



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: December 8, 2020

MEMORANDUM

TO: Mitra Pedoeem
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #931442: Porch enclosure

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the December 2, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Colby and Danielle Carrier (Keith Dodson, Agent)
Address: 4709 Cumberland Avenue, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



BUILDER:
DESIGN CONSTRUCTION, INC.
 P.O. BOX 356
 JEFFERSON, MARYLAND 21755
 240-367-6304

ENGINEER:
TMM CONSULTING SERVICES, LLC
 MERCHANT McDONALD
 7941 HOLLOW RD
 MIDDLETOWN, MD 21769
 240-439-9518

DESIGNER:
CREATIVE OUTLOOKS, LLC
 PHILIP F. GUGLIUZZA
 PGCREATIVEOUTLOOKS@GMAIL.COM
 PHONE: 410-596-1062
 CUSTOM HOME PLANNING & DESIGN
 HOME ADDITION-REMODELING DESIGN
 COMPLETE CONSTRUCTION PLANS

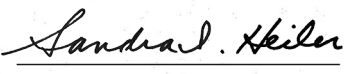
PROJECT FOR:
 CARRIER RESIDENCE
 4709 CUMBERLAND AVE.
 CHEVY CHASE, MARYLAND 20815

SCOPE OF WORK:
 CONVERT EXISTING COVERED PORCH INTO NEW KITCHEN/LIVING AREA

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 SHEET A-4 - WIND BRACING DIAGRAM, DETAILS & NOTES

REVIEWED
 By Michael Kyne at 9:55 am, Dec 08, 2020

APPROVED
 Montgomery County
 Historic Preservation Commission


FASTENING SCHEDULE	
1. JOISTS TO SILL OR GIRDER	(3) 8d COMMON (10d) DIAx2 1/2", TOENAIL
2. BRIDGING TO JOIST	(2) 8d COMMON, TOE NAIL EACH END
3. SOLE PLATE TO JOISTS OR BLOCKING	16d NAILS @ 16"oc
4. TOP PLATE TO STUD	(2) 16d COMMON (2) 16d DIAx3 1/2" END NAILS
5. STUD TO SOLE PLATE	(4) 8d COMMON OR (2) 16d COMMON
6. DOUBLE STUDS	16d @ 24"oc
7. DOUBLE TOP PLATE	16d @ 16"oc
8. BLOCKING BETWEEN JOISTS OR RAFTERS TO TOP PLATE	(3) 8d COMMON, TOENAIL
9. RM JOISTS TO TOP PLATE	8d @ 6"oc
10. TOP PLATE, LAPS AND INTERSECTIONS	(2) 16d COMMON
11. CONTINUOUS HEADER, TWO PIECES	16d COMMON @ 16"oc
12. CONTINUOUS HEADER TO STUD	(4) 8d COMMON, TOENAIL
13. RAFTER TO TOP PLATE	(3) 8d COMMON, TOENAIL
14. BUILT UP CORNER STUDS	16d @ 16"oc
15. BUILT UP GIRDER AND BEAMS	20d @ 24"oc, FACE NAIL AT TOP AND BOTTOM STAGGERED ON OPPOSITE SIDES, UNLESS NOTED ON DWG'S TO BE THROUGH BOLTED
16. COLLAR TIES TO RAFTER	(4) 12d FACE NAIL
17. JACK RAFTER TO HP	(3) 10d COMMON, TOENAIL
18. ROOF RAFTER TO SINGLE 2x RIDGE BEAM	(2) 16d COMMON, TOENAIL
19. ROOF RAFTER TO RIDGE BEAM	JOIST HANGERS, MINIMUM 500 LB. SHEAR CAPACITY
20. JOIST TO RIBBON BOARD	(3) 16d FACE NAIL
21. CORNER STUDS	16d COMMON 12"oc FACE NAIL
22. WOOD STRUCTURAL WALL PANEL SHEATHING	16d COMMON @ 6"oc INTO TOP PLATE, 8d COMMON @ 6"oc AT ALL EDGES AND 12"oc AT ALL OTHER LOCATIONS
23. PLYWOOD OR OSB DECKING LOCATIONS	6d COMMON @ 6"oc AT EDGES, 12"oc AT ALL OTHER LOCATIONS

