



HISTORIC PRESERVATION COMMISSION

Marc Elrich
County Executive

Sandra I. Heiler
Chairman

Date: May 21, 2020

MEMORANDUM

TO: Hadi Mansouri
Department of Permitting Services

FROM: Michael Kyne
Historic Preservation Section
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit #902887: Hardscape alterations, tree removal, fencing, and other site alterations

The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **Approved** at the February 12, 2020 HPC meeting.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Nicola and Colin Dowling (Rachel Ryan, Agent)
Address: 9 West Irving Street, Chevy Chase

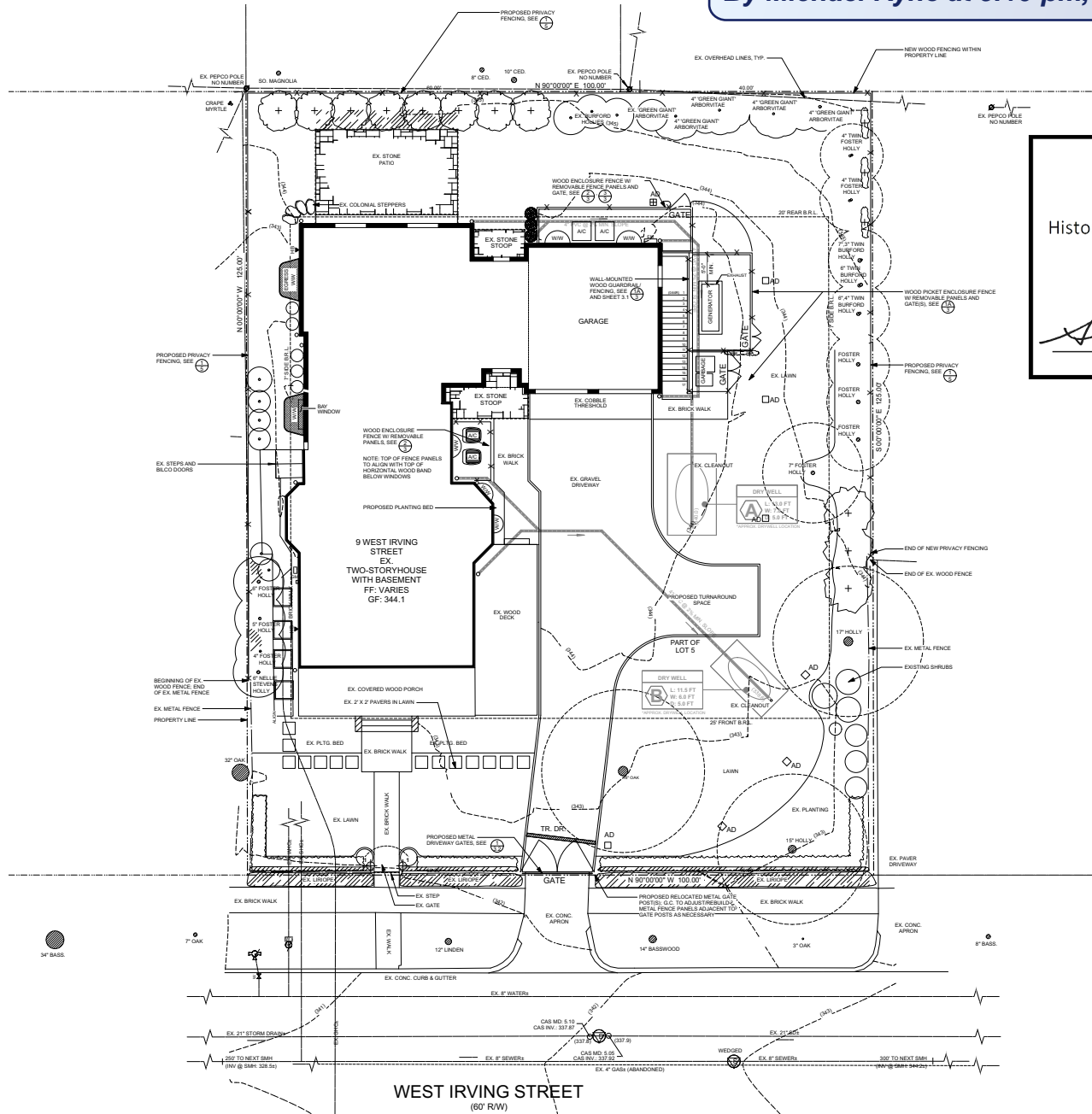
This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Michael Kyne at 301.563.3403 or michael.kyne@montgomeryplanning.org to schedule a follow-up site visit.



