



## HISTORIC PRESERVATION COMMISSION

Marc Elrich  
County Executive

Robert Sutton  
Chairman

Date: March 18, 2024

### MEMORANDUM

TO: Rabbiah Sabbakhan  
Department of Permitting Services

FROM: Chris Berger  
Historic Preservation Section  
Maryland-National Capital Park & Planning Commission

SUBJECT: Historic Area Work Permit # 1057416 - sidewalk

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The Montgomery County Historic Preservation Commission (HPC) has reviewed the attached application for a Historic Area Work Permit (HAWP). This application was **approved** at the February 21, 2024, HPC meeting with one condition:

1. Applicant shall show the locations of the three trees proposed for removal on a site plan.

The HPC staff has reviewed and stamped the attached construction drawings.

THE BUILDING PERMIT FOR THIS PROJECT SHALL BE ISSUED CONDITIONAL UPON ADHERENCE TO THE ABOVE APPROVED HAWP CONDITIONS AND MAY REQUIRE APPROVAL BY DPS OR ANOTHER LOCAL OFFICE BEFORE WORK CAN BEGIN.

Applicant: Town of Garrett Park  
Address: 4600 Waverly Ave., 3rd Floor, Garrett Park

This HAWP approval is subject to the general condition that the applicant will obtain all other applicable Montgomery County or local government agency permits. After the issuance of these permits, the applicant must contact this Historic Preservation Office if any changes to the approved plan are made. Once work is complete the applicant will contact Chris Berger at 301-495-4571 or [chris.berger@montgomeryplanning.org](mailto:chris.berger@montgomeryplanning.org) to schedule a follow-up site visit.



FOR STAFF ONLY:  
HAWP# \_\_\_\_\_  
DATE ASSIGNED \_\_\_\_\_



# APPLICATION FOR HISTORIC AREA WORK PERMIT

HISTORIC PRESERVATION COMMISSION  
301.563.3400

**APPLICANT:**

Name: \_\_\_\_\_

E-mail: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_

Tax Account No.: \_\_\_\_\_

**AGENT/CONTACT (if applicable):**

Name: \_\_\_\_\_

E-mail: \_\_\_\_\_

Address: \_\_\_\_\_

City: \_\_\_\_\_ Zip: \_\_\_\_\_

Daytime Phone: \_\_\_\_\_

Contractor Registration No.: \_\_\_\_\_

APPROVED

Montgomery County

Historic Preservation Commission

**PERMISE:** MIHP # of Historic Property \_\_\_\_\_

Is the property in a Historic District?  Yes/District Name \_\_\_\_\_

No/Individual Site Name \_\_\_\_\_

Is there a Deed Restriction/Leasehold/Condominium/Land Trust/Environmental Easement on the Property? If YES, include a copy of the documentation from the Easement Holder supporting this application. No

Are there any pending Examiner Approvals /Reviews Required as part of this Application? (e.g. Record Plat, etc.?) If YES, include information on these reviews as

**REVIEWED**

By Chris Berger at 12:43 pm, Mar 18, 2024

Building Number: \_\_\_\_\_ Street: \_\_\_\_\_

Nearest Cross Street: \_\_\_\_\_

Lot: \_\_\_\_\_ Block: \_\_\_\_\_ Subdivision: \_\_\_\_\_ Parcel: \_\_\_\_\_

**TYPE OF WORK PROPOSED: See the checklist on Page 4 to verify that all supporting items for proposed work are submitted with this application. Incomplete Applications will not be accepted for review. Check all that apply:**

- |   |  |  |
|---|--|--|
| <input type="checkbox"/> New Construction   | <input type="checkbox"/> Deck/Porch          | <input type="checkbox"/> Shed/Garage/Accessory Structure |
| <input type="checkbox"/> Addition           | <input type="checkbox"/> Fence               | <input type="checkbox"/> Solar                           |
| <input type="checkbox"/> Demolition         | <input type="checkbox"/> Hardscape/Landscape | <input type="checkbox"/> Tree removal/planting           |
| <input type="checkbox"/> Grading/Excavation | <input type="checkbox"/> Roof                | <input type="checkbox"/> Window/Door                     |
|   |  | <input type="checkbox"/> Other: _____                    |

I hereby certify that I have the authority to make the foregoing application, that the application is correct and accurate and that the construction will comply with plans reviewed and approved by all necessary agencies and hereby acknowledge and accept this to be a condition for the issuance of this permit.

Signature of owner or authorized agent

Date

**HAWP APPLICATION: MAILING ADDRESSES FOR NOTIFYING**  
[Owner, Owner's Agent, Adjacent and Confronting Property Owners]

**Owner's mailing address**

**Owner's Agent's mailing address**

Ad

wners mailing addresses

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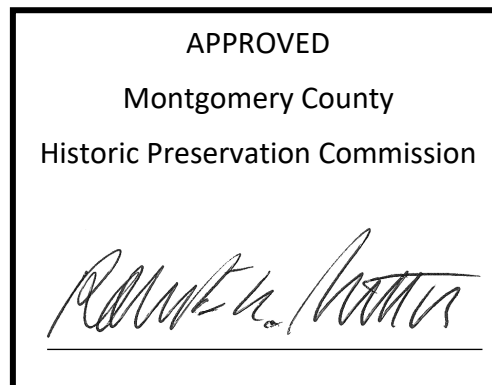


**REVIEWED**

By Chris Berger at 12:43 pm, Mar 18, 2024

Description of Property: Please describe the building and surrounding environment. Include information on significant structures, landscape features, or other significant features of the property:

Description of Work Proposed: Please give an overview of the work to be undertaken:



**REVIEWED**

*By Chris Berger at 12:43 pm, Mar 18, 2024*

Work Item 1: \_\_\_\_\_

Description of Current Condition:

Proposed Work:

Work Item 2: \_\_\_\_\_

Description of Current Condition:

Proposed Work:

Work Item 3: \_\_\_\_\_

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Proposed Work:

**REVIEWED**  
By Chris Berger at 12:43 pm, Mar 18, 2024

**HISTORIC AREA WORK PERMIT  
CHECKLIST OF  
APPLICATION REQUIREMENTS**

	Required Attachments						
Proposed Work	I. Written Description	2. Site Plan	3. Plans/ Elevations	4. Material Specifications	5. Photographs	6. Tree Survey	7. Property Owner Addresses
New Construction	*	*	*	*	*	*	*
Additions/ Alterations	*	*	*	*	*	*	*
Demolition	*	*	*		*		*
Deck/Porch	*	*	*	*	*	*	*
Fence/Wall	*	*	*	*	*	*	*
Driveway/ Parking Area	*	*		*	*	*	*
Grading/Exc avation/Land scaing	*	*		*	*	*	*
Tree Removal	*	*		*	*	*	*
Siding/ Roof Changes	*	*	*	*	*		*
Window/ Door Changes	*	*	*	*	*		*
Masonry Repair/ Repoint	*	*	*	*	*		*
Signs	*	*	*	*	*		*

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**REVIEWED**

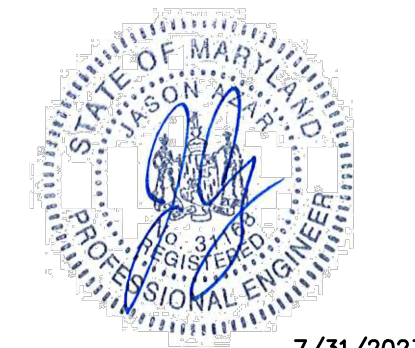
*By Chris Berger at 12:43 pm, Mar 18, 2024*



Town of  
Garrett Park

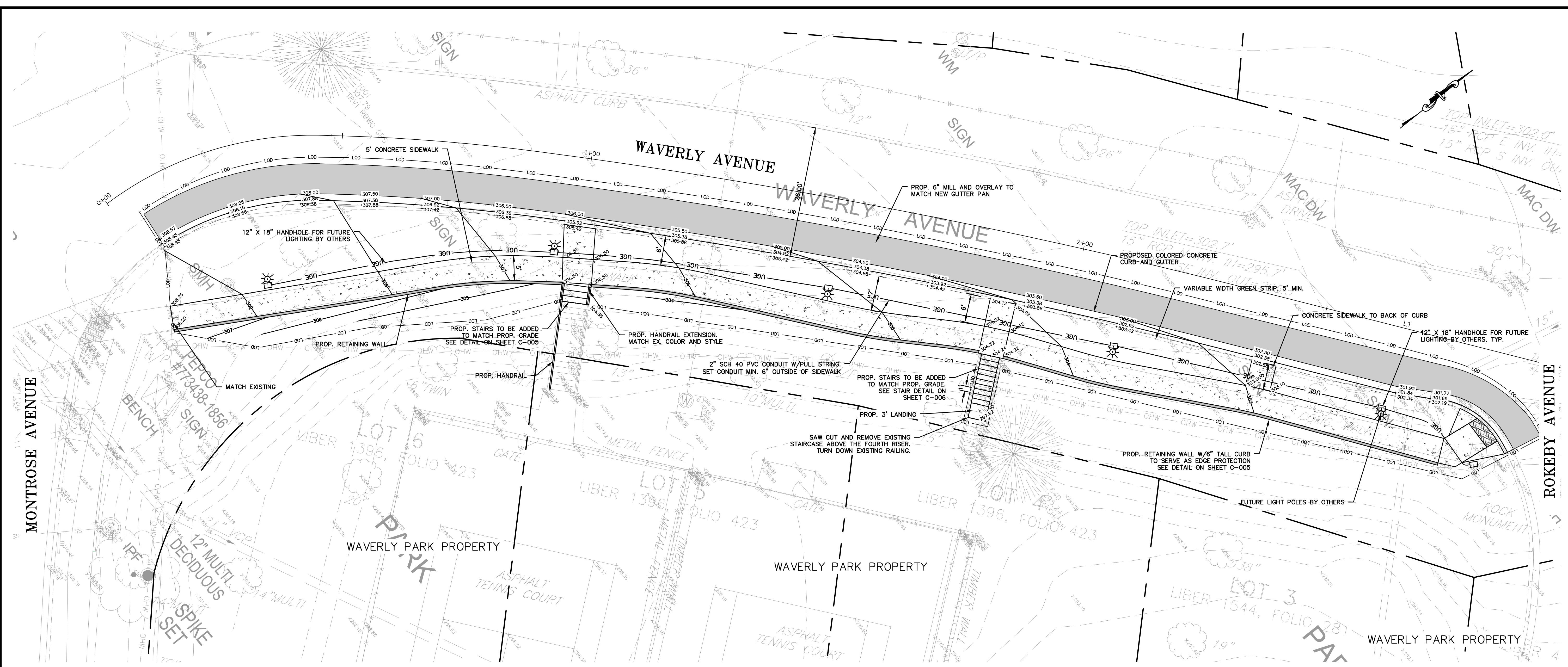


**CLARK | AZAR & ASSOCIATES**  
20440 Century Blvd, Suite 220  
Germantown, MD, 20874  
T(301) 528-2010  
www.clarkazar.com  
A Woman Owned Small Business



