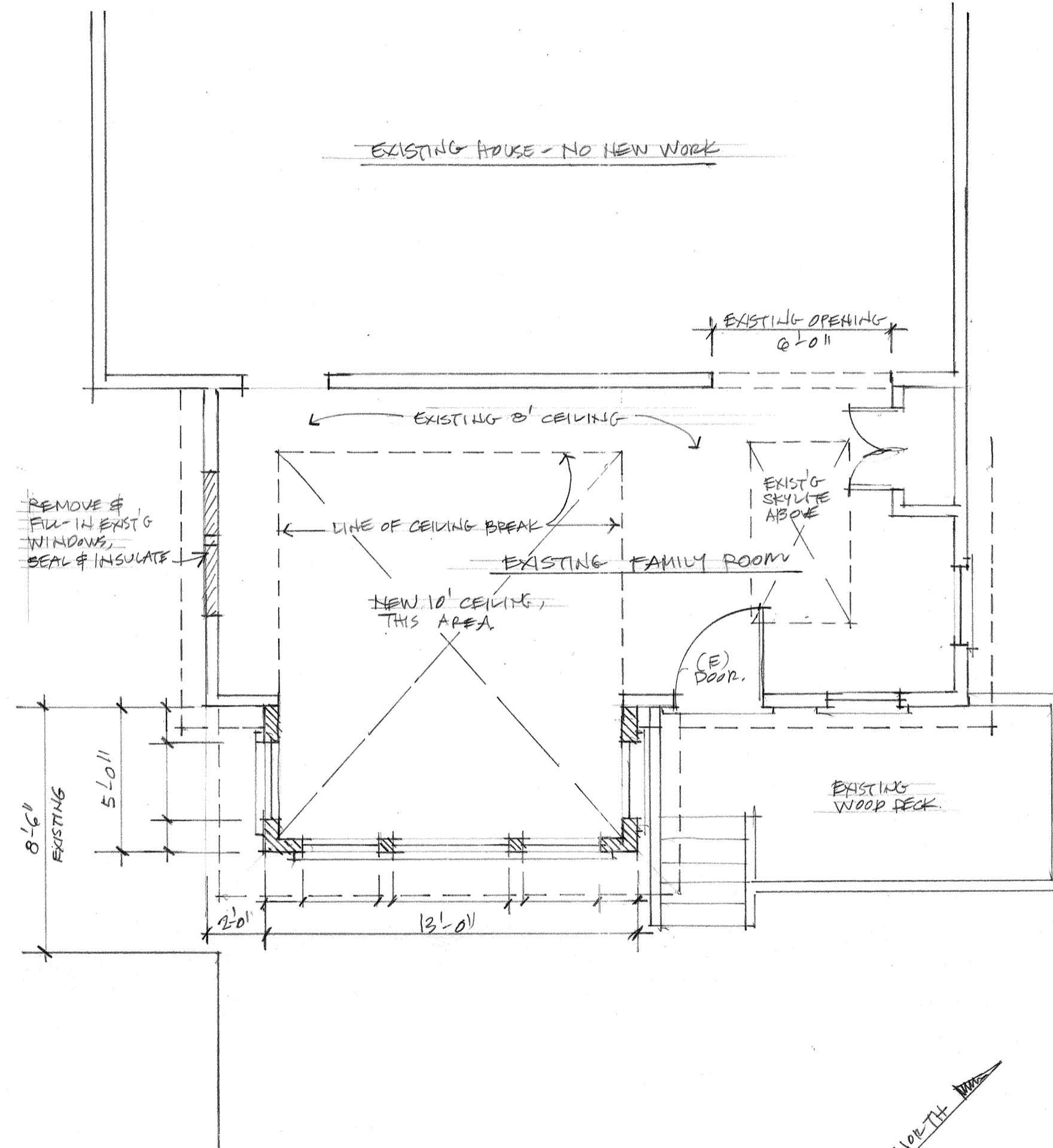


*Paul Treseder*



EXISTING CONDITIONS AND DEMOLITION PLAN

Scale: 1/4" = 1'-0"



FLOOR PLAN Scale: 1/4" = 1'-0"

ADDITION to the KATZ-FEGELY RESIDENCE  
7409 BALTIMORE AVE  
TAKOMA PARK, MD. 20912



6320 Wiscasset Road  
Bethesda, MD 20816  
301-320-1680  
Fax - 301-320-1681  
Paul.Treseder@verizon.net

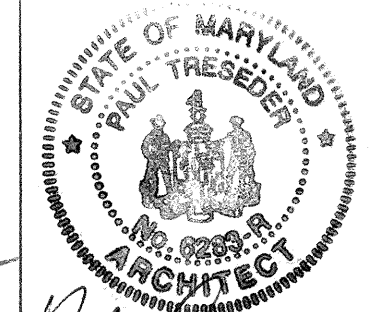
Paul Treseder  
Architect AIA

DATE	1.28.2021
SCALE	1/4" = 1'-0"
DRAWN	PT
JOB	KATZ
SHEET	A001
OF SHEETS	

**REVIEWED**  
By Michael Kyne at 1:51 pm, Feb 09, 2021

APPROVED  
Montgomery County  
Historic Preservation Commission  
*Sandra J. Heiler*

PROFESSIONAL CERTIFICATION:  
I CERTIFY THAT THESE DOCUMENTS WERE  
PREPARED BY ME, AND THAT I AM A DULY  
LICENSED ARCHITECT UNDER THE LAWS  
OF MARYLAND  
LICENSE # 6283-R EXP. DATE 11/28/2022