REVIEWED
 By Michael Kyne at 5:10 pm, May 21, 2020

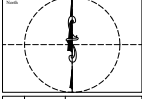
APPROVED
 Montgomery County
 Historic Preservation Commission

Sandra L. Heiler



LILA FENDRICK
 landscape architecture & garden design
 6904 West Avenue Chevy Chase, Maryland 20815
 (301) 907-7700

Project Title:
DOWLING RESIDENCE
 9 WEST IRVING STREET, CHEVY CHASE, MD 20815



No.	Date	Revision Notes
1	2020-01-20	ISSUED FOR HAWP
2	2020-05-01	ISSUED FOR PERMIT

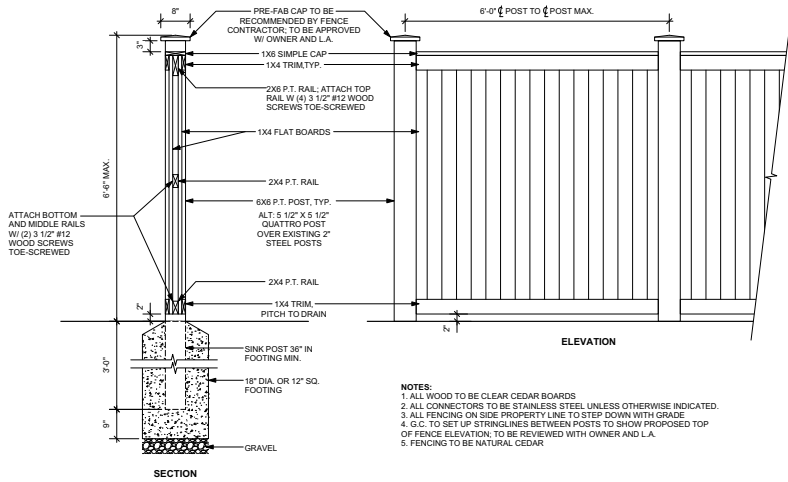
CAS Engineering, 06/2017

KEY	
	EXISTING TREES
	PROPERTY LINE
	EXISTING ELEVATION
	PROPOSED ELEVATION
	EXISTING CONTOUR
	PROPOSED CONTOUR
	GAS LINE
	WATER LINE
	SEWER LINE
	OVERHEAD LINE
	SEWER MAN HOLE
	POWER POLE
	LIGHT POLE
	SIGN
	EX. WOOD FENCE
	EX. METAL FENCE
	PROP. WOOD FENCE
	TO BE REMOVED
	TO BE REMOVED
	LANDSCAPE CONTRACTOR
	GENERAL CONTRACTOR
	DOWNSPOUT
	AREA DRAIN
	HOSE BIB
	HARDWARE TO BE REMOVED

