



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
*County Executive*

Sandra I. Heiler  
*Chairman*

Date: December 3, 2020

### MEMORANDUM

TO: Mitra Pedoeem  
Department of Permitting Services

FROM: Dan Bruechert  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 927570 - Deck Construction

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the December 2, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Andrew Saindon  
Address: 7220 Spruce Ave., Takoma Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3400 or [dan.bruechert@montgomeryplanning.org](mailto:dan.bruechert@montgomeryplanning.org) to schedule a follow-up site visit.



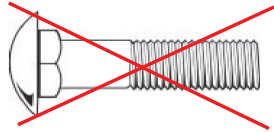


APPROVED  
 Department of Permitting Services  
 Permit # BUILDING-923305  
 Date 09/11/20

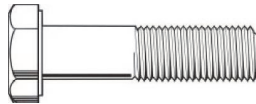
## Typical Requirements for Deck Construction



1. Footings within 5 feet of an existing structure foundation shall be dug to the depth of the existing footing.
2. Approved corrosion-resistive flashing shall be provided where exterior porches, decks or stairs attach to a wall or floor assembly or wood frame construction.
3. Stairways shall be illuminated in accordance with section R303.7 of the 2018 IRC
4. Stairways with 4 or more risers shall have a handrail with a minimum and maximum height of 34" and 38" respectively, measured vertically from the nosing of the tread. The handgrip portion of the handrail shall have a circular cross section of 1 1/4" minimum to 2" maximum.
5. Guardrails are required on raised floor surfaces located more than 30" above the floor or grade below. Minimum guard height shall be 36". Spaces or openings in guards shall not allow passage of a sphere 4" in diameter.
6. Where supported by attachment to an exterior wall, decks shall be positively anchored to the primary structure and designed for both vertical and lateral loads as applicable. As per Montgomery County Executive Regulation 31-19 when a ledger connection is used, the ledger should be fastened by through bolts with washers with spacing in accordance with Table 5 of the Montgomery County Typical Deck Details. **Where positive connection to the primary building structure cannot be verified during inspection, decks shall be self-supporting (2018 IRC R507.8).**
7. Carriage bolts, below left, are not acceptable. All through bolts to be hex head, below right, with washers and hex nuts. **Counter sinking of bolts is not permitted.**



**NOT APPROVED**



**APPROVED**

These plans for permit # 923305 have been conditionally approved in accordance with any corrections noted on plans. The building permit is a license to construct in accordance with adopted codes and does not waive any code requirements not noted during plan review.

Issuance of permit does not prevent field inspectors from ordering corrections to meet codes when issues are noted during inspections.

**MONTGOMERY COUNTY**  
**Department of Permitting Services**

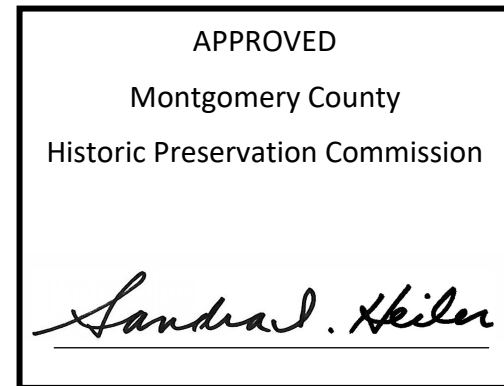
Approved M. STUP  
 Date 9/10/20

**GENERAL STRUCTURAL ARRANGEMENT APPROVED**  
**SUBJECT TO FURTHER APPROVAL BY FIELD INSPECTOR**

**\*SEE MONTGOMERY COUNTY DECK DETAILS FOR ADDITIONAL TYPICAL INFORMATION**

\*Compliance with the 2017 NEC, section 210.52 (E) (3); which requires a receptacle to serve each deck and balcony is required.

DECK/ SCREEN PORCH



**REVIEWED**  
 By Dan.Bruechert at 4:19 pm, Dec 03, 2020



**Montgomery County**  
**Department of Permitting Services**

255 Rockville Pike, 2<sup>nd</sup> Floor  
 Rockville, MD 20850-4166  
 Phone: 311 in Montgomery County or (240)777-0311  
 Fax: (240)777-6262  
<http://www.montgomerycountymd.gov/permittingservices>



APPROVED  
 Department of Permitting Services  
 Permit # **BUILDING-923305**  
 Date **09/11/20**  
Stamped By: Gail Lucas



APPROVED  
 Montgomery County  
 Historic Preservation Commission  
*Sandra L. Heiler*

**REVIEWED**  
 INSPECTIONS  
 By Dan.Bruechert at 4:19 pm, Dec 03, 2020

**NOTICE OF REQUIRED RESIDENTIAL BUILDING**

**BUILDING INSPECTION(S) must be performed for all issued building permits**

You must arrange for the inspection(s) according to the procedures specified below. If you have questions regarding this procedure, please call 311 between the hours of 7:30 A.M. – 4:00 P.M. Monday to Friday. If you have job specific questions during construction, please call the inspector assigned to the area in which the project is located.

You should request your inspection at least 24 hours prior to the date the inspection is needed. To schedule inspections, except partial inspections, call 311. Inspection requests must include the street address, permit number, and the type of inspection needed. Inspection requests made before 12 noon will be scheduled for the next working day, requests made after 12:00 noon will be scheduled within two working days. A specific time for an inspection cannot be given at the time that the inspection is scheduled.

The permit shall be kept on the site during the entire time the work is in progress and until its completion. If house numbers are not shown on the house or structure, the address must be posted in a visible location from the main road or entrance and must be displayed in large four-inch letters on a temporary card. FOR ALL INSPECTIONS, A SET OF APPROVED PLANS STAMPED BY MONTGOMERY COUNTY MUST BE ON THE JOB SITE FOR INSPECTOR'S REVIEW.

BEFORE YOU DIG call MISS UTILITY 1-800-257-7777 (2-day notice is required). Please note that the Maryland High Voltage Line Act prohibits any person or object from getting closer than 10 feet from high voltage power lines.

The following INSPECTIONS are required for your building permit number 923305

- 555 SIGN – The sign must be posted on the property within 3 days after the permit issuance date and must remain posted on the property for 30 days. The sign must be located on the side of the lot/parcel, which provides principal access to the street or right-of-the-way. It must be conspicuously posted not more than 5 feet from the front property line and mounted at least 30 inches, but not more than 60 inches, above the ground. NO BUILDING INSPECTION WILL BE PERFORMED PRIOR TO THE APPROVAL OF THIS INSPECTION.
- 001<sup>(1)</sup> FOOTINGS –Conducted prior to concrete placement and after excavation for wall footings, retaining wall footing (sometimes), column/pier footings, or thickened slabs have been completed; after grade stakes, reinforcing steel, concrete-encased electrode (for new dwellings) are in place; and after sediment control measures are installed according to the approved sediment control plans.
- 402 REBAR, DEADMAN, GEOGRID PLACEMENT – Conducted prior to pouring/backfilling retaining walls.
- 002<sup>(1)</sup> WATERPROOFING/FOUNDATION DRAINAGE – Conducted after walls have been waterproofed and exterior foundation drainage system have been installed. Insulation, if used, shall be in place and protected as required. If interior drain tiles are to be used, weep holes (2 in. minimum diameter, 6 feet on center) must be installed. A second inspection may be required prior to backfilling the interior drainage system.
- 011<sup>(1)</sup> CONCRETE SLAB-ON-GROUND FLOOR – After the installation of the slab base, vapor retarder, slab edge insulation, and a minimum 3 in. schedule 40 PVC, or equivalent gas tight pipe inserted into a 3 in. tee embedded into the slab base for the venting of RADON GAS and labeled adequately. Where the sump crock is to be used for the venting of RADON GAS, it must be in place at the time of the inspection.
- 003<sup>(2)</sup> WALL CHECK (HOUSE LOCATION SURVEY) – The owner must have a house location survey prepared and certified by a Maryland Registered Land Surveyor and must submit a copy to the building official for approval prior to erecting the framing. A wall check not identifies by a premise address and permit number will not be accepted. No wall shall be constructed on the foundation without an approved wall check.
- 006 MASONRY FIREPLACE/CHIMNEY – Conducted after the chimney/fireplace and the first flue liner section are completed.
- 042 WALL BRACING – Conducted prior to installation of weather-resistive barrier (house wrap).



- 004 FRAMING (CLOSE-IN) – Conducted after the completion of all framing, air sealing, rough wiring, fire sprinkler system installation and testing, plumbing and mechanical distribution systems (as required) but prior to installing exterior finish, insulation and drywall. Roof is to be completed and weatherproof. The exterior finish is not to be installed until framing (close-in) has been approved. When plumbing work is part of the construction, a Washington Suburban Sanitary Commission (WSSC) plumbing inspection must be approved before requesting a framing inspection. The building, electrical and mechanical inspections must be requested at the same time. When floor framing is less than 48 in. above the surface below, a framing inspection must be requested prior to installation of any floor materials.
- 041<sup>(3)</sup>
- 043 INSULATION – Conducted after the FRAMING (close-in) inspection has been approved to verify that the installed insulation R-values matches the approved plans or specifications for the building.
- 012 SWIMMING POOL BONDING – Conducted when the pool has been formed with the rebar installed and bonded prior to placement of concrete or backfill. During construction pool excavations must be completely enclosed by a 42 in. high safety fence AT ALL TIMES when work is not being performed in the pool.
- 251 FINAL – Final: Conducted after the building is completed and ready for occupancy, but prior to settlement on the house. For new construction, final electrical and mechanical inspections must be requested with the final building inspection. Note: A final approval from WSSC shall be obtained for all plumbing/gas installations prior to requesting final building inspections from the County. The final approval for sprinkler final inspection, duct blaster and blower door tests certifications, if required, shall be obtained prior to the request for a final inspection. Where a building is served by an on-site water system or an on-site sewage disposal system, any condition of the permits issued for those systems shall be satisfied prior to the final inspection. If an owner refuses access within a reasonable time after a house is completed, the building official may close the permit file, but this action will not relieve the owner from any obligation to comply with applicable codes. The final inspection must be requested and approved before a building (or portion thereof) is used or occupied.
- Partial Inspection – A \$97 inspection fee plus 5% automation fee the must be paid when scheduling this inspection ([Executive Regulation 9-15AMII](#)).

Reinspection Fee – A fee, as established in the Schedule of Fees for Permits, Licenses and Certifications, must be paid before any further inspections will be performed at the building site, after a building, electrical or mechanical inspection has been disapproved twice for the same violation. To alert you of the re-inspection fee the inspector will leave a disapproval sticker indicating a fee is due and outlining the payment procedure. This fee must be paid prior to requesting any future inspections. Inspections which cannot be performed because the inspector cannot gain access to the construction site, or where work is incomplete, will be considered disapproved, counting toward the two allowed disapprovals. To avoid re-inspection fees, footing, waterproofing/foundation drainage and slab inspections not ready due to weather conditions, may be cancelled by phone or upon the inspector's arrival up to 8:30 a.m. on the scheduled day. All other inspections must be cancelled prior to inspector's arrival on the job site. To cancel an inspection call 311 and provide the permit number, address and type of inspection.

Framing (CLOSE-IN) and FINAL building inspections must be requested at the same time with the electrical and mechanical inspections for the relevant Electrical and Mechanical Permits, if any of these permits is required. If all inspections are not properly requested, the inspector will disapprove the scheduled inspections.

For more information on scheduling inspections, please review the Residential Inspections Timing Checklist.

- (1) A [residential special inspector](#) may carry out the inspection.
- (2) Owner must have a house location survey prepared and certified by a Maryland Registered Land Surveyor or a Registered Professional Engineer (where the property lines and corners are already existing and determined on the ground) and must furnish a copy to the Zoning Enforcement Section for approval before any further inspections may be scheduled. For questions about wall checks please call 311.
- (3) For construction of new single-family dwellings and townhouses only.

**REVIEWED**  
 By Dan.Bruechert at 4:19 pm, Dec 03, 2020

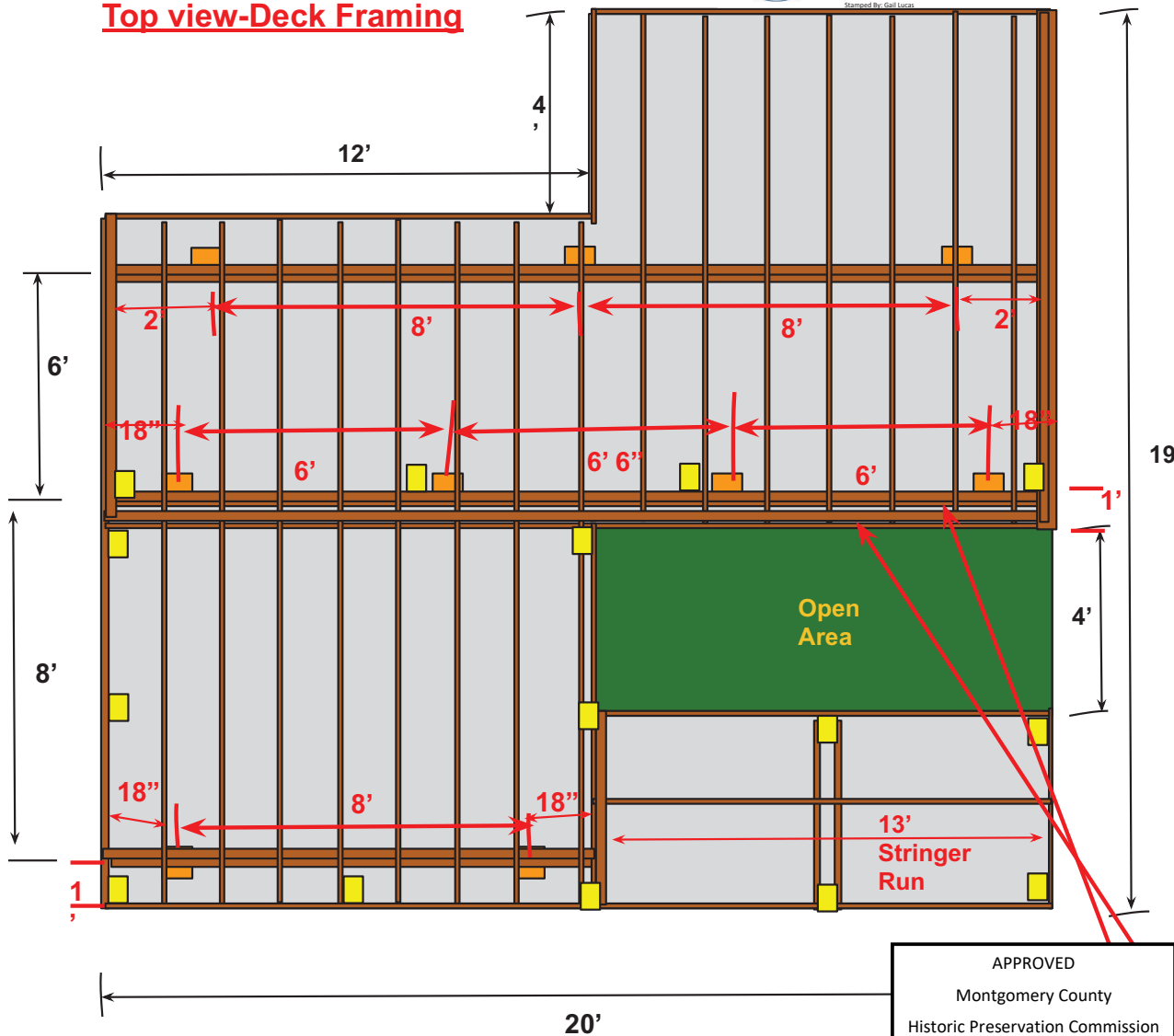
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 Montgomery County  
 Historic Preservation Commission



APPROVED  
 Department of Permitting Services  
 Permit # BUILDING-923305  
 Date 09/11/20  
 Stamped By: Gail Lujan

**Scale: 1/4"=1'**

**Top view-Deck Framing**



**Ledger=2x8 P-Treated: 1/2 x 7" Galv. Thru bolted into home band board. (2) at ends, 16" on center along run, staggered, up/down.**

**Joists=2x8 P-Treated, \*16" on center. Hung at ledger, simpson strong ties, over spans to rim joist/band board.**

**Double 2x8 P-Treated rim joists =porch perimeter.**

**Piers=6x6 P-Treated-16" in from bands and <8' on center, to inside piers. Tops notched to receive load beams.**

**Load beams=(2) 2x10 P-Treated. Band to band, inside notched pier pockets. (2) 1/2 x 7, Galv. Hex Bolted thru piers.**

**Hurricane clips at each joist to load beam junction.**

**Stair Stringers=(3) 2x12" P-Treated. Hung on stringer ledger with (2) PT 4x4 posts at center of stringer run with (2) 2x8 PT Stringer support load beams 1/2 x 7 hex bolted thru fastened.**

**Pressure Treated 2 x 6" deck boards both porch and deck**  
**Veranda, white vinyl railings and balusters on deck and porch**  
**Vinyl post sleeves both porch and deck with skirts/boots**  
**Azek trim boards over rim joists and stringer sides**

**FOOTINGS WITHIN 5' OF THE EXISTING HOUSE MUST GO TO THE EXISTING HOUSE FOOTING DEPTH**

**GUARD RAILS AND HAND RAILS TO BE 5' MAX**

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 Montgomery County  
 Historic Preservation Commission  
*Sandra Heiler*

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By Dan.Bruechert at 4:19 pm, Dec 03, 2020

**Half of the structure is a porch.**  
**That double line above the green field is a double rim joist cap.**  
**The second double line above it, is the load beams over the pier tops:**

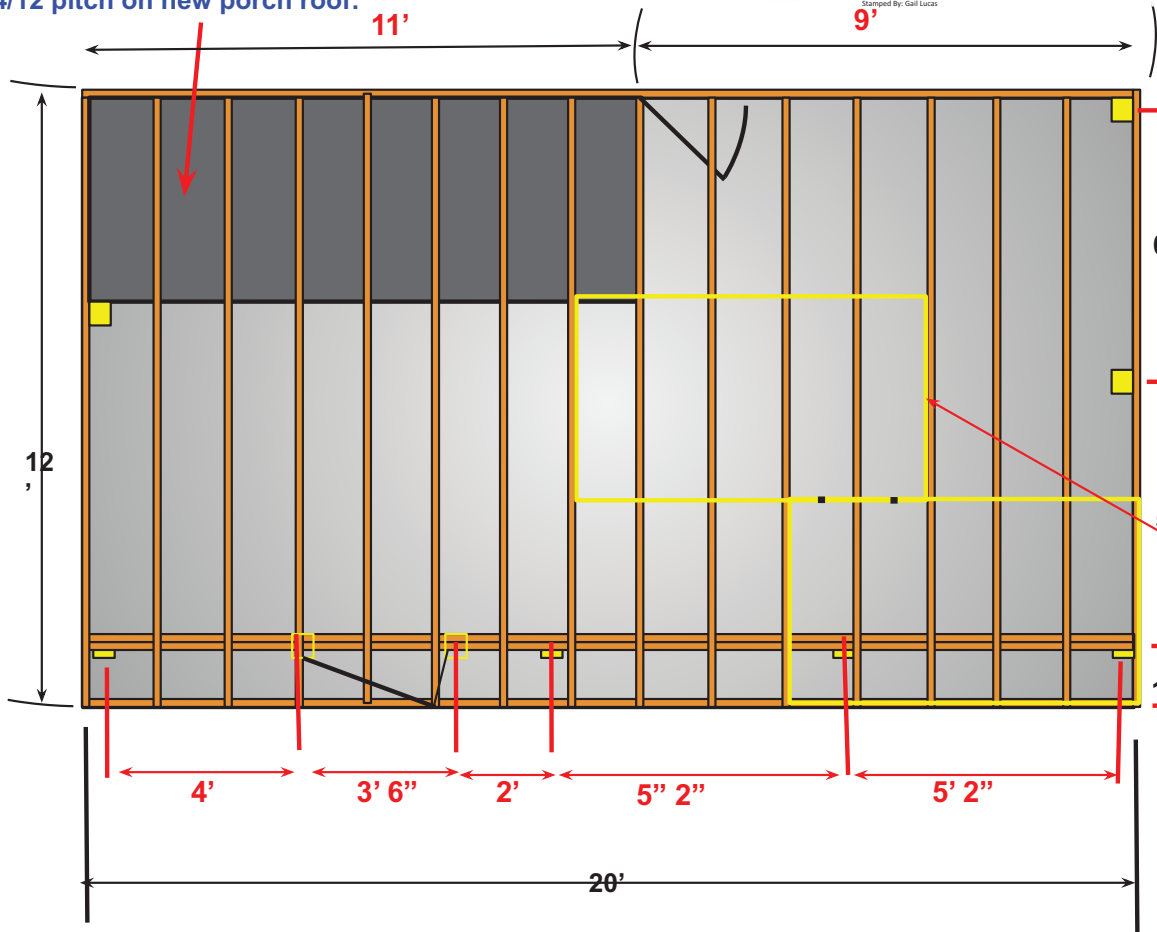
Existing roof line: New roof line of porch goes over:  
 Old roof stays and will be Azek clad along the fascia & rake  
 4/12 pitch on new porch roof:

**Top View**



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**Scale -1/4" = 1'**



Ledger=2x8 SPF: 1/2 x 6 Lag Bolted into second story wall studs, 16" on/c, (2) at ends and staggered along the ledger run, up and down.

Continual polymer flashing between ledger and removed siding.

Rafters=2x8 SPF, hung on simpson rafter hangers at ledger, 16" on center, span out to header=1' eave/soffit beyond header.

Header=(2) 2x8 SPF: (2) 1/2 x 7 hex bolted into posts

Posts=4x4 P-Treated: 4 rafter bearing points inside header and 2 flush with rakes.

Hurricane clips at each rafter and header junction

Roof Sheathing=7/16 x 4 x 8 OSB, staggered at 4' with sheet joining clips between each rafter. Synthetic paper over OSB, Drip edge on eave and rakes with laminate shingles to match home: Continual apron flashing behind siding at ledger and over shingles-face nails along flashing sealed.

1-3.0 screen door access to deck area.

Existing 3.0 home door access to porch.

Screened porch, all sides, including shed roof rake openings: All trim Azek PVC boards over all exposed SPF excluding under roof rafters: White vinyl sleeves over 4x4 posts: Veranda, white Vinyl railings between posts

**Deck Boards 2x6" Pressure Treated**

5" seamless white gutter eave length: 2, 2x3 downspouts each side of gutter ends to ground level.

**The new roof will be at a ledger 4' higher than the existing roof. It will not come in contact with the existing roof**

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**Side View**  
**Framing/Deck & Porch**



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(3) 2x12 PT Stringers  
Stringer run header  
(2) 2x8 PT on each side of 4x4's - Each 4x4 is on a footer-at the center of the stringer run. Hex bolt fastened (2) per

(2) 2x8 SPF Porch Header

4x4 PT Posts

2x8 PT Joists

2x8 SPF rafters

2x8 SPF Rafter Ledger

Home  
south side view rear

6x6 PT Piers  
(2) 2x10 load beams

4'

8'

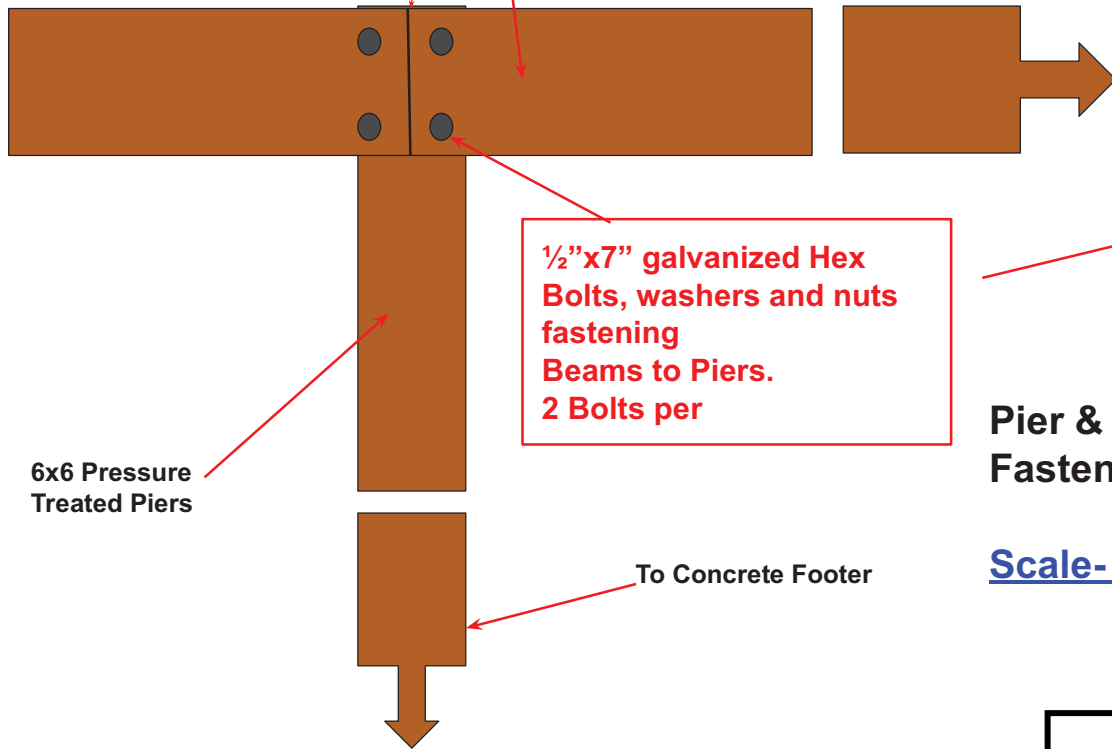
7' 4"



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2x10 Load Beam (2)  
 Butt seams will break over  
 Pier Center, where this may  
 occur:

(2) 2x10 Pressure Treated Load Beams  
 inside/on, notched saddle



6x6 Pressure  
 Treated Piers

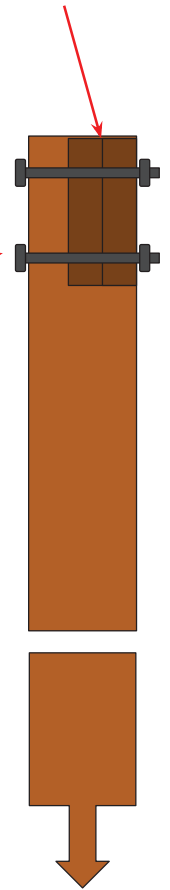
**1/2" x 7" galvanized Hex  
 Bolts, washers and nuts  
 fastening  
 Beams to Piers.  
 2 Bolts per**

To Concrete Footer

Front View

Pier & Bearing Beams  
 Fasten Detail

Scale- 1/2" = 1'



Side View

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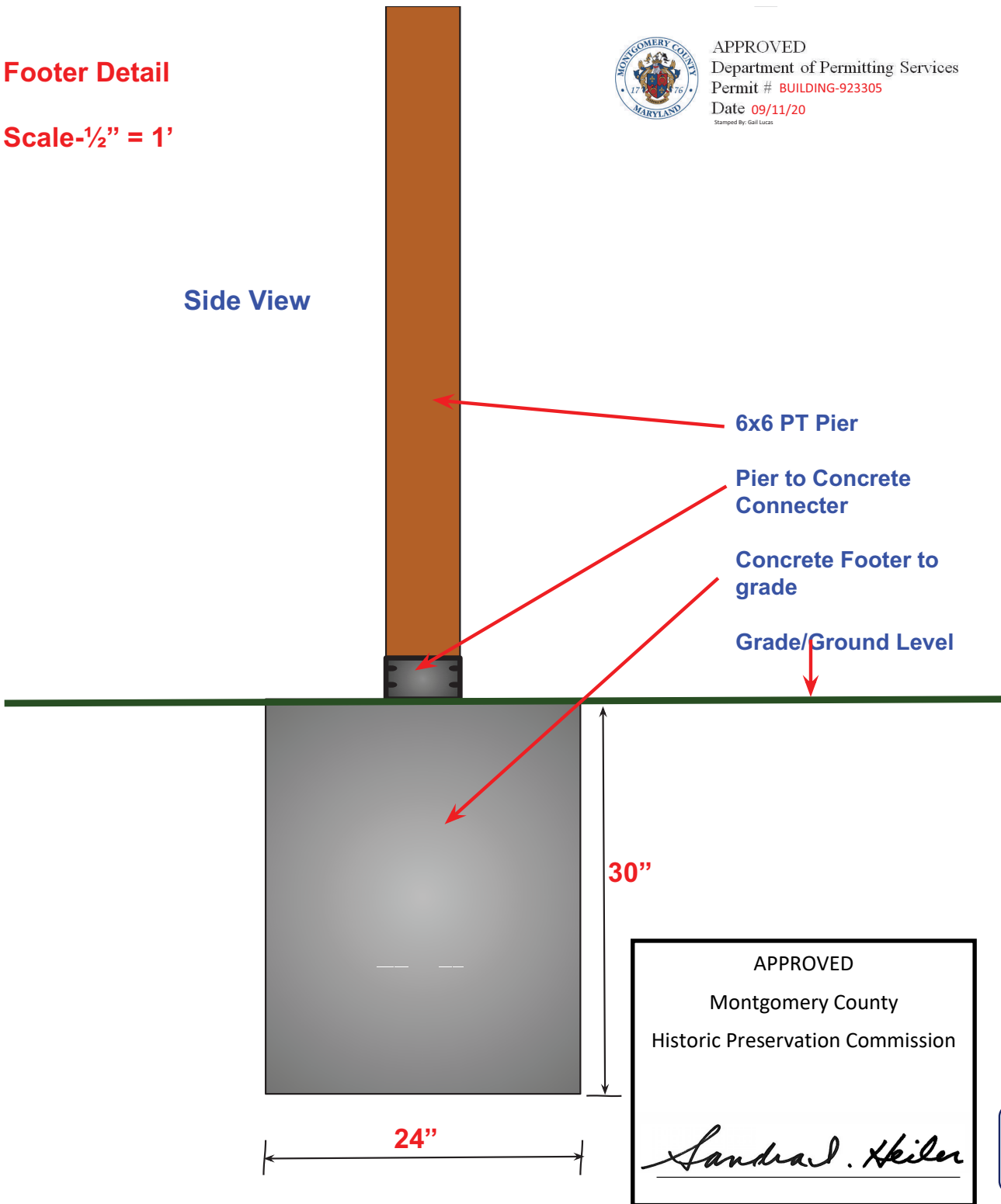
**Footer Detail**

**Scale-1/2" = 1'**

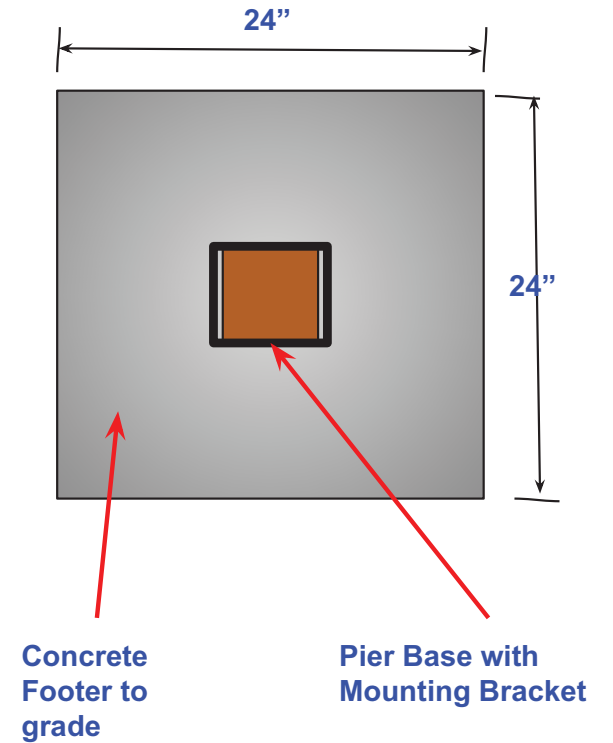


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**Side View**



**Top View**



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**Scale, 1/2"=1'**

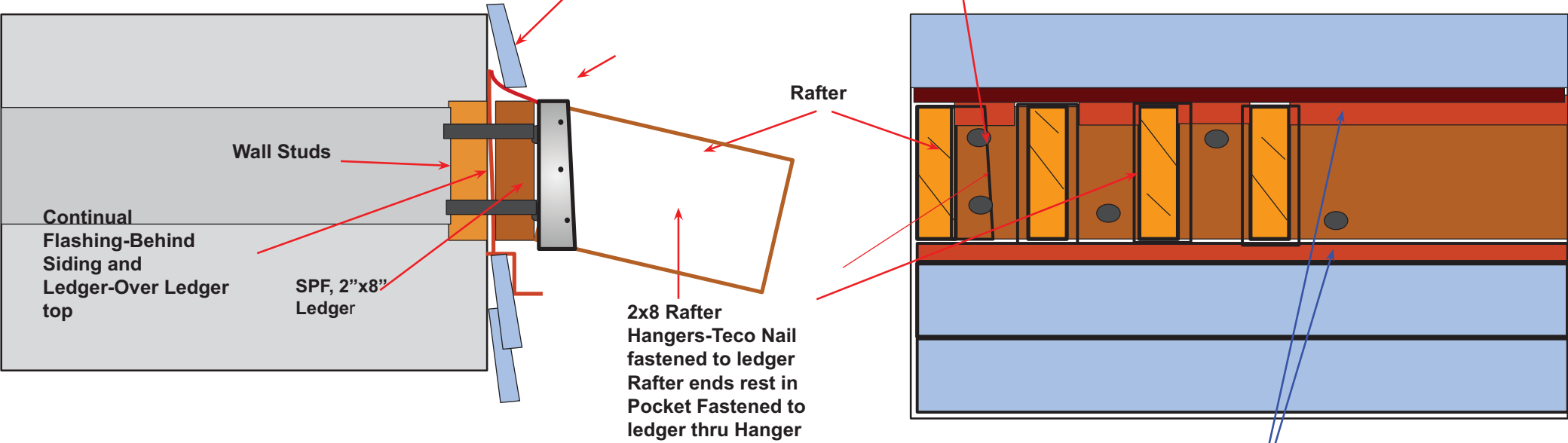
**Porch Roo  
Attachment Detail**

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1/2"x7" Galvanized Lag Bolts and washers  
(2) Up and down at ledger ends: 16" on center,  
staggered up and down  
Pattern along the length

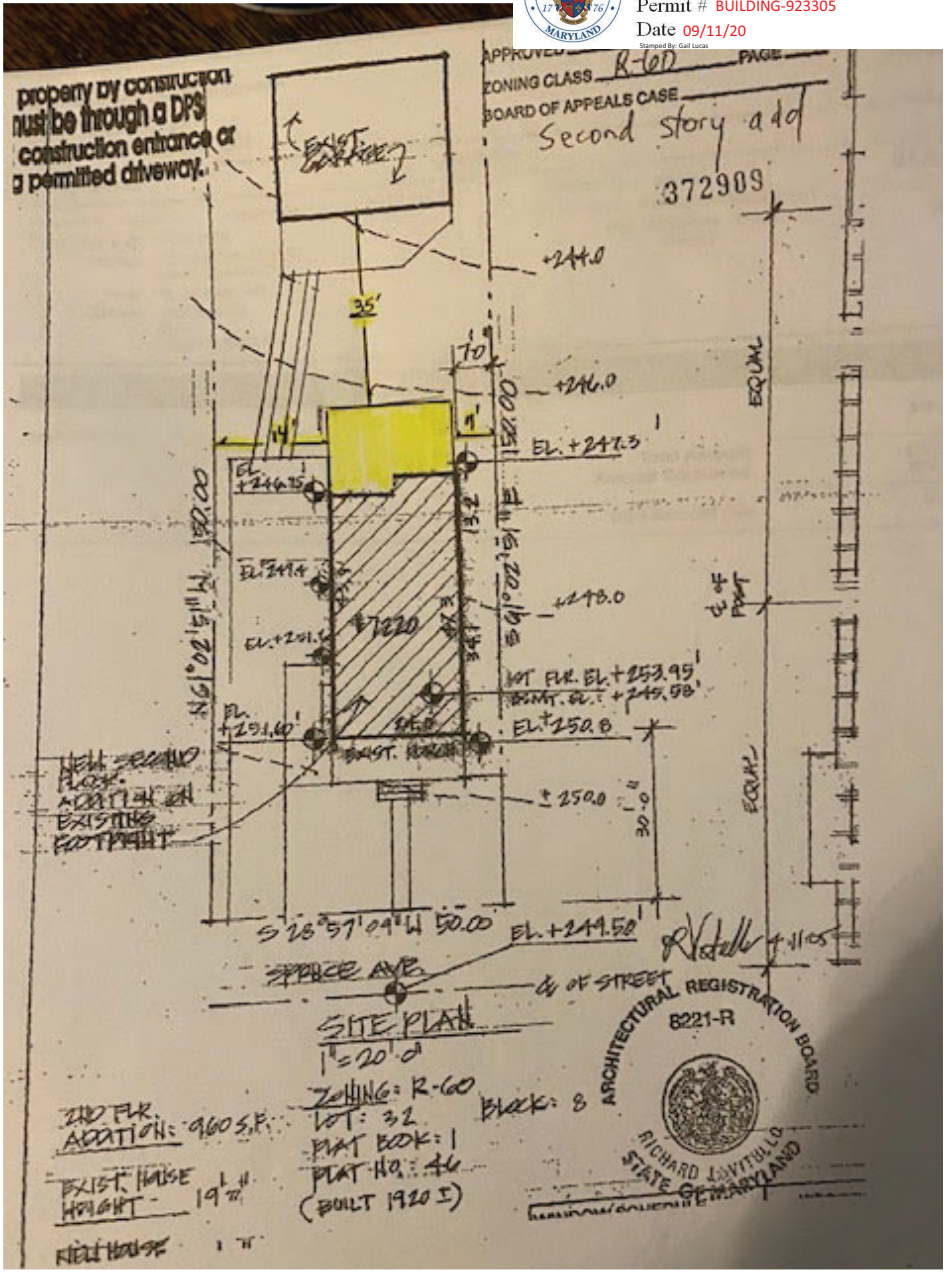
**Side View**

**Front View**



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