7/31/2023  
PROFESSIONAL CERTIFICATION:  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED  
OR APPROVED BY ME, AND THAT I AM A DULY  
LICENSED PROFESSIONAL ENGINEER UNDER THE  
LAWS OF THE STATE OF MARYLAND.  
LICENSE NO. 31168  
EXPIRATION DATE: 01/12/2025

**TOWN OF GARRETT PARK  
SIDEWALK IMPROVEMENTS PROJECT**  
TOWN OF GARRETT PARK  
PO BOX 84, 4600 WAVERLY AVENUE, 3RD FLOOR  
GARRETT PARK, MARYLAND 20896



**SIDEWALK PLAN**  
SCALE: 1" = 10'

**LEGEND:**

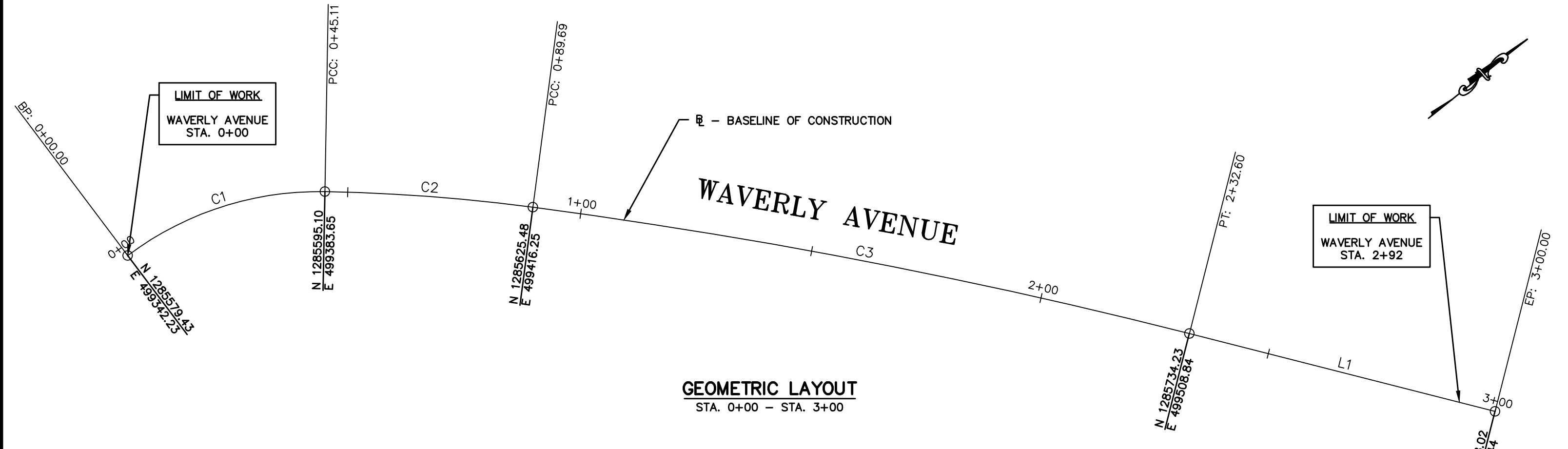
PROP. CURB AND GUTTER	[Symbol]
PROP. COLORED CONCRETE SIDEWALK	[Symbol]
PROP. ASPHALT MILL AND OVERLAY	[Symbol]

**WAVERLY AVENUE ALIGNMENT OFFSET TABLE**  
TO FACE OF CURB AND SIDEWALK

SIDE	STATION	OFFSET TO FACE OF CURB	OFFSET TO FRONT OF SIDEWALK
RT	0+00	13'	25.44'
RT	0+25	13'	29.89'
RT	0+50	13'	28.50'
RT	0+75	13'	23.14'
RT	1+05	13'	19.73'
RT	1+25	13'	19.09'
RT	1+50	13'	20.37'
RT	1+75	13'	19.80'
RT	2+00	13'	20.00'
RT	2+25	13'	19.71'
RT	2+50	13'	18.92'
RT	2+75	12.28'	19.35'
RT	2+92	18.98'	

**REVIEWED**  
By Chris Berger at 12:45 pm, Mar 18, 2024

**APPROVED**  
Montgomery County  
Historic Preservation Commission  
*[Signature]*



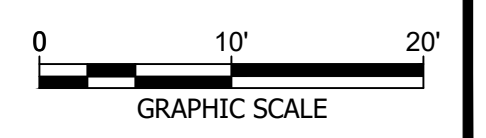
**GEOMETRIC LAYOUT**  
STA. 0+00 - STA. 3+00

**WAVERLY BASELINE CONSTRUCTION LINE DATA**

LINE	LENGTH	BEARING	START POINT (NORTHING, EASTING)	END POINT (NORTHING, EASTING)
L1	67.40'	N52° 57' 05"E	(1285734.2303, 499508.8358)	(1285788.0203, 499549.4414)

**WAVERLY BASELINE CONSTRUCTION CURVE DATA**

CURVE	DELTA	Dc	RADIUS	LENGTH	CHORD	EXTERNAL
C1	38°00'36"	94°39'51"	68.00'	45.11'	44.29'	3.92'
C2	6°29'59"	14°37'07"	393.00'	44.58'	44.56'	0.63'
C3	6°43'22"	4°42'19"	1218.00'	142.91'	142.83'	2.10'



NO.	DATE	DESCRIPTION

DATE: JULY 2023  
CAA PROJECT NO.: 205.021  
DRAWN BY: MS  
CHECKED BY: JA  
SHEET TITLE

**SIDEWALK PLAN**  
  
**SHEET**  
**C-200**

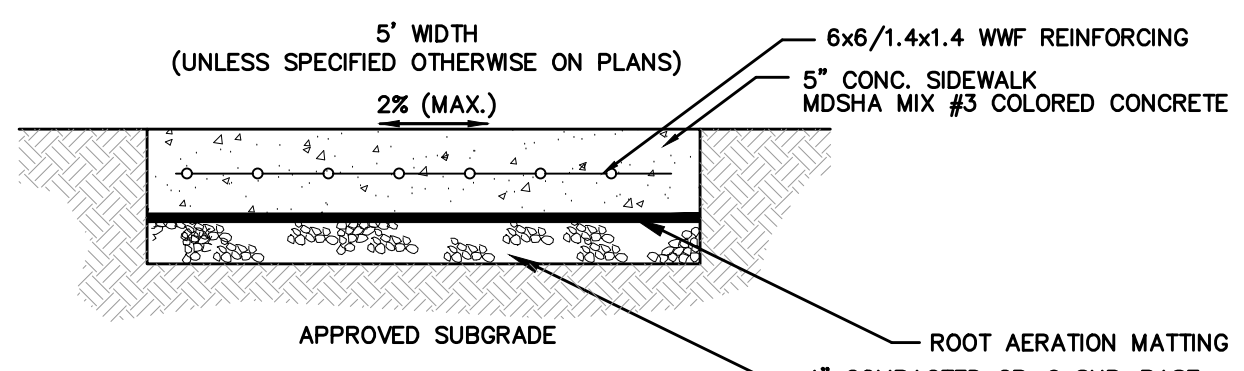
A:\2025\021 - Waverly Sidewalk CAD\DWG\C-200 - SIDEWALK PLANS.dwg 1/23/2024 6:02 PM