General Notes

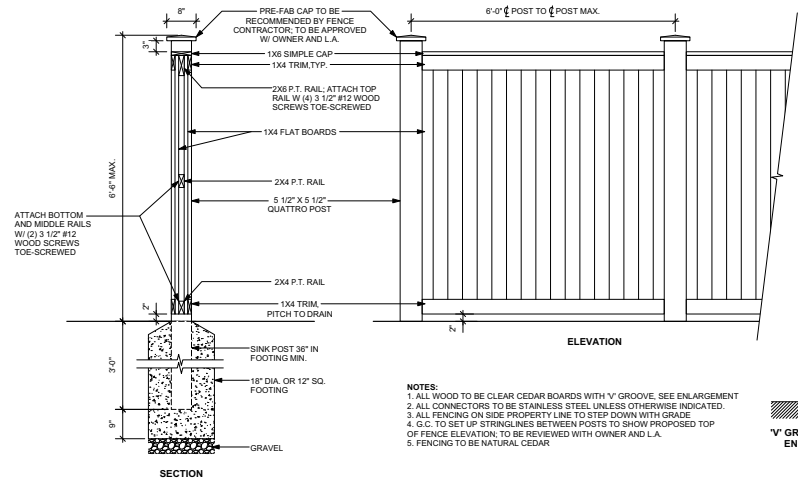
- For location of utilities, call "Max Utility" at 1-800-257-7777, or log on to www.maxutility.net. It is the responsibility of the excavator to locate all public utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with the requirements of the local jurisdiction.
- All abandoned pipes to be rigid PVC pipe.

Site Plan/Detail Reference Plan	
Sheet	2020-5-1
Date	1/18"-1/4"
Scale	1
Page	4



1 DOUBLE-SIDED WOOD PRIVACY FENCING, TYP.
2 SECTION/ELEVATION

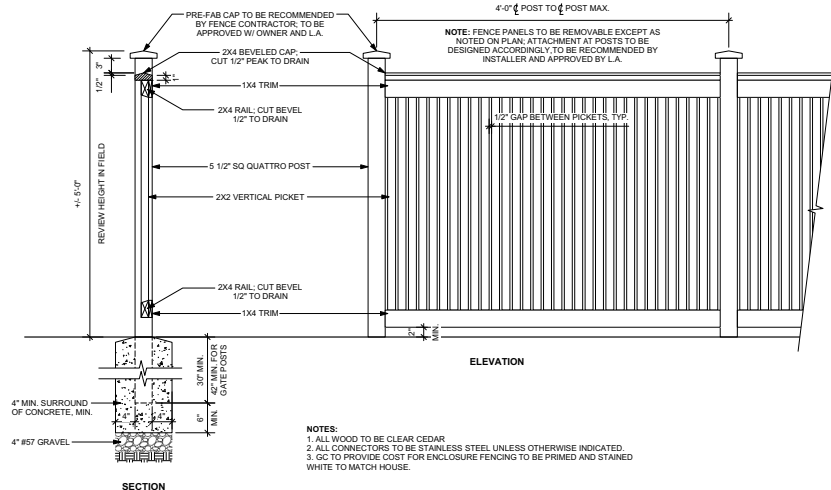
3/4"=1'-0"



1A GARBAGE AND GENERATOR FENCING, TYP.
2 SECTION/ELEVATION

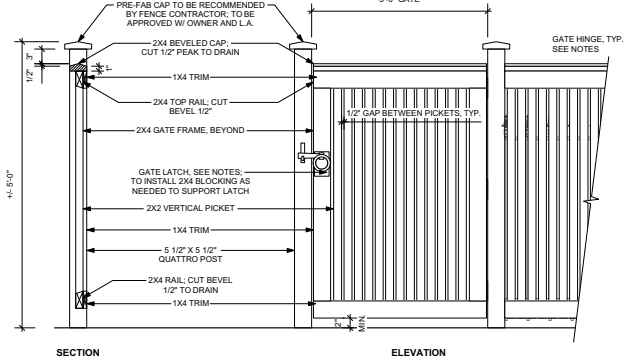


3/4"=1'-0"



2 ENCLOSURE FENCING, TYP.
2 SECTION/ELEVATION

1"=1'-0"



3 ENCLOSURE GATE
2 SECTION/ELEVATION

APPROVED
1"=1'-0"

Montgomery County
Historic Preservation Commission

Sandra L. Heiler

REVIEWED
By Michael Kyne at 5:10 pm, May 21, 2020

LILA FENDRICK landscape architecture & garden design
6904 West Avenue Chevy Chase, Maryland 20815 (301) 907-7700

