



HISTORIC PRESERVATION COMMISSION

Mark Elrich
County Executive

William Kirwan
Chairman

Date: February 21, 2020

MEMORANDUM

TO: Diane Schwartz Jones
Department of Permitting Services

FROM: Dan Bruechert
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit: 846182: Building Additions

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the October 24, 2018 Historic Preservation Commission meeting with revised plans approved at the September 11, 2019 HPC meeting and the February 12, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached revised construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: David O'Neil and Laura Billings
Address: 5904 Cedar Parkway, Chevy Chase

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Dan Bruechert at 301.563.3408 or dan.bruechert@montgomeryplanning.org to schedule a follow-up site visit.



JONES & BOER ARCHITECT

APPROVED
Montgomery County
Historic Preservation Commission

Sandra L. Skiler

22 January 2020

Billings O'Neil Residence HAWP Revision 2

We request approval to replace the following existing windows:

REVIEWED

By Dan.Bruechert at 9:58 am, Feb 21, 2020

Sunroom 1st Floor – East and South Elevations

We have evidence that this room was originally a porch. The wood floor has been removed and there is clay tile on concrete with a step-down from the dining room (photo 4). This clay tile matches the tile on the front terrace. The walls beneath the windows are stone, matching the stone on the exterior of the house (photo 3, 4, 5). There are windows and French doors between this room and the dining room indicating it was originally a porch. Therefore, we do not believe these windows are original.

The existing windows in this room have deteriorated to the point that they do not operate. They cannot be repaired. We propose to replace these windows with custom units sized to fit the existing jamb openings.

Study 2nd Floor – East, South and West Elevations

We have evidence that this room was added at a later date. All of the framing in this room is newer than that in the rest of the house, evidenced by a clear difference in color (photo 6, 7). The steel windows do not match the other windows in the house (photo 8, 9).

The existing steel windows are in disrepair, have been modified in places and do not operate. We propose to replace these with wood framed windows with similar pattern.

Dining Room 1st Floor – East Elevation

The original approved plans call for replacing the center sash. However, after further inspection, the two flanking sashes are rotted and will not close fully (photo 10). We propose to replace this window with a custom unit to match the existing details and frame dimensions.

Living Room 1st Floor - North Elevation

This window is rotted and will not operate (photo 11). We propose to replace with a custom unit to fit the opening and match the details of the Living Room window on the east elevation.

Bedroom 1 on 2nd Floor – North Elevation

This window is rotted and will not operate (photo 12). We propose to replace with an operable window to match.