**GENERAL NOTES:**

- THE CONTRACTOR SHALL CHECK ALL DIMENSIONS AND ELEVATIONS PRIOR TO CONSTRUCTION. ANY CONFLICTS CONCERNING THE CONSTRUCTION AROUND EXISTING OBSTRUCTIONS PER THESE PLANS SHALL BE RESOLVED BETWEEN THE CONTRACTOR AND THE FIELD ENGINEER.
- THE CONTRACTOR AND OTHERS SHALL PERFORM ALL WORK IN A MANNER THAT WILL ENSURE THE LEAST PRACTICAL OBSTRUCTION TO TRAFFIC, PEDESTRIANS, RESIDENTS, AND BE CONSISTENT WITH SAFETY.
- BASILINE SHOWN FOR ILLUSTRATIVE PURPOSES ONLY. DIMENSIONS AND STATIONING ARE APPROXIMATE AND NOT A RESULT OF FIELD SURVEY.
- THE CONTRACTOR WILL NOTIFY PROPERTY OWNERS 72 HOURS PRIOR TO RECONSTRUCTION OF DRIVEWAY ENTRANCES.
- THE TOWN OF GARRETT PARK DOES NOT WARRANT THE CORRECTNESS OF THE TOPOGRAPHIC OR UTILITY DATA PRESENTED HEREIN AND IS NOT RESPONSIBLE FOR ANY CONCLUSIONS DRAWN FROM THEM.
- SIDEWALK RECONSTRUCTION LIMITS SHALL COINCIDE WITH CRACK CONTROL JOINTS (JOINTER GROOVES) OR EXPANSION JOINTS IN EXISTING SIDEWALK. NEW EXPANSION JOINTS SHALL BE PROVIDED AT THE INTERFACE OF EXISTING AND PROPOSED SIDEWALK. SEE STANDARD MD. NO. 655.01.
- CONTRACTOR TO INSTALL DETECTABLE WARNING SURFACE ON ALL ADA CROSSWALK RAMPS AS PER STANDARD MD. NO. 655.40.
- FORM NEW SIDEWALK AND EXPANSION JOINT MATERIAL AROUND EX. UTILITY POLES, MANHOLE COVERS, VALVE COVERS, AND FIRE HYDRANTS AS NECESSARY.
- EXISTING INLETS SHALL NOT BE DAMAGED DURING CONSTRUCTION. DAMAGE TO THE INLETS WILL REQUIRE THE INLET TO BE REPLACED AT NO ADDITIONAL COST TO THE ADMINISTRATION. IN ADDITION, ALL DRAINAGE PIPES FROM PRIVATE PROPERTIES CONVEYING STORMWATER INTO PUBLIC RIGHT-OF-WAY MUST BE PRESERVED. EXISTING DRAINAGE PATTERNS TO BE MAINTAINED UNLESS OTHERWISE SPECIFIED ON PLANS. EXTEND EXISTING DRAINS IF ENCOUNTERED THROUGH FACE OF NEW CURB OR AS DIRECTED BY THE TOWN OR TOWN'S REPRESENTATIVE.
- RECONSTRUCT PROPERTY WALKWAYS TO THE INTO PROPOSED SIDEWALK GRADES AS DIRECTED BY THE TOWN.
- EXISTING CURB HEIGHTS PROVIDED ON PLAN SHALL BE VERIFIED BY THE CONTRACTOR. RAMP AND DRIVEWAY TRANSITION LENGTHS SHALL BE VERIFIED IN THE FIELD ACCORDING TO SHA STANDARD MD. NO. 630.01, MD. NO. 630.02, MD. NO. 655.11, MD. NO. 655.12, AND MD. NO. 655.13.
- STABILIZE ALL DISTURBED AREAS NOT DRAINING TO A SEDIMENT CONTROL DEVICE AT THE END OF EACH DAY. THE CONTRACTOR SHALL LIMIT WORK ACTIVITIES SUCH THAT ALL DISTURBED AREAS CAN BE STABILIZED TO FINAL GRADE AND PLACEMENT OF THE TOP SOIL, SEED AND MULCH, SOD OR OTHER STABILIZATION METHODS CAN BE PERFORMED AT THE END OF EACH WORK DAY. PERMANENT STABILIZATION OF ALL DISTURBED AREAS THAT ARE NOT PAVED SHALL BE WITH SOD.
- MAINTAIN ALL VEHICLE ACCESS POINTS AT RESIDENTIAL DRIVEWAYS AND UNSIGNALIZED INTERSECTIONS.
- MAINTAIN IN GOOD CONDITION ALL EXISTING TRAFFIC SIGNS. IF, IN THE OPINION OF THE ENGINEER, ANY SIGNS ARE DAMAGED BY THE CONTRACTOR'S OPERATION, THEY ARE TO BE REPLACED BY THE CONTRACTOR AT HIS EXPENSE.
- THE CONTRACTOR SHALL ADJUST ALL EXISTING VISIBLE MANHOLES, VALVE BOXES, INLETS AND OTHER STRUCTURES, AS PER SPECIFICATION SECTION 504 AND 875.
- DO NOT LEAVE A PAVEMENT DROP-OFF AT ANYTIME AFTER A WORK DAY IS COMPLETE.
- MAINTAIN THE LIMITS OF WORK WITHIN THE PROJECT IN A SAFE AND NEAT MANNER THROUGHOUT THE DURATION OF THE CONTRACT. PILES OF DEBRIS SUCH AS EXCAVATED SOIL AND HMA ARE EXPECTED TO BE REMOVED OR STABILIZED WITHIN THE SAME WORKING DAY FAILURE TO COMPLY WITH THIS REQUIREMENT MAY RESULT IN ADMINISTRATIVE ACTION AS OUTLINED UNDER FAILURE TO MAINTAIN PROJECT OF THE SPECIFICATIONS.
- ALL WORK WILL BE CONDUCTED IN TOWN OF GARRETT PARK RIGHT-OF-WAY AND THE CONTRACTOR MUST OBTAIN A RIGHT-OF-ENTRY AGREEMENT FROM THE TOWN OF GARRETT PARK PRIOR TO THE COMMENCEMENT OF ANY STAGING ACTIVITIES SUCH AS THE ESTABLISHMENT OF A FIELD OFFICE OR FOR THE STORAGE OF EQUIPMENT AND MATERIAL WITHIN SAID RIGHT-OF-WAY. APPROVAL WILL REQUIRE THE EXECUTION OF THE AGREEMENT AND A RETAINAGE TO BE WITHHELD FROM PROGRESS PAYMENTS UNTIL SUCH TIME THE AFFECTED AREA(S) HAVE BEEN RESTORED TO PRE-USE CONDITION. IF ADDITIONAL DISTURBANCE IS NECESSARY, THE CONTRACTOR MAY BE REQUIRED TO AMEND ANY APPLICABLE PERMITS THAT MAY BE AFFECTED AND WILL BE SUBJECTED TO ANY AND ALL PERMIT CONDITIONS.
- SEDIMENT AND EROSION CONTROL REGULATIONS WILL BE STRICTLY ENFORCED DURING CONSTRUCTION.
- SIDEWALK RAMP CONSTRUCTION WILL BE PAID AS 5 INCH CONCRETE SIDEWALK.
- WHERE CURB, CURB AND GUTTER, OR DEPRESSED CURB IS PROPOSED, THE CONTRACTOR SHALL REPLACE THE ADJACENT CURB OR CURB AND GUTTER TO THE EXISTING CURB JOINT.
- CONTRACTOR SHALL PROVIDE ENTRANCE TIE-IN AS NECESSARY TO PROVIDE ADEQUATE TRANSITION FROM RECONSTRUCTED ENTRANCE TO EXISTING PAVEMENT (SEE MD 630.01 AND MD 630.02); PAVEMENT MATERIAL SHALL MATCH EXISTING.
- HMA FOR DRIVEWAYS WILL BE SUPERPAVE ASPHALT MIX 9.5MM FOR SURFACE, PG 64S-22, LEVEL 4 (2 INCH DEPTH).
- ADJUST EXISTING UTILITIES IMPACTED BY THE SIDEWALK & SIDEWALK RAMP CONSTRUCTION. THE COST IS INCIDENTAL TO SIDEWALK AND SIDEWALK RAMP CONSTRUCTION.
- THE CONTRACTOR SHALL RESET ANY SIGNS DISTURBED BY THE CONSTRUCTION AS DIRECTED BY THE ENGINEER.
- ALL CONCRETE FOR CURBS, SIDEWALKS, DRIVEWAY APRONS, ETC. SHALL BE COLORED CONCRETE. COLOR SHALL BE INTEGRAL TO THE CONCRETE. THE TOWN SHALL SELECT A COLOR FROM A CHART OF STANDARD COLORS. CONTRACTOR SHALL PROVIDE COLOR SAMPLES TO TOWN. A 5' X 5' TEST PANEL SHALL BE PREPARED TO SHOW CONCRETE COLOR AND BE ACCEPTED BY THE TOWN PRIOR TO FINALIZING COLOR FOR THE ENTIRE PROJECT. THE CONTRACTOR SHALL NOT CHANGE COLOR OR PIGMENT MANUFACTURER DURING CONSTRUCTION. IT IS THE INTENTION OF THE TOWN FOR THE CONCRETE TO BE TAUPE IN COLOR.
- CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF ALL STUMPS AND MAJOR ROOTS FOR TREES INDICATED ON PLANS TO BE REMOVED AND/OR SCHEDULED TO BE REMOVED BY TOWN WITHIN THE LIMITS OF THE PROJECT AS NECESSARY FOR THE INSTALLATION OF PROPOSED SIDEWALK AND CURBING. CONTRACTOR SHALL PROVIDE ADEQUATE FILL AND COMPACTED SUBGRADE MATERIAL TO EXCAVATED AREAS FOR PROPER INSTALLATION OF CURB AND GUTTER/SIDEWALK OR RESTORATION TO EXISTING GRADE.

**MAINTENANCE OF TRAFFIC NOTES:**

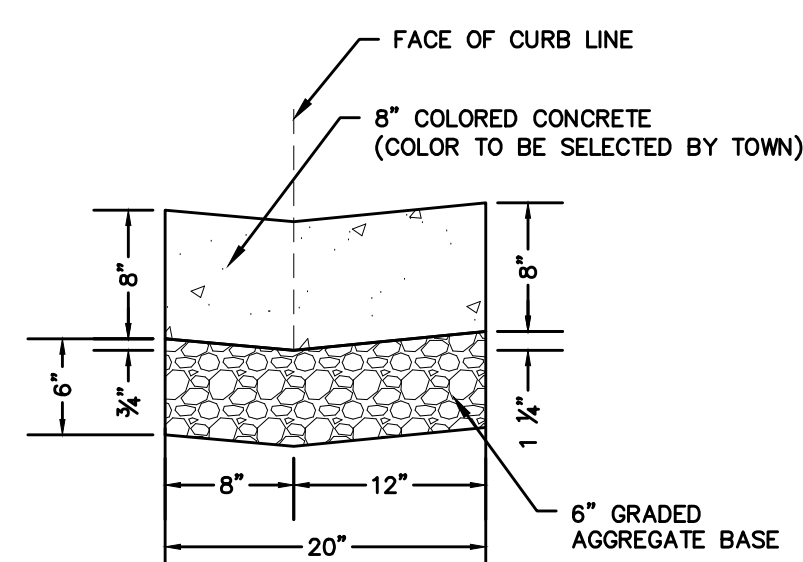
- MD SHA STANDARD PLATES ARE TO BE USED FOR MAINTENANCE OF TRAFFIC.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE MOT STANDARDS MD 104.00-01 THRU 104.06-25.
- NO WORK IS TO BEGIN UNTIL ALL ADVANCE WARNING SIGNS, DRUMS AND ARROW PANELS ARE IN PLACE AND OPERATIONAL.
- ADVANCED NOTIFICATION OF SIDEWALK CLOSURES SHALL BE PROVIDED. A BARRIER THAT IS DETECTABLE BY A PERSON WITH A VISUAL DISABILITY SHALL BE PLACED ACROSS THE FULL WIDTH OF THE CLOSED SIDEWALK.
- WHERE PEDESTRIANS ARE DIRECTED TO CROSS TO THE OPPOSITE SIDE OF THE ROADWAY, APPROPRIATE ADVANCED WARNING SIGNS SHOULD BE PLACED AT THE INTERSECTIONS RATHER THAN MID-BLOCK CROSSINGS.
- TRAFFIC CONTROL DEVICES AND OTHER CONSTRUCTION MATERIALS AND FEATURES SHALL NOT INTRUDE INTO THE USABLE WIDTH OF THE SIDEWALK, TEMPORARY OR OTHER PEDESTRIAN FACILITY.