DOWLING RESIDENCE
9 WEST IRVING STREET, CHEVY CHASE, MD 20815

5-1-20

No.	Date	Revision Notes
1	2020-01-22	ISSUED FOR HAWP
2	2020-05-01	ISSUED FOR PERMIT

General Notes

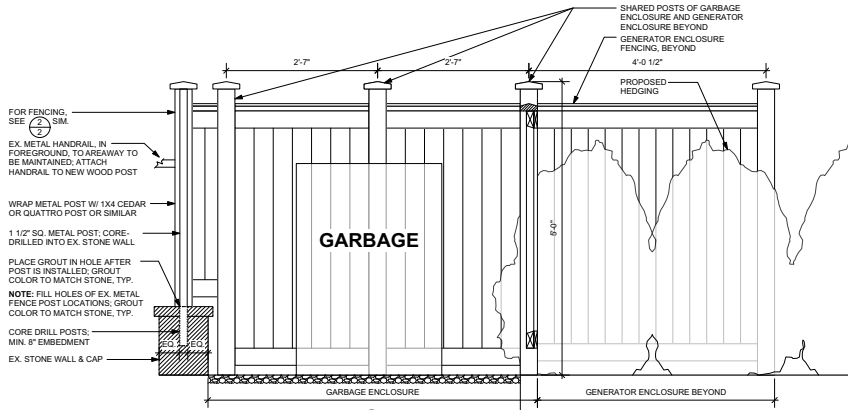
1. For location of utilities, call "Max Utility" at 1-800-257-7777, or log on to www.maxutility.com. If known in advance of any work in this vicinity, the excavator must notify all public-utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation; the excavator is responsible for compliance with the requirements of the local jurisdiction.
2. All submitted pages to be rigid PVC, ppv.

Fence Details

Date: 2020-05-01

Sheet Scale:

Sheet No.: 2



FOR FENCING, SEE $\text{\textcircled{2}}$ S.M.
EX. METAL HANDRAIL IN FOREGROUND, TO AREAWAY TO BE MAINTAINED, ATTACH HANDRAIL TO NEW WOOD POST

WRAP METAL POST W/ 1X4 CEDAR OR QUATRO POST OR SIMILAR

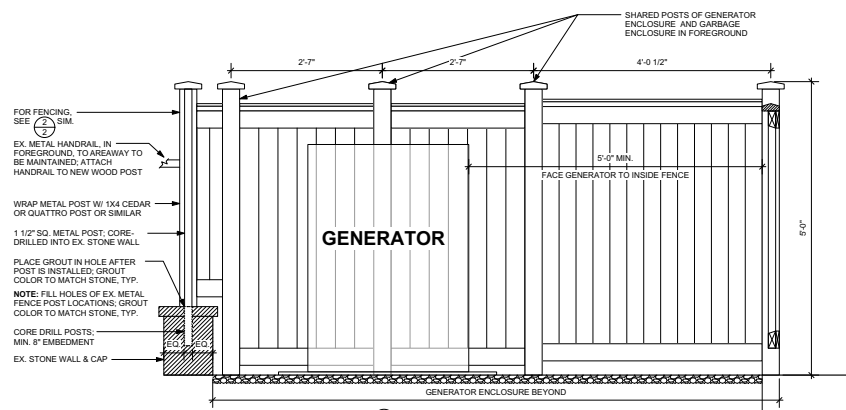
1 1/2" SQ. METAL POST, CORE DRILLED INTO EX. STONE WALL

PLACE GROUT IN HOLE AFTER POST IS INSTALLED; GROUT COLOR TO MATCH STONE, TYP.

NOTE: FILL HOLES OF EX. METAL FENCE POST LOCATIONS; GROUT COLOR TO MATCH STONE, TYP.

CORE DRILL POSTS; MIN. 6" EMBEDMENT
EX. STONE WALL & CAP

- NOTES:
1. ALL WOOD TO BE CLEAR CEDAR BOARDS WITH "V" GROOVE, SEE $\text{\textcircled{2}}$
 2. ALL CONNECTORS TO BE STAINLESS STEEL UNLESS OTHERWISE INDICATED.
 3. FENCING TO BE PRIMED AND STAINED WHITE TO MATCH HOUSE.