*Paul Treseder*

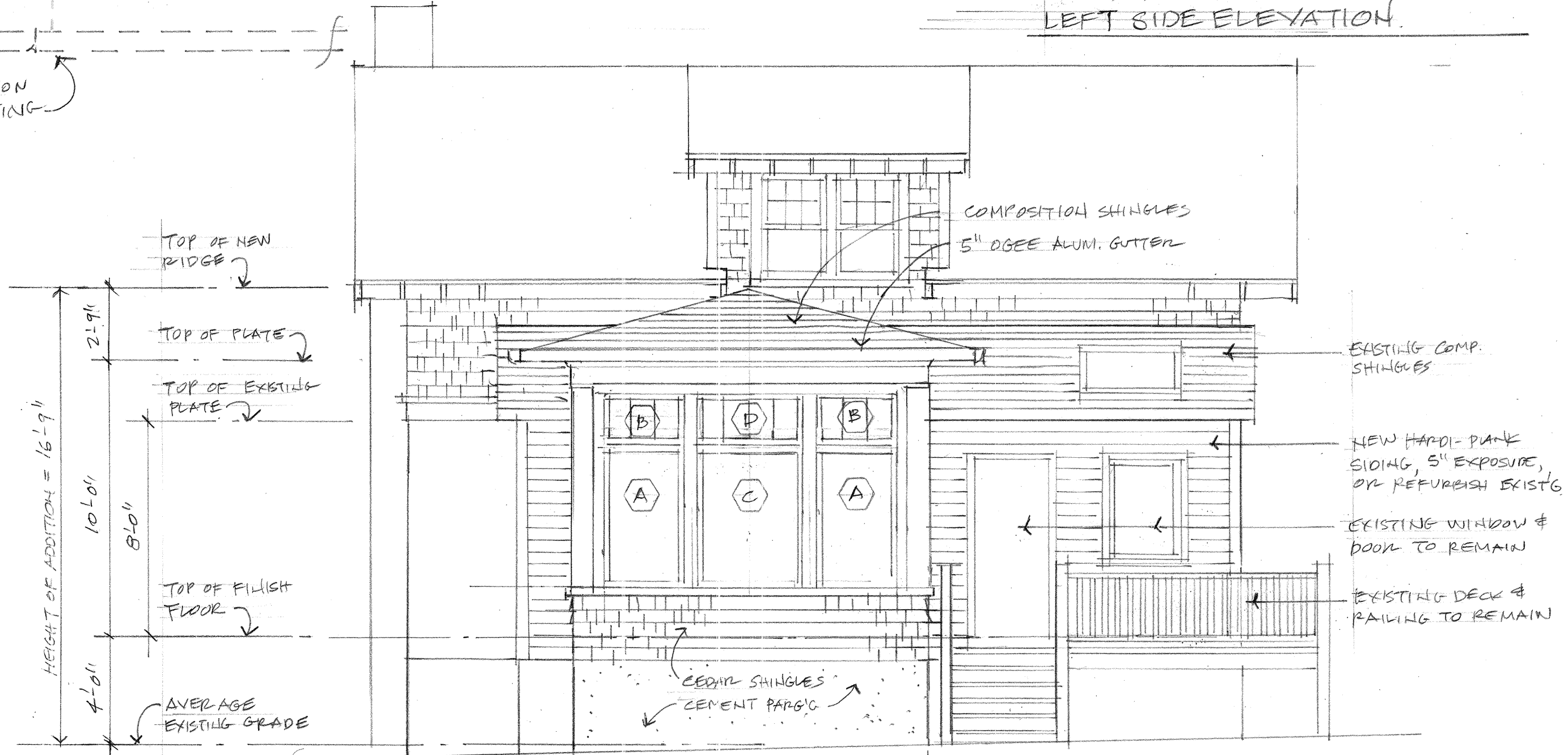
RESERVED FOR D.P.S.

RESERVED FOR H.P.C.



LEFT SIDE ELEVATION.

NOTE - NEW FOUNDATION  
MATCHES EXISTING



REAR ELEVATION.



6320 Wiscasset Road  
Bethesda, MD 20816  
301-320-1580  
Fax - 301-320-1581  
Paul.Treseder@verizon.net

**Paul Treseder**  
Architect AIA

DATE	1.28.2021
SCALE	1/4" = 1'-0"
DRAWN	PT
JOB	KATZ
SHEET	A002
OF SHEETS	

**REVIEWED**

By Michael Kyne at 1:49 pm, Feb 09, 2021

APPROVED  
Montgomery County  
Historic Preservation Commission

*Sandra L. Heiler*

RESERVED FOR DPS

RESERVED FOR HPC

PROFESSIONAL CERTIFICATION.

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF MARYLAND

LICENSE # 6283-R EXP. DATE 11-28-2022



*Paul Treseder*



RIGHT SIDE ELEVATION Scale: 1/4" = 1'-0"

WINDOW SCHEDULE

MARK	CALL OUT	ROUGH OPENING	NOTES
(A)	ELCA 3763 (2 RH, 2 LH)	3'-1" X 5'-3"	
(B)	ELCAP 3723	3'-1" X 1'-11 1/2"	3 LITE, 3W X 1H
(C)	ELCAP 4963	4'-1" X 5'-3"	
(D)	ELCAP 4923	4'-1" X 1'-11 1/2"	4 LITE, 4W X 1H



6320 Wiscasset Road  
Bethesda, MD 20816  
301-320-1580  
Fax - 301-320-1581  
Paul.Treseder@verizon.net

**Paul Treseder**  
Architect AIA

DATE 1-28-2021

SCALE 1/4" = 1'-0"