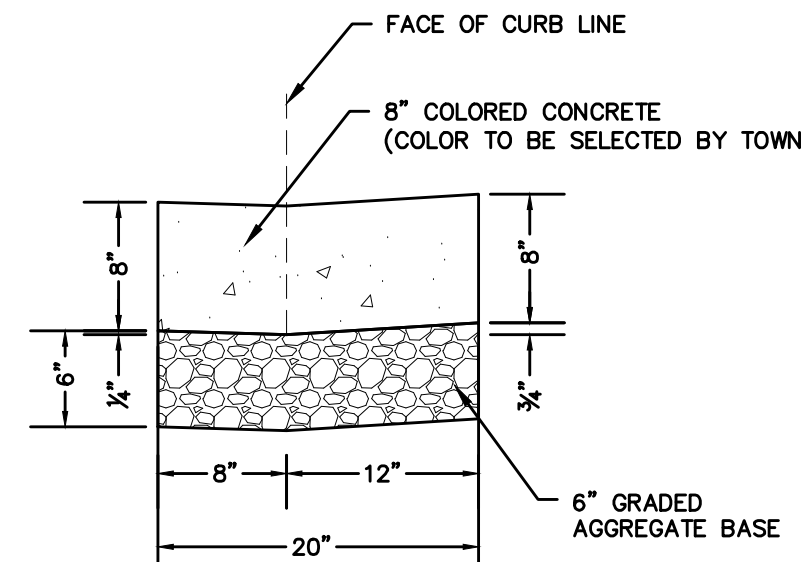
**NOTES:**

- REFER TO MARYLAND STATE HIGHWAY ADMINISTRATION SPECIFICATIONS FOR MATERIALS AND METHODS.
- EXPANSION JOINT MATERIAL SHALL BE PLACED AROUND POLES, AND HYDRANTS, ETC. WHEN THE SIDEWALK ABUTS ANY RIGID PAVEMENT, SIDEWALK OR STRUCTURE.
- EXPANSION JOINT MATERIAL SHALL HAVE A MAXIMUM LONGITUDINAL SPACING OF 100 FEET. THE MATERIAL SHALL BE 1/2-INCH PREFORMED CORK, TRIMMED AND SEALED WITH NON-STAINING, TWO-COMPONENT POLYSULFIDE OR POLYURETHANE ELASTOMERIC TYPE SEALANT COMPLYING WITH FS TT-S-00227.
- SCORE THE CONCRETE TO A DEPTH OF 1/3 THE SLAB THICKNESS TO PROVIDE WEAKENED PLANE TRAVERSE JOINTS AT 5'-0" INTERVALS, PARALLEL WITH AND PERPENDICULAR TO THE CURBING OR AS INDICATED ON THE SCORING PLAN.

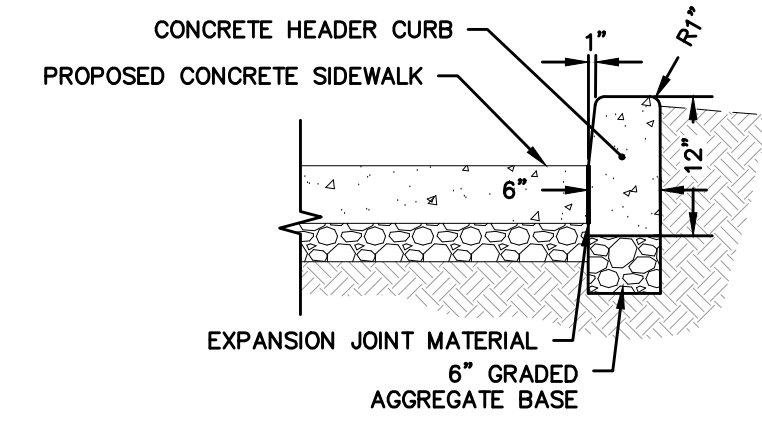
1 TYPICAL CONCRETE SIDEWALK DETAIL NOT TO SCALE



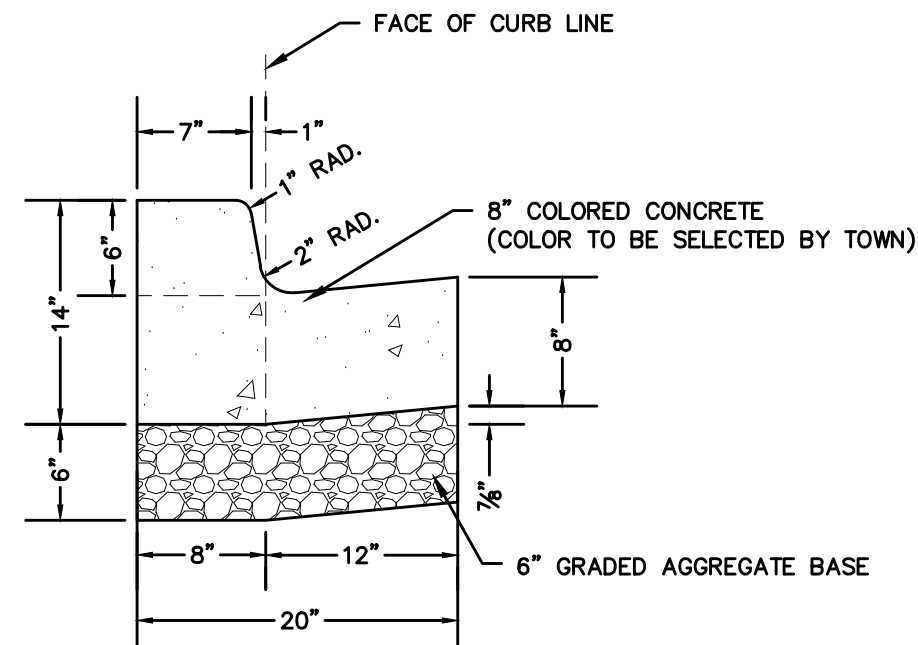
2 TYPICAL DEPRESSED CURB DETAIL NOT TO SCALE