FOR FENCING, SEE $\text{\textcircled{2}}$ S.M.
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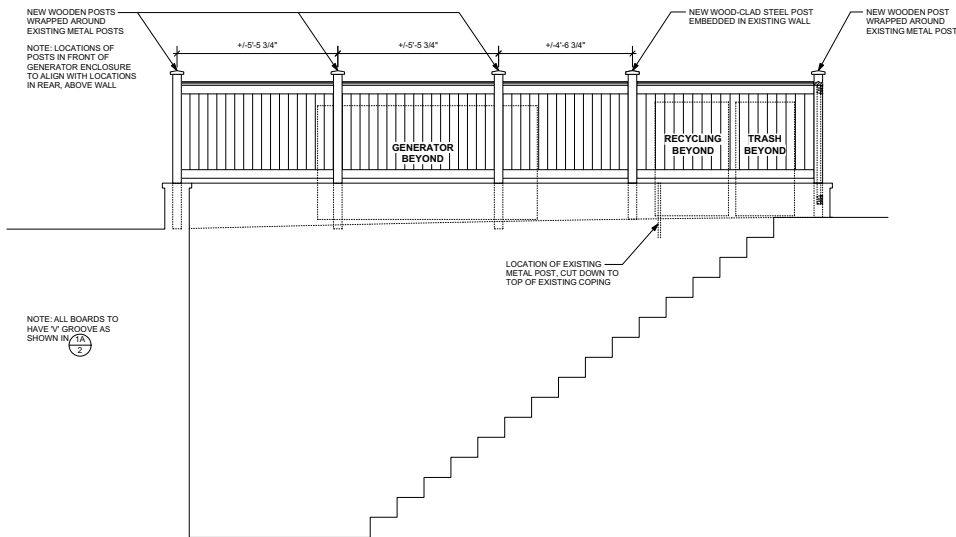
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 2. ALL CONNECTORS TO BE STAINLESS STEEL UNLESS OTHERWISE INDICATED.
 3. FENCING TO BE PRIMED AND STAINED WHITE TO MATCH HOUSE.
 4. GENERATOR TO BE 48KW GENERATOR BY KOHLER (66.8" X 33.2" X 46.5"); ALL OFFSETS FROM GENERATOR TO FENCING TO BE REVIEWED AND APPROVED BY ELECTRICIAN PRIOR TO INSTALLATION

$\text{\textcircled{1}}$ WALL-MOUNTED GUARDRAIL/FENCE AT GARAGE STAIRS
 $\text{\textcircled{3}}$ SECTION/ELEVATION

1"=1'-0"

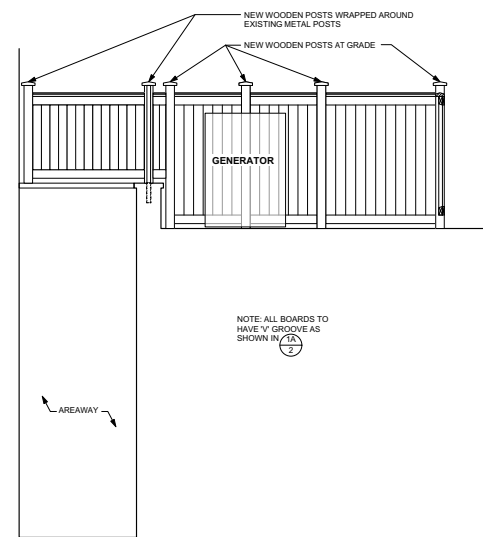
$\text{\textcircled{2}}$ WALL-MOUNTED GUARDRAIL/FENCE AT GARAGE STAIRS
 $\text{\textcircled{3}}$ SECTION/ELEVATION

1"=1'-0"