DRAWN PT

JOB KATZ

SHEET

A003

OF SHEETS

REVIEWED

By Michael Kyne at 1:49 pm, Feb 09, 2021

APPROVED  
Montgomery County  
Historic Preservation Commission

Sandra L. Heiler

RESERVED FOR HPC

PROFESSIONAL CERTIFICATION

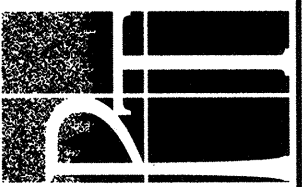
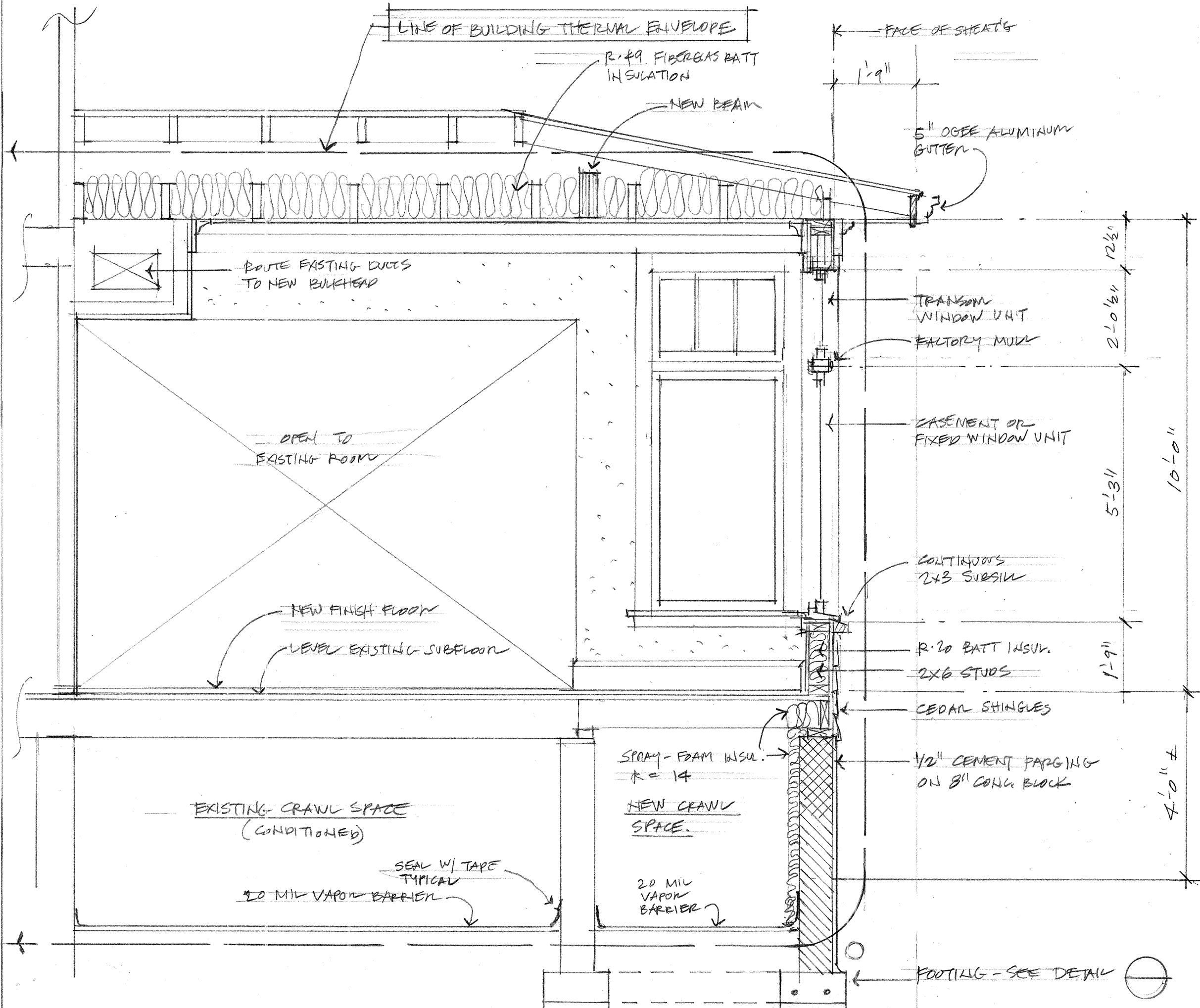
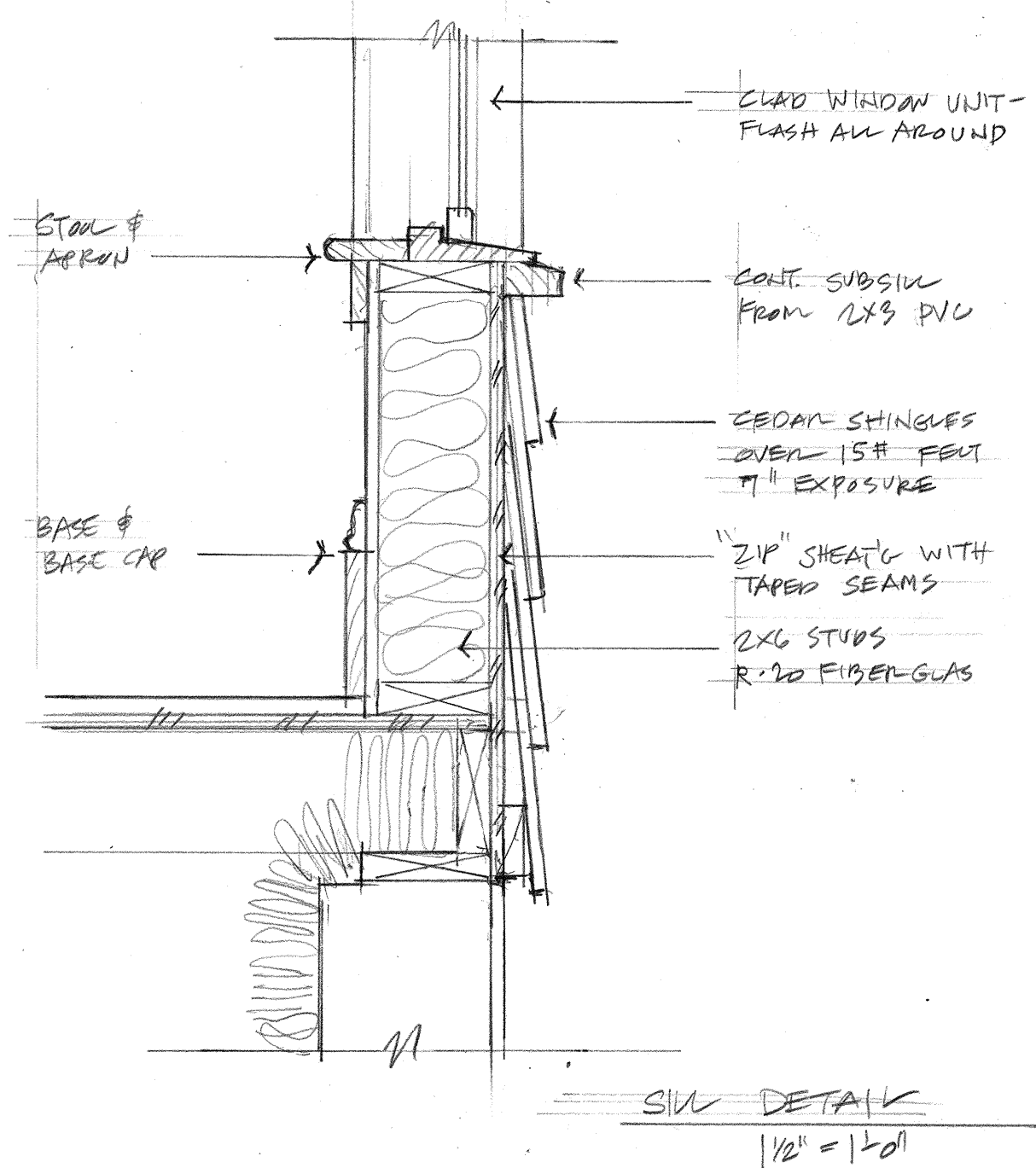
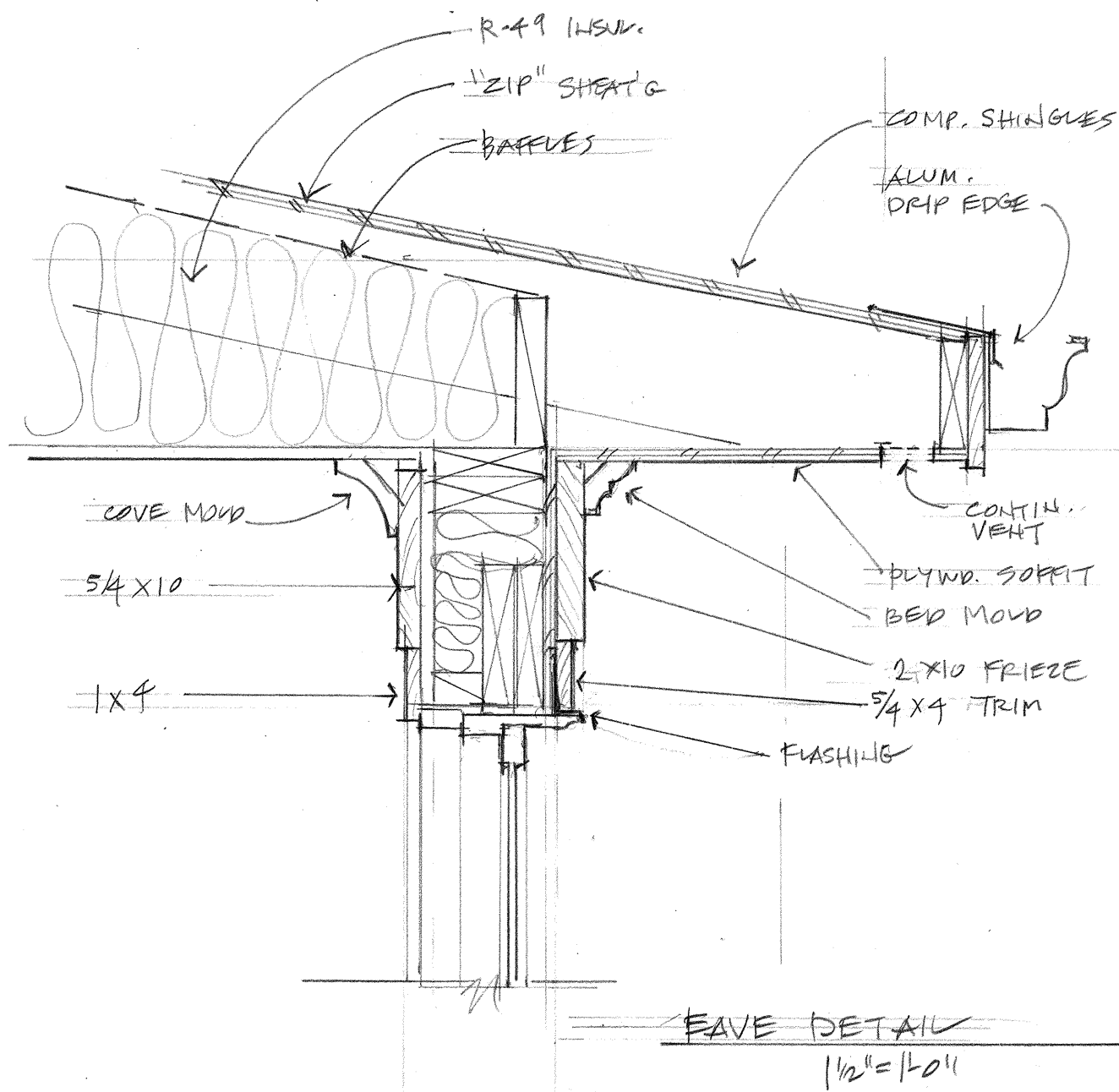
CERTIFY THAT THESE DOCUMENTS WERE  
PREPARED BY ME, AND THAT I AM A DULY  
LICENSED ARCHITECT UNDER THE LAWS  
OF MARYLAND.