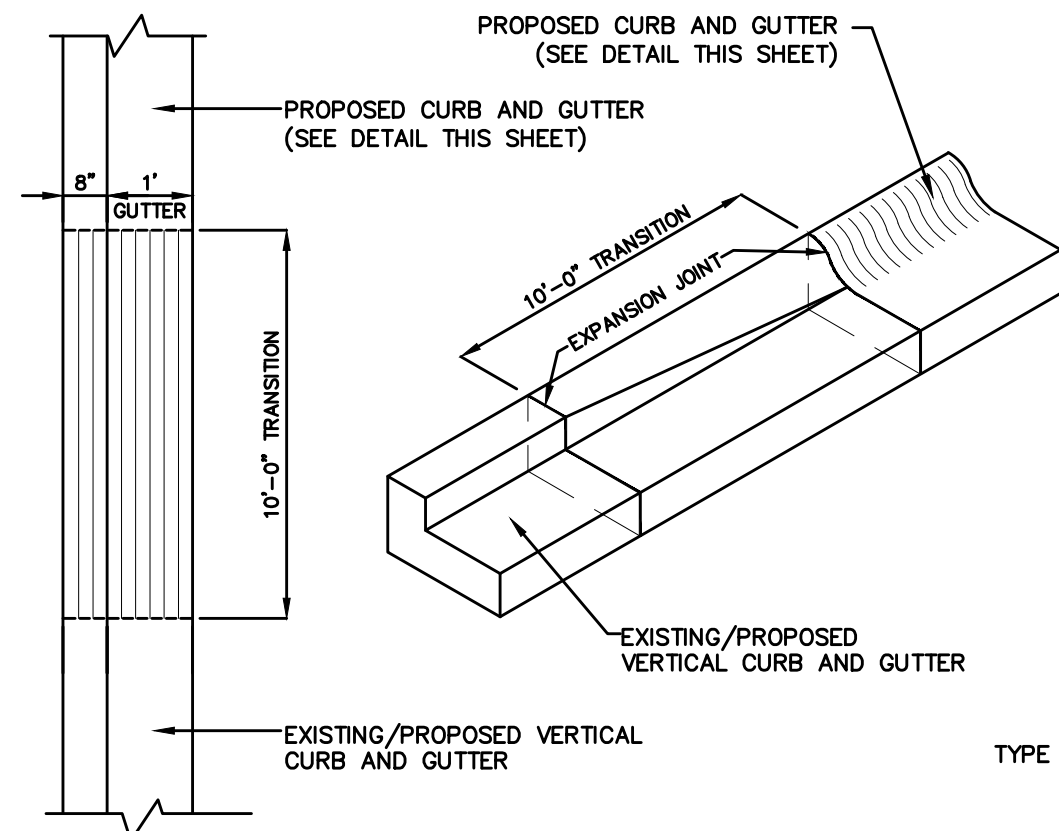
3 TYPICAL DEPRESSED CURB DETAIL (FOR USE AT ADA RAMPS) NOT TO SCALE



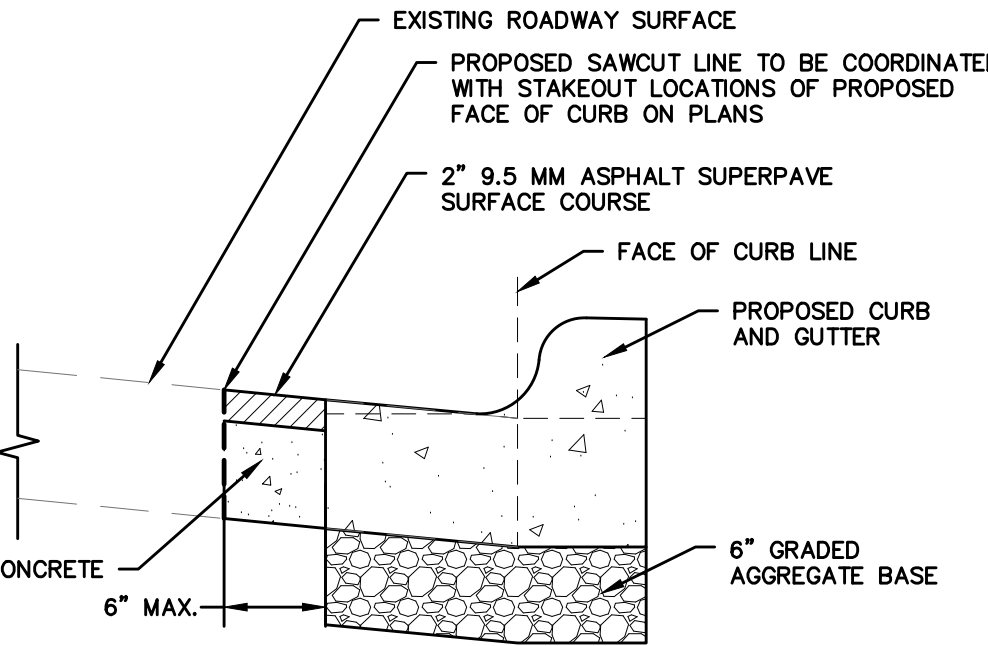
4 6" HEADER CURB DETAIL NOT TO SCALE



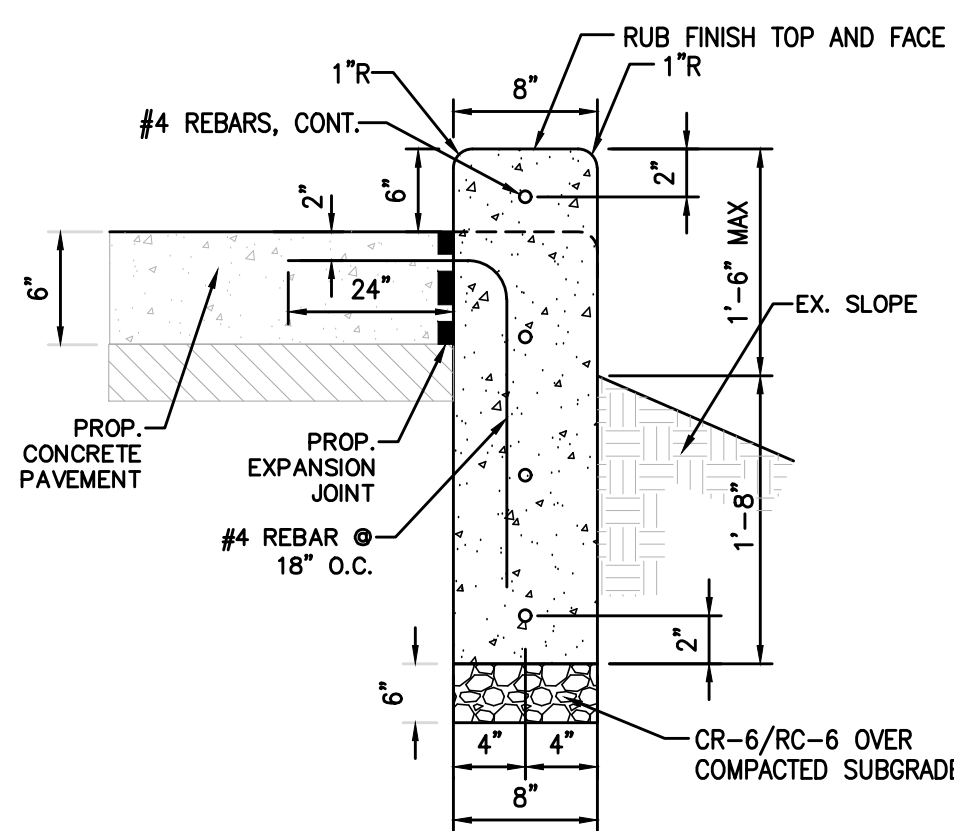
5 TYPICAL COMBINATION VERTICAL CURB AND GUTTER DETAIL NOT TO SCALE



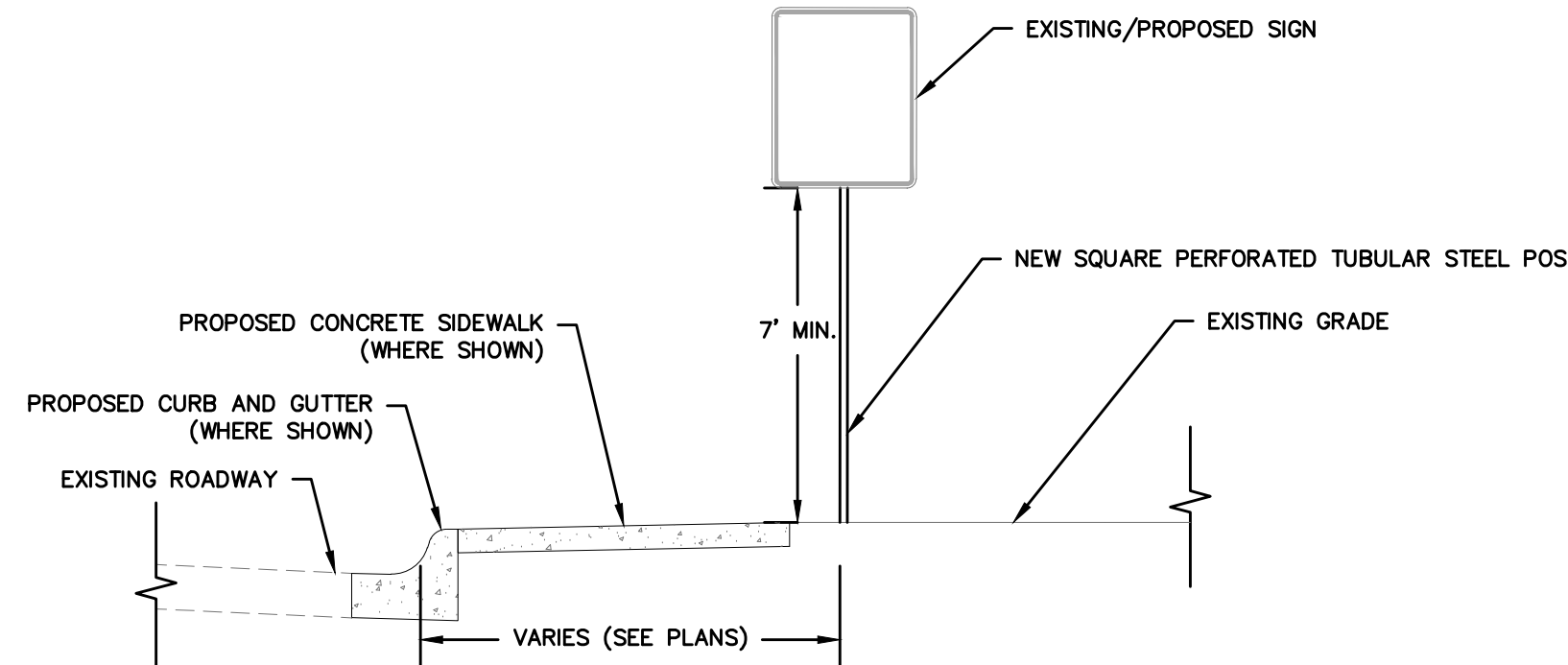
6 TYPICAL TRANSITION CURB DETAIL NOT TO SCALE



7 TYPICAL SAWCUT AND PAVEMENT PATCH DETAIL NOT TO SCALE

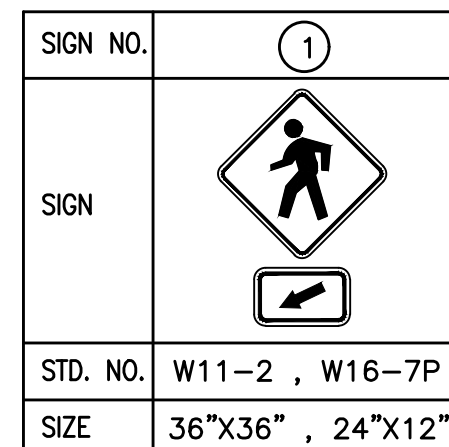


9 RETAINING WALL CURB NOT TO SCALE



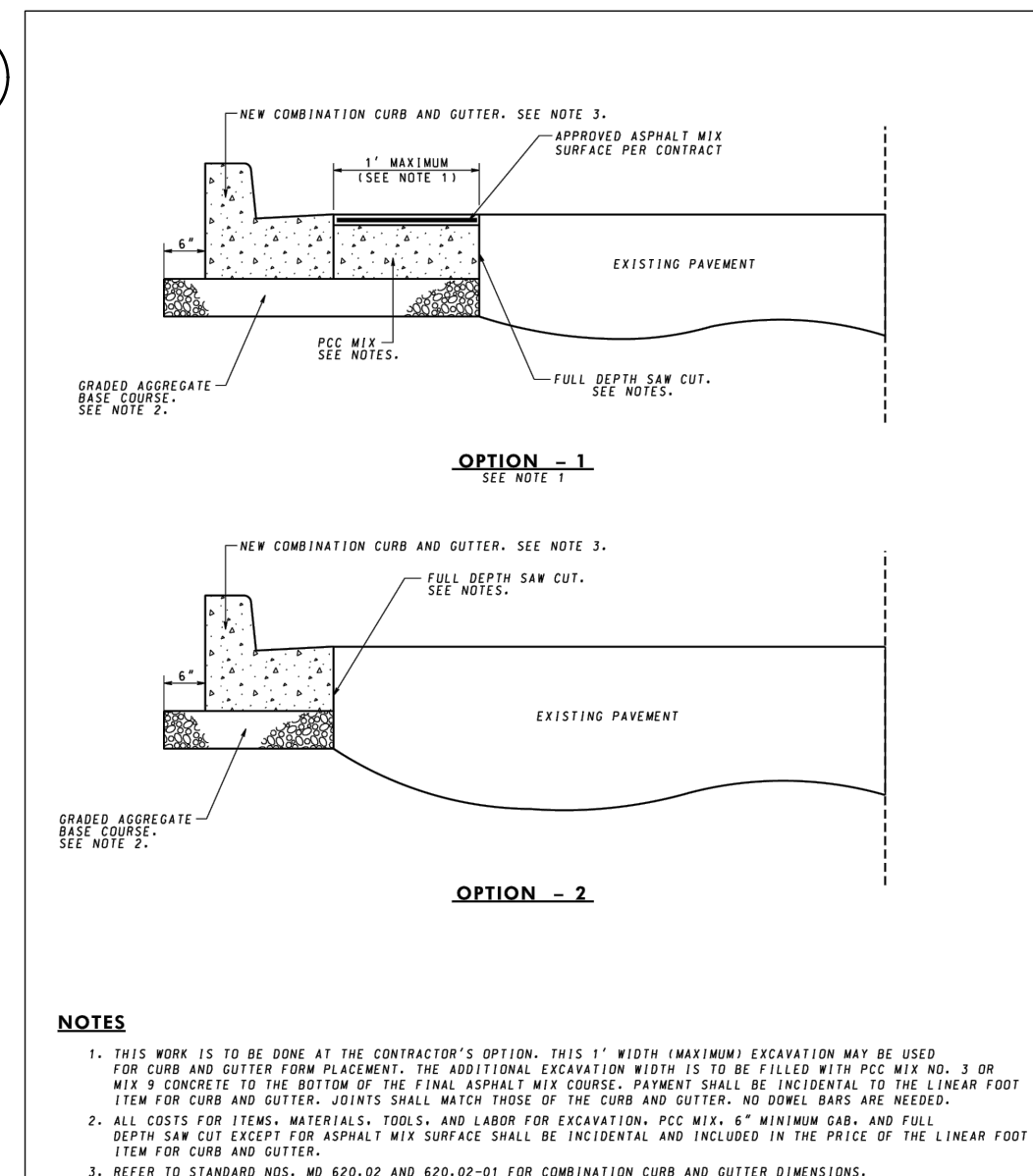
**GENERAL NOTES:**

- CONTRACTOR SHALL REFER TO SHA STD. NO'S MD-802.04 AND MD-813.02 FOR ALL SIGN CONSTRUCTION AND RELOCATION OF EXISTING SIGNS.
- CONTRACTOR SHALL FURNISH AND INSTALL THE NECESSARY ATTACHMENT HARDWARE TO ATTACH SIGNS TO THE PROPOSED SQUARE TUBULAR STEEL SIGN POST. THIS HARDWARE SHALL BE INCIDENTAL TO THE SQUARE PERFORATED TUBULAR STEEL SIGN POST ITEM.