$\text{\textcircled{2}}$ ENCLOSURE BACK FENCING FROM STAIRWELL
 $\text{\textcircled{3}}$ ELEVATION

1/2"=1'-0"



$\text{\textcircled{3}}$ FENCING AT ENCLOSURE AND STAIRWELL
 $\text{\textcircled{3}}$ SECTION

APPROVED
1/2"=1'-0"
Montgomery County
Historic Preservation Commission

Sandra L. Heiler

REVIEWED

By Michael Kyne at 5:10 pm, May 21, 2020

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15.1.20

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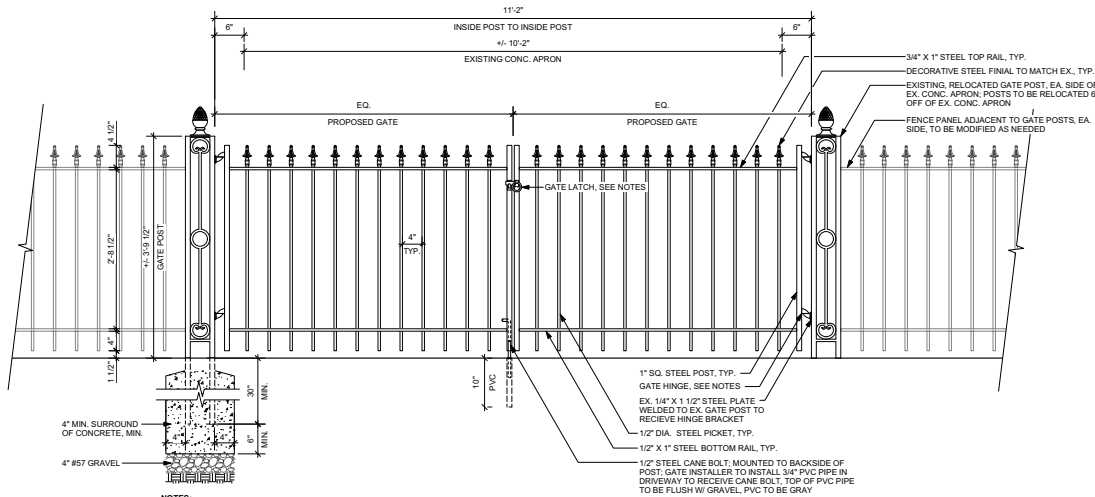
General Notes

1. For location of utilities, call "Max Utility" at 1-800-257-7777, or log on to www.maxutility.com. All know in advance of any work in this vicinity, the excavator must notify all public-utility companies with underground facilities in the area of proposed excavation and have those facilities located by the utility companies prior to commencing excavation. The excavator is responsible for compliance with the requirements of the local jurisdiction.
2. All subsurface pipes to be rigid PVC pipe.

Fence Details

Date: 2020-05-01

Sheet Scale: 3 of 4



- NOTES:**
- FENCING TO BE STEEL, PRIMED & PAINTED BLK TO MATCH ADJACENT FENCING
 - SEAL WELD ALL JOINTS/CONNECTIONS BETWEEN CAPS & POSTS, CHANNELS & POSTS, PICKETS & CHANNELS, ETC. EXCEPT WHERE DOING SO WOULD CONFLICT WITH STRUCTURAL AND/OR CODE REQUIREMENTS
 - FABRICATOR TO REPLICATE HINGE DESIGN USED AT EXISTING FRONT WALK GATE. MODIFY HINGE DESIGN AS NEEDED TO SUPPORT LARGER DRIVEWAY GATES. REVIEW W/ OWNER AND L.A.
 - GATE LATCH TO BE DETERMINED WITH OWNER AND L.A.