LICENSE #G283.R EXP. DATE 11.28.2022



*Paul Treseder*

RESERVED FOR DPS



6320 Wiscasset Road  
Beltsville, MD 20816  
301-320-1580  
301-320-1581  
Fax: 301-320-1581  
Paul.Treseder@verizon.net

**Paul Treseder**  
Architect AIA

DATE	1.28.2021
SCALE	AS NOTED
DRAWN	PT.
JOB	KATZ
SHEET	<b>A004</b>
OF	SHEETS

REVIEWED

By Michael Kyne at 1:49 pm, Feb 09, 2021

APPROVED  
Montgomery County  
Historic Preservation Commission

*Sandra L. Heiler*

RESERVED FOR HPC

PROFESSIONAL CERTIFICATION.

I CERTIFY THAT THESE DOCUMENTS WERE PREPARED BY ME, AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF MARYLAND

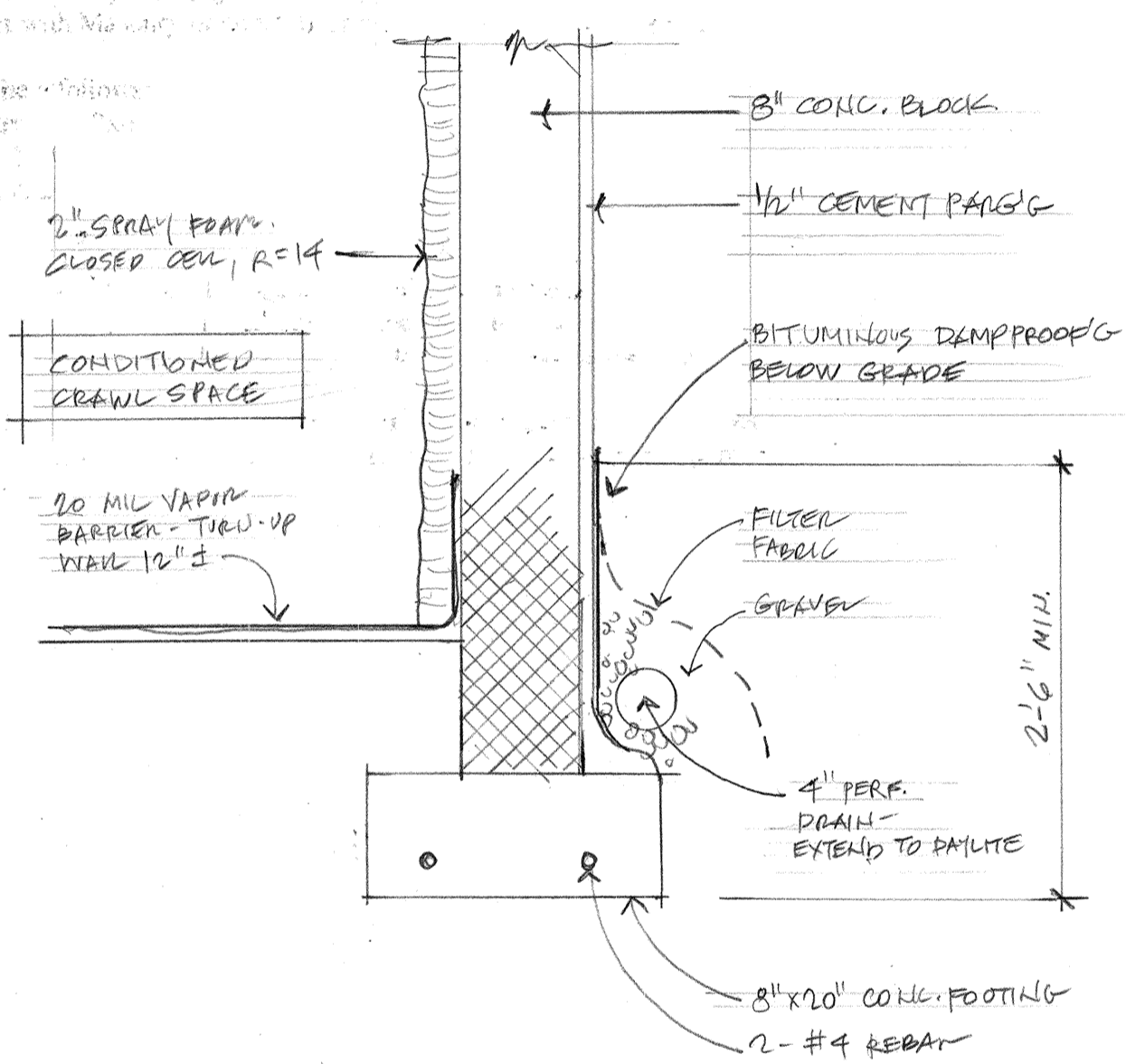
LICENSE # 6283-R, EXP. DATE 11/28/2022



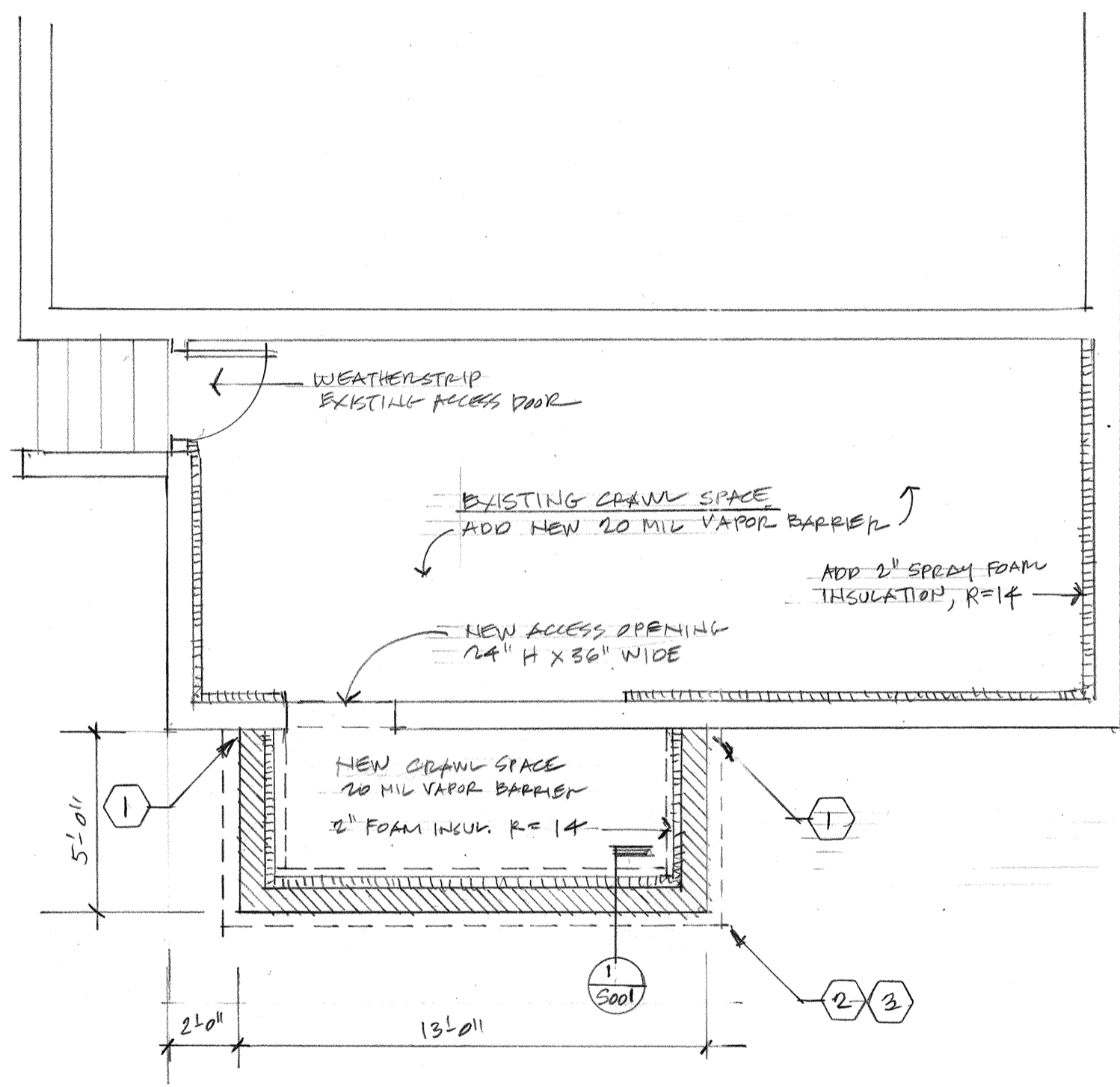
*Paul Treseder*

RESERVED FOR D.P.S.

and blocking below...  
headers shall be...  
opening 3' or less...  
opening 3' - 6'...  
2" SPRAY FOAM...  
CLOSED CELL, R=14  
CONDITIONED CRAWL SPACE  
20 MIL VAPOR BARRIER - TURN UP WALL 12" ±

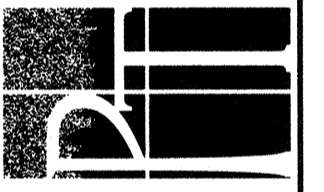


FOOTING & STEM WALL DETAIL 1"=1'-0"



FOUNDATION NOTES

- 1 DOWNED NEW FOOTINGS TO EXISTING FOOTINGS w/ 2 - #4 REBAR
- 2 BEAR FOOTINGS ON UNDISTURBED SOIL. ASSUMED SOIL BEARING CAPACITY = 2000 PSF.
- 3 CONCRETE SHALL BE 2500 PSI



6320 Wiscasset Road  
Bethesda, MD 20816  
301-320-1580  
301-320-1581  
Paul.Treseder@verizon.net

Paul Treseder  
Architect AIA

DATE 1.28.2021  
SCALE 1/4"=1'-0"  
DRAWN PT  
JOB KATZ  
SHEET  
5001  
OF SHEETS



**STRUCTURAL NOTES**

- All work shall comply with the requirements of the 2018 IRC, as amended by Montgomery County.
- Lumber:
  - Framing lumber shall be Hem Fir #2 and better, with a minimum Fb = 1100 psi, min Fv = 145 psi and min. E = 1,600,000 psi