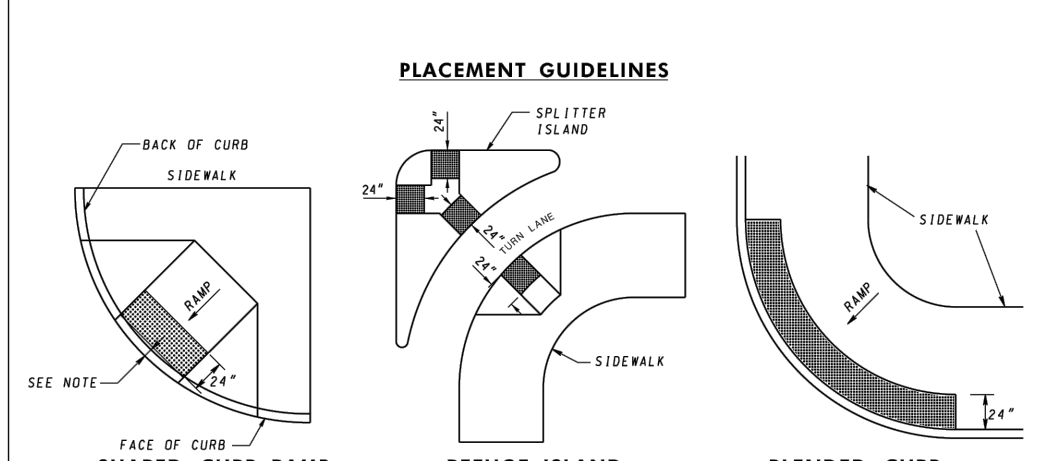
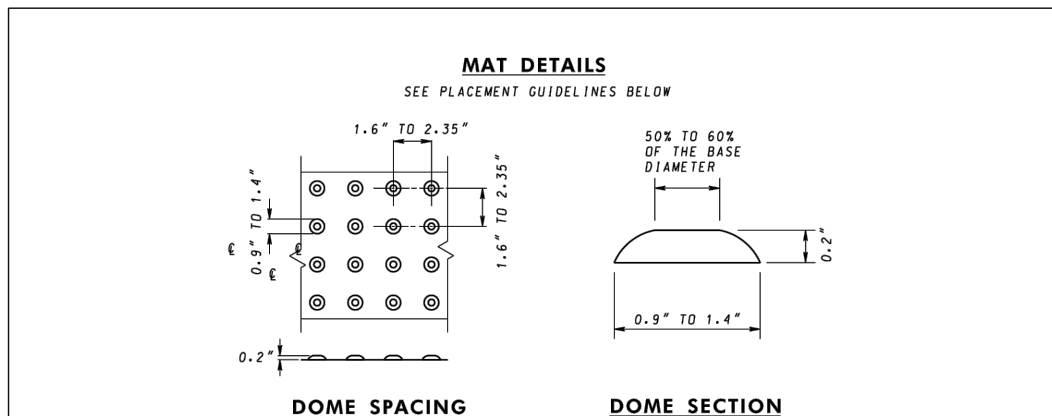


- GENERAL SIGNING NOTES:**
- ALL PROPOSED SIGNING SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF EACH OF THE FOLLOWING AND ANY REVISIONS THERETO:
    - MARYLAND MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
    - THE MARYLAND STATE HIGHWAYS STANDARD SIGN BOOK.
    - THE MARYLAND STANDARD SPECIFICATIONS FOR CONSTRUCTION AND MATERIALS.
  - PROPOSED SIGN LOCATIONS ARE APPROXIMATE AND SHALL BE MODIFIED IN THE FIELD TO AVOID CONFLICT WITH UNDERGROUND UTILITIES OR OTHER OBSTRUCTIONS, AND TO COMPLY WITH STANDARDS REFERENCED IN NOTE 1.

10 TYPICAL SIGN CONSTRUCTION/RELOCATION DETAIL NOT TO SCALE



SPECIFICATION	CATEGORY CODE ITEMS	Maryland Department of Transportation STATE HIGHWAY ADMINISTRATION STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES
APPROVED	APPROVAL	APPROVAL
SHA	STATE HIGHWAY	NEW COMBINATION CURB AND GUTTER PLACEMENT ALONG EXISTING PAVEMENT
STANDARD NO.	MD 580.03	



- NOTES:**
- THE DETECTABLE WARNING SURFACE SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS 6 INCHES FROM THE FACE OF CURB.
  - FOR TRAFFIC APPLICATIONS DETECTABLE WARNING SHALL BE PLACED SUCH THAT THE DOME CLOSEST TO THE BACK OF CURB ARE NO LESS THAN 0.5' AND NO MORE THAN 1.0' FROM THE BACK OF CURB. TRUNCATED DOME SURFACES SHALL BE FABRICATED TO PROVIDE FULL DOMES ONLY.
  - DETECTABLE WARNING SURFACES SHALL BE PAID FOR IN ACCORDANCE WITH SECTION 611 OF THE SPECIFICATIONS.
  - DETECTABLE WARNING SURFACES ARE REQUIRED AT STREET CROSSING & SIGNALIZED INTERSECTIONS.

SPECIFICATION	CATEGORY CODE ITEMS	Maryland Department of Transportation STATE HIGHWAY ADMINISTRATION STANDARDS FOR HIGHWAYS AND INCIDENTAL STRUCTURES
APPROVED	APPROVAL	APPROVAL
SHA	STATE HIGHWAY	DETECTABLE WARNING SURFACES
STANDARD NO.	MD 655.40	

**Town of Garrett Park**  
  
**CLARK & ASSOCIATES**  
 20440 Century Blvd, Suite 220  
 Germantown, MD. 20874  
 T(301) 528-2010  
 www.clarkazar.com  
 A Woman Owned Small Business

7/31/2023  
 PROFESSIONAL CERTIFICATION:  
 I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DAILY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.  
 LICENSE NO. 31168  
 EXPIRATION DATE: 01/12/2025

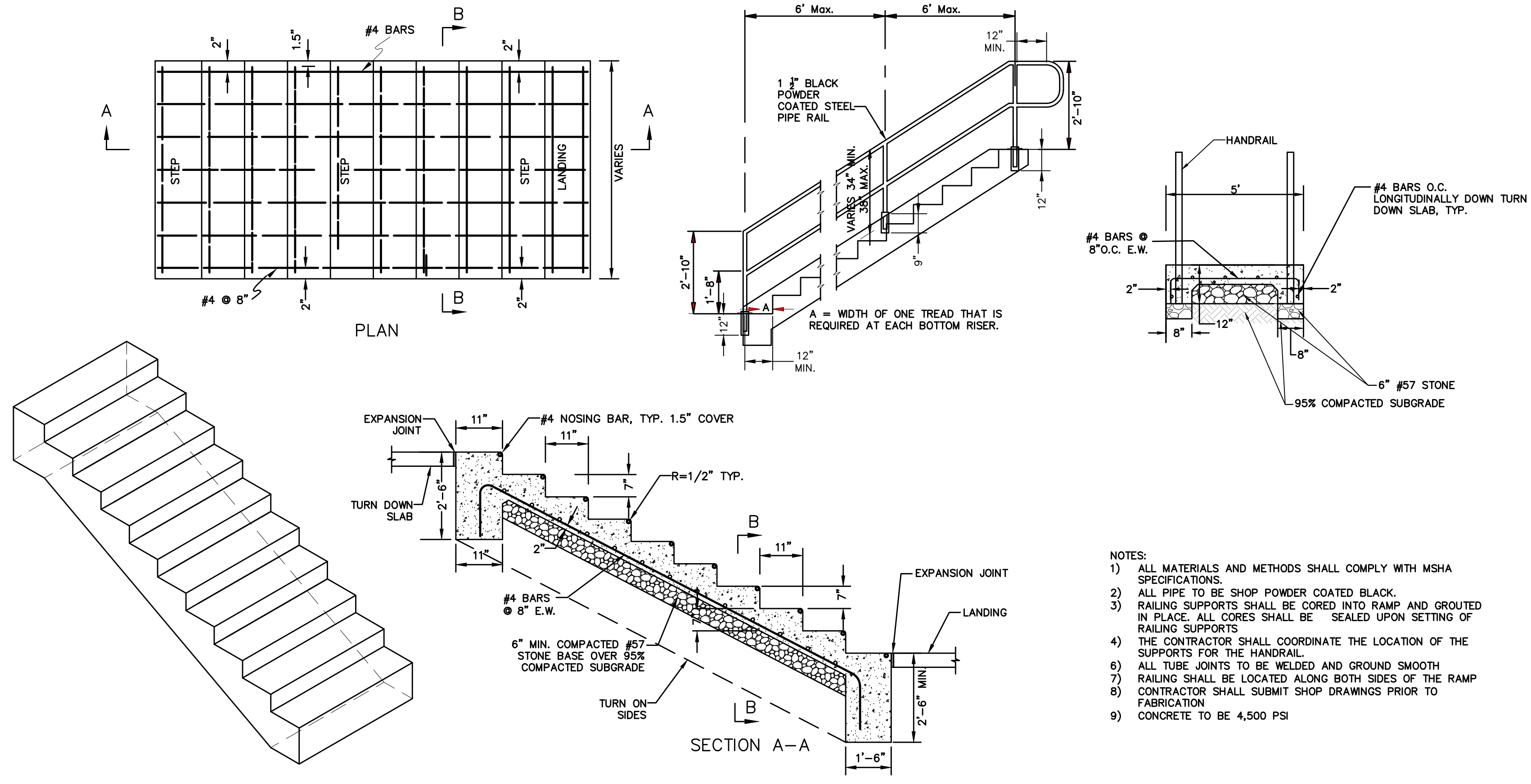
**TOWN OF GARRETT PARK  
 SIDEWALK IMPROVEMENTS PROJECT**  
 TOWN OF GARRETT PARK  
 PO BOX 84, 4600 WAVERLY AVENUE, 3RD FLOOR  
 GARRETT PARK, MARYLAND 20896