1 METAL DRIVEWAY GATES
4 ELEVATION

1"=1'-0"

REVIEWED

By Michael Kyne at 5:11 pm, May 21, 2020

APPROVED
Montgomery County
Historic Preservation Commission

Sandra L. Heiler

DESIGN NOTES

- I. DESIGN LIVE LOADS FOR NEW WORK**
- LIVE LOAD**
 - HANDRAILS = 50 PLF LATERAL OR 200 LB PFS. LOAD IN ANY DIRECTION
 - WIND LOAD**
 - V_{100} (3-second gust) = 115 MPH
 - V_{30} (3-second gust) = 90 MPH
 - EXPOSURE = B
 - SEISMIC LOAD**
 - SEISMIC USE GROUP = 1
 - SITE CLASS = E
 - NO DESIGN REQUIRED PER IBC 6101.2.2
 - CODE:** THE STRUCTURE IS DESIGNED IN ACCORDANCE WITH THE INTERNATIONAL RESIDENTIAL CODE 2012 AND THE 2013 DCMR.
 - SOIL PARAMETERS**
 - PAT REST = 60H
 - PACTIVE = 45H
 - FRASSIVE = 30H
- II. WOOD**
- ALL BEAMS AND POSTS SHALL BE WESTERN CEDAR NO.2 PER "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION", NDS.
 - MINIMUM MEMBER PROPERTIES SHALL BE AS FOLLOWS:
 - WOOD BEAMS
 - FLEXURE: $F_b = 700$ PSI
 - SHEAR: $F_v = 155$ PSI
 - MODULUS OF ELASTICITY: $E = 1,000,000$ PSI
 - 6x6 POSTS (CEDAR - PT)
 - COMPRESSION PARALLEL: $F_c = 550$ PSI (WT SERVICE)
 - MODULUS OF ELASTICITY: $E = 800,000$ PSI
 - ALL FRAMING EXPOSED TO WEATHER IN ACCORDANCE WITH IRC SECTION R107 SHALL BE PRESSURE TREATED WESTERN CEDAR NO.2 PER THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". NDS. ALL WOOD MEMBERS SHALL BE MANUFACTURED TO COMPLY WITH PSD OF THE "AMERICAN SOFTWOOD LUMBER STANDARDS" MINIMUM PROPERTIES SHALL BE IN ACCORDANCE WITH TABLE 4B IN THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION". PRESSURE TREATED WOOD MEMBERS "PT" SHALL BE PROVIDED WHEN:
 - WOOD FRAMING MEMBERS REST ON A CONCRETE OR MASONRY EXTERIOR FOUNDATION WALL AND ARE LESS THAN 8-INCHES ABOVE THE EXPOSED EXTERIOR GRADE.
- III. CONCRETE**
- ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH ACI 301, ACI 318 AND ACI 302.
 - CEMENT SHALL COMPLY WITH ASTM C150, TYPE I OR II.
 - REINFORCING STEEL SHALL BE DEFORMED BILLET STEEL CONFORMING TO ASTM A618 GRADE 60. ALL REINFORCEMENT SPICES SHALL BE A MINIMUM OF 40-BAR DIAMETERS.
 - CAST-IN-PLACE CONCRETE SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH $F'_c = 3000$ PSI FOR FOOTINGS AND FOUNDATION WALLS. $F'_c = 3500$ PSI FOR EXTERIOR EXPOSED SLABS, STEPS, GARAGE SLABS AND FOUNDATION WALLS.
 - CONCRETE SLUMP SHALL = 4" - 5"
 - MINIMUM CONCRETE COVER BETWEEN FACE OF REINFORCING BAR AND FACE OF CONCRETE SHALL BE AS FOLLOWS:
 - CONCRETE CAST AGAINST EARTH = 2"
 - FORMED CONCRETE EXPOSED TO WEATHER OR EARTH = 2"
 - PROVIDE DOWELS WITH STANDARD BAR HOOK IN FOOTING TO MATCH DIAMETER AND SPACING OF VERTICAL REINFORCEMENT. MINIMUM SPIG LENGTH = 40-BAR DIAMETER.
- IV. STRUCTURAL STEEL**
- ALL STRUCTURAL STEEL SHALL BE ASTM FABRICATED AND ERCTED IN ACCORDANCE WITH AISC "STEEL CONSTRUCTION MANUAL" WITH A MINIMUM YIELD STRENGTH AS FOLLOWS:
 - PLATES, ANGLES AND CHANNELS: $F_y = 36$ ksi PER ASTM A36
 - ISS SHAPES (SQUARE/RECTANGULAR): $F_y = 50$ ksi PER ASTM A-500 GRADE C
 - STEEL PIPE COLUMNS: $F_y = 35$ ksi PER ASTM A513 GRADE B
 - ANCHOR RODS: $F_y = 36$ ksi PER ASTM F1554 GRADE 36
 - BOLTS: $F_u = 20$ ksi PER ASTM A503 U503.
 - WELDING SHALL CONFORM TO THE REQUIREMENTS OF THE "STRUCTURAL WELDING CODE" AWS D1.1-2015. USE 70 KSI, LOW-HYDROGEN ELECTRODES.
 - NO OPENINGS IN BEAMS OR COLUMNS ARE PERMITTED WITHOUT STRUCTURAL ENGINEER'S APPROVAL.
 - SECTION OF STRUCTURAL STEEL MEMBERS WHERE NOT DETAILD ON THE CONTRACT DOCUMENTS IS PROHIBITED WITHOUT PRIOR APPROVAL OF THE STRUCTURAL ENGINEER AS TO LOCATION, TYPE OF SPLICE AND CONNECTION TO BE MADE.
 - ALL MISCELLANEOUS STEEL CONNECTIONS SHALL BE WELDED ALL AROUND WITH ONE-QUARTER-INCH FILLET WELD UNLESS OTHERWISE NOTED EXCEPT FOR SLOTTED CONNECTIONS.
 - ALL WORK SHALL COMPLY WITH THE AISC CODE "CODE OF STANDARD PRACTICE FOR STEEL BUILDINGS AND BRIDGES".
- V. GENERAL**
- THE CONTRACTOR SHALL MEASURE AND PROVIDE ALL EXISTING FIELD DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE JOB SITE PRIOR TO CONSTRUCTION AND THE SUBMISSION OF SHOP DRAWINGS AND SHALL NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES. VERIFICATION AND NOTIFICATION SHALL PROCEED PRIOR TO THE START OF WORK SO THAT ANY NECESSARY CHANGES CAN BE MADE WITHOUT DELAYING THE PROJECT SCHEDULE.
 - THE DEVELOPMENT AND IMPLEMENTATION OF JOB SITE SAFETY AND CONSTRUCTION PROCEDURES ARE THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR.
- VI. EARTHWORK**
- ALLOWABLE SOIL BEARING PRESSURE FOR ALL SHALLOW FOOTINGS IS ASSUMED TO BE 1500 PSF. SHOULD UNSUITABLE MATERIAL BE ENCOUNTERED, FOOTINGS SHALL BE OVEREXCAVATED AND REPLACED WITH LEAN CONCRETE, $F'_c = 2000$ PSI. BOTTOMS OF ALL EXTERIOR FOOTINGS SHALL BE A MINIMUM OF 2'-0" BELOW EXTERIOR GRADE, UNLESS NOTED OTHERWISE.
 - ALL FILL MATERIAL SHALL BE FREE OF ORGANIC MATERIAL AND SHALL BE SELECTED ON THE BASIS OF LABORATORY COMPACTION TESTS, HAVING A LIQUID LIMIT OF LESS THAN 40, A PLASTICITY INDEX OF LESS THAN 15. FILL SHALL BE PLACED IN MAXIMUM 6-INCH LIFTS AND COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OBTAINED BY ASTM D1557, MODIFIED PROCTOR METHOD.
 - IF FOOTINGS ARE NOT TO BE POURED THE DAY OF EXCAVATION, FOOTING TRENCHES SHALL BE BACKFILLED WITH LEAN CONCRETE IMMEDIATELY UPON EXCAVATION TO PREVENT GROUNDWATER INFILTRATION.

landscape architecture & garden design
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5.1.20

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Fence Details

Date: 2020-05-01

Sheet Scale

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