MONTGOMERY COUNTY DESIGN PARAMETERS	
GROUND SNOW LOAD	30 psf
WIND SPEED	105 MPH
SEISMIC DESIGN CATEGORY	II
WEATHERING FRONT DEPTH	30 INCHES
TERMINATE	MODERATE TO HEAVY
WINTER DESIGN TEMP	14° F
ICE BARRIER UNDERLAYMENT REQUIRED	YES
FLOOD HAZARDS	JULY 10, 1975 SEPTEMBER 29, 2006 300
AIR FREEZING INDEX	300
MEAN ANNUAL TEMP.	59° F
INSULATION	
1. STANDARD TRUSS HEEL: R-44 ATTIC INSULATION	
RAISED TRUSS HEEL: R-38 ATTIC INSULATION WITH MIN. R-30 INSULATION OVER EXTERIOR WALL PLATE.	
2. WALLS: R-20	
3. BASEMENT WALLS R-10 CONTIGUES OR R-13 CAVITY	
4. SLAB PERIMETER R-10	
5. CRAWL SPACE WALLS R-10	
6. FLOORS R-11	
7. WINDOWS MUST HAVE A U-VALUE OF 4.0.	
8. SKYLIGHT & DOOR PERFORMANCE CRITERIA:	
NORTH-CENTRAL U-FACTOR	0.45G
SKYLIGHT CRITERIA:	0.40
NORTH-CENTRAL U-FACTOR	0.45G
DOOR CRITERIA:	0.40
OPAGUE VEL. U-FACTOR	0.45G
GLAZING LEVEL:	NO RATINGS
S1/2-LITE	0.27
S1/2-LITE	0.26
PRESCRIPTIVE R-VALUE PATH	

2018 IRC INTERNATIONAL RESIDENTIAL CODE
 2018 IDC INTERNATIONAL BUILDING CODE
 2018 IECC INTERNATIONAL ENERGY CONSERVATION CODE
 2018 IMC INTERNATIONAL MECHANICAL CODE
 2018 IFGC INTERNATIONAL FUEL GAS CODE
 2018 ISFGC INTERNATIONAL SWIMMING POOL AND SPA CODE
 2018 IEBC INTERNATIONAL EXISTING BUILDING CODE
 NFPA 70 NATIONAL ELECTRICAL CODE 2017
 NFPA 130 NATIONAL FIRE PROTECTION ASSOCIATION
 RESIDENTIAL SFRINKLERS NFPA 130/2013
 COWAR NFPA 130/2013

USE	LIVE LOAD
UNINHABITABLE ATTICS WITHOUT STORAGE	10
UNINHABITABLE ATTIC WITH LIMITED STORAGE	20
HABITABLE ATTICS AND ATTICS SERVED WITH FIXED STAIRS	30
BALCONIES (EXTERIOR) AND DECKS	40
FIRE ESCAPES	40
GUARDRAILS AND HANDRAILS	200
GUARDRAILS IN-FILL COMPONENTS	30
PASSENGER VEHICLES GARAGES	30
ROOMS OTHER THAN SLEEPING ROOM	40
SLEEPING ROOMS	30
STAIRS	40

REVIEWED

By Michael Kyne at 9:55 am, Dec 08, 2020

APPROVED
Montgomery County
Historic Preservation Commission

Sandra L. Heiler



EXISTING COVERED PORCH

EXISTING LEFT SIDE ELEVATION



EXISTING COVERED PORCH

EXISTING FRONT ELEVATION



EXISTING ROOF

CEDAR SHINGLE SIDING & PAINT TO MATCH EXISTING

WOOD TRIM WATERTABLE TO MATCH EXISTING

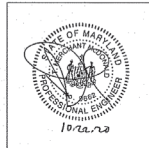
NEW LATTICE IN 1x4 FRAME TO MATCH EXISTING