NO.	DATE	DESCRIPTION

**GENERAL NOTES AND DETAILS**  
 SHEET  
**C-005**



J:\205.021 - Waverly Sidewalk\CAD\DWG\C-005 - GENERAL NOTES AND DETAILS.dwg 1/29/2024 3:22 PM



1 CONCRETE STAIR DETAIL  
NOT TO SCALE

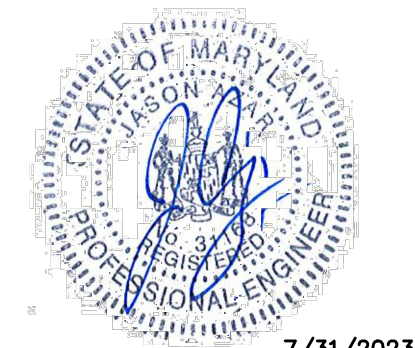
- NOTES:
- 1) ALL MATERIALS AND METHODS SHALL COMPLY WITH MSHA SPECIFICATIONS.
  - 2) ALL PIPE TO BE SHOP POWDER COATED BLACK.
  - 3) RAILING SUPPORTS SHALL BE CORED INTO RAMP AND GROUTED IN PLACE. ALL CORES SHALL BE SEALED UPON SETTING OF RAILING SUPPORTS.
  - 4) THE CONTRACTOR SHALL COORDINATE THE LOCATION OF THE SUPPORTS FOR THE HANDRAIL.
  - 5) ALL TUBE JOINTS TO BE WELDED AND GROUND SMOOTH.
  - 6) RAILING SHALL BE LOCATED ALONG BOTH SIDES OF THE RAMP.
  - 7) CONTRACTOR SHALL SUBMIT SHOP DRAWINGS PRIOR TO FABRICATION.
  - 8) CONCRETE TO BE 4,500 PSI.



Town of  
**Garrett Park**



**CLARK | AZAR & ASSOCIATES**  
20440 Century Blvd, Suite 220  
Germantown, MD, 20874  
T(301) 528-2010  
www.clarkazar.com  
A Woman Owned Small Business



7/31/2023

PROFESSIONAL CERTIFICATION:  
I CERTIFY THAT THESE DOCUMENTS WERE PREPARED OR APPROVED BY ME, AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MARYLAND.

LICENSE NO. 31168

EXPIRATION DATE: 01/12/2025

**TOWN OF GARRETT PARK  
SIDEWALK IMPROVEMENTS PROJECT**

TOWN OF GARRETT PARK  
PO BOX 84, 4600 WAVERLY AVENUE, 3RD FLOOR  
GARRETT PARK, MARYLAND 20896

NO.	DATE	DESCRIPTION

DATE:	JULY 2023
CAA PROJECT NO.:	205.021
DRAWN BY:	MS
CHECKED BY:	JA
SHEET TITLE	

**GENERAL  
NOTES AND  
DETAILS**

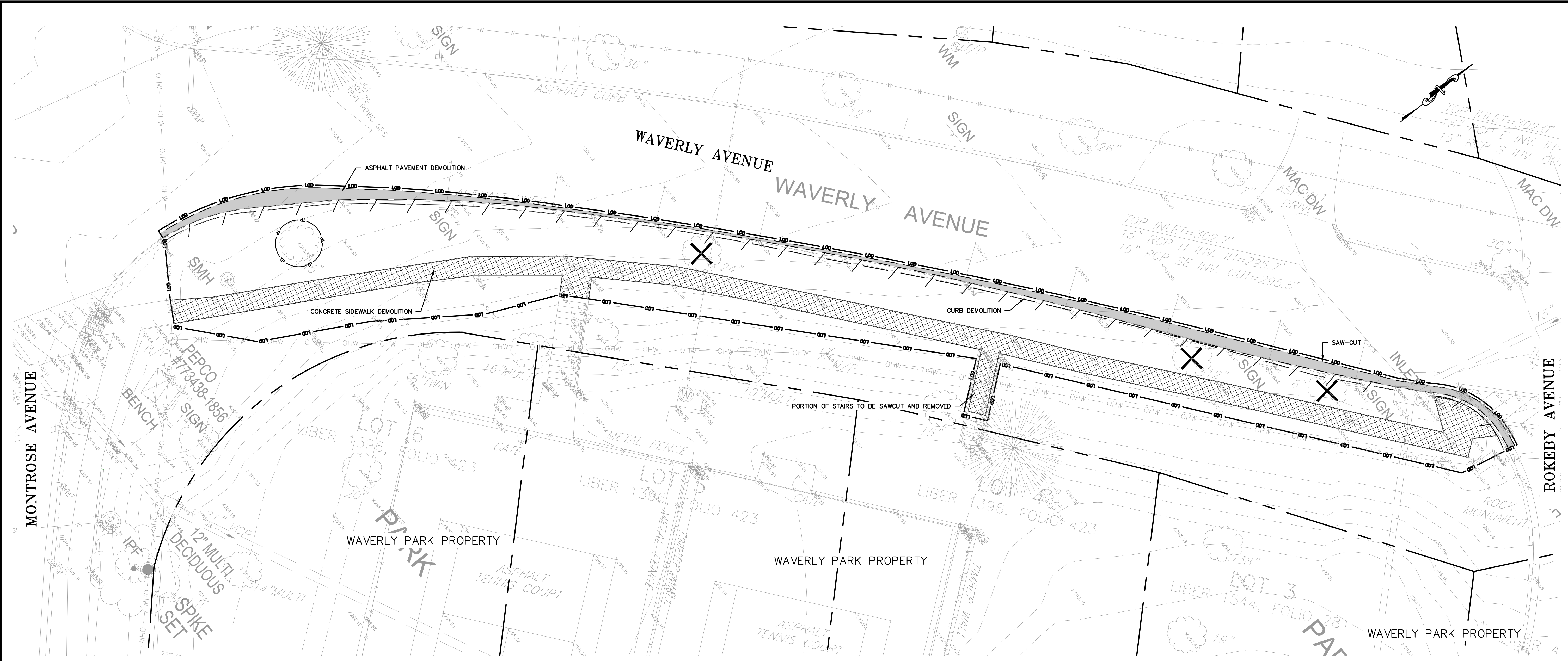
SHEET

**C-006**

**REVIEWED**  
By Chris Berger at 12:45 pm, Mar 18, 2024



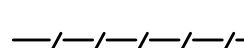
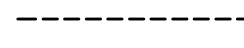
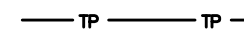

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Historic Preservation Commission





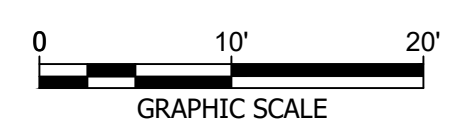
EXISTING CONDITIONS AND DEMOPLITION PLAN  
SCALE: 1" = 10'

LEGEND:

-  EXISTING ASPHALT TO BE REMOVED
-  EXISTING CONCRETE TO BE REMOVED
-  EXISTING CURB TO BE REMOVED
-  SAW-CUT LINE
-  TREE PROTECTION FENCE
-  EXISTING TREE TO BE REMOVED

**REVIEWED**  
By Chris Berger at 12:45 pm, Mar 18, 2024

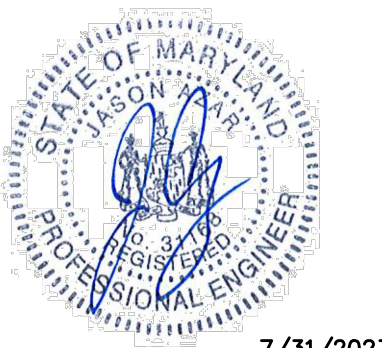
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Town of  
**Garrett Park**