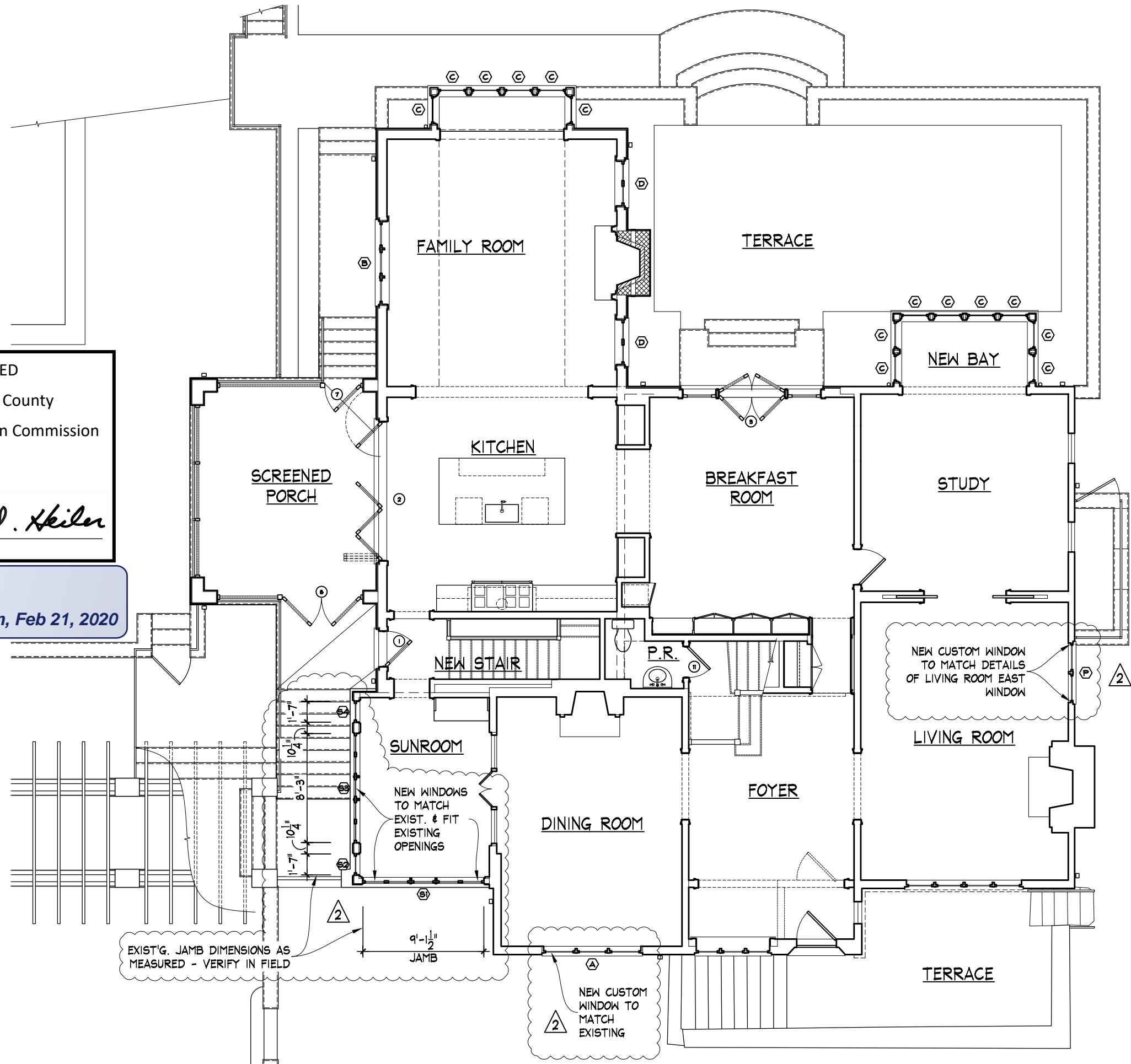
Bath 3 on 3rd Floor – North Elevation

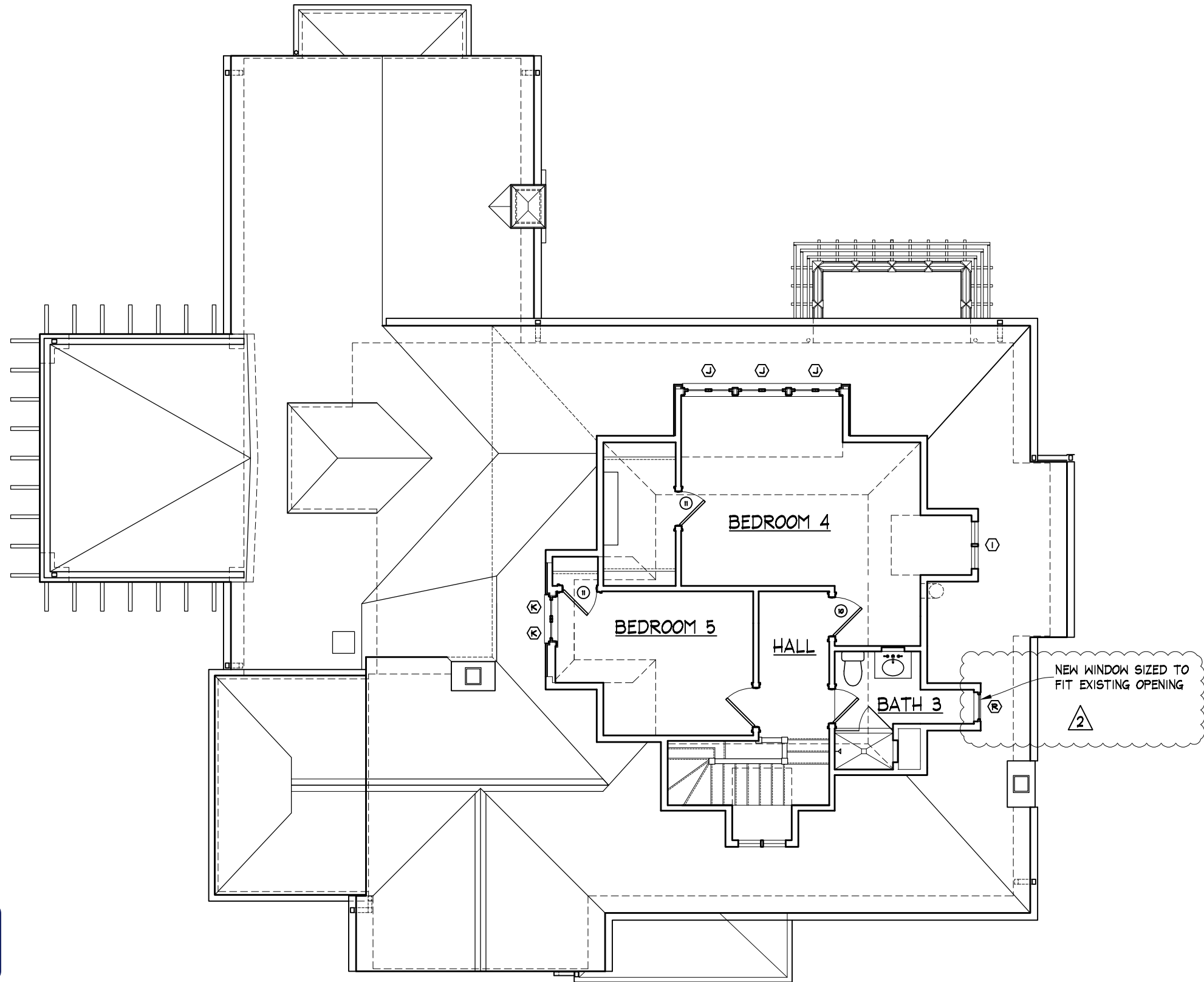
This window is rotted and cannot open without failing (photo 13). We propose to replace with an operable window to match.