  - LVL and PSL shall have a min. Fb = 2850 psi, min Fv = 285 psi and min E = 1,900,000 psi
  - Floor decking shall be 3/4" APA rated T&G decking. Roof decking shall be 3/4" APA rated decking. Wall sheathing shall be 1/2" APA rated sheathing. Glue and nail roof and floor decking to joists and rafters.
  - Provide double joists under all walls that run parallel to floor framing.
  - Nail all multiple members together as per the manufacturer's recommendations and at a minimum use 2 - 10d nails at 6" o.c. staggered.
  - Provide bridging at the center of all joist spans exceeding 8'-0" and at 1/3 points of all joist spans exceeding 16'-0". Provide solid blocking at all bearing points on top of walls or beams.
  - Provide solid blocking below all wood posts.
  - All posts shall have Simpson cap and base plates where applicable.
  - All joists shall have Simpson joist hangers where applicable.
  - All lumber in contact with masonry or concrete or within 8" of soil shall be pressure treated.
  - Wood headers shall be as follows:
    - opening 3' or less: 2 - 2x6
    - opening 3 - 5': 2 - 2x8
    - opening 5 - 6.5': 2 - 2x8
    - opening > 6.5': see plans
- Fasteners:
  - All fasteners in contact with pressure treated wood shall be galvanized
  - All fasteners shall be installed as per manufacturer's recommendations.
- The contractor shall field verify all dimensions prior to fabrication of structural components.
- The contractor shall co-ordinate all sleeves, duct openings, and holes between trades; contractor shall not cut or notch new or existing structural components with the approval of the Architect.