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**TOWN OF GARRETT PARK  
SIDEWALK IMPROVEMENTS PROJECT**

TOWN OF GARRETT PARK  
PO BOX 84, 4600 WAVERLY AVENUE, 3RD FLOOR  
GARRETT PARK, MARYLAND 20896

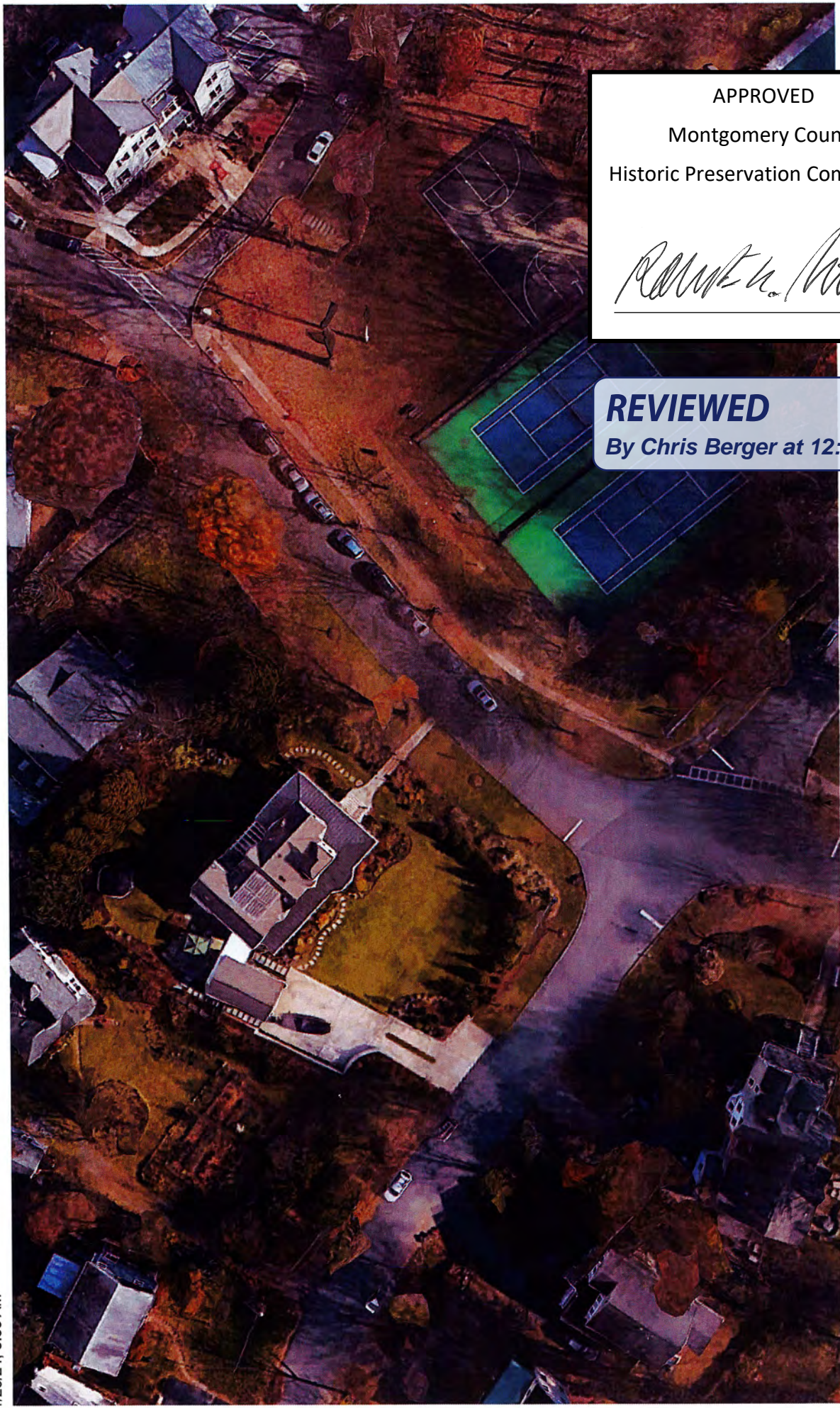
NO.	DATE	DESCRIPTION

DATE: JULY 2023  
CAA PROJECT NO.: 205.021  
DRAWN BY: MS  
CHECKED BY: JA  
SHEET TITLE

EXISTING  
CONDITIONS AND  
DEMOLITION PLAN

SHEET  
**C-100**

J:\205.021 - Waverly Sidewalk CAD\DWG-C-100 - EXISTING CONDITIONS AND DEMOLITION PLAN.dwg 3/11/2024 11:21 AM



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Montgomery County  
Historic Preservation Commission  
*Robert H. Adams*

**REVIEWED**  
By Chris Berger at 12:43 pm, Mar 18, 2024



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Historic Preservation Commission



**REVIEWED**  
By Chris Berger at 12:43 pm, Mar 18, 2024



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Historic Preservation Commission

*Robert A. ...*

**REVIEWED**

By Chris Berger at 12:43 pm, Mar 18, 2024

APPROVED


Montgomery County

Historic Preservation Commission

*Randy A. Porter*

**REVIEWED**

**By Chris Berger at 12:43 pm, Mar 18, 2024**



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Montgomery County  
Historic Preservation Commission

*Robert H. [Signature]*

**REVIEWED**

*By Chris Berger at 12:43 pm, Mar 18, 2024*

**From:** [Barbara Matthews](#)  
**To:** [Berger, Chris](#)  
**Subject:** RE: 4600 Waverly Avenue, Garrett Park (HAWP #1057416) Sidewalk  
**Date:** Tuesday, February 6, 2024 11:39:32 AM  
**Attachments:** [Pages from Waverly Sidewalk Plans.pdf](#)

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**[EXTERNAL EMAIL]** Exercise caution when opening attachments, clicking links, or responding.

Good morning –

I apologize for any confusion. There will not be a retaining wall but rather a retaining curb. It is a max of 1.5' tall and monolithic with the sidewalk. Attached is the detail sheet with the retaining curb. Page 2 shows a detail of the stairs.

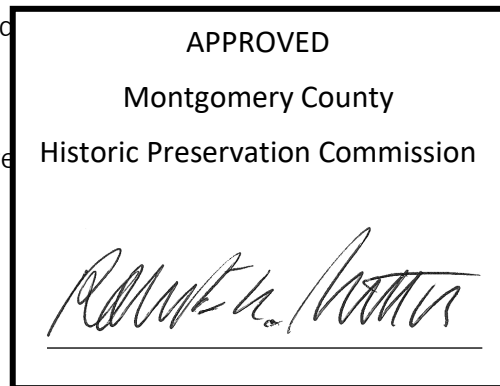
In essence, we must change the grade of the sidewalk to make it ADA compliant, which requires alternations of the existing staircases (and the need for the retaining curb). We are only removing a portion of the existing stairs and modifying the sidewalk elevation.

Please let me know if you have further questions or re

Sincerely,

Barbara B. Matthews  
Town Manager /Clerk-Treasurer  
Town of Garrett Park

(301) 933 -7488



**REVIEWED**

**By Chris Berger at 12:43 pm, Mar 18, 2024**

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**From:** Berger, Chris <Chris.Berger@montgomeryplanning.org>  
**Sent:** Monday, February 5, 2024 3:35 PM  
**To:** Barbara Matthews <barbara.matthews@garrettparkmd.gov>  
**Subject:** 4600 Waverly Avenue, Garrett Park (HAWP #1057416) Sidewalk

Hello,

We have received your application to replace and expand the sidewalk along Waverly Avenue. The plan also shows a retaining wall, stairs, and railings close to the sidewalk. Will those be built as part of the sidewalk project? If so please provide details on those proposed features including materials and dimensions. Representative photos may also be helpful.

The Historic Area Work Permit application is tentatively scheduled for the February 21 Historic



Preservation Commission. I would need the additional materials by this Wednesday, February 7, to make that meeting date.

I'm available to answer any questions.

**Chris Berger, AICP**

**Cultural Resources Planner III**

Montgomery County Planning Department

2425 Reedie Drive, 13<sup>th</sup> Floor, Wheaton, MD 20902

[Chris.Berger@montgomeryplanning.org](mailto:Chris.Berger@montgomeryplanning.org)

Office: 301-495-4571



**REVIEWED**

**By Chris Berger at 12:43 pm, Mar 18, 2024**

**Berger, Chris**

**From:** NANCY WALZ <nancywalz@gmail.com>  
**Sent:** Thursday, February 15, 2024 12:23 PM  
**To:** MCP-Historic; Manarolla, Kevin  
**Cc:** Stephen Paczkowski; Bruechert, Dan; Berger, Chris  
**Subject:** Re: Statement from GPHPC on 4600 Waverly Block



[EXTERNAL EMAIL] Exercise caution when opening attachments.

To the Staff,

In reading the Staff Report on the following HAWP, I don't see the Garrett Park Historic Preservation Committee's statement or any reference to it. I emailed it on Monday, Feb. 12th. Please confirm that you received it. The GPHPC supports the HAWP with one reservation on the sidewalk. This reservation should be addressed in the Staff Report.

**REVIEWED**  
By Chris Berger at 12:43 pm, Mar 18, 2024

- [I.F-4600-Waverly-Avenue-Garrett-Park-1057416](#)

Regards and thank you,  
Nancy

\_\_\_\_\_  
Nancy Walz, Chair  
Garrett Park Historic Preservation Committee

On Tue, Feb 13, 2024 at 10:21 AM NANCY WALZ <nancywalz@gmail.com> wrote:

**Town of Garrett Park Historic Preservation Committee**  
**Statement on Replacement Sidewalk and Trees**  
**4600 block Waverly Avenue**  
**February 12, 2024**

**To: Montgomery County Historic Preservation Office**  
Submitted via [mcp-historic@mncppc-mc.org](mailto:mcp-historic@mncppc-mc.org)  
**Regarding: HAWP # 1057416 for 4600 Waverly Avenue, Garrett Park**

The Town of Garrett Park ("Town") seeks a Historic Area Work Permit ("HAWP") for replacement of the pedestrian sidewalk and adjacent trees in the 4600 block of Waverly Avenue. The area is within the Garrett Park Historic District (Atlas #30/13; pp. 214-218 of the North Bethesda/Garrett Park Master Plan <http://montgomeryplanning.org/wp-content/uploads/2016/09/NorthBethesda-GarrettParkMasterPlan1992ocr300.pdf>). Specifically, the block forms the approach to Penn Place, an "outstanding" resource within the District.<sup>[1]</sup>

The sidewalk is necessary to replace an existing, deteriorating sidewalk; the width is necessary to accommodate a relatively high volume of foot traffic and to afford a sufficient area to discourage walking on adjacent tree roots. Replacement of the few remaining trees is necessary because the trees nearest the sidewalk have large, aggressive surface roots that pose a danger to the sidewalk integrity and a hazard to pedestrians. Replacement trees will be selected to minimize surface root issues.

The Garrett Park Historic Preservation Committee (“Committee”) has reviewed plans, conducted site visits, and discussed the proposed replacements in a public meeting. **The Committee supports this HAWP with one substantial reservation.** As currently proposed, the route of the replacement sidewalk includes curves or undulations not found in the existing sidewalk. The Committee strongly recommends that the replacement sidewalk abandon the curves and substitute a sidewalk alignment of a single gentle arc that essentially mirrors the roadway.

Garrett Park’s street plan was devised by William Saunders, a noted 19th century landscape architect; it is undoubtedly the most historic element in Garrett Park as a whole. In the immediate vicinity of the sidewalk, Penn Place also enjoys exceptional historic status. The Committee considers that nothing should detract from the general appearance presented by the street plan and the visual association with Penn Place, as the undulating sidewalk will. We are aware that the Town will specify a tint in an effort to reduce the inevitable glare of new concrete. Nonetheless a sidewalk that is more visually evident than the current one will inevitably draw the eye, which makes it all the more important that the outline of the sidewalk is not a distraction.

The replacement sidewalk project will also involve replacement curbs and gutters. The existing shaped asphalt curbs, whatever their utilitarian faults, have become virtually invisible with age. The replacement concrete curbs and gutters will be more visible and will plainly follow the gentle arc of the street. The departure from that profile presented by the undulating sidewalk will be all the more evident when the uninterrupted curve of the roadway is made more visible by the lighter new curbs. The pattern of the various elements should be consistent. We believe that the aim can be most readily met by simplifying the pathway to a single gentle arc from Montrose to the Penn Place driveway, eliminating the curves and undulations currently called for.

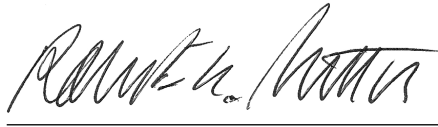
If you have any questions, please do not hesitate to contact me, or Stephen Paczkowski, Garrett Park Councilmember, who is the liaison with our committee.

On behalf of the committee,  
Nancy Walz, Chair  
Garrett Park Historic Preservation Committee

[nancywalz@gmail.com](mailto:nancywalz@gmail.com)  
[councilstephen@garrettparkmd.gov](mailto:councilstephen@garrettparkmd.gov)

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<sup>[1]</sup> Page 218 of the Master Plan. Additionally, three residential structures line the block, on the side opposite the sidewalk; one is designated “outstanding” and two are “contributing” resources.

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Montgomery County  
Historic Preservation Commission  


**REVIEWED**

2

**By Chris Berger at 12:43 pm, Mar 18, 2024**