EXISTING COVERED PORCH ENCLOSED FOR NEW KITCHEN AREA

EXISTING HOUSE

NEW ADDITION

NEW LEFT SIDE ELEVATION



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EXISTING PORCH ROOF WINDOW TRIM TO MATCH EXISTING

EXISTING COVERED PORCH ENCLOSED FOR NEW KITCHEN AREA

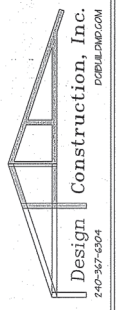
NEW ADDITION

EXISTING HOUSE

NEW FRONT ELEVATION

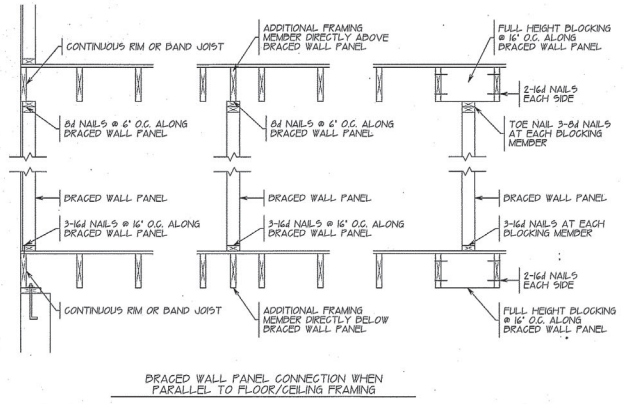
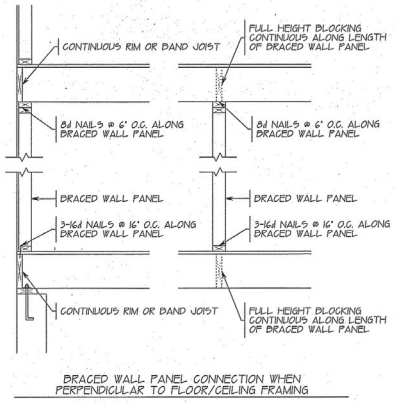
EXISTING & NEW LEFT SIDE & FRONT ELEVATIONS
PROJECT FOR: CARRIER RESIDENCE
4709 CLIMBERLAND AVE.
CHEVY CHASE, MARYLAND 20815
DATE: 10-27-20
SCALE: 1/4" = 1'-0"
DRAWN BY: P.F. GUBIZZA
CREATIVE OUTLOOKS, LLC
PHILIP F. GUBIZZA
CUSTOM HOME PLANNING & DESIGN
HOME ADDITION/REMODELING DESIGN
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PHONE: 410-946-0362
REGISTERED PROFESSIONAL ENGINEER

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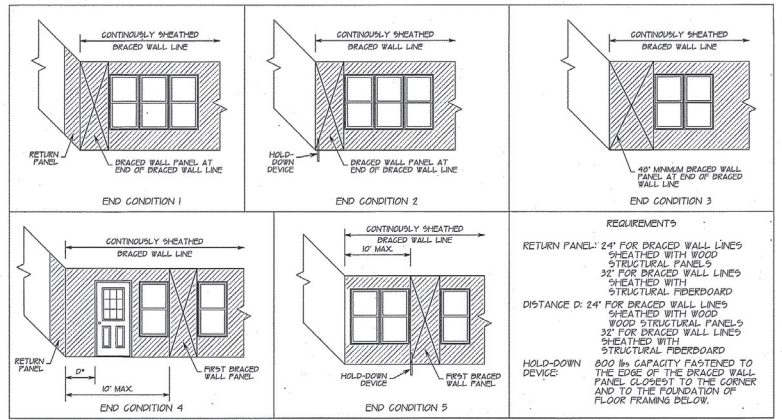


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A - 2

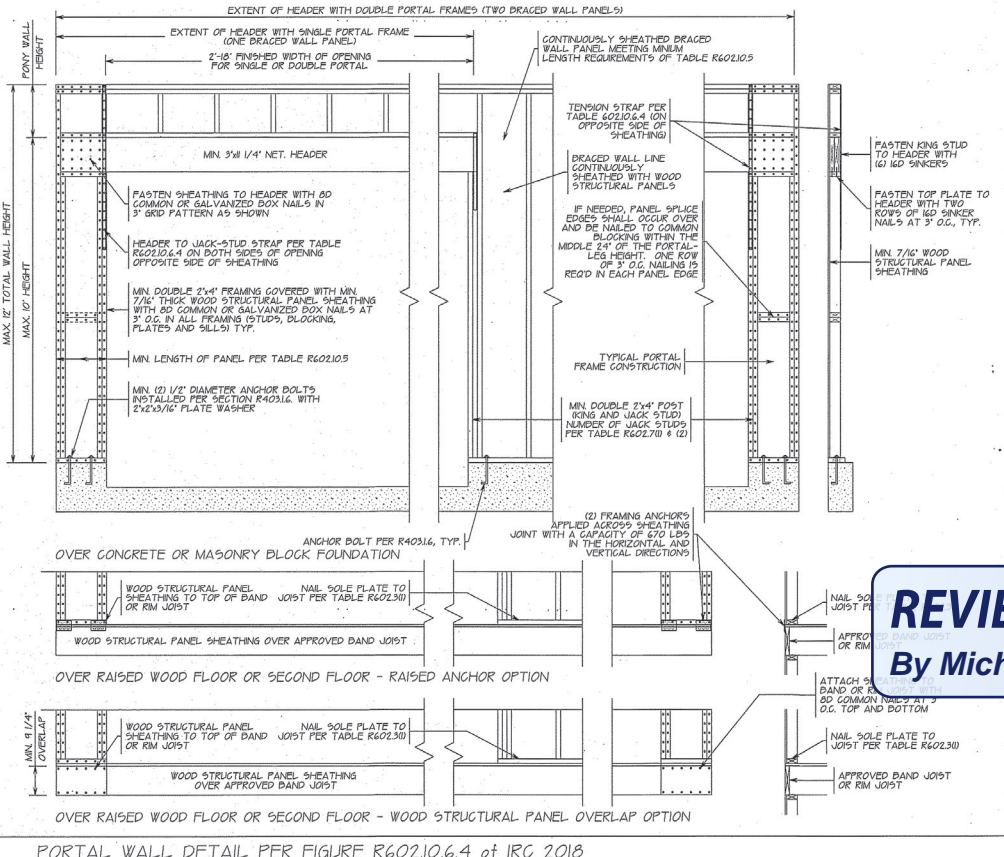
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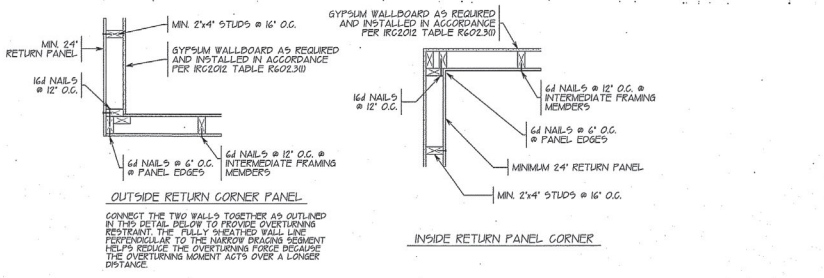
BRACED WALL CONNECTION TO FLOOR/CEILING TABLE R602.10.8(1) & R602.10.8(2) of IRC 2018