<b>LIVE LOADS</b>	
Deck	40 PSF
Attic	20 PSF
Floor	40 PSF
Bedroom	30 PSF
Roof	30 PSF
<b>WIND LOADS</b>	
Basic wind speed	115 MPH
Wind load importance factor	1.0
Wind exposure factor	B
Wind design pressure	A = 14.4 PSF B = 9.9 PSF C = 11.5 PSF D = 7.9 PSF
<b>SNOW LOADS</b>	
Ground snow load (PG)	30 PSF
Flat roof snow load (PF)	20 PSF
Snow exposure factor (CE)	0.9
Snow importance factor (I)	1.0
<b>SEISMIC DESIGN DATA</b>	
Seismic importance factor (Ie)	1.0
Spectral response accelerations (Ss)	20.0%
(S1)	8.0%
<b>Spectral response coefficients</b>	
(Sds)	33%
(Sd1)	18.7%
Seismic design category	B
Seismic site classification	E
Seismic coefficient (Cs)	0.22
Seismic modification factor (R)	1.5
Base shear	9.5K
Analysis procedure	Equivalent lateral force
Basic SFRS	Ordinary masonry walls

**REVIEWED**  
By Michael Kyne at 1:49 pm, Feb 09, 2021

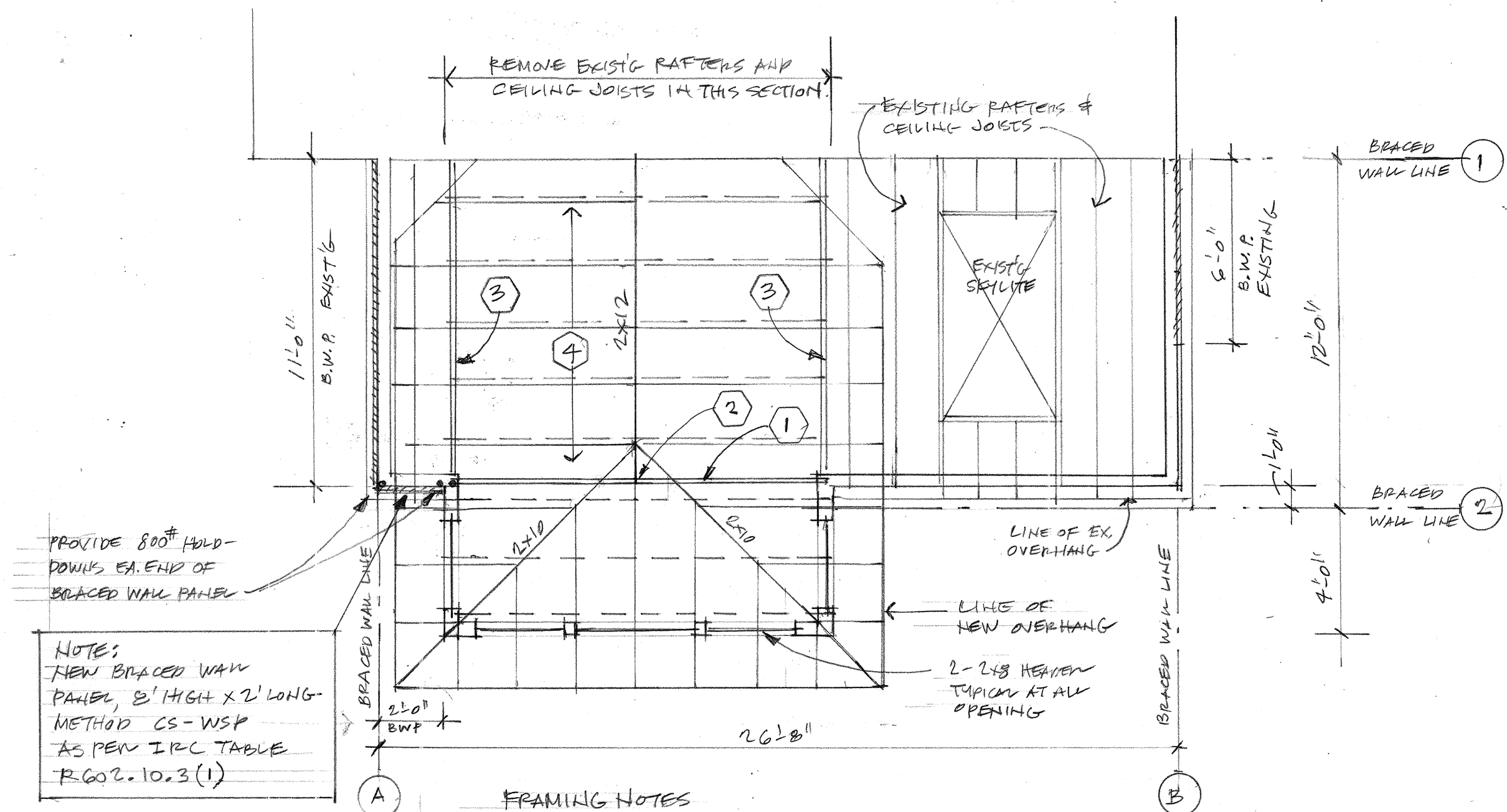
APPROVED  
Montgomery County  
Historic Preservation Commission

*Sandra L. Heiler*

RESERVED FOR DPS

RESERVED FOR HPC

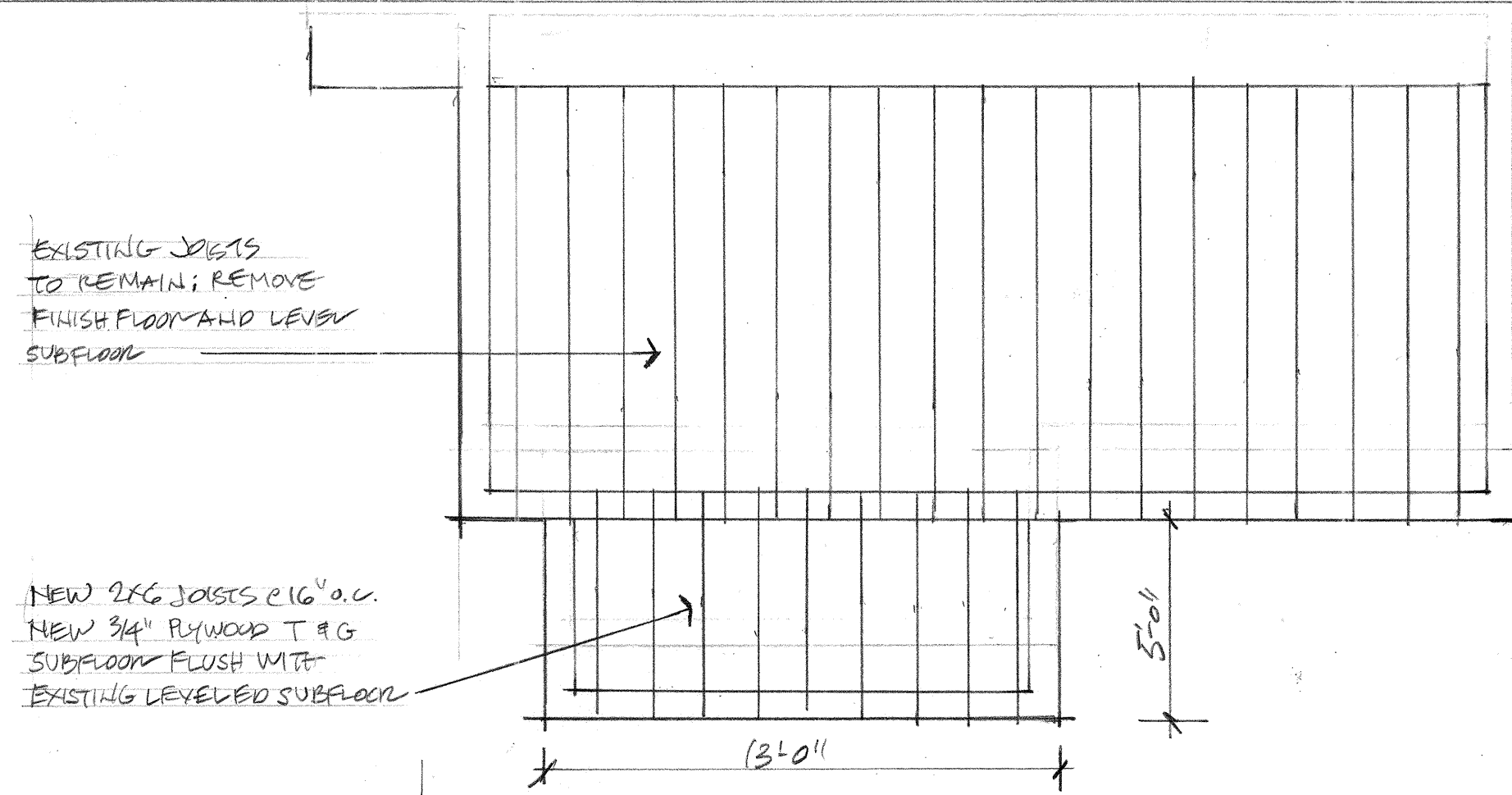
PROFESSIONAL CERTIFICATION  
I CERTIFY THAT THESE DOCUMENTS  
WERE PREPARED BY ME, AND  
THAT I AM A DULY LICENSED  
ARCHITECT UNDER THE LAWS  
OF MARYLAND  
LICENCE #G283-R EXP. DATE:  
11-28-2022



NOTES:  
NEW BRACED WALL  
PANEL, 8' HIGH X 2' LONG -  
METHOD CS-WSP  
AS PER IRC TABLE  
R602.10.3(1)

- FRAMING NOTES**
- BEAM - 2 - 13/4" x 11 1/8" LVL'S
  - BEAM 2x12 RIDGE BEAM ON LVL BEAM
  - BEAM - 2 - 13/4" x 9 1/2" LVL'S
  - RAFTERS - 2x8's @ 24" o.c. CEILING JOISTS 2x10's @ 24" o.c.

**ROOF FRAMING PLAN**



NEW 2x6 JOISTS @ 16" o.c.  
NEW 3/4" PLYWOOD T & G  
SUBFLOOR FLUSH WITH  
EXIST'G LEVELED SUBFLOOR

**FLOOR FRAMING PLAN**

ADDITION to the KATZ-FEGELY RESIDENCE  
7409 BALTIMORE AVE  
TAKOMA PARK, MD 20912

6320 Wisconsin Road  
Beltsville, MD 20816  
301-320-1580  
301-320-1581  
Paul.Treseder@verizon.net

**Paul Treseder**  
Architect AIA

DATE	1.29.2021
SCALE	1/4" = 1'-0"
DRAWN	PT.
JOB	KATZ
SHEET	5002
OF SHEETS	