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Sandra J. Heiler

REVIEWED
 By Dan.Bruechert at 9:59 am, Feb 21, 2020





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WINDOW SCHEDULE

SYM.	FRAME SIZE (WxH) U.N.O.	TYPE	MANUF. #	REMARKS
(A)	(3) 2'-3 $\frac{1}{2}$ " \pm X 5'-2" \pm (SASH)	PTD. WD. CASEMENT	MASTER'S WOODSHOP	CUSTOM WINDOW TO FIT EXIST'G OPENING, MATCH EXIST. DETAILS
(P)	4'-6" \pm X 5'-2" \pm (SASH)	PTD. WD. CASEMENT	MASTER'S WOODSHOP	CUSTOM WINDOW TO FIT EXIST'G OPENING, MATCH EXIST. DETAILS
(Q)	5'-5" \pm X 4'-7" \pm (SASH)	PTD. WD. CASEMENT	CUSTOM	CUSTOM WIN. TO FIT EXIST'G. OPENING
(R)	1'-6" \pm X 4'-0" \pm (SASH)	PTD. WD. CASEMENT	CUSTOM	CUSTOM WIN. TO FIT EXIST'G. OPENING
(S1)	9'-1 $\frac{1}{2}$ " X 5'-0 $\frac{1}{2}$ " (SASH)	PTD. WD. CASEMENT	MASTER'S WOODSHOP	CUSTOM WINDOW TO FIT EXIST'G OPENING, MATCH EXIST. DETAILS
(S2)	1'-7" X 5'-0 $\frac{1}{2}$ " (SASH)	PTD. WD. CASEMENT	"	"
(S3)	8'-3" X 5'-0 $\frac{1}{2}$ " (SASH)	PTD. WD. CASEMENT	"	"
(S4)	1'-7" X 5'-0 $\frac{1}{2}$ " (SASH)	PTD. WD. CASEMENT	"	"
(S4)	1'-7" X 5'-0 $\frac{1}{2}$ " (SASH)	PTD. WD. CASEMENT	"	"
(S5)	3'-2" X 3'-11 $\frac{1}{2}$ " (SASH)	PTD. WD. FRENCH CASEMENT	CUSTOM	CUSTOM WIN. TO FIT EXIST'G. OPENING
(S6)	1'-6 $\frac{7}{8}$ " X 3'-11 $\frac{1}{2}$ " (SASH)	PTD. WD. CASEMENT	"	"
(S7)	3'-2" X 3'-11 $\frac{1}{2}$ " (SASH)	PTD. WD. FRENCH CASEMENT	"	"
(S8)	1'-7" \pm X 3'-11 $\frac{1}{2}$ " (SASH)	PTD. WD. CASEMENT	"	"
(S9)	3'-2 $\frac{1}{2}$ " X 3'-11 $\frac{1}{2}$ " (SASH)	PTD. WD. CASEMENT	"	"
(S10)	1'-7" \pm X 3'-11 $\frac{1}{2}$ " (SASH)	PTD. WD. CASEMENT	"	"
(S11)	3'-2 $\frac{1}{2}$ " X 3'-11 $\frac{1}{2}$ " (SASH)	PTD. WD. CASEMENT	"	"
(S12)	1'-7" \pm X 3'-11 $\frac{1}{2}$ " (SASH)	PTD. WD. CASEMENT	"	"
(S13)	1'-6 $\frac{3}{8}$ " \pm X 3'-11 $\frac{1}{2}$ " (SASH)	PTD. WD. CASEMENT	"	"

MASTER'S WOODSHOP OR LEPAGE CUSTOM, SIZED TO FIT OPENINGS

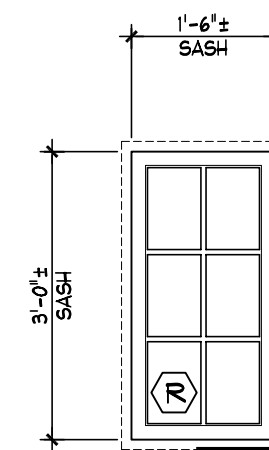
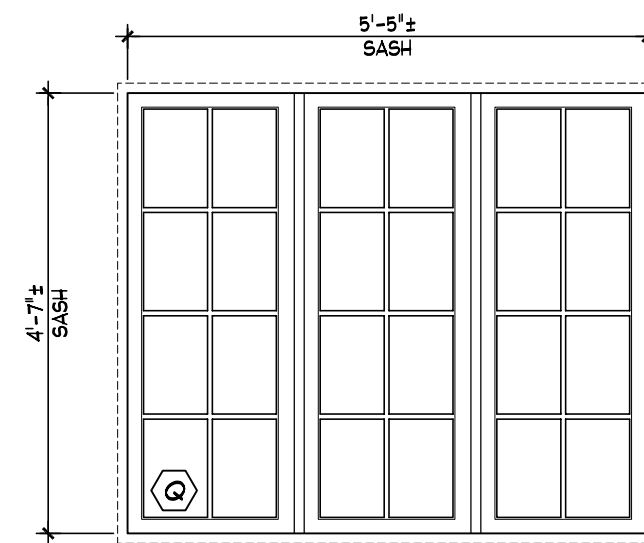
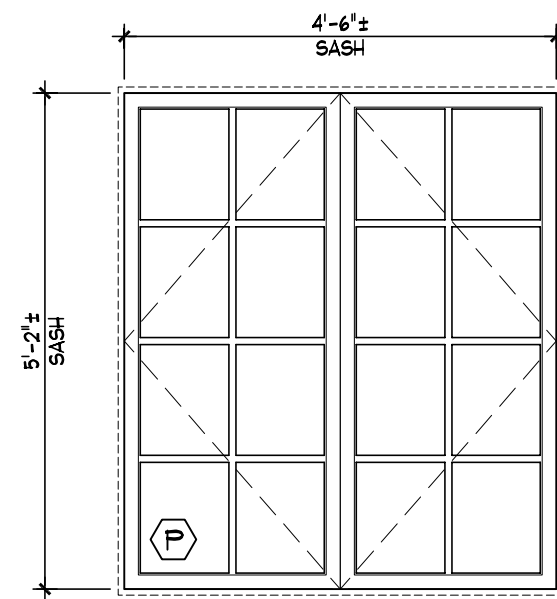
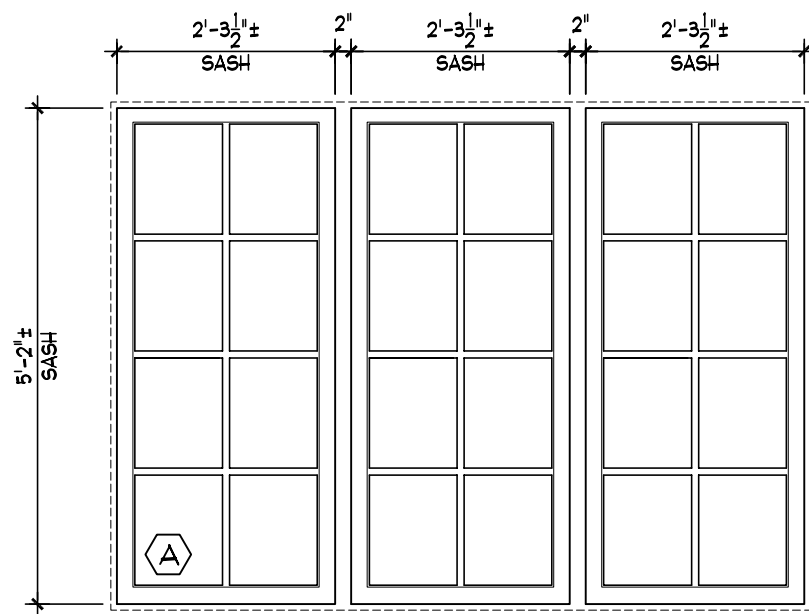
NOTES:

- MANUFACTURER #S LISTED ARE LEPAGE U.N.O.
- SEE ELEVATIONS FOR MUNTIN PATTERNS
- PROVIDE SAFETY GLASS WHERE REQUIRED BY CODE
- ALL FENESTRATION TO HAVE MAX. U-FACTOR = 0.35, MAX SHGC = 0.40
- MUNTIN PROFILE & WIDTH TO MATCH EXISTING - 5/8"
- SEE PLANS & ELEVATIONS FOR FIXED WINDOW LOCATIONS
- ALL FENESTRATION WILL BE CERTIFIED AND LABELED IN ACCORDANCE WITH NFRC
- CUSTOM REPLACEMENT WINDOWS BY THE MASTER'S WOODSHOP TO MATCH STILE AND RAIL DIMENSIONS AND MUNTIN BAR WIDTHS AND PROFILES OF EXISTING WINDOWS.
- DIMENSIONS FOR WINDOWS TO FIT EXISTING OPENINGS ALL EXISTING OPENINGS TO BE VERIFIED IN THE FIELD.

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