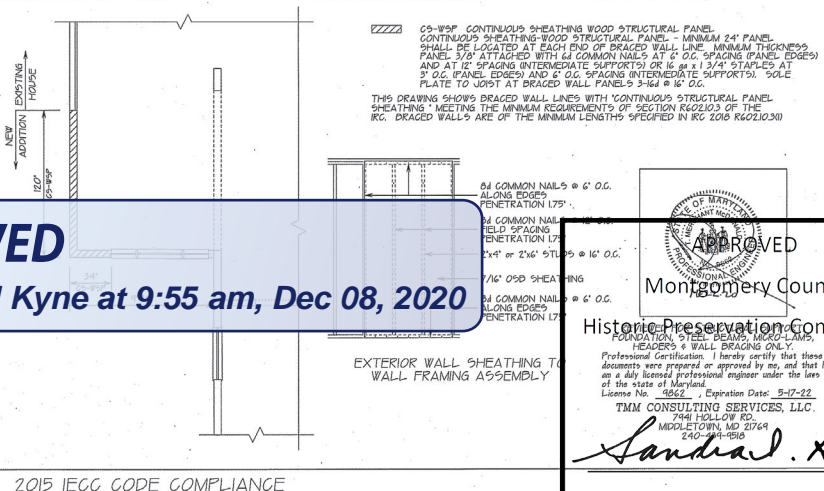
END CONDITIONS FOR BRACED WALL LINES FIGURE R602.10.7 of IRC 2018



PORTAL WALL DETAIL PER FIGURE R602.10.6.4 of IRC 2018



CORNER WALL DETAILS



2015 IECC CODE COMPLIANCE

REVIEWED
By Michael Kyne at 9:55 am, Dec 08, 2020

APPROVED

Montgomery County
Historic Preservation Commission

Professional Certification: I hereby certify that these documents were prepared or approved by me, and that I am a duly licensed professional engineer under the laws of the state of Maryland.
License No. 48622, Expiration Date: 5-17-22

TMM CONSULTING SERVICES, LLC
7401 155th Street
MIDDLETOWN, MD 21769

Sandra L. Skiller

WIND BRACING DIAGRAM, NOTES & DETAILS 5

PROJECT FOR
CARRIER RESIDENCE
4709 CLIMBERLAND AVE
CHEVY CHASE, MARYLAND 20815

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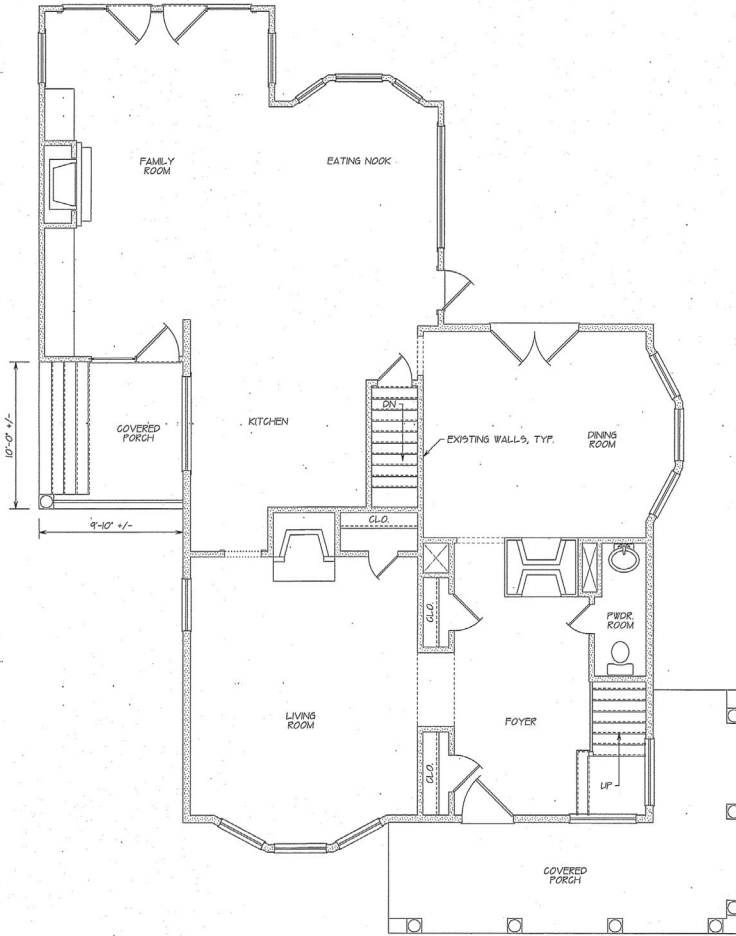
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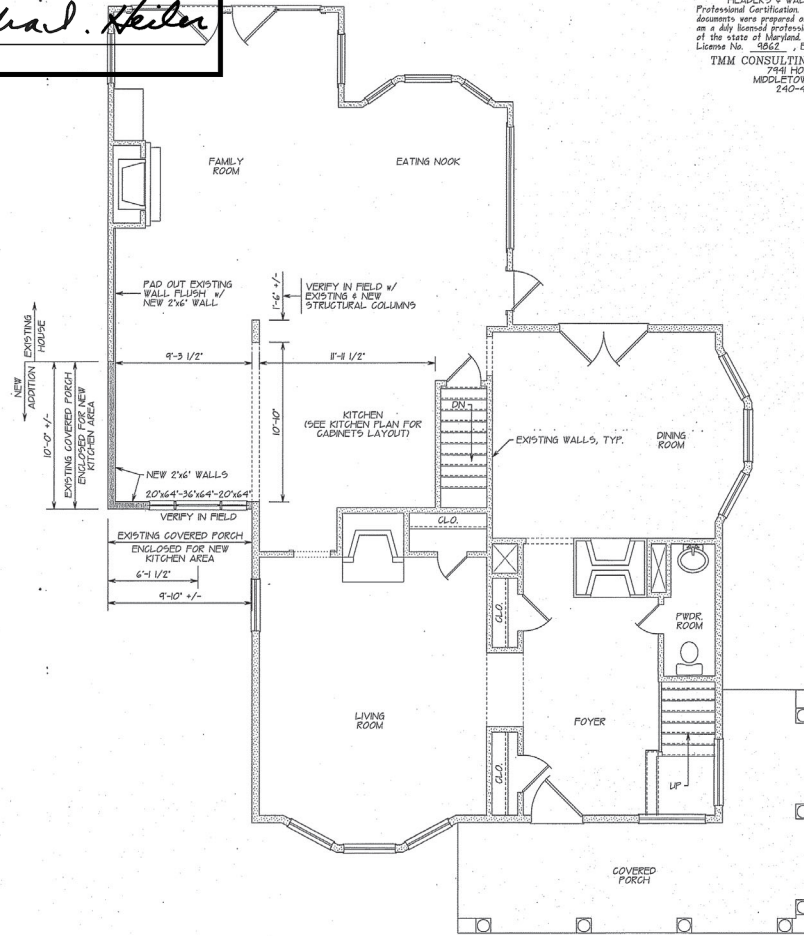
Sandra L. Keiler



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EXISTING FIRST LEVEL FLOOR PLAN



NEW FIRST LEVEL FLOOR PLAN

SCALE: 1/4" = 1'-0"

EXISTING & NEW FIRST LEVEL FLOOR PLAN

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4709 CUMBERLAND AVE.
CHEVY CHASE, MARYLAND 20815

